Permit # B1709931 Date 09/27/17

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All work must be done strictly in accordance with an approved plans. Approved plans shall be kept on the site until completion of the construction. No inspection will be made without approved plans on site. The approval does not prevent a field inspection from ordering corrections to meet codes when issues are noted during inspections

Visitors Education Jobs Online Services Residents Business Government DC Home > DCRA Home

Logged in as:David Landsman | Collections (1) ▼ | (Cart (2) | Account Management | Logout

Search.

Cart

Home

1 Select item to pay

2 Payment information

Licenses

Services

3 Receipt/Record

Step 1: Select item to pay

Click on the arrow in front of a row to display additional information. Items can be saved for a future checkout by clicking on the Save for later

PAY NOW

2320 S ST NW, 20008

1 Application(s) | \$22,000.00

Addition Alteration Repair Permit 17TMP-019419

\$22,000.00 Edit

Save for later

Remove

4009 48TH ST NW, 20016

1 Application(s) | \$1.43

New Building Permit 17TMP-019415

\$1.43 <u>Edit</u>

Save for later

Remove

Total amount to be paid: \$22,001.43

Note: This does not include additional fees which may be assessed later.

Continue Shopping »

Renovation / Addition to SFD

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6/22/2017

Department of Consumer and Regulatory Affairs

Best of the Web Finalist 2013

GOVERNMENT OF THE DISTRICT OF COLUMBIA PERMIT OPERATION DIVISION Plans Approved

Permit # B1709931 Date 09/27/17

All work must be done strictly in accordance herewith an approved plans. Approved plans shall be kept on the site until completion of the construction. No inspection will be made without approved plans on site. The approval does not prevent a field inspection from ordering corrections to meet codes when issues are noted during inspections

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DC.gov Home

herewith an approved plans. Approved plans shall be kept on the site until completion of the construction. No inspection will be made without approved plans on site. The approval does not prevent a field inspection from ordering corrections to meet codes when issues are noted during inspections

The second secon

Online Services Mayor Visitors Education Jobs Residents Business Government DC Home > DCRA Home

Logged in as:David Landsman | Collections (1) ▼ | Scart (2) | Account Management | Logout

Search.

Services Licenses Home

Request a Building Permit, Shop Drawing Approval, or Survey Plat

Addition Alteration Repair Permit

5 Review 6 Pay Fees 7 Record Issuance 1 2 3 Step 3 4 Step 4

Step 5: Review

Save and resume later Continue Application »

Please review all information below. Click the "Edit" buttons to make changes to sections or "Continue Application" to move on.

Record Type

Addition Alteration Repair Permit

Edit Address

If you search for and select the address of the first lot, the Parcel will be automatically retrieved in the property ID.

2320 S ST NW

Edit Parcel

You must provide the correct Square, Suffix and Lot for the first lot in your request. If you are not certain about the Square and Lot numbers, you may search for them by address from the PIVS < https://pivsservices.dcra.dc.gov/PIVS/Search.aspx> website.

Square Suffix Lot: 2517 0046

Edit Owner

THE CHERRY REVOCABLE TRUSTE UNDER TRUST AGREEMENT

Email:

Agent Authorization

Edit **AUTHORIZED AGENT**

Is an Agent authorized to act on behalf of the Owner?: Yes

Edit **Applicant**

To edit applicant information, click on Edit button on title bar.

David C Landsman CAS Engineering Fax: 1001 Connecticut Avenue, NW E-mail: Suite 401 Washington, DC, 20036

Description of Work

Interior renovations on all levels to existing building to a single-family dwelling with updated systems and finishes and to Description: renovate existing detached sub-grade garage. Construct rear addition, elevators, terraces, walks, retaining walls, utilities, stormwater management. pergola, drainage and associated appurtenances.

General Information

Edit **General Information**

1

Date 09/27/17

一日 こうしゅうしゅう 一日 こうかん かんしゅう かんしゅう かんしゅう

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6/22/2017

Department of Consumer and Regulatory Affairs

Enter all floors involved in proposed construction.:

1, 2, 3, 4

Square Feet of Site Disturbed:

34900

Is this Property located in a FloodPlain Zone?:

No

Is this Project being submitted for a 3rd Party Review?:

No

without approved plans on site. The does not prevent a field inspection to ordering corrections to meet codes issues are noted during inspections.

