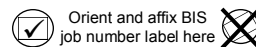




PW1: Plan / Work Application

Must be typewritten.

121204785



1 Location Information Required for all applications.

House No(s) 270 Street Name Park Avenue
Borough Manhattan Block 1283 Lot 21 BIN 1035421 C.B. No. 105
Work on Floor(s) 011 to 014, 051 to 052, 034, 035, ROF, CEL, SUB, SC1, SC2, SC3 Apt. / Condo No(s)

2 Applicant Information Required for all applications. Fax, mobile telephone and e-mail address are optional information.

Last Name Scheld First Name James Middle Initial
Business Name Howard I. Shapiro & Associates Business Telephone (516) 791-2600
Business Address 266 Merrick Road - Suite 300 Business Fax
City Lynbrook State NY Zip 11563 Mobile Telephone
E-Mail JScheld@HISAssoc.com License Number 081772
Choose one: [X] P.E. [] R.A. [] Sign Hanger [] R.L.A. [] Other:

3 Filing Representative Complete only if different from applicant specified in section 2. Fax, mobile phone, and e-mail are optional info.

Last Name Buscaglia/Cohen/O'Reilly First Name Sheila/Jonathan/Lauren Middle Initial
Business Name Howard I. Shapiro & Associates, P.C. Business Telephone (516) 791-2600
Business Address 266 Merrick Road - Suite 300 Business Fax
City Lynbrook State NY Zip 11563 Mobile Telephone
E-Mail JCohen@HISAssoc.com Registration Number 1098

4 Filing Status Required for all applications. Choose one and provide specified associated information.

[] Initial Filing 5, 7, 11, 12A, 25-26 [] Prior to Approval Actions 25-26 [] Reinstatement 24-26
Choose only one: [] Amend Existing Filing 4A [] Withdrawal 26
[] Standard Plan Examination or Review [] Subsequent Filing 6-7, 8A (Alt-2 only), 11 [] Specified in 4A and 6
[] Professional Certification PC1, POC1 [X] Post Approval Amendment (PAA) 4A, 6, 24-25 [] Entire Job
[] Professional Certification of Objections A11 Will PAA affect filing fees? [] Yes [X] No 4A Indicate existing document number affected by filing: 01
[] New (Superseding) Applicant 4A, 25-26

5 Job/Project Types Choose one and provide specified associated information.

[] Alteration Type 1 or Alteration Type 1 required to meet New Building requirements (28-101.4.5) 6A-E, 8B-C, 8F, 9-10, 12, 13C-F, 14, 18-20, 22 & PW1A, PD1
[] Alteration Type 2 5A, 6A-D, 8A-B, 9-10, 13C-E, & 14, 20, 22 [] Full Demolition 6B, 8D, 9A & 9C-D, 9K, 13D-E, 14, 21A, 22
[] Alteration Type 3 5A, 6B-F, 8C, 9-10, 13C-E, 20, 22 [] Subdivision 9A, 9D, 12A-B
[] Alteration Type 1, OT: "No Work" 8C, 8F, 9-10 & 12, 13C-F, 14, 18-19, 22, PW1A, PD1 [] New Building 6A-E, 8F, 9A, 9C-K, 10, 12 & 13A-E, 14, 18-20, PW1A, PD1 [] Condominium [] Improved 17
[] Sign 5A, 6B-D, 9A, 9D, 22-23 5A Directive 14 acceptance requested? [] Yes [] No

6 Work Types Select all that apply but no more than allowed by job and filing type. "OT" required on all NB and Alteration 1 initial applications.

6A [] BL - Boiler PW1C [] FS - Fuel Storage PW1C [] PL - Plumbing PW1B [] CC - Curb Cut 16
[] FA - Fire Alarm [] FP - Fire Suppression [] SD - Standpipe PW1B [] OT/LAN - Landscape
[] FB - Fuel Burning PW1C [] MH - Mechanical [] SP - Sprinkler PW1B
6B [X] EQ - Construction Equipment 15 [] OT/GC - General Construction [] OT - Other, describe: [] OT/ANT - Antenna
[] OT/BPP - Builders Pavement Plan 8D
[] OT/FPP - Fire Protection Plan
[] OT/MAR - Marquee 8E, 26B

7 Plans/Construction Documents Submitted *Plans are required for most applications.*

Are plans being submitted with this PW1? Yes No *If yes, do the plans include:* FO — Foundation EN — Energy Analysis

8 Additional Information

8A	WT	Cost	WT	Cost	WT	Cost	8B	Is a building enlargement proposed? <input type="checkbox"/> No enlargement is proposed <input type="checkbox"/> Yes <i>12, PD1</i> <input type="checkbox"/> Horizontal <input type="checkbox"/> Vertical Additional Construction Floor Area: _____ sq. ft.	8C	Estimated Job Cost \$
									8D	Street Frontage: _____ linear ft.
									8E	Height: _____ ft. Width: _____ ft.
									8F	Total Building Square Footage: _____ sq. ft.

9 Additional Considerations, Limitations or Restrictions

9A Review is requested under which building code? 2014 2008 1968 Prior to 1968

<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
--	--

9B Alteration required to meet New Building requirements (28-101.4.5) *If yes, 13A-B*
 Alteration is a major change to exits

9C Façade Alteration
 Adult Establishment *If yes, plot diagram (except DM)*
 Compensated Development (Inclusionary Housing)
 Low Income Housing (Inclusionary Housing)
 Single Room Occupancy (SRO) Multiple Dwelling
 Filing includes Lot Merger / Reapportionment *If yes, 17*

9D Landmark
 Little "E" or RD Site
 Unmapped/CCO Street
 Requesting legalization of work where no work without a permit violations have been issued
 Other (please specify on line provided below): _____
 CRFN(s) *Restrictive Declaration / Easement (max. 4):*
 CRFN(s) *Zoning Exhibit (I, II, III, etc. - max. 4):*

9E BSA Calendar Numbers (max. 5): _____

9F CPC Calendar Numbers (max. 5): _____

9G Work includes lighting fixture and/or controls, installation or replacement. [ECC §404 and §505]

9H Work includes modular construction under New York State jurisdiction
 Work includes modular construction under New York City jurisdiction

9I High Rise Team tracking #: _____

9J Structural peer review required per BC 16. *If yes, provide NYS P.E. license number:* _____

9K Work includes permanent removal of standpipe, sprinkler or fire suppression related systems

9L Work includes partial demolition as defined in AC §28-101.5, or the raising/moving of a building *If yes, 21B*
 Structural stability affected by proposed work

10 NYCECC Compliance *New York City Energy Conservation Code*

To the best of my knowledge, belief and professional judgment, all work under this application is in compliance with the NYCECC*
 Code Compliance Path (choose one): NYCECC ASHRAE
 Energy Analysis (choose one): Tabular Analysis REScheck COMcheck Energy Modeling (EN1)

To the best of my knowledge, belief and professional judgment, all work under this application is exempt from the NYCECC* in accordance with one of the following (choose one):

- The work is an alteration of a State or National historic building.
- The scope of the work is entirely in a "low-energy building" and is limited to the building envelope.
- The entire scope of work involves a temporary structure and/or one or more of the following work types: FA, FP, SD, SP, FS, EQ, CC, OT/BPP, OT/FPP. Other work types are not exempt.
- This is a post-approval amendment and exempt under a prior edition of the energy code. See statement of exemption on attached drawings.

11 Job Description	11A Related DOB Job Numbers
---------------------------	------------------------------------

11B Primary application job no. _____

12 Zoning Characteristics

12A District(s) Overlay(s) Special Dist.(s) Map Number	12B Street legal width: _____ ft. Street Status: <input type="checkbox"/> Public <input type="checkbox"/> Private <i>If the zoning lot includes multiple tax lots, list all tax lots here ►</i>
---	---

12C Proposed:	Use*	Zoning Floor Area	District	FAR	Proposed Lot Details:	Proposed Yard Details:
		sq. ft.			Lot Type: <input type="checkbox"/> Corner <input type="checkbox"/> Interior <input type="checkbox"/> Through	Check here if no yards: <input type="checkbox"/> or
		sq. ft.			Lot Coverage _____ %	Front Yard _____ ft.
		sq. ft.			Lot Area _____ sq. ft.	Rear Yard _____ ft.
		sq. ft.			Lot Width _____ ft.	Rear Yard Equivalent _____ ft.
		sq. ft.			<i>Proposed Other Details:</i>	Side Yard 1 _____ ft.
		sq. ft.			Enclosed Parking? <input type="checkbox"/> Yes <input type="checkbox"/> No	Side Yard 2 _____ ft.
Proposed Totals		sq. ft.			<i>If yes, no. of parking spaces:</i>	
Existing Total		sq. ft.			Perimeter Wall Height _____ ft.	

*Use can be one of the following: residential, commercial, manufacturing, or community facility. List only one use per line.

13 Building Characteristics *Main use/dominant occupancy per AC §28-101.5. **Use 2014 Code equivalents only. †Residential w/other use.

13A Primary structural system, choose one :					
<input type="checkbox"/> Masonry		<input type="checkbox"/> Concrete (CIP)		<input type="checkbox"/> Concrete (Precast)	
<input type="checkbox"/> Wood		<input type="checkbox"/> Steel (Structural)		<input type="checkbox"/> Steel (Cold-Formed) <input type="checkbox"/> Steel (Encased in Concrete)	
13B Existing			Proposed		
Structural Occupancy/Risk Cat.		2014 Code Designations?		13D Building Type: <input type="checkbox"/> 1, 2, or 3 Family <input type="checkbox"/> Other	
Seismic Design Cat.				Mixed use building?† <input type="checkbox"/> Yes <input type="checkbox"/> No	
13C Occupancy Classification*			13E Existing		
<input type="checkbox"/> Yes <input type="checkbox"/> No			Proposed		
Construction Classification			Building Height _____ ft.		
<input type="checkbox"/> Yes <input type="checkbox"/> No			Building Stories _____		
Multiple Dwelling Classification			Dwelling Units _____		
13F Building was originally erected pursuant to which Building Code: <input type="checkbox"/> 2014 <input type="checkbox"/> 2008 <input type="checkbox"/> 1968 <input type="checkbox"/> Prior to 1968					
The earliest Code with which this building or any part of it is required to comply: <input type="checkbox"/> 2014 <input type="checkbox"/> 2008 <input type="checkbox"/> 1968 <input type="checkbox"/> Prior to 1968					

14 Fill Choose **one**.

- Not Applicable On-Site Off-Site Under 300 cubic yards

15 Construction Equipment

Chute Sidewalk Shed Construction Material: _____
 Fence Size: _____ linear ft. BSA/MEA Approval No. _____
 Supported Scaffold Other: _____

16 Curb Cut Description

Size of cut (with splays): _____ ft.
 Distance to nearest corner: _____ ft.
 to street: _____

17 Tax Lot Characteristics

Original tax lots being merged or reapportioned (if applicable):

 Tentative tax lot numbers (new tax lots only):

18 Fire Protection Equipment

	Existing		Proposed	
	Yes	No	Yes	No
Fire Alarm	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Fire Suppression	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sprinkler	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Standpipe	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

19 Open Spaces

	Existing	Proposed		Existing	Proposed
Plaza Area	sq. ft.	sq. ft.	Arcade Area	sq. ft.	sq. ft.
Parking Area	sq. ft.	sq. ft.	Parking Spaces		
Loading Berths	sq. ft.	sq. ft.	Loading Berths		

20 Site Characteristics

20A Flood Hazard Area Information

- | | | |
|--|--|---|
| Yes No
<input type="checkbox"/> <input type="checkbox"/> Tidal Wetlands
<input type="checkbox"/> <input type="checkbox"/> Coastal Erosion Hazard Area
<input type="checkbox"/> <input type="checkbox"/> Fire District | Yes No
<input type="checkbox"/> <input type="checkbox"/> Freshwater Wetlands
<input type="checkbox"/> <input type="checkbox"/> Urban Renewal
<input type="checkbox"/> <input type="checkbox"/> Flood Hazard Area <i>If yes, 20A</i> | Yes No
<input type="checkbox"/> <input type="checkbox"/> Substantial improvement?
<input type="checkbox"/> <input type="checkbox"/> Substantially damaged?
<input type="checkbox"/> <input type="checkbox"/> Floodshields part of proposed work? |
|--|--|---|

21 Demolition Details **Mechanical equipment other than handheld devices to be used for demolition or removal of debris (BC §3306.4).*

- Yes No
- 21A Demo. filing is for a secondary structure? *If yes, specify structure being demolished:*
 Mechanical means* from out of building? *If yes, mechanical means will demolish:* entire structure or part of structure
 Mechanical means* from within building? *If yes, describe equipment proposed:*
- 21B Demolition work affects the exterior building envelope
 The scope of work involves raising/moving of a building

22 Asbestos Abatement Compliance *Choose one.*

- The scope of work requires related asbestos abatement as defined in the regulations of the NYC Department of Environmental Protection (DEP).
 The scope of the work is **not** an asbestos project as defined in the regulations of the NYC DEP. *DEP Control # is required.*
 DEP ACP-5 Control No. _____
 The scope of work is exempt from the asbestos requirement as defined in the regulations promulgated by the NYC DEP (15 RCNY 1-23(b)) or is an alteration to a building constructed pursuant to plans submitted for approval on or after April 1, 1987, in accordance with § 28-106.1.

23 Sign

Purpose: <input type="checkbox"/> Advertising <input type="checkbox"/> Non-Advertising	Type: <input type="checkbox"/> Illuminated 23A <input type="checkbox"/> Non-Illuminated	Estimated Cost: \$ _____ Total Square Feet: _____ Height above Curb: _____ ft. in. Height above Roof: _____ ft. in.	23A Illuminated type: <input type="checkbox"/> Direct <input type="checkbox"/> Flashing <input type="checkbox"/> Indirect Yes No <input type="checkbox"/> <input type="checkbox"/> If sign projects beyond building line, is owner billed for annual permit? <i>If no, specify in 26B</i>
Location: <input type="checkbox"/> Ground <input type="checkbox"/> Roof 23B <input type="checkbox"/> Wall	Yes No <input type="checkbox"/> <input type="checkbox"/> Is sign inside building line? <i>If no, sign projects by:</i> _____ ft. in. <input type="checkbox"/> <input type="checkbox"/> Designed for changeable copy? <i>If no, 23C</i> <input type="checkbox"/> <input type="checkbox"/> Does an OAC have an interest in this sign or location? <i>If yes, 23G</i> <input type="checkbox"/> <input type="checkbox"/> Within 900' and within view of an arterial highway? <i>If yes, 23D</i> <input type="checkbox"/> <input type="checkbox"/> Within 200' and within view of a park 1/2 acre or more? <i>If yes, 23E</i>	23B <input type="checkbox"/> <input type="checkbox"/> Is roof sign tight, closed or solid? 23C Sign wording. <i>If extensive, provide only key wording.</i>	23D Distance from Arterial Highway: _____ ft. 23E Distance from Park 1/2 acre or more: _____ ft. 23F OAC Sign Number: 23G OAC Registration Number:

If answer is "yes" to either of the above two questions and this is an advertising sign, OAC sign number is required in section 23F

24 Comments *Place additional comments on an AI-1 form. See Guide for proper incorporation of professional certification statements.*

Post Approval Amendment submitted to include revised means-and-methods of loading dock demolition using mechanical demolition equipment rather than a crane to lift out sections of concrete slabs and steel members. Amended plans includes revision to hung ceiling shoring

25 Applicant's Statements and Signatures *Required for all applications.*

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently made a false statement or to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department. I prepared or supervised the preparation of the construction documents and specifications herewith submitted and to the best of my knowledge and belief, the construction documents and work shown thereon comply with the provisions of the Administrative Code and other applicable laws and rules, (←check here if) except as set forth in the accompanying documents. I acknowledge that I have read and comply with all instructions pertaining to this application and supplementary schedules submitted. **Cluster Development Statement** (if applicable): I hereby state that all specifications relating to this application are identical to those previously filed under the group lead job number, except as specified herein.