Edit

Engineer

To edit applicant information, click on Edit button on title bar.

Christopher Cobb 1200 Architectural Engineers, PLLC 210 N Lee Street Alexandria, VA, 22314

Phone #

Architect

Anthony S Barnes Barnes Vanze Architects, Inc. 1000 Potomac Street, NW Suite L-2 Washington, 20008

Phone #
Architect -3844
abarnes@barnesvanze.com

abarriesgiburriesve

Contractor

George Fritz Horizon Builders of Washington, LLC 2131 Espey Court

Suite 3 Crofton, 21114 Phone # Contractor -69010520

Permit Information

ADDITION / ALTERATION & REPAIR Edit

Existing Use of Building or Property: Museums - A-3

Existing Number of Stories of Building:

Existing Stories Plus:

Cellar

Existing Penthouse:

No

Existing Number of Dwelling Units: 1

Proposed Use of Building or Property: Single Family Dwelling - R-3

Proposed Number of Stories of Building: 3

Proposed Number of Stories of Building:

Proposed Stories Plus:

Cellar Proposed Penthouse:

No
Proposed Number of Dwelling Units:

 Starting Date (mm/dd/yyyy):
 08/01/2017

 Completion Date of Work (mm/dd/yyyy):
 08/01/2019

Method for Removing Construction Debris: Pick-Up Truck

Does the proposed work involve disturbing the earth or razing a building?:

Yes - Answer Question A

Is the area of disturbed earth more than 50 Sqft.?: Yes - Answer Questions (B and C)

Soil Erosion Control Methods:

Area of offsite drainage:

Number of Footings or Columns:

1

Size of Footings or Columns: 24

Is the area of disturbed earth more than 5,000 Sqft?: Yes

Fire Suppression: Fully Sprinklered

Total Lot - Area: 34125

Lot area percentage - Building: 26.9

Lot area percentage - Paved Area: 23

Lot area percentage - Paves Area.

Lot area percentage - Greenery:

Present gross floor area of the building:

1

Proposed gross floor area of the building:

1

Is projection beyond building line: No - Skip Questions (A thru E)

4

Water or sewer excavation?:

Driveway construction:

Sheeting or shoring necessary:

Elevators involved?:

No of Elevators:

Plans certified by engineer:

Alteration and Repair cost:

Yes

11640000

 Alteration and Repair cost:
 116400

 Total Valuation cost:
 360000

 Length:
 62.5

Permit # B1709931

All work must be done strictly in accordance herewith an approved plans. Approved plans shall be kept on the site until completion of the construction. No inspection will be made without approved plans on site. The approval does not prevent a field inspection from ordering corrections to meet codes when

Floors involved with this permit:

Permit	#	B1709931	Date	09/27/17

All work must be done strictly in accordance herewith an approved plans. Approved plans shall be kept on the site until completion of the construction. No inspection will be made without approved plans on site. The approval does not prevent a field inspection from ordering corrections to meet codes when issues are noted during inspections

The second secon

2017	Department of Consumer and Regulatory Affairs						
Width:		167.1					
Height:		40					
Total Number of Floors:		4					
Was the Structure Built Before 1978?:		Yes					
Permit Information							
GREEN BUILDING			Edit				
Is the Project Publicly-Owned or Financed?:		No					
Questions							
DDOE ENVIRONMENTAL QUESTIONS			Edit				
Will the work to be performed involve the in repair of Underground Storage Tank (UST) s		No					
Will the work to be performed involve assess associated with the released material from a		No					
Will the work to be performed involve assessible with the released material from an undergro		No					
Will proposed work involve the installation of purposes stated in the previous questions?:		No					
Will the proposed project involve installation methods or any method discharging gases of		No					
Will the proposed project involve the genera transportation of chemicals or other substant		No					
Will the proposed use involve the constructi storage, disposal or treatment of solid wast		No					
Will the proposed project involve construction or withdrawal from a river, stream, wetlands in rivers, streams or wetlands?:		No					
Will the proposed project involve construction biota, their habitat, or water quality?:	on which may affect aquatic or terrestrial	No					
Does the project site contain a species of pla	int or animal that is federally protected?:	No					
Will the proposed project result in the discher creation of any objectionable odors?:	arge into the air of gases or dust or the	No					
Will the proposed project or the work to be parea or 100-year floodplain area (i.e., Zone		No					
Will the proposed project result in the const burns fuel such as, but not limited to, statio heat input ratings greater than 5 million BTU		No					
Will the proposed project result in the const	ruction or installation of any other stationary	No					

Attachment Edit

Upload the required documents.

If you are applying for a Certificate of Occupancy click on the following link for requirements: Certificate of Occupancy Check List and Process

If you are applying for a Construction Permit, or Shop Drawing approval, DO NOT upload your plans here; you will receive an email notification with instructions on how to upload the plans.

Building Plat requests do not require attached documents.

The maximum file size allowed is 10 MB. html;htm;mht;mhtml are disallowed file types to upload.

Doc Name Upload Date Description Туре
No records found.

I hereby certify that the name provided in this application has the authority as the owner of the property, or as an agent for the owner, to submit this application. I certify that the information provided is complete and correct to the best of my knowledge. I understand that the name provided will be the name printed on the application.

False statements may be subject to fines and prosecution as applicable by statute. If the District of Columbia government learns that the person submitting this application is not authorized to do so, any permits or licensing affiliated with this application may be revoked or suspended. By checking the box below, I understand and agree that I am electronically signing and filing this application.

By checking this box, I agree to the above certification.

Save and resume later

Date: 06/22/2017

Continue Application »

Department of Consumer and Regulatory Affairs

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATION DIVISION
Plans Approved

Permit # B1709931 Date 09/27/17

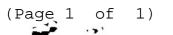
All work must be done strictly in accordance herewith an approved plans. Approved plans shall be kept on the site until completion of the construction. No inspection will be made without approved plans on site. The approval does not prevent a field inspection from ordering corrections to meet codes when issues are noted during inspections

District News	Information Centers	Community	About DC	Contact Us issues are
Mayor's Public Schedule	72hours Emergency Planning	Citywide Calendar	Mayor's Office	Call 311
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Subscribe to Text Alerts	Education	DC Procurement	Emancipation	Send Feedback
Online Chats	Health	Green DC	Consumer Protection	Grade DC
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Department of Consumer and Regulatory Affairs

Permit Operations Division 1100 4th Street SW Washington DC 20024







BUILDING PERMIT

THIS PERMIT MUST ALWAYS BE CONSPICUOUSLY DISPLAYED AT THE ADDRESS OF WORK UNTIL WORK IS COMPLETED AND APPROVED

issue Date: 10/11/2017

		• -	
SCRUT	NIO	D47	20004
PERMIT	NO	817	09937

Ward: Square: Suffix: Lot:

2320 - 2330 S ST NW	*		Zone:	Ward:	Square:	Suffix:	Lot:		
2320 - 2330 5 51 NVV					R-1-B	<u>2</u> .	2517		0046
Description Of Work: Interior renovations on all levels to existing rear addition, elevators, terraces, walks, r	etaining walls, utilitie	s, stormwater management.					sub-grade g	arage. Cons	truct
***DEMO, FOUNDATION, ADDITION PO	P BACK, ALTERATI	ION LEVEL 3						· ·	
Permission Is Hereby Granted T	o:	Owner Address:				P	ERMIT F	EE:	,
The Cherry Revocable Truste	Under Trust A	5301 WISCONSIN A WASHINGTON, DC		\$148,587.32					
Permit Type: Addition Alteration Repair	Existing Use Museums			Proposed Use: Single Family Dwelling - I				F	Plans:
Agent Name: David C Landsman	Agent Address 1001 Connect Suite 401 Washington,	licut Avenue, Nw	Existing Dw Units: 1	eli	Proposed Dwell Units:	No. of		Floor(s) Involved 4	
Ohma Patrion / Daniel Matriota									

Conditions/ Restrictions:

A Wall Test Report is required before the wall reaches a height of 1 foot above footer, or in the case of other vertical construction, when a template or form is located and noted (12 DCMR 109.3.1.2).

1. Gas fired appliances shall be provided combustion air and venting, in accordance with the requirements of Sections G2407 & G2427 of the 2012 IRC. Termination locations to comply with the referenced sections.