For initial New Building and Alteration 1 applications filed under the 2008 or 2014 NYC Building Code only: does this building qualify for high-rise designation? Yes No
Directive 14 initial applications only: I certify that the construction documents submitted and all construction documents related to this application do not require a new or amended Certificate of Occupancy as there is no change in use, exits, or occupancy. Yes No

Name (print): James Schmitt
 Sign and Date: X
 P.E. / R.A. Seal (apply seal; then, sign and date over seal) Jan 21, 2021



26 Property Owner's Statements and Signatures

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently made a false statement or to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department. Furthermore, I understand that I am responsible for insuring that a final inspection be performed when the permitted work is complete, and that a satisfactory report of final inspection be submitted, along with all required submittal documents, so that the NYC Department of Buildings may issue a letter of completion or certificate of occupancy within the time prescribed by law.

I have authorized the applicant to file this application for the work specified herein and all future amendments. I will not knowingly authorize any work that is not in compliance with all applicable laws, rules, and regulations.

Yes No

Fee Exemption Request (Non-Profit Owned and Operated)
 In accordance with Administrative Code §28-112.1, Exception 1, I certify that the deed holder is a corporation or association organized and operated exclusively for the purposes indicated in such section, and that the property is used exclusively by such entity for such purpose. ★

Fee Exemption Request (NYCHA/HHC, NYC Agency, or Other Government Owned and Operated) The building or any part thereof to be constructed, renovated, altered or demolished is owned and operated exclusively for the purposes of the NYC Agency, NYC Authority, NYS Agency, Federal Government or any other government entity. ★

Owner's Certifications Regarding Occupied Housing
 The site of the building to be altered or demolished, or the site of the new building to be constructed, contains one or more occupied dwelling units that will remain occupied during construction. These occupied dwelling units have been clearly identified on the submitted construction documents.

The site of the building to be altered or demolished, or the site of the new building to be constructed, contains occupied housing accommodations subject to rent control or rent stabilization under Chapters 3 and 4 of Title 26 of the New York City Administrative Code. **If yes, select one of the following:**

The owner is not required to notify the New York State Homes and Community Renewal (NYSHCR) of the owner's intention to file because the nature and scope of the work proposed, pursuant to NYSHCR regulations, does not require notification.

The owner has notified the New York State Homes and Community Renewal (NYSHCR) of its intention to file such construction documents/apply for such permit and has complied with all requirements imposed by the regulations of such agency as preconditions for such [filing/application].

Provide date NYSHCR notified: _____

Owner's Certification for Directive 14 Applications (if applicable)
 I have read and am fully aware of the applicant's statement that the construction documents submitted and all construction documents related to this application will not require a new or amended Certificate of Occupancy as there is no change in use, exits, or occupancy and the work is not inconsistent with the current certificate of occupancy. Furthermore, I understand that I am responsible for retaining a qualified design professional to perform a final inspection when the permitted work is complete and this professional must submit a satisfactory final inspection report to the NYC Department of Buildings within the time following inspection prescribed by Department rule.

Notes for Section 26A: Section required if unit owner signed Section 26. Signature required for authorized representative of Condo or Co-Op board.

★ For fee waivers, please see the PW1 User Guide

Owner Individual Partnership NYCHA / HHC
 Type: Corporation Other Government NYC Agency
 Condo Unit Owner or Co-Op Tenant-shareholder 26A
 Is the deed holder a non-profit organization? Yes No

Name (please print): _____

Relationship to Owner: _____

Business Name/Agency: _____

Street Address: _____

City: _____ State: _____ Zip: _____

Telephone Number: _____ Fax: _____

E-Mail Address: _____

Signature and Date ►

26A Condo/Co-Op Board *See note in bottom left corner of page.*

Name (please print): _____

Title: _____

Street Address: _____

City: _____ State: _____ Zip: _____

Telephone Number: _____ Fax: _____

E-Mail Address: _____

Signature and Date ►

26B Lessee Responsible for Annual Sign or Marquee Permit

Name (please print): _____

Relationship to Owner: _____

Business Name/Agency: _____

Street Address: _____

City: _____ State: _____ Zip: _____

Telephone Number: _____ Fax: _____

E-Mail Address: _____



AI1: Additional Information
Must be typewritten.

Orient and affix BIS job number label here

Page number 1 of 1 BIS Document No. _____

1 Location and Job Information Required for all applications.

House No(s) 270 Street Name Park Avenue

Borough Manhattan Block 01283 Lot 00021 BIN 1035421 CB No. 105

2 Revisions to Plans/Drawings Required whenever updating plans. All revisions for each page must be clearly described in section 3.

Submission is part of a Post Approval Amendment (PAA)? Yes PW1 required No Indicate all actions for this submission:

Action	Original/New/Omit Page ID	Superseding Page ID	Action	Original/New/Omit Page ID	Superseding Page ID	Action	Original/New/Omit Page ID	Superseding Page ID	Action	Original/New/Omit Page ID	Superseding Page ID
S	dm001.05	dm001.06	N	dm221.00		N	dm225.00		N	dm229.00	
S	dm01A.02	dm01A.03	N	dm222.00		N	dm226.00				
S	dm124.00	dm124.01	N	dm223.00		N	dm227.00				
S	dm125.00	dm125.01	N	dm224.00		N	dm228.00				

For "Action" use "N" for new page, "S" for superseding page, "O" for omitting page. Is this section continued on additional AI1 forms? Yes No

3 Additional Information Required for all applications.

Post Approval Amendment submitted to include the demolition of one bay of ground floor slab to create floor openings at the A-B-5-8 gridlines. Includes foundation wall bracing of portion of Madison Ave foundation wall between ground floor and cellar floor. The work uses mechanical demolition methods.

The amendment also includes revision to a bridge design to address a field condition at the east end of the bridge.

Superseding Pages:

DM-001.06: Revised 1.0 General Notes

DM-001A.03: Revised Drawing list

DM-124.01 & DM-125.01: Revised details for support of bridge at ground floor.

New Pages:

DM-221.00 thru DM-229.00: Specify means-and-methods of making ground floor opening between gridlines A and B and 5 and 8. Show plan view, sections, & details. Including shoring of foundation wall and steel erector's sequence of beam removal.



Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently made a false statement or to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department.

Name (please print) James Scheid, P.E. Date 9/11/20
Signature [Signature]
P.E. / R.A. Seal (apply seal, then sign and date over seal)

SITE SAFETY PLAN FOR DEMOLITION OPERATIONS AT 270 PARK AVE, MANHATTAN, NY

AMENDMENT #18

PHASE 1.1
PHASE 1.2

JOB NO. (SEE BELOW)
JOB NO. 123377782

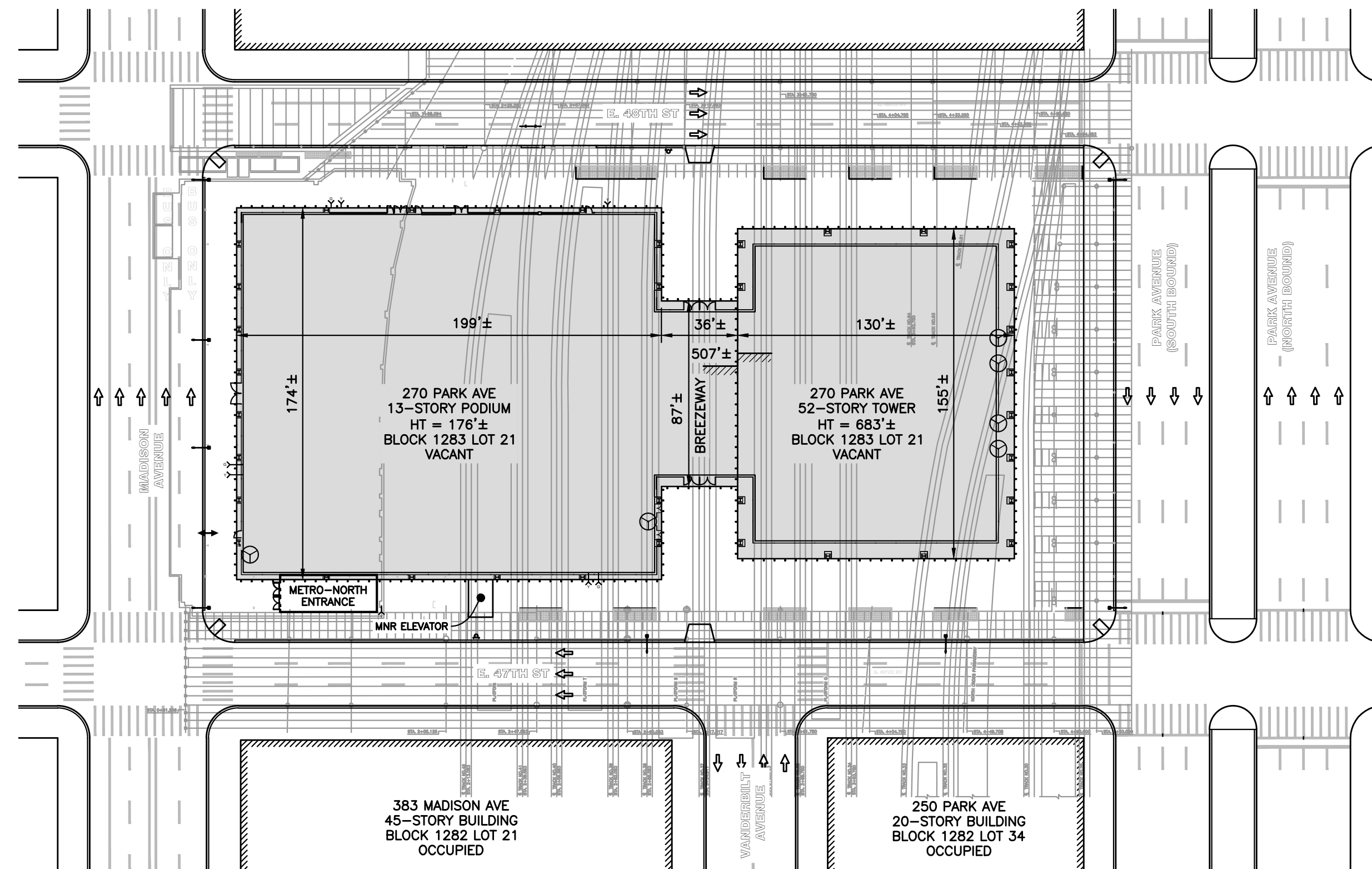
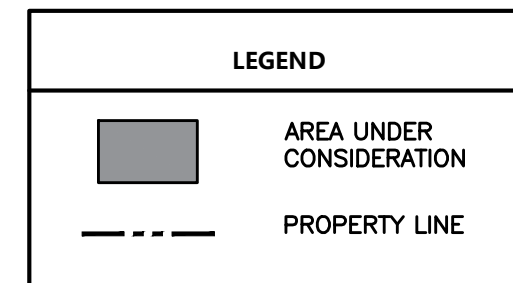
PHASE 2.1
PHASE 2.2
PHASE 2.3
PHASE 2.4
PHASE 2.5

JOB NO. 121204703
JOB NO. 121204785
JOB NO. (SEE BELOW)
JOB NO. 123656640
JOB NO. (SEE BELOW)

← AMENDMENT TO THIS APPLICATION

PHASE 3.1

JOB NO. 140939992



KEY PLAN
Scale: 1" = 50'



PHASE 1 :

- PHASE 1.1 NON-STRUCTURAL INTERIOR DEMOLITION AT THE 41ST AND 29TH FLOORS.
NON-STRUCTURAL INTERIOR DEMOLITION FOR REMAINDER OF FLOORS IN TOWER AND PODIUM BUILDINGS. INCLUDES FLOORS 1 TO 12, 15 TO 28, 30 TO 40, AND 42 TO 50.
- PHASE 1.2 DEMOLITION AND REMOVAL OF TWO CONCRETE PLANTERS AND CANOPY AT THE NORTH BREEZEWAY AND DEMOLITION OF WEST PLANTER ON 47TH STREET.
DEMOLITION AND REMOVAL OF CONCRETE PLANTERS ON THE EAST SIDE OF 47TH ST, 48TH ST AND ALONG PARK AVE.
DEMOLITION AND REMOVAL OF CONCRETE PLANTER AND CANOPY AT THE SOUTH BREEZEWAY ON 47TH ST.

PHASE 2 :

- PHASE 2.1 GLASS REMOVAL ON THE FOUR SIDES OF THE 41ST AND 29TH FLOORS AND STRIP FROM ROOF TO 2ND FLOOR ALONG NORTH AND WEST ELEVATIONS FOR HOIST ACCESS.
GLASS REMOVAL ON ALL SIDES OF THE TOWER AT THE 16TH FLOOR AND STRIP FROM THE ROOF TO THE 1ST FLOOR ALONG THE NORTH, SOUTH, EAST AND WEST ELEVATIONS.
GLASS REMOVAL ON ALL SIDES OF THE TOWER AT THE 2ND AND 1ST FLOORS.
GLASS REMOVAL ON ALL SIDES OF THE PODIUM AND BREEZEWAY FROM ROOF TO THE GROUND FLOOR.
GLASS REMOVAL AT SELECT LOCATIONS ALONG THE SOUTH ELEVATION OF THE TOWER FOR THE INSTALLATION OF CRANE TIES.
- PHASE 2.2 REMOVAL OF MECHANICAL EQUIPMENT AT TOWER ROOF, PODIUM ROOF, MECHANICAL FLOORS AT 52, 51, 35, 34, 13, 12, 11, CELLAR AND SUB-CELLARS 1 TO 3.
REMOVAL OF MECHANICAL EQUIPMENT FROM HUNG CEILING (INTERSTITIAL SPACE).
REMOVAL OF GARAGE RAMP AND LOADING DOCK AT GROUND FLOOR.
MAKE FLOOR OPENINGS IN THE GROUND FLOOR, CELLAR AND SUB-CELLAR LEVELS FOR NEW B.1 COLUMNS.
MAKE FLOOR OPENING IN THE GROUND FLOOR AT GRIDLINES A-B AND 5-8.
- PHASE 2.3 INSTALLATION OF NEEDLE BEAM, 300 PSF PLATFORM AND SCAFFOLD.
- PHASE 2.4 FULL STRUCTURAL DEMOLITION OF 52-STORY TOWER AND 13-STORY PODIUM BUILDING.
- PHASE 2.5 OVERLAPPING DEMOLITION AND FOUNDATION WORK OPERATIONS.