All IRC section E3706.3 requirements must be met for all panel boards. Motors and appliances rated 18th HP or more shall be provided with disconnects per IRC section E4101.5. Branch circuits cannot be loaded past 80%. New outlets in habitable spaces shall be AFCI per IRC section E3902.12. GFI per IRC section E3902.

This Permit Expires if no Construction is Started Within 1 Year or if the Inspection is Over 1 Year.

All Construction Done According To The Current Building Codes And Zoning Regulations;

As a condition precedent to the Issuance of this permit, the owner agrees to conform with all conditions set forth herein, and to perform the work authorized hereby in accordance with the approved application and plans on file with the District Government and in accordance with all applicable laws and regulations of the District of Columbia. The District of Columbia has the right to enter upon the property and to inspect all work authorized by this permit and to require any change in construction which may be necessary to ensure compliance with the permit and with all the applicable regulations of the District of Columbia. Work authorized under this Permit must start within one(1) year of the date appearing on this permit or the permit is automatically void. If work is started, any application for partial refund must be made within six months of the date appearing on this permit.

Lead Paint Abatement

Whenever any such work related to this Permit could result in the disturbance of lead based paint, the permit holder shall abide by all applicable paint activities provisions of the 'Lead Hazard Prevention and Elimination Act of 2008' and the EPA 'Lead Renovation, Repair and Painting rule' regarding lead-based include adherence to lead-safe work practices. For more information, go to http://ddoe.dc.gov, Lead and Healthy Housing.

Director	
Melinda	Bolling

Melinde Bolling

Permit Clerk

Gwendolyn Owens

Awendolyn Owens



Customer:

Date: September 29, 2017

Invoice Number: 2491665

Department of Consumer and Regulatory Affairs

Permit Operations Division 1100 4th Street SW Washington DC 20024

Fax

IRANITURING SQUIDE AREASURY Date:

10/11/2017 9:58 AM DCRA Term:

Office: WFE02-9480 Batch: 52326 Batch Date 10/11/2017

Cashier: OFTOS Trans #: 8

DEPARTMENT OF CONSUMER & Ropt: 02314671

Comment/Document: b1709931

Payment Total: \$128,587.32

Payment Distribution:

6710 CRO (3012) 60300-pps20 \$9,043.87

CK Tendered: \$128,587.3

6710 CRO (3012) 60300-ops20 \$119,543.4

THE CHERRY REVOCABLE TRUSTE UNDER TRUST

INVOICE

AGREEMENT

5301 WISCONSIN AVE NW STE 710 Mailing Address:

WASHINGTON, DC 200152040

Address of Work: 2320 - 2330 S ST NW

WASHINGTON, DC 20008

Permit:

B1709931

Addition Alteration Repair Type of Permit:

Description: Acct Code: Fees:

> Addition / Alteration & Repair Fee \$106,857.68

> > Enhanced Service Fee - Filing Fee \$2,000.00

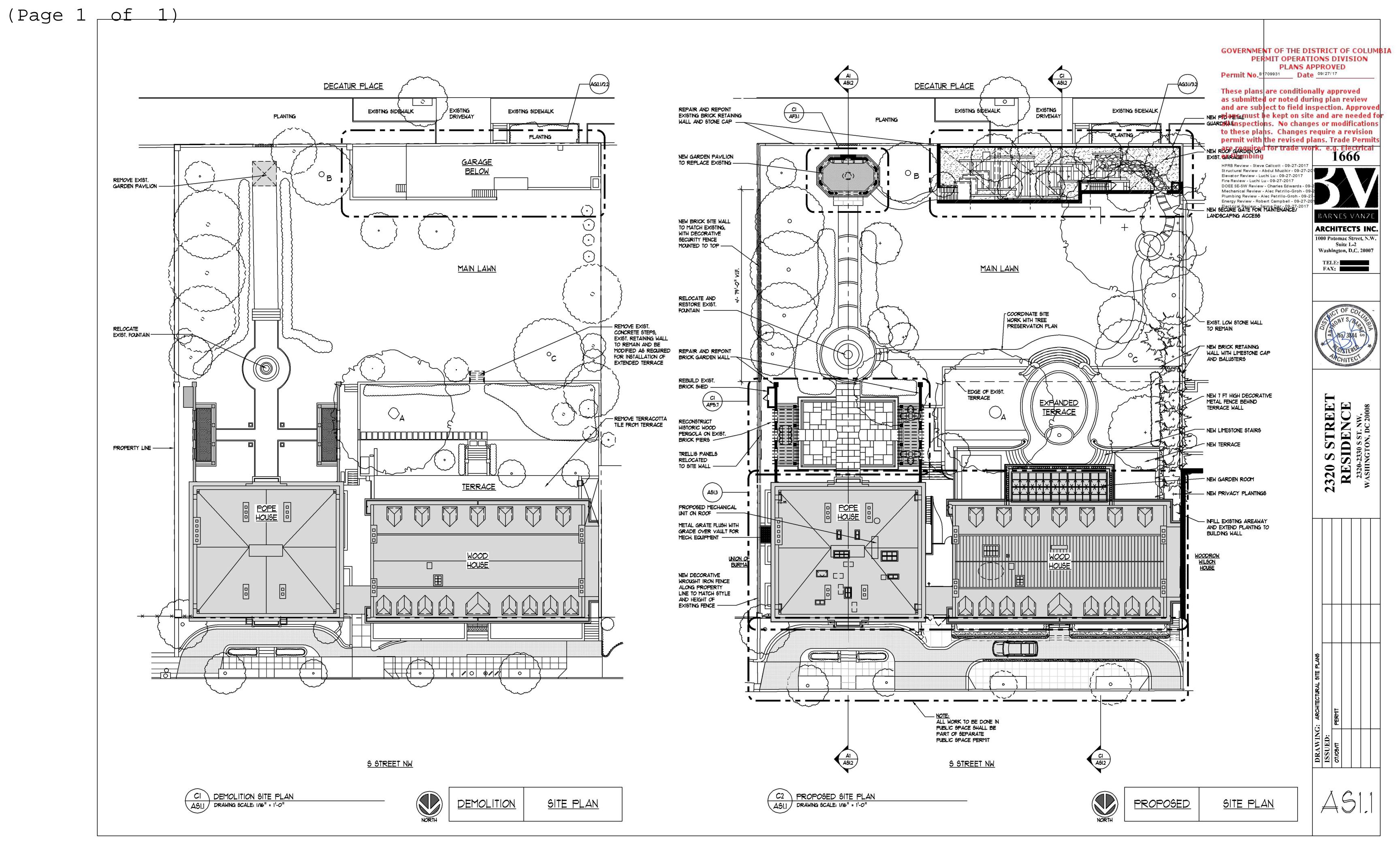