PHASE 3 :

- PHASE 3.1 ERECTION OF STEEL TABLE TOP FOR NEW BUILDING CONSTRUCTION.

PERMIT LOG :

PHASE 1.1: INTERIOR DEMOLITION :	
ALT-2 INTERIOR DEMOLITION (FLOORS 28, 41)	1233815999
ALT-2 INTERIOR DEMOLITION (FLOOR 1)	1235100888
ALT-2 INTERIOR DEMOLITION (FLOORS 2 TO 4)	1235100979
ALT-2 INTERIOR DEMOLITION (FLOORS 5 TO 8)	1233897000
ALT-2 INTERIOR DEMOLITION (FLOORS 9 TO 12)	1234159555
ALT-2 INTERIOR DEMOLITION (FLOORS 15 TO 16)	1234146552
ALT-2 INTERIOR DEMOLITION (FLOORS 17 TO 20)	1233899113
ALT-2 INTERIOR DEMOLITION (FLOORS 21 TO 24)	123481179
ALT-2 INTERIOR DEMOLITION (FLOORS 25 TO 28)	1234159537
ALT-2 INTERIOR DEMOLITION (FLOORS 30 TO 32)	1234146443
ALT-2 INTERIOR DEMOLITION (FLOORS 33 TO 36)	123481845
ALT-2 INTERIOR DEMOLITION (FLOORS 37 TO 40)	123479725
ALT-2 INTERIOR DEMOLITION (FLOORS 42 TO 44)	123493460
ALT-2 INTERIOR DEMOLITION (FLOORS 45 TO 48)	123493512
ALT-2 INTERIOR DEMOLITION (FLOORS 49 TO 50)	123415964
HOIST, SIDEWALK SHED, SCAFFOLD, & FENCE :	
ALT-3 WEST HOIST COMPLEX (CARS 1 & 2)	140806894
ALT-3 WEST HOIST COMPLEX (CARS 3 & 4)	140806901
ALT-3 SUSPENDED SCAFFOLD	140809999
ALT-3 ROOF PROTECTION	140809338
ALT-3 CONSTRUCTION FENCE	M00078455
ALT-3 SIDEWALK SHED	M00066485
ALT-3 SIDEWALK SHED	M00091254
ALT-3 SIDEWALK SHED	M00098827
ALT-3 SIDEWALK SHED	M00098832
ALT-3 SIDEWALK SHED (OVER MNR EXIT)	M00127929
ALT-2 HEAVY DUTY PLATFORM (GRD)	140842257
ALT-2 LOADING DOCK (GRD)	123893331
PHASE 2.3: SCAFFOLD INSTALLATION :	
ALT-3 NEEDLE BEAM PLATFORM & SCAFFOLD (TOWER FLOORS 41-53)	M00105137-11-SF
ALT-3 NEEDLE BEAM PLATFORM & SCAFFOLD (TOWER FLOORS 29-41)	M00134730-11-SF
ALT-3 NEEDLE BEAM PLATFORM & SCAFFOLD (TOWER FLOORS 16-29)	M00134735-11-SF
ALT-3 TOWER BASE SCAFFOLD (TOWER FLOORS 1 TO 16)	M00140916
ALT-3 SCAFFOLD ON TOP OF SIDEWALK SHED (PODIUM FLOORS 2-14)	M00133656-11-SF
PREPARATION FOR DEMOLITION :	
ALT-2 WINDOW REMOVAL (FLOORS 41, 29)	121204703
ALT-2 REMOVAL OF HVAC AND MECH. EQ & EQ PERMIT	121204785
ALT-2 STANDPIPE CONVERSION	123892995
ALT-2 TROLLEY BEAM & WINCH	123885901
ALT-2 DEBRIS SHAFT	140850285
ALT-2 DEBRIS SHAFT # 2 EAST	140864223
ALT-2 TOWER DEBRIS CHUTE	PENDING
FULL DEMOLITION	123656640
TEMPORARY ELECTRIC LIGHT & POWER	M00141508-11-EL
TEMPORARY ELECTRIC BUS DUCT RE-FEED	M00141992-11-EL
CRANE NOTIFICATIONS :	
MOBILE CRANE FOR GENERATORS	120119
TOWER CRANE FOR DEMOLITION	170119
MOBILE CRANE FOR FOUNDATION WORK	902119
MOBILE CRANE FOR DEMOLITION	PENDING
PHASE 2.5: FOUNDATION WORK :	
ALT-2 INSTALLATION OF CAISSONS AND PILE CAPS (CEL, SUB)	121189285
ALT-2 FOUNDATION ENHANCEMENTS AT D-1 LINE	121204810
ALT-2 HAND DEMOLITION OF PORTION OF SUB-CELLAR 2	140883836
ALT-2 MECHANICAL DEMOLITION OF PORTION OF SUB-CELLAR 2	121207087
PHASE 3.1: ERECTION OF STEEL TABLE TOP	140939992

No.	DATE	DESCRIPTION	BY
18	12/28/20	REVISED COVER SHEET	KC
17	08/28/20	REVISED COVER SHEET	KC
16	06/16/20	REVISED COVER SHEET	KC
15	06/25/20	REVISED COVER SHEET	KC
14	06/01/20	REVISED COVER SHEET	KC
13	04/20/20	REVISED COVER SHEET	KC
12	03/04/20	REVISED COVER SHEET	KC
11	12/10/19	REVISED COVER SHEET	KC
10	08/30/19	REVISED COVER SHEET	KC
9	11/15/19	REVISED COVER SHEET	KC
8	05/31/19	REVISED COVER SHEET	KC
7	05/14/19	REVISED COVER SHEET	KC
6	04/17/19	REVISED COVER SHEET	KC
5	08/05/19	REVISED COVER SHEET	KC
4	02/15/19	REVISED COVER SHEET	KC
3	01/15/19	REVISED COVER SHEET	KC
2	10/22/18	REVISED COVER SHEET	KC
1	08/24/18	REVISED COVER SHEET	KC

HOWARD I. SHAPIRO & ASSOCIATES
CONSULTING ENGINEERS, P.C.
266 MERRICK ROAD, SUITE 300, LYNBROOK, N.Y. 11563
TEL: (516) 791-2600 FAX: (516) 791-5425
COPYRIGHT DESIGN NOT TO BE LENT, COPIED, OR REPRODUCED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN CONSENT.

CIENT
NORTHSTAR CONTRACTING GROUP, INC.
32 WILLIAMS PARKWAY
EAST HANOVER, NJ 07936

PROJECT
SITE SAFETY PLAN FOR
DEMOLITION OPERATIONS AT
270 PARK AVENUE, MANHATTAN, NY

ZONING INFORMATION
BLOCK: 1283
LOT: 21
ZONE: C5-3
ZONING MAP: 8D
COMMUNITY BOARD: 105
BIN #: 1035421

PLACE STICKER HERE

EXAMINER'S STAMP HERE

TITLE SHEET

SEARCHED
INDEXED
SERIALIZED
FILED
APPROVED
01/06/2021
CSC SSP

DRAWING BY: KC DATE: 12/28/20
PROJECT NO: 18211.02.00
ENGINEER: JS
SCALE: AS NOTED
CHK BY: JS
DWG NO: SSP-001.18
V: 2018\18211.00.00 | OF 339

		ISSUE			
		07/23/20	08/16/20	09/28/20	12/28/20
		15	16	17	18
STATUS: No. DRAWING LIST :					
18	001 SSP-001.18				
S	002 SSP-002.13				
S	003 SSP-002A.02				
	004 SSP-002B.00				
	005 SSP-003.01				
PHASE 1.1 :					
	006 SSP-101.01				
	007 SSP-102.00				
	008 SSP-103.00				
	009 SSP-104.00				
	011 SSP-105.01				
	012 SSP-106.00				
	013 SSP-107.00				
	014 SSP-108.00				
	015 SSP-109.00				
	016 SSP-110.00				
	017 SSP-111.00				
	018 SSP-112.00				
	019 SSP-113.00				
	020 SSP-114.00				
PHASE 1.2 :					
	021 SSP-121.03				
	022 SSP-122.01				
	023 SSP-123.03				
	024 SSP-123A.00				
	025 SSP-123B.00				
	026 SSP-123C.00				
	027 SSP-124.02				
	028 SSP-125.04				
	029 SSP-126.02				
	030 SSP-127.01				
	031 SSP-128.01				
	032 SSP-129.01				
	033 SSP-130.02				
	034 SSP-131.02				
	035 SSP-132.02				
	036 SSP-133.01				
	037 SSP-134.01				
	038 SSP-135.02				
	039 SSP-136.03				
	040 SSP-137.02				
	041 SSP-138.01				
	042 SSP-139.00				
	043 SSP-140.00				
	044 SSP-141.00				
	045 SSP-142.00				
	046 SSP-143.00				
	047 SSP-144.00				
	048 SSP-145.00				
	049 SSP-146.00				
	050 SSP-147.00				
	051 SSP-148.00				
	052 SSP-149.00				
	053 SSP-150.00				
	054 SSP-151.01				
	055 SSP-152.00				
	056 SSP-153.00				
	057 SSP-154.01				
	058 SSP-154A.00				
	059 SSP-154B.00				
	060 SSP-154C.00				
	061 SSP-154D.00				
PHASE 2.1 :					
	062 SSP-155.01				
	063 SSP-156.01				
	064 SSP-157.01				
	065 SSP-158.01				
	066 SSP-159.00				
	067 SSP-160.00				
	068 SSP-161.00				
	069 SSP-162.00				
	070 SSP-163.00				
	071 SSP-164.00				
	072 SSP-165.00				
	073 SSP-166.00				
	074 SSP-167.00				
	075 SSP-168.00				
	076 SSP-169.00				
	077 SSP-170.00				
	078 SSP-171.00				
	079 SSP-172.00				
	080 SSP-173.00				

		ISSUE			
		07/23/20	08/16/20	09/28/20	12/28/20
		15	16	17	18
STATUS: No. DRAWING LIST :					
PHASE 2.2 :					
	081 SSP-201.02				
	082 SSP-201A.01				
	083 SSP-202.00				
	084 SSP-203.00				
	085 SSP-204.00				
	086 SSP-205.00				
	087 SSP-206.00				
	088 SSP-207.00				
	089 SSP-208.00				
	090 SSP-209.00				
	091 SSP-210.00				
	092 SSP-211.00				
	093 SSP-212.01				
	094 SSP-213.00				
	095 SSP-214.00				
	096 SSP-215.00				
	097 SSP-216.00				
	098 SSP-217.00				
	099 SSP-218.00				
	100 SSP-219.00				
	101 SSP-220.00				
	102 SSP-221.00				
	103 SSP-222.00				
	104 SSP-223.00				
	105 SSP-224.01				
	106 SSP-225.01				
	107 SSP-226.01				
	108 SSP-227.00				
	109 SSP-228.01				
	110 SSP-229.01				
	111 SSP-230.01				
	112 SSP-231.00				
	113 SSP-232.01				
	114 SSP-233.00				
	115 SSP-234.00				
	116 SSP-235.00				
	117 SSP-236.00				
	118 SSP-237.00				
	119 SSP-238.00				
	120 SSP-239.00				
	121 SSP-240A.00				
	122 SSP-240B.00				
	123 SSP-240C.00				
	124 SSP-240D.00				
	125 SSP-241.00				
	126 SSP-242.00				
	127 SSP-243.01				
	128 SSP-244.00				
	129 SSP-245.00				
N	130 SSP-246.00				
N	131 SSP-247.00				
N	132 SSP-248.00				
N	133 SSP-249.00				
N	134 SSP-250.00				
N	136 SSP-251.00				
	137 SSP-251.00				
	138 SSP-252.00				
	139 SSP-253.00				
	140 SSP-254.00				
	141 SSP-255.00				
	142 SSP-256.00				
	143 SSP-261.00				
	144 SSP-262.00				
	145 SSP-263.00				
	146 SSP-264.00				
	147 SSP-265.00				
	148 SSP-266.00				
	149 SSP-267.00				
	150 SSP-268.00				
	151 SSP-269.00				
	152 SSP-270.00				
	153 SSP-271.00				
PHASE 2.3 :					
	154 SSP-301.00				
	155 SSP-302.00				
	156 SSP-303.00				
	157 SSP-304.00				
	158 SSP-305.00				
PHASE 2.4 :					
SEE DM-003 FOR FULL DM DRAWING LIST					
PHASE 2.5 :					
	301 SSP-401.00				
	302 SSP-402.00				
	303 SSP-403.00				
	304 SSP-404.00				
	305 SSP-405.00				
	306 SSP-406.00				
	307 SSP-407.00				
	308 SSP-408.00				
	309 SSP-409.00				
	310 SSP-410.01				
	311 SSP-410A.00				
* = NO CHANGE *N = NEW SHEET *S = SUPERSERING *O = OMITTED					
● DRAWING BEING SUBMITTED					

18	12/29/20	REVISED SHEETS	KC
17	08/28/20	REVISED SHEETS	KC
No.	DATE	DESCRIPTION	BY

HOWARD I. SHAPIRO & ASSOCIATES
CONSULTING ENGINEERS, P.C.

266 MERRICK ROAD, SUITE 300, LYNBROOK, N.Y. 11563
TEL: (516) 791-2600 FAX: (516) 791-5425
COPYRIGHT DESIGN NOT TO BE LENT, COPIED, OR REPRODUCED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN CONSENT.

THIS OFFICE DISCLAIMS ANY RESPONSIBILITY FOR DRAWINGS OR OTHER DOCUMENTS RELATED TO THIS PROJECT UNLESS THEY BEAR THE SIGNATURE AND SEAL OF A PROFESSIONAL ENGINEER OF THIS OFFICE. THE NEW YORK STATE EDUCATION LAW PROHIBITS ANY ALTERATIONS TO, OR SOLUTIONS FROM, THIS DRAWING EXCEPT AS MAY BE MADE BY A LICENSED PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT WHO WILL BEAR THE RESPONSIBILITY FOR SUCH CHANGE.

CLIENT
NORTHSTAR CONTRACTING GROUP, INC.
32 WILLIAMS PARKWAY
EAST HANOVER, NJ 07936

PROJECT
SITE SAFETY PLAN FOR
DEMOLITION OPERATIONS AT
270 PARK AVENUE, MANHATTAN, NY

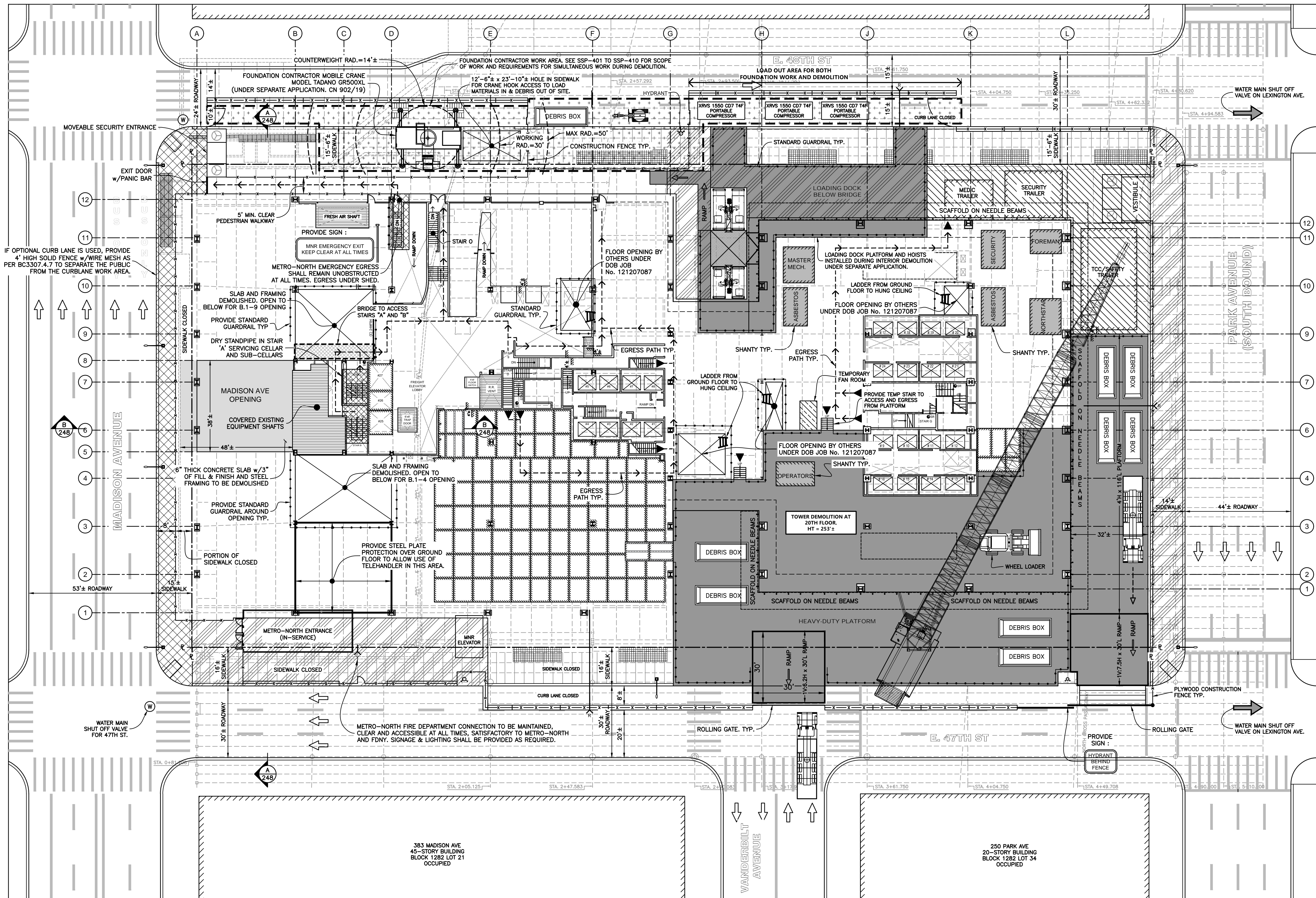
ZONING INFORMATION
BLOCK: 1283
LOT: 21
ZONE: C5-3
ZONING MAP: 8D
COMMUNITY BOARD: 105
BIN #: 1035421

PLACE STICKER HERE

EXAMINER'S STAMP HERE

TITLE
DRAWING LIST

<p>APPROVED AMENDED PLAN 01/06/2021 CSC SSP</p>	<p>DRAWING BY: KC DATE: 12/28/20</p> <p>PROJECT NO: 18211.02.00</p> <p>ENGINEER: JS</p> <p>SCALE: AS NOTED</p> <p>CHK BY: JS</p> <p>DWG NO: SSP-002A.02</p> <p>V:2018\18211.00.00 3 OF 339</p>
--	---



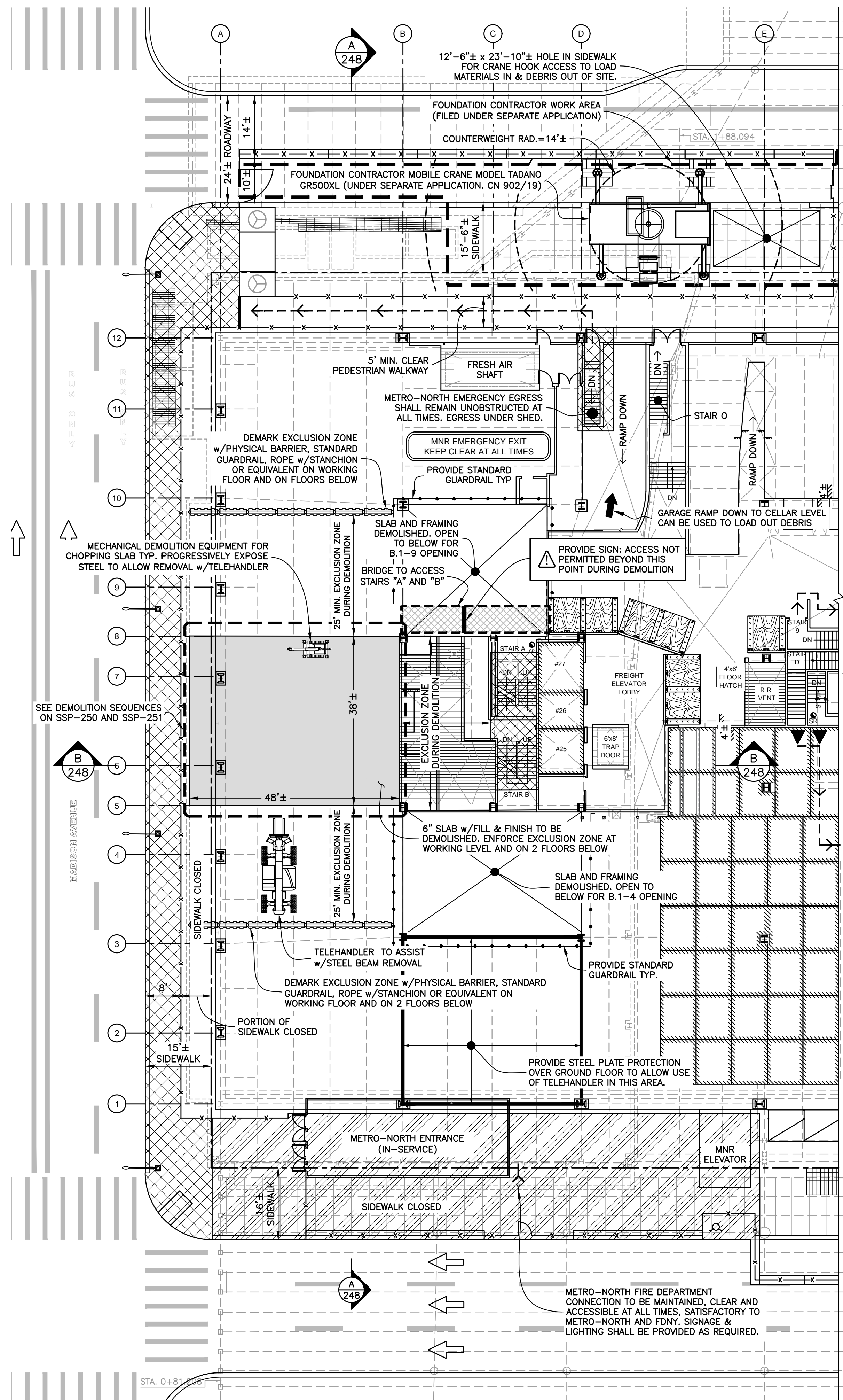
LEGEND	
	GROUND FLOOR SLAB TO BE DEMOLISHED.
	OPENINGS MADE IN THE GROUND FLOOR FOR ACCESS TO HUNG CEILING AND REMOVAL OF MEP DEBRIS
	8' HEAVY DUTY SIDEWALK SHED TYP.
	16' HIGH SIDEWALK SHED TYP.

- NOTES:
- THESE PLANS ADDRESS THE DEMOLITION OF THE EXISTING GROUND FLOOR BETWEEN A-B AND 5-8 LINES AS SHOWN IN PLAN ON THIS SHEET.
 - SEE SSP-201 AND SSP-202 FOR GENERAL NOTES FOR ADDITIONAL INFORMATION REGARDING THE USE OF MECHANICAL DEMOLITION EQUIPMENT AND SAFEGUARDS DURING DEMOLITION. SEE SSP-201A FOR LEGEND AND PERMIT LOG.
 - THE PLAN VIEW SHOWS THE B.1-4 AND THE B.1-9 OPENINGS WERE MADE PRIOR TO MARKING THE MADISON AVENUE OPENING. THE SEQUENCE CAN ALSO BE CHANGED TO MAKE THE MADISON AVENUE OPENING FIRST.

No.	DATE	DESCRIPTION	BY
HOWARD I. SHAPIRO & ASSOCIATES CONSULTING ENGINEERS, P.C.			
266 MERRICK ROAD, SUITE 300, LYNBROOK, N.Y. 11563 TEL: (516) 791-2600 FAX: (516) 791-5425			
COPYRIGHT DESIGN NOT TO BE LENT, COPIED, OR REPRODUCED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN CONSENT.			
THIS OFFICE DISCLAIMS ANY RESPONSIBILITY FOR DRAWINGS OR OTHER DOCUMENTS RELATED TO THIS PROJECT UNLESS THEY BEAR THE SIGNATURE AND SEAL OF A PROFESSIONAL ENGINEER OF THIS OFFICE. THE NEW YORK STATE EDUCATION LAW PROHIBITS ANY ALTERATIONS TO, OR DEVIATIONS FROM, THIS DRAWING EXCEPT AS MAY BE MADE BY A LICENSED PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT WHO WILL BEAR THE RESPONSIBILITY FOR SUCH CHANGE.			
CLIENT NORTHSTAR CONTRACTING GROUP, INC. 32 WILLIAMS PARKWAY, E. HANOVER, NJ 07936 PH: (973) 884-8682			
PROJECT SITE SAFETY PLAN FOR DEMOLITION OPERATIONS AT 270 PARK AVENUE, MANHATTAN, NY			
ZONING INFORMATION BLOCK: 1283 LOT: 21 ZONE: C5-3 ZONING MAP: 8D COMMUNITY BOARD: 105 BIN #: 1035421			

SITE PLAN - GROUND FLOOR
Scale: 1" = 20'

TITLE FLOOR OPENING AT MADISON AVE SITE PLAN - GROUND FLOOR	
	DRAWING BY: SM DATE: 12/28/20 PROJECT NO: 18211.02.00 ENGINEER: JS SCALE: AS NOTED CHK BY: JS DWG NO: SSP-246.00



NOTES :

- 1.0 REFER TO SSP-201 AND SSP-202 FOR GENERAL NOTES FOR ADDITIONAL INFORMATION REGARDING THE USE OF MECHANICAL DEMOLITION EQUIPMENT AND SAFEGUARDS DURING DEMOLITION.
- 2.0 **DEMOLITION OF GROUND FLOOR SLAB AT THE B.1-LINE :**
 - 2.1 PRIOR TO DEMOLITION, INSTALL FOUNDATION WALL BRACING ALONG MADISON AVE. SEE SSP-249 FOR FOUNDATION WALL BRACING DETAILS.
 - 2.2 PRIOR TO DEMOLITION, REVIEW DEMOLITION MECHANICAL EQUIPMENT USE NOTES ON SSP-202.
 - 2.3 MARK OUT CUT LINES FOR AREAS WHERE SLAB WILL BE REMOVED. SCORE SLAB TO DEFINE BOUNDARY OF DEMOLITION.

IN CASES WHERE CONTINUOUS SLAB REINFORCEMENT EXTENDS FROM PORTION OF SLAB TO REMAIN TO PORTION OF SLAB TO BE REMOVED, WELD REBAR TO STEEL BEAM TO MAINTAIN ANCHORAGE PRIOR TO DEMOLISHING SLAB.

THE SPAN OF SLAB SHOWN HEREIN IS BASED ON THE ORIGINAL STRUCTURAL DRAWINGS. CONTACT THE ENGINEER AS NEEDED.
 - 2.4 VACATE AREA AT CELLAR AND SUB-CELLAR 1 DIRECTLY BELOW THE PORTION OF SLAB TO BE DEMOLISHED PLUS AN ADDITIONAL 25' IN ALL DIRECTIONS AS AN EXCLUSION ZONE FOR PROTECTION AGAINST FALLING DEBRIS. NO INDIVIDUAL SHALL BE PERMITTED IN THE EXCLUSION ZONE WHILE DEMOLITION IS IN PROGRESS.
 - 2.5 CHOP CONCRETE SLAB AND BEAM ENCASEMENT USING MECHANICAL EQUIPMENT. SEE SSP-201 FOR PERMISSIBLE EQUIPMENT.

THE CONCRETE DEMOLITION SHALL NOT COMPROMISE THE INTEGRITY OF THE STEEL FRAMING BRACING THE BUILDING COLUMNS. FLANGES AND WEBS SHALL NOT BE PERFORATED OR OTHERWISE DAMAGED BY THE DEMOLITION EQUIPMENT.

DEBRIS SHALL BE ADEQUATELY WETTED TO PREVENT DUST ACCUMULATION.
 - 2.6 CONCRETE DEBRIS IS PERMITTED TO DROP TO CELLAR LEVEL. PERIODICALLY CLEAN UP THE DEBRIS FROM CELLAR USING THE GARAGE RAMP.

AT THE END OF EACH WORK DAY, REMOVE DEBRIS ACCUMULATION.
 - 2.7 INSTALL GUARDRAILS AS LEADING EDGES ARE CREATED BY THE DEMOLITION OF THE SLABS.
 - 2.8 IF SLAB IS DEMOLISHED BY HAND METHODS, MEN SHALL TIE OFF AND STAND ON PLANKS WHEN CHOPPING SLAB.
- 3.0 ACCESS TO STAIR B BELOW THE GROUND FLOOR WILL BE ELIMINATED BY THE B.1-4 FLOOR OPENINGS AT SUB-CELLAR 1 TO SUB-CELLAR 3. TWO FIRE PROTECTED MEANS OF EGRESS ARE AVAILABLE FROM THE CELLAR: STAIR A AND STAIR O.