Green Bullding Fee \$8,221.70

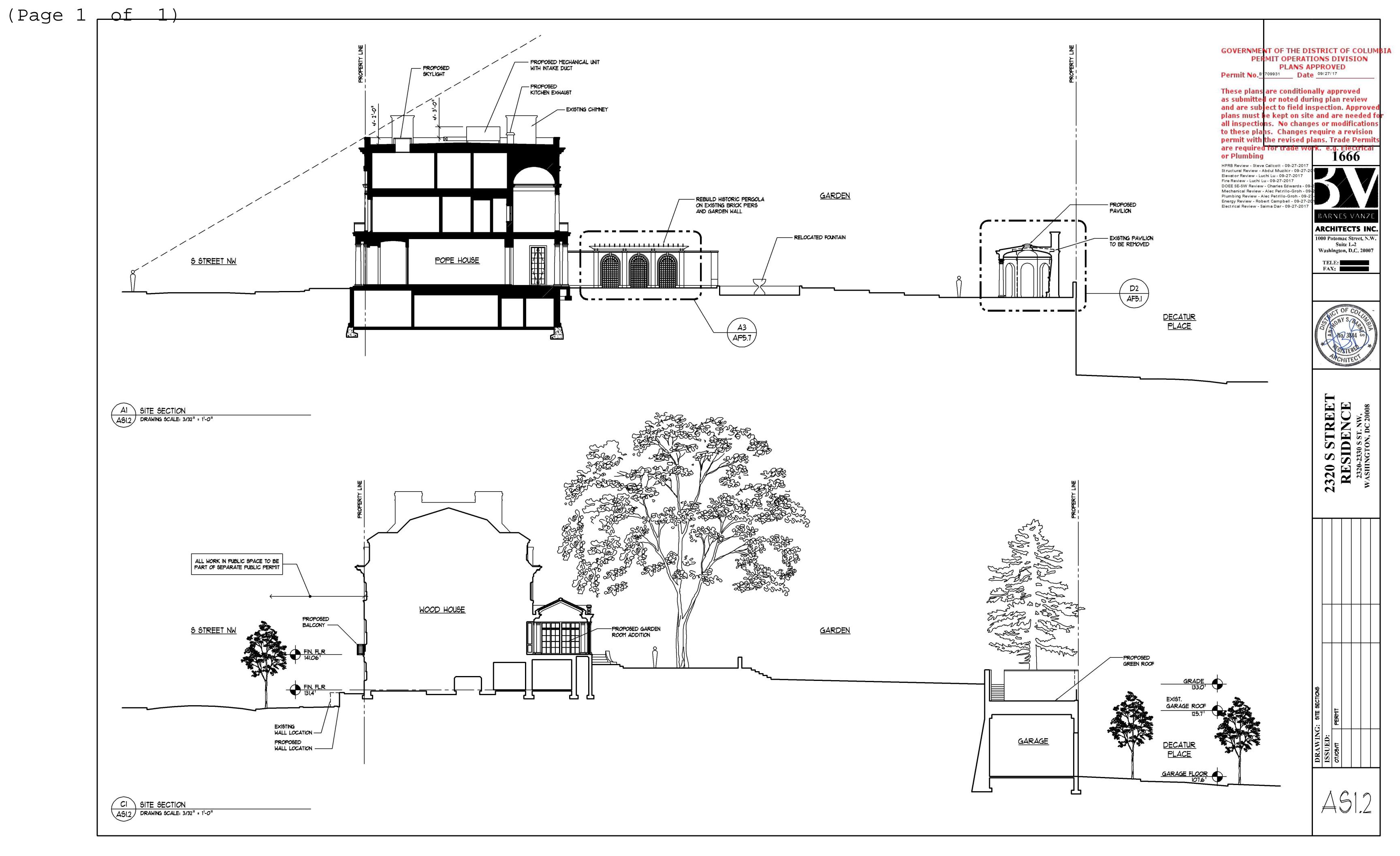
Enhanced Services Fee - Permit Fee \$10,685.77