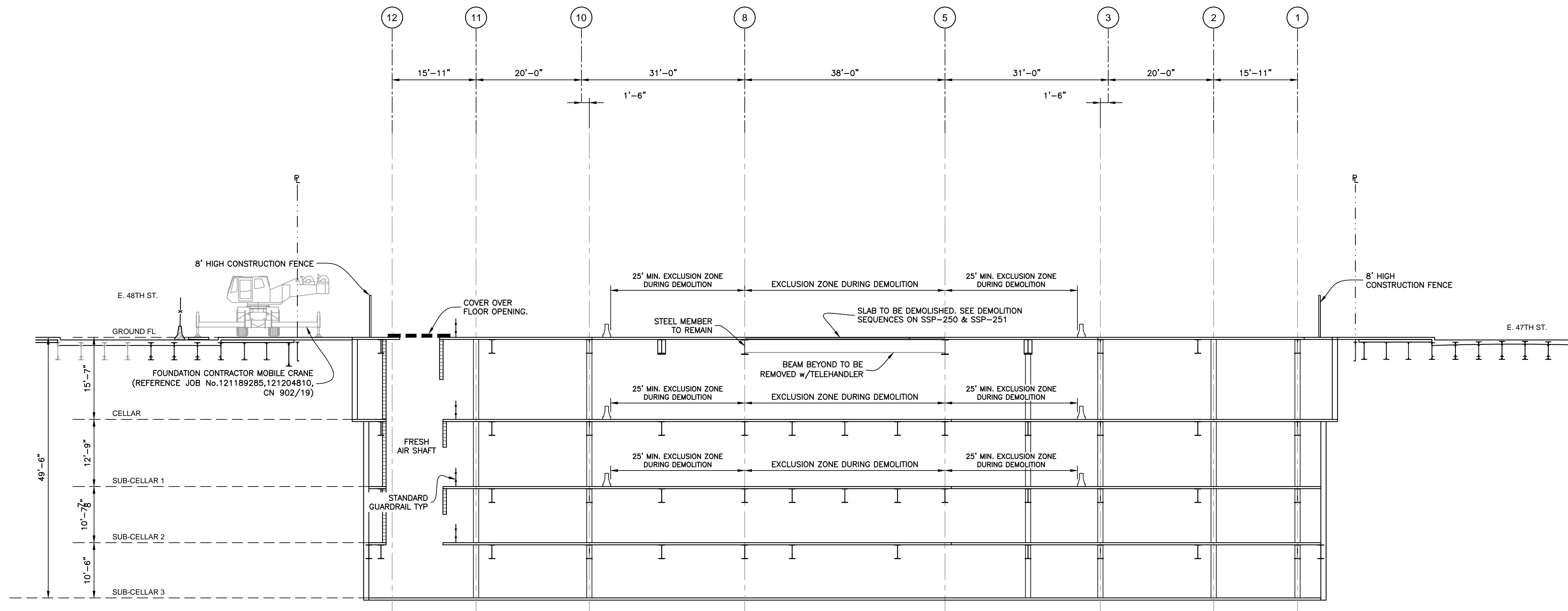
SOLIDLY BARRICADE DOOR EXITING FROM STAIR TO PREVENT ACCESS OUT OF STAIRWELL. PROVIDE A SIGNAGE TO INDICATE NO ACCESS AND SHAFT TOWARD DOOR.

ACCESS FROM SUB-CELLAR 3 TO GROUND FLOOR IN STAIR B SHALL REMAIN UNOBSTRUCTED.

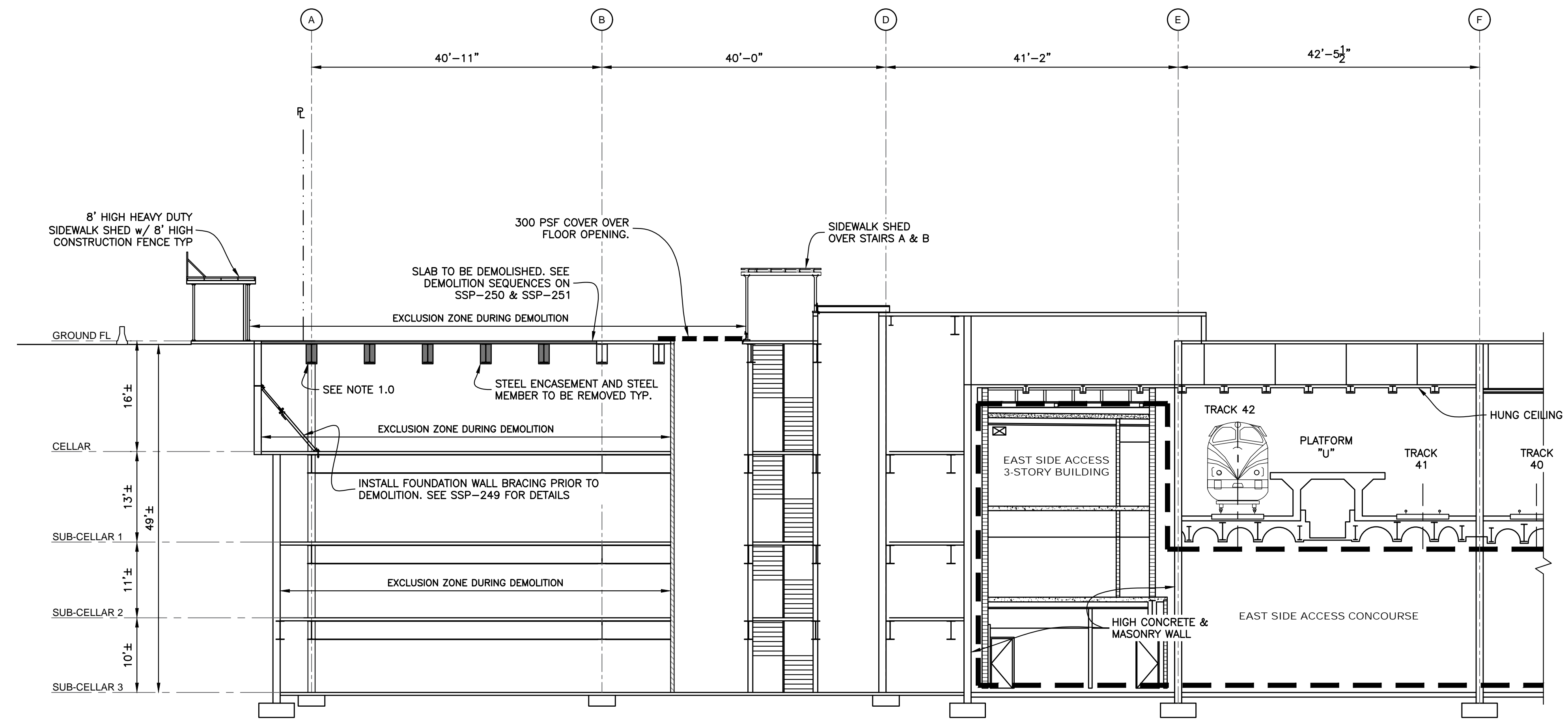
LEGEND	
	SLAB TO BE DEMOLISHED
	NO EGRESS AT FLOOR UNDER CONSIDERATION
	8' HEAVY DUTY SIDEWALK SHED TYP.
	16' HIGH SIDEWALK SHED TYP.
	STEEL BEAMS TYP.
	STEEL BEAMS TO BE REMOVED TYP.
	EXCLUSION ZONE
	SCORE SLAB ONLY TYP. SEE DETAIL ON SSP-301.
	DIRECTION OF SLAB RE-ENFORCEMENT TYP.
	EGRESS FOR FOUNDATION CONTRACTOR
	EGRESS FOR DEMOLITION CONTRACTOR
	EGRESS FOR MNR EMERGENCY EXIT
	DEBRIS LOADOUT PATH TYP.

No.	DATE	DESCRIPTION	BY
<p>HOWARD I. SHAPIRO & ASSOCIATES CONSULTING ENGINEERS, P.C.</p> <p>266 MERRICK ROAD, SUITE 300, LYNBROOK, N.Y. 11563 TEL: (516) 791-2600 FAX: (516) 791-5425 COPYRIGHT DESIGN NOT TO BE LENT, COPIED, OR REPRODUCED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN CONSENT.</p> <p><small>THIS OFFICE DISCLAIMS ANY RESPONSIBILITY FOR DRAWINGS OR OTHER DOCUMENTS RELATED TO THIS PROJECT UNLESS THEY BEAR THE SIGNATURE AND SEAL OF A PROFESSIONAL ENGINEER OF THIS OFFICE. THE NEW YORK STATE EDUCATION LAW PROHIBITS ANY ALTERATIONS TO, OR DELETIONS FROM, THIS DRAWING EXCEPT AS MAY BE MADE BY A LICENSED PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT WHO WILL BEAR THE RESPONSIBILITY FOR SUCH CHANGE.</small></p>			
CLIENT			
NORTHSTAR CONTRACTING GROUP, INC. 32 WILLIAMS PARKWAY, E. HANOVER, NJ 07936 PH: (973) 884-8682			
PROJECT			
SITE SAFETY PLAN FOR DEMOLITION OPERATIONS AT 270 PARK AVENUE, MANHATTAN, NY			
ZONING INFORMATION			
BLOCK: 1283 LOT: 21 ZONE: C5-3 ZONING MAP: 8D COMMUNITY BOARD: 105 BIN #: 1035421			
PLACE STICKER HERE		EXAMINER'S STAMP HERE	
TITLE			
FLOOR OPENING AT MADISON AVE GROUND FLOOR PLAN			
DRAWING BY: SM		DATE: 12/28/20	
PROJECT NO: 18211.02.00		ENGINEER: JS	
SCALE: AS NOTED		CHK BY: JS	
DWG NO:		SSP-247.00	
		131 OF 339	

GROUND FLOOR - PARTIAL PLAN
Scale : 1" = 15'-0"



SECTION A-A
Scale : 3/32" = 1'-0"

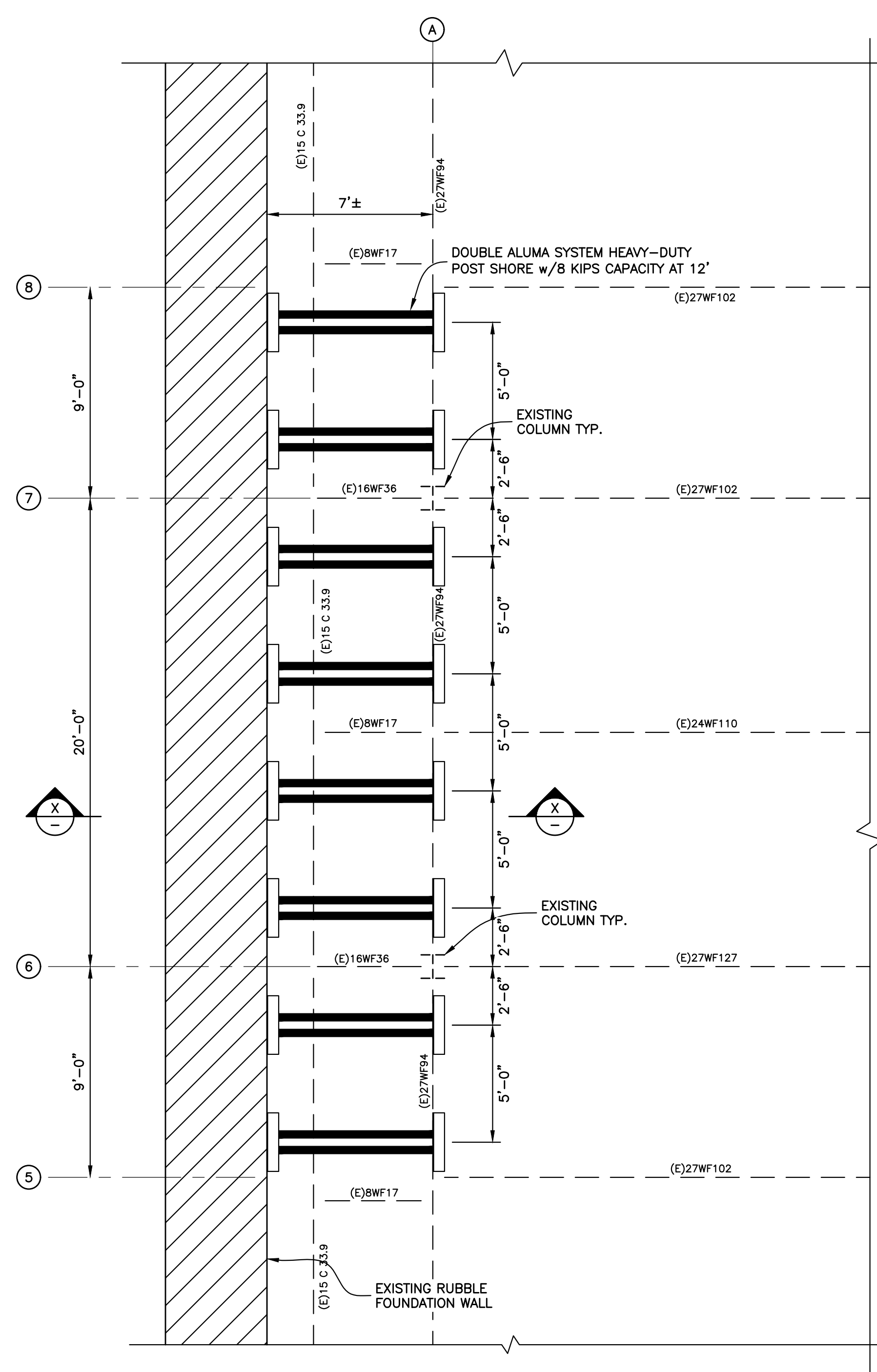


SECTION B-B
Scale : 3/32" = 1'-0"

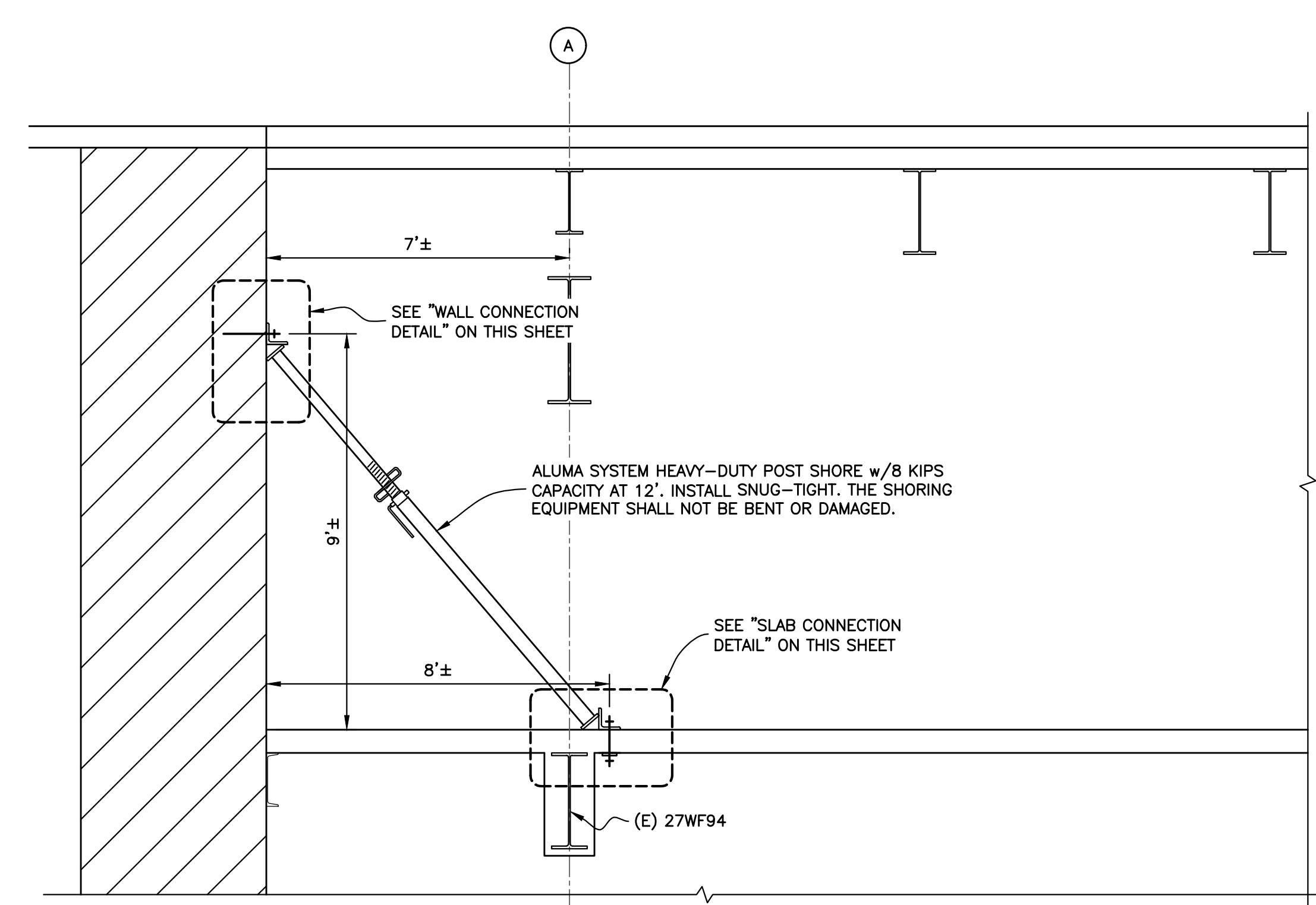
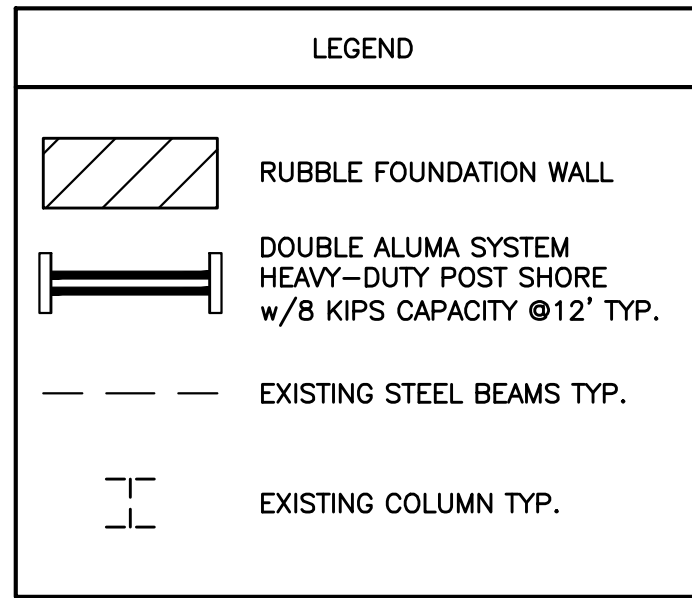
- NOTES :**
- 1.0 PORTION OF A-LINE HEADER BEAM TO REMAIN. REQUIRES SHORING PRIOR TO DISMANTLING THE PORTION TO BE REMOVED.
FOR A-LINE SHORING, REFERENCE BANKER STEEL DEMOLITION GRIDLINE A DRAWINGS EQ-001 AND EQ-002 FOR DEMOLITION SEQUENCE (UNDER SEPARATE APPLICATION).
 - 2.0 LOAD OUT DEBRIS VIA GARAGE RAMP.

No.	DATE	DESCRIPTION	BY
266 MERRICK ROAD, SUITE 300, LYNBROOK, N.Y. 11563 TEL: (516) 791-2600 FAX: (516) 791-5425 <small>COPYRIGHT DESIGN NOT TO BE LENT, COPIED, OR REPRODUCED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN CONSENT.</small> <small>THIS OFFICE DISCLAIMS ANY RESPONSIBILITY FOR DRAWINGS OR OTHER DOCUMENTS RELATED TO THIS PROJECT UNLESS THEY BEAR THE SIGNATURE AND SEAL OF A PROFESSIONAL ENGINEER OF THIS OFFICE. THE NEW YORK STATE EDUCATION LAW PROHIBITS ANY ALTERATIONS TO, OR SELECTIONS FROM, THIS DRAWING EXCEPT AS MAY BE MADE BY A LICENSED PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT WHO WILL BEAR THE RESPONSIBILITY FOR SUCH CHANGE.</small>			
CLIENT NORTHSTAR CONTRACTING GROUP, INC. 32 WILLIAMS PARKWAY, E. HANOVER, NJ 07936 PH: (973) 884-8682			
PROJECT SITE SAFETY PLAN FOR DEMOLITION OPERATIONS AT 270 PARK AVENUE, MANHATTAN, NY			
ZONING INFORMATION BLOCK: 1283 LOT: 21 ZONE: C5-3 ZONING MAP: 8D COMMUNITY BOARD: 105 BIN #: 1035421			
PLACE STICKER HERE		EXAMINER'S STAMP HERE	
TITLE FLOOR OPENING AT MADISON AVE SECTIONS A-A & B-B			
		DRAWING BY: SM DATE: 12/28/20 PROJECT NO: 18211.02.00 ENGINEER: JS SCALE: AS NOTED CHK BY: JS DWG NO:	
		SSP-248.00	
132 OF 339			

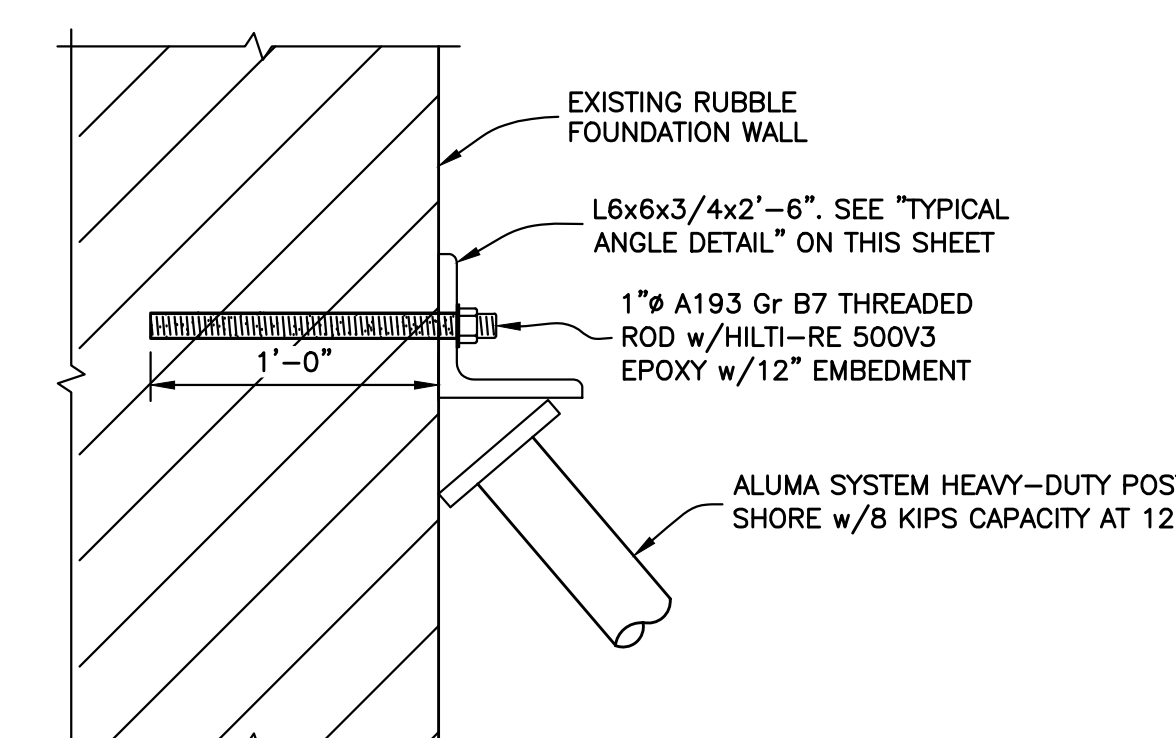
NOTE:
 THESE DETAILS ARE SCHEMATICS AND FOR REFERENCE ONLY.
 APPROVED CONSTRUCTION DOCUMENTS WILL BE ON SITE.



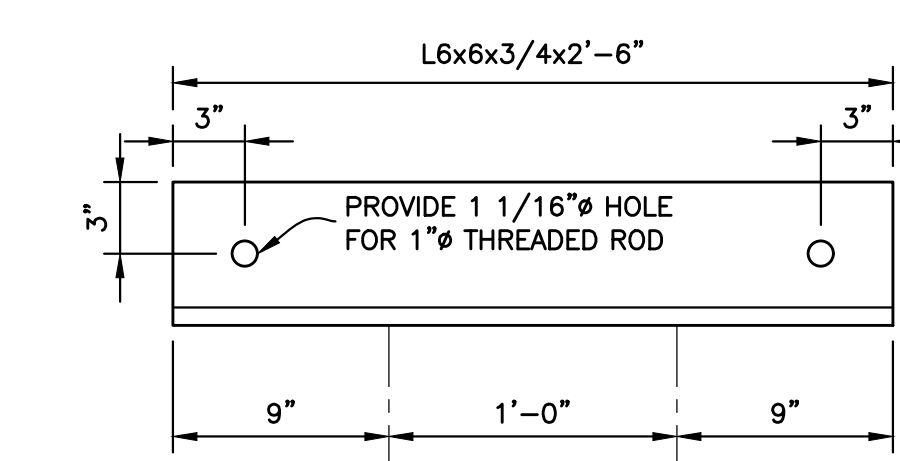
WALL BRACING PLAN
 Scale: 1/4" = 1'-0"



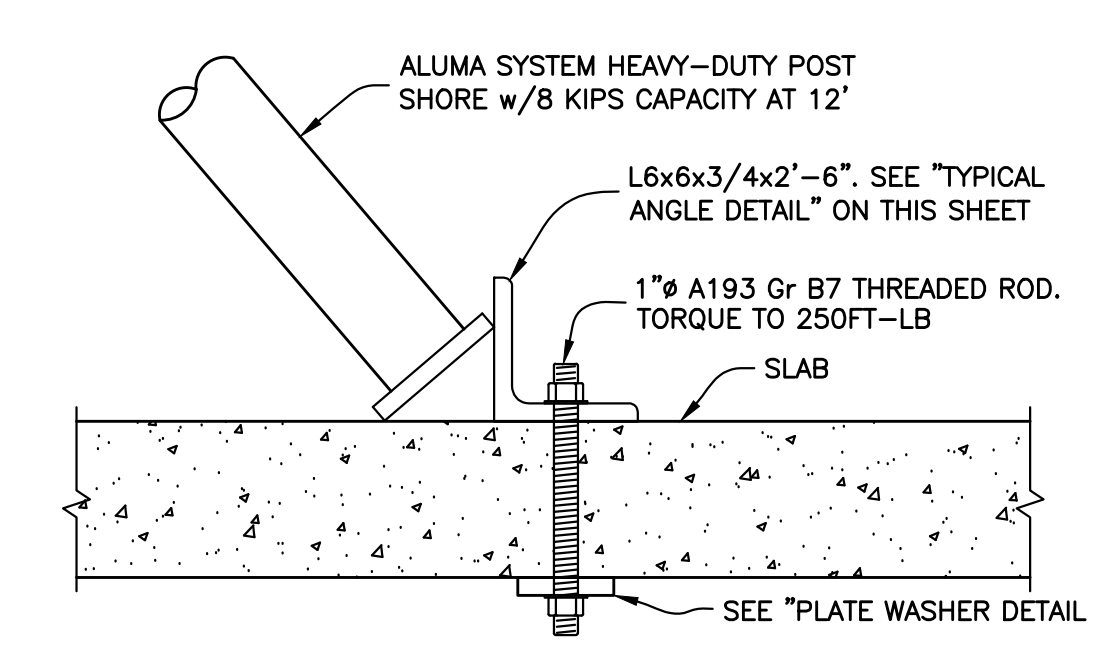
SECTION X-X
 Scale: 3/8" = 1'-0"



WALL CONNECTION DETAIL
 Scale: 1 1/2" = 1'-0"



TYPICAL ANGLE DETAIL
 Scale: 1 1/2" = 1'-0"



SLAB CONNECTION DETAIL
 Scale: 1 1/2" = 1'-0"