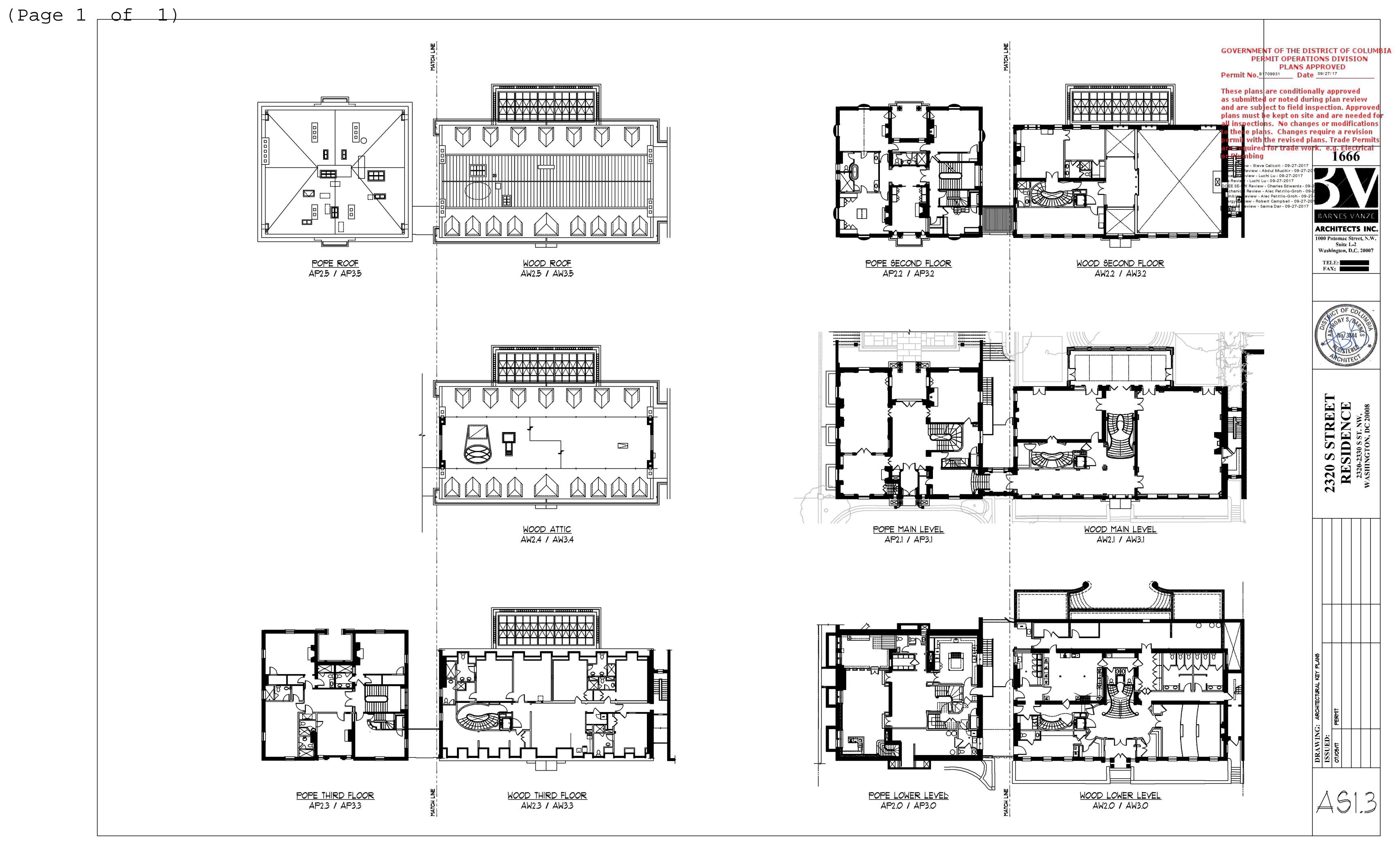
Enhanced Service Fee - Green Building \$822.17 3012-30

\$128,587.32 Invoice Total:

Antonio Jones







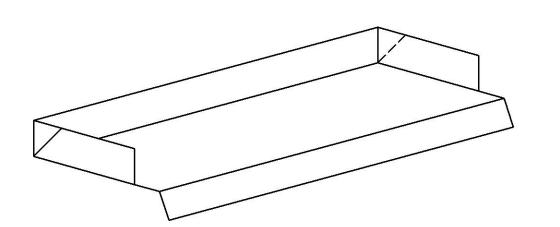
	SCHEDULE -	POF	DE LIQUISE					
				ا الما	NTEDIAD	EVIEDIAD		NOTES
<u> </u>	DOOR SIZE	TPE	MATERIAL		INTERIOR FINISH	EXTERIOR FINISH	<u>HARDWARE</u> FUNCTION	NOTES
LOWER L	EVE!							
	2'-8" × 6'-8"	R	WOOD/GLASS		PTD	PTD	ENTRY	WITH 14" TRANSOM, PER ELEVATION
	3'-0" x 6'-8"	E	WOOD		PTD	PTD	PASSAGE	ATTA PER ELEVATION
P003	(2) 2'-O" × 6'-8"	E			PTD	PTD	PASSAGE	CREATE POCKET IN JAMB TO ACCEPT DOOR
	3'-0" x 6'-8"	E	WOOD		PTD	PTD	•	BI-SWING
	2'-0" x 6'-8"	E	WOOD		PTD	PTD	DUMMY	•
	2'-6" × 6'-8"	E	WOOD		PTD	PTD		ELEVATOR DOOR
	3'-0" x 6'-8"	E	WOOD		PTD	PTD	PRIVACY	•1
-	81 969 88 1931	E	75 0 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		PTD	PTD	DUMMY	•
P009	31-0" × 61-8"	E	WOOD		PTD	PTD	PASSAGE	•1
P010	2'-6" × 6'-8"	×	x		PTD	PTD	PRIVACY	•
POII	3'-0" × 6'-8"	×	WOOD		PTD	PTD	PASSAGE	×
PO12	(2) 2'-0" x 6'-8"	В	WOOD/GLASS		PTD	PTD	PASSAGE	CUSTOM LATTICE PANEL