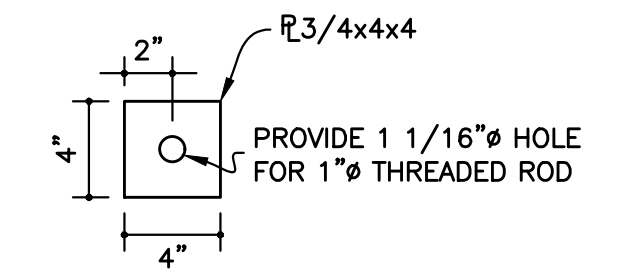
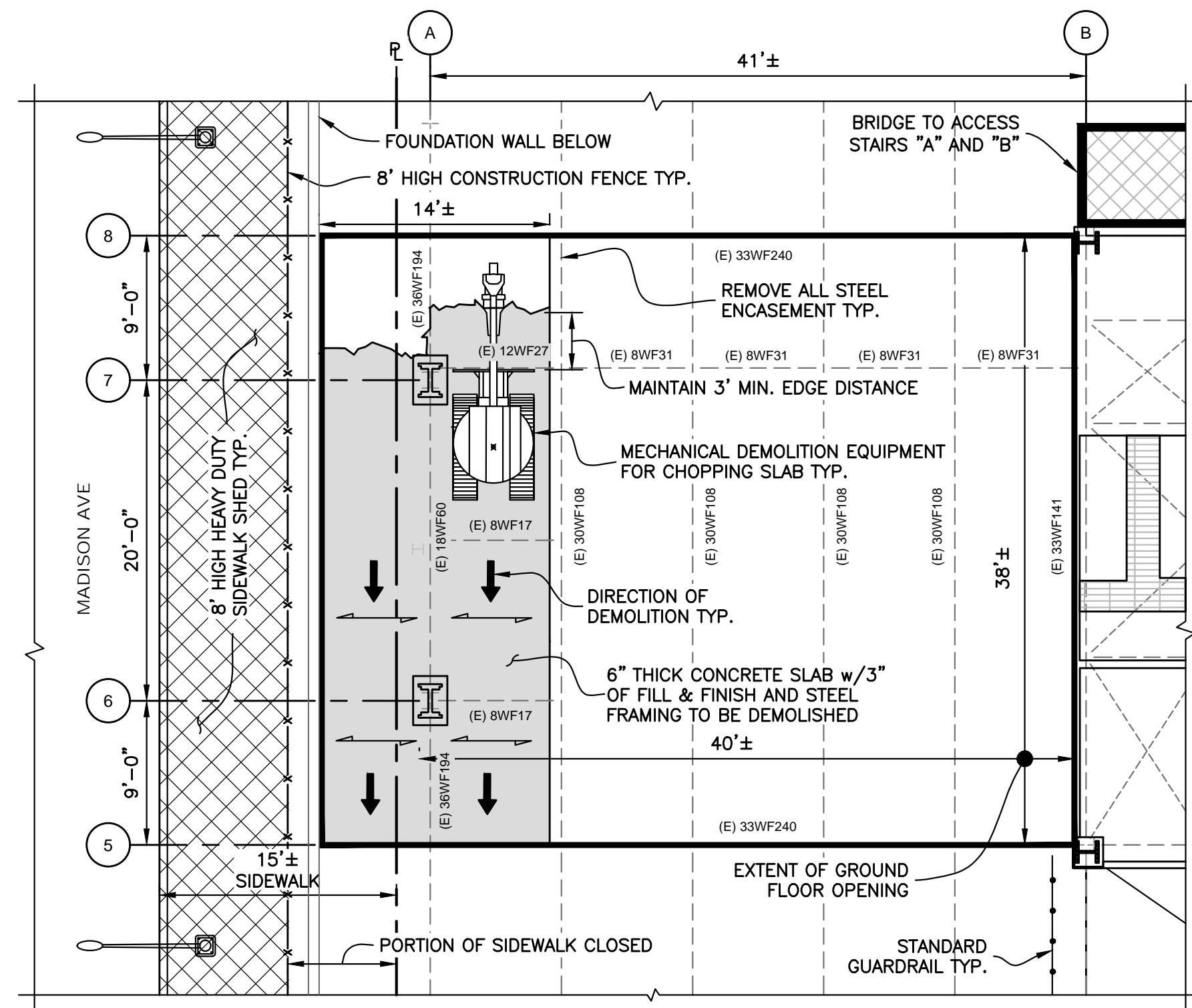
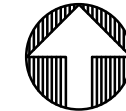


PLATE WASHER DETAIL
 Scale: 1 1/2" = 1'-0"

No.	DATE	DESCRIPTION	BY
HOWARD I. SHAPIRO & ASSOCIATES CONSULTING ENGINEERS, P.C.			
266 MERRICK ROAD, SUITE 300, LYNBROOK, N.Y. 11563 TEL: (516) 791-2600 FAX: (516) 791-5425			
<small>COPYRIGHT DESIGN NOT TO BE LENT, COPIED, OR REPRODUCED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN CONSENT. THIS OFFICE DISCLAIMS ANY RESPONSIBILITY FOR DRAWINGS OR OTHER DOCUMENTS RELATED TO THIS PROJECT UNLESS THEY BEAR THE SIGNATURE AND SEAL OF A PROFESSIONAL ENGINEER OF THIS OFFICE. THE NEW YORK STATE EDUCATION LAW PROHIBITS ANY ALTERATIONS TO, OR DELETIONS FROM, THIS DRAWING EXCEPT AS MAY BE MADE BY A LICENSED PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT WHO WILL BEAR THE RESPONSIBILITY FOR SUCH CHANGE.</small>			
CLIENT			
NORTHSTAR CONTRACTING GROUP, INC. 32 WILLIAMS PARKWAY, E. HANOVER, NJ 07936 PH: (973) 884-8682			
PROJECT			
SITE SAFETY PLAN FOR DEMOLITION OPERATIONS AT 270 PARK AVENUE, MANHATTAN, NY			
ZONING INFORMATION			
BLOCK: 1283 LOT: 21 ZONE: C5-3 ZONING MAP: 8D COMMUNITY BOARD: 105 BIN #: 1035421			
PLACE STICKER HERE		EXAMINER'S STAMP HERE	
TITLE			
FOUNDATION WALL BRACING CELLAR PARTIAL PLAN SECTION AND DETAILS			
		DRAWING BY: SM DATE: 12/28/20 PROJECT NO: 18211.02.00 ENGINEER: JS SCALE: AS NOTED CHK BY: JS DWG NO:	
APPROVED AMENDED PLAN 01/06/2021 CSC SSP		SSP-249.00	

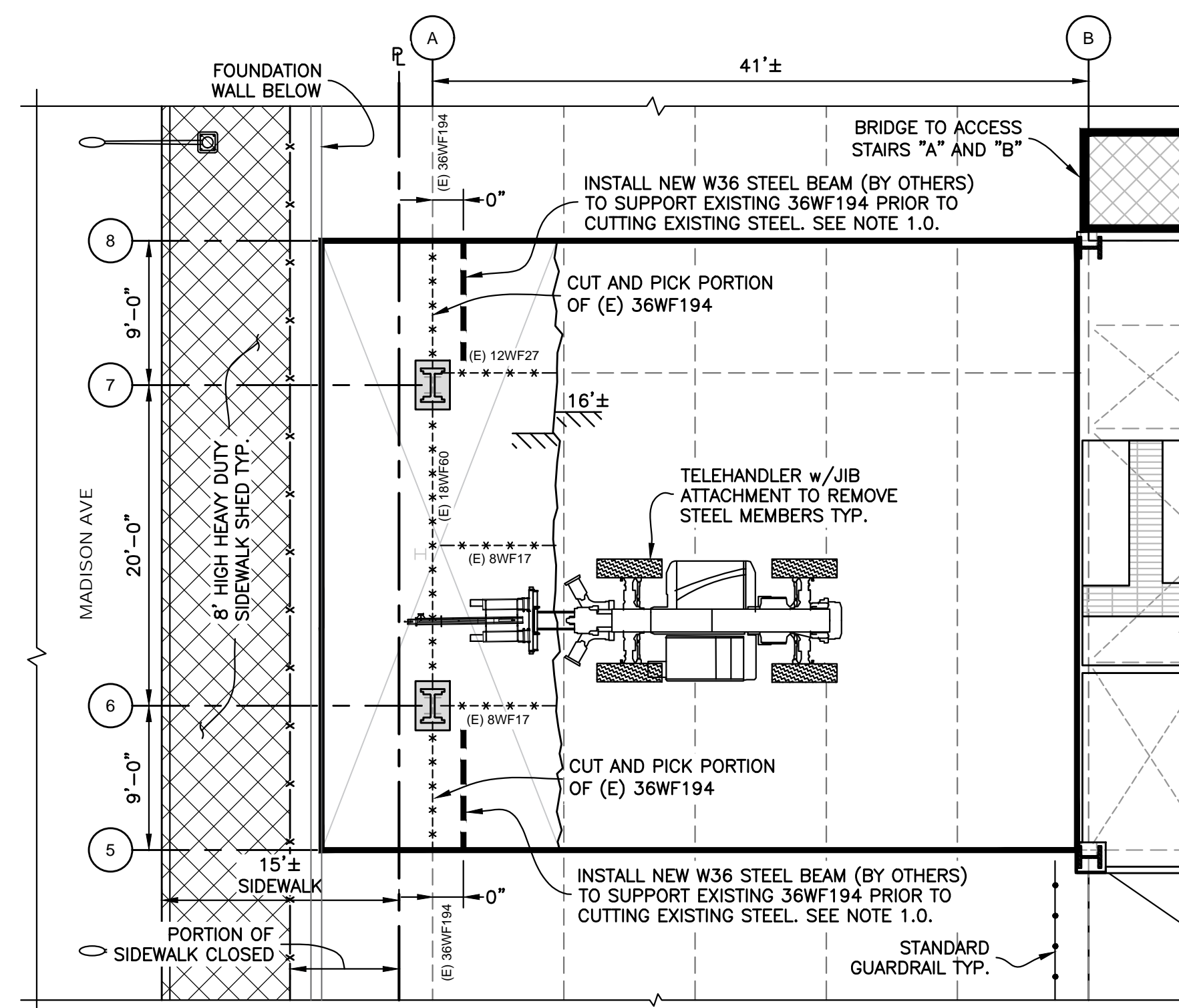


DEMOLITION SEQUENCE 1- PLAN
Scale: 1/8" = 1'-0"



SEQUENCE 1:

- PRIOR TO COMMENCING DEMOLITION, ENFORCE EXCLUSION ZONES AT THE WORK AREA AND AN ADDITIONAL 25' IN ALL DIRECTIONS SURROUNDING THE WORK AREA AT THE WORKING LEVEL AND ON TWO FLOORS BELOW.
PROVIDE STANDARD GUARDRAIL, YODOCKS, CAUTION TAPE, ROPE w/STANCHION OR EQUIVALENT TO DEMARK EXCLUSION ZONE.
- PROVIDE PLYWOOD PROTECTION OVER BRACING FOR FOUNDATION WALL TO DEFLECT DEBRIS PRIOR TO CHOPPING SLAB.
- DEMOLISH PORTION OF SLAB AS SHOWN IN PLAN BETWEEN 5 TO 8 LINES WITH MECHANICAL DEMOLITION EQUIPMENT. MECHANICAL DEMOLITION EQUIPMENT TO MAINTAIN A MINIMUM OF 3' EDGE DISTANCE BETWEEN EDGE OF BLADE OR TRACK AND WORKING FACE DURING SLAB DEMOLITION.

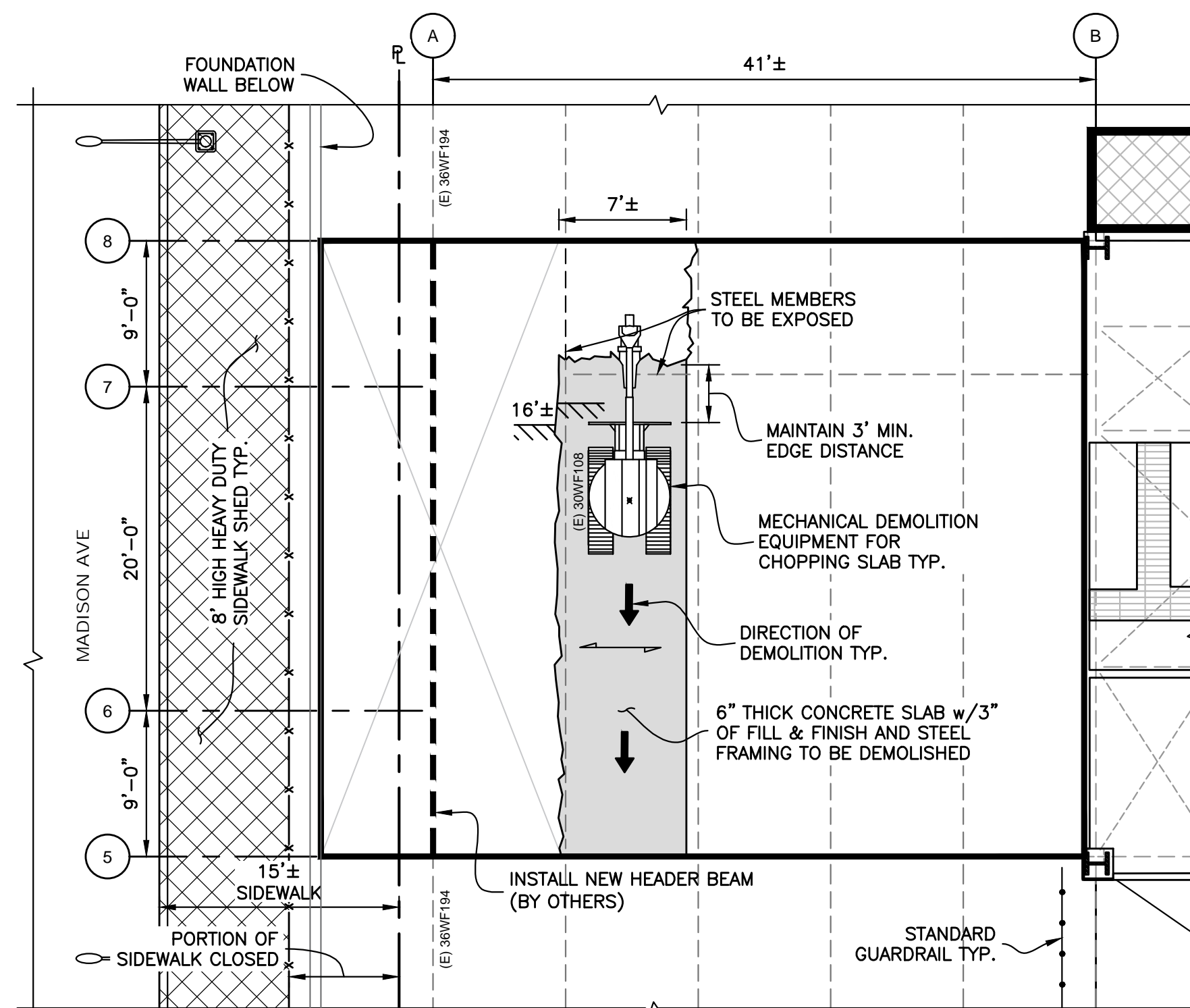


DEMOLITION SEQUENCE 2- PLAN
Scale: 1/8" = 1'-0"



SEQUENCE 2:

- INSTALL NEW W36 STEEL BEAM (BY OTHERS) TO SUPPORT EXISTING 36WF194 PRIOR TO CUTTING AND PICKING PORTION OF EXISTING STEEL ON THE A-LINE.
- CUT AND PICK PORTIONS OF EXISTING 36WF194 AFTER INSTALLING NEW W36 STEEL BEAM. REMOVE ALL ENCASEMENT PRIOR TO PICKING STEEL.
- CUT AND PICK EXISTING 18WF60. REMOVE ALL ENCASEMENT PRIOR TO PICKING STEEL.
- CUT AND PICK PORTION OF COLUMN AT THE 6 AND 7 LINES AT EL.-5'-6"±. REMOVE ALL ENCASEMENT PRIOR TO PICKING STEEL.



DEMOLITION SEQUENCE 3- PLAN
Scale: 1/8" = 1'-0"



SEQUENCE 3:

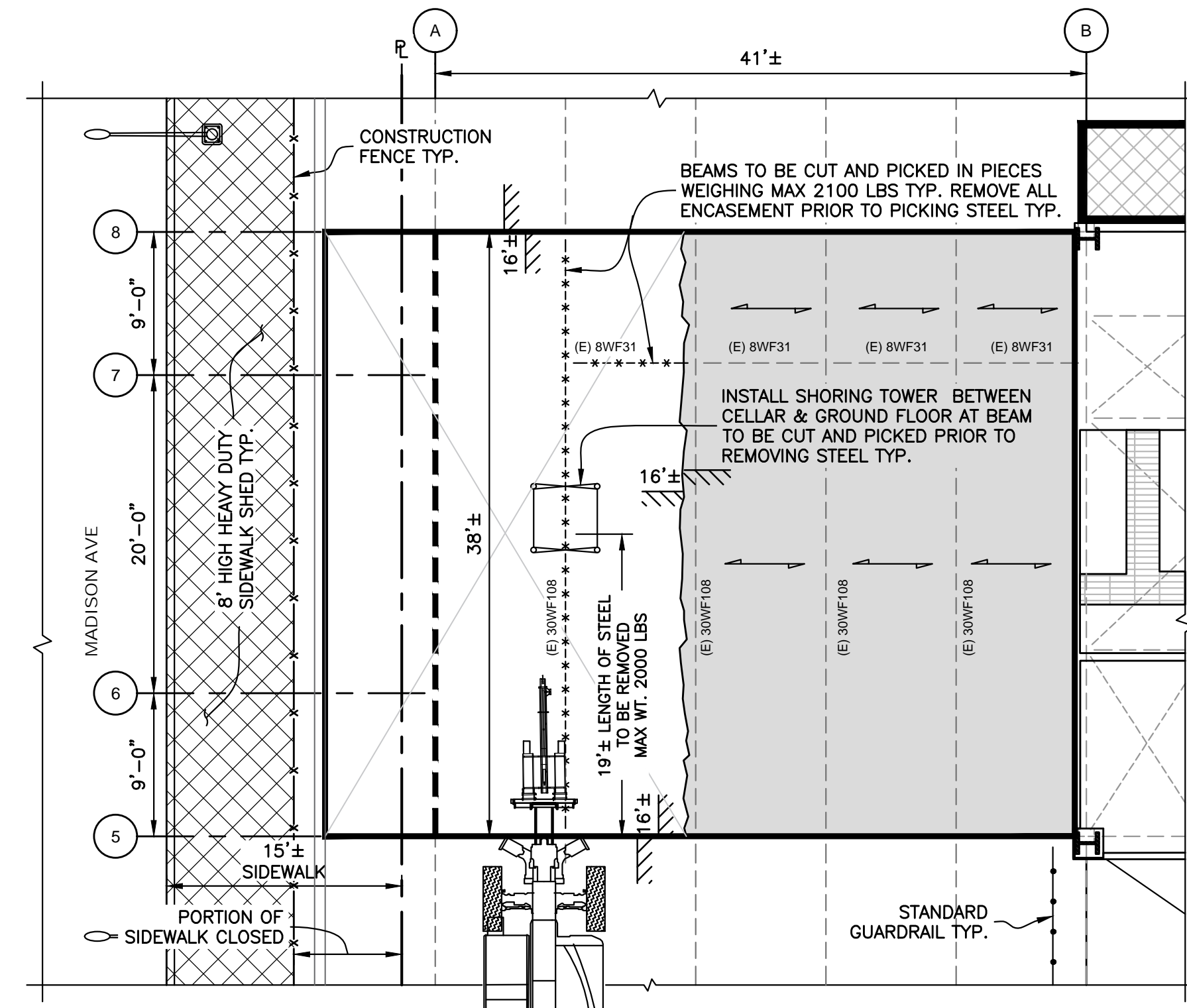
- INSTALL NEW HEADER BEAM (BY OTHERS) BETWEEN 5 TO 8 LINES.
- DEMOLISH PORTION OF SLAB AS SHOWN IN PLAN WITH MECHANICAL DEMOLITION EQUIPMENT.

LEGEND	
	EXTENT OF FLOOR OPENING
	SLAB TO BE DEMOLISHED
	8' HIGH HEAVY DUTY SIDEWALK SHED.
	DIRECTION OF SLAB DEMOLITION TYP.
	EXISTING STEEL BEAMS BELOW SLAB TYP.
	STEEL BEAMS TO BE REMOVED TYP.
	NEW STEEL BEAM TYP.
	STANDARD GUARDRAIL TYP.
	COLUMN TYP.
	COLUMN TO BE REMOVED TYP.

NOTES:

- PORTION OF A-LINE HEADER BEAM TO REMAIN. REQUIRES SHORING PRIOR TO DISMANTLING THE PORTION TO BE REMOVED.
FOR A-LINE SHORING, REFERENCE BANKER STEEL DEMOLITION GRIDLINE A DRAWINGS EQ-001 AND EQ-002 FOR DEMOLITION SEQUENCE (UNDER SEPARATE APPLICATION).
- LOAD OUT DEBRIS VIA GARAGE RAMP.

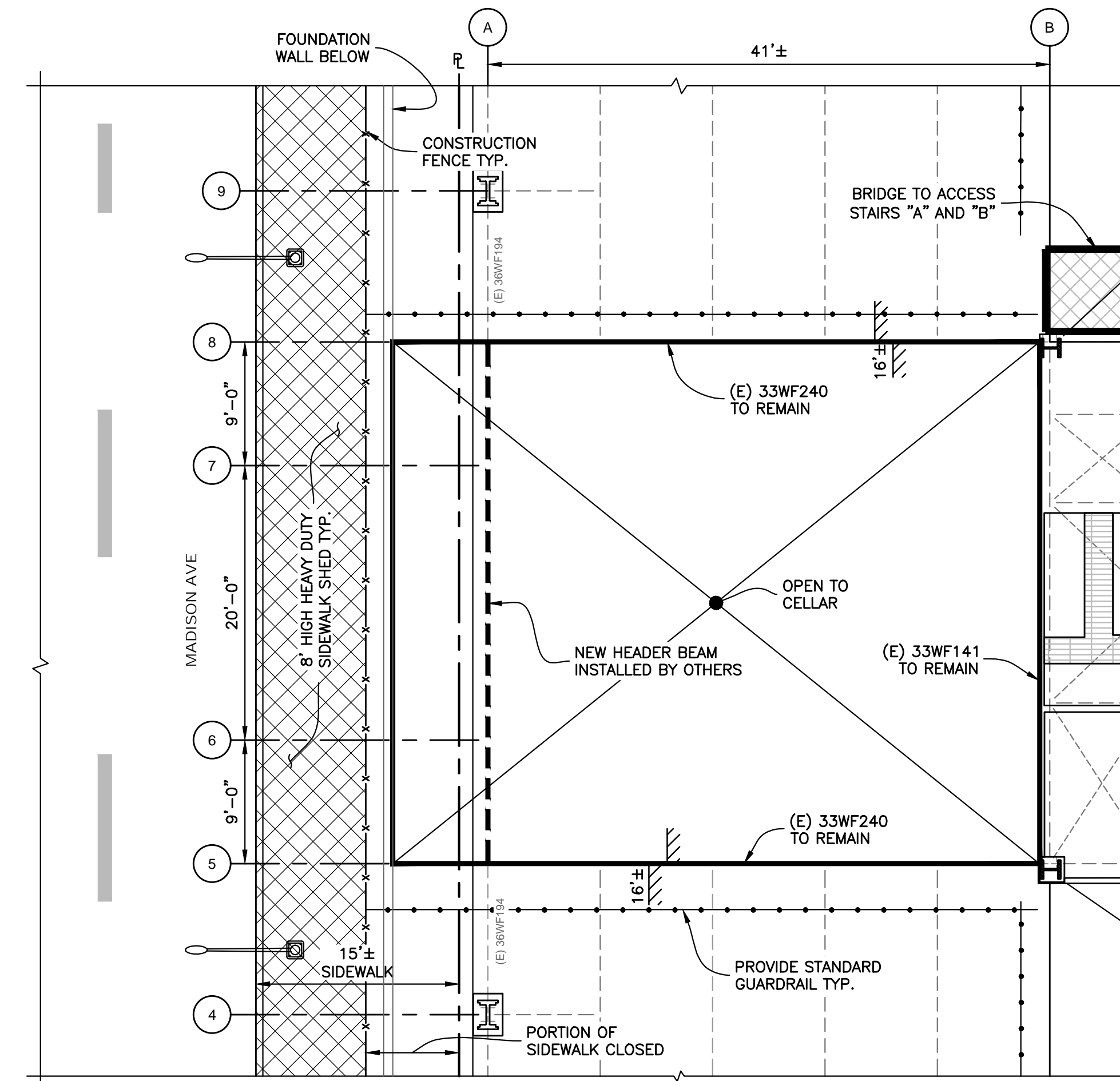
No.	DATE	DESCRIPTION	BY
266 MERRICK ROAD, SUITE 300, LYNBROOK, N.Y. 11563 TEL: (516) 791-2600 FAX: (516) 791-5425 <small>COPYRIGHT DESIGN NOT TO BE LENT, COPIED, OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT. THIS OFFICE DISCLAIMS ANY RESPONSIBILITY FOR DRAWINGS OR OTHER DOCUMENTS RELATED TO THIS PROJECT UNLESS THEY BEAR THE SIGNATURE AND SEAL OF A PROFESSIONAL ENGINEER OF THIS OFFICE. THE NEW YORK STATE EDUCATION LAW PROHIBITS ANY ALTERATIONS TO, OR SELECTIONS FROM, THIS DRAWING EXCEPT AS MAY BE MADE BY A LICENSED PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT WHO WILL BEAR THE RESPONSIBILITY FOR SUCH CHANGE.</small>			
CLIENT NORTHSTAR CONTRACTING GROUP, INC. 32 WILLIAMS PARKWAY, E. HANOVER, NJ 07936 PH: (973) 884-8682			
PROJECT SITE SAFETY PLAN FOR DEMOLITION OPERATIONS AT 270 PARK AVENUE, MANHATTAN, NY			
ZONING INFORMATION BLOCK: 1283 LOT: 21 ZONE: C5-3 ZONING MAP: 8D COMMUNITY BOARD: 105 BIN #: 1035421			
PLACE STICKER HERE		EXAMINER'S STAMP HERE	
TITLE FLOOR OPENING AT MADISON AVE DEMOLITION SEQUENCES 1 TO 3 PLAN VIEWS			
		DRAWING BY: SM DATE: 12/28/20 PROJECT NO: 18211.02.00 ENGINEER: JS SCALE: AS NOTED CHK BY: JS DWG NO:	
		SSP-250.00	
134 OF 339			



DEMOLITION SEQUENCE 4- PLAN
Scale: 1/8" = 1'-0"

SEQUENCE 4:

1. INSTALL SHORING TOWERS BETWEEN CELLAR TO GROUND FLOOR TO SUPPORT EXISTING STEEL BEAMS TO ALLOW CUTTING AND PICKING WITH TELEHANDLER.
2. CUT AND PICK 19'± LENGTH OF STEEL WEIGHING MAX 2100 LBS. REMOVE ALL ENCASUREMENT PRIOR TO PICKING STEEL.
3. REPEAT STEP 2 AS SHOWN IN DEMOLITION SEQUENCE 3 THEN REPEAT STEPS 1 AND 2 AS DESCRIBED ABOVE FOR EACH SUB-BAY, PRIOR TO MOVING ON TO THE NEXT SUB-BAY.



SEQUENCE 5- PLAN
Scale: 1/8" = 1'-0"

SEQUENCE 5:

1. INSTALL STANDARD GUARDRAIL AROUND FLOOR OPENING.

LEGEND	
	EXTENT OF FLOOR OPENING
	SLAB TO BE DEMOLISHED
	8' HIGH HEAVY DUTY SIDEWALK SHED.
	DIRECTION OF SLAB DEMOLITION TYP.
	EXISTING STEEL BEAMS BELOW SLAB TYP.
	STEEL BEAMS TO BE REMOVED TYP.
	NEW STEEL BEAM TYP.
	STANDARD GUARDRAIL TYP.
	COLUMN TYP.
	COLUMN TO BE REMOVED TYP.

No.	DATE	DESCRIPTION	BY
HOWARD I. SHAPIRO & ASSOCIATES CONSULTING ENGINEERS, P.C.			
266 MERRICK ROAD, SUITE 300, LYMBROOK, N.Y. 11563 TEL: (516) 791-2600 FAX: (516) 791-5425			
COPYRIGHT DESIGN NOT TO BE LENT, COPIED, OR REPRODUCED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN CONSENT.			
THIS OFFICE DISCLAIMS ANY RESPONSIBILITY FOR DRAWINGS OR OTHER DOCUMENTS RELATED TO THIS PROJECT UNLESS THEY BEAR THE SIGNATURE AND SEAL OF A PROFESSIONAL ENGINEER OF THIS OFFICE. THE NEW YORK STATE EDUCATION LAW PROHIBITS ANY ALTERATIONS TO, OR DELETIONS FROM, THIS DRAWING EXCEPT AS MAY BE MADE BY A LICENSED PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT WHO WILL BEAR THE RESPONSIBILITY FOR SUCH CHANGE.			

CLIENT
NORTHSTAR CONTRACTING GROUP, INC.
32 WILLIAMS PARKWAY, E. HANOVER, NJ 07936
PH: (973) 884-8682

PROJECT
SITE SAFETY PLAN FOR
DEMOLITION OPERATIONS AT
270 PARK AVENUE, MANHATTAN, NY

ZONING INFORMATION
BLOCK: 1283
LOT: 21
ZONE: C5-3
ZONING MAP: 8D
COMMUNITY BOARD: 105
BIN #: 1035421

PLACE STICKER HERE

EXAMINER'S STAMP HERE

TITLE
FLOOR OPENING AT MADISON AVE
DEMOLITION SEQUENCES 4 & 5
PLAN VIEWS

SEAL & SIGNATURE

APPROVED
AMENDED PLAN
01/06/2021
CSC SSP

DRAWING BY: SM DATE: 12/28/20
PROJECT NO: 18211.02.00
ENGINEER: JS
SCALE: AS NOTED
CHK BY: JS
DWG NO: SSP-251.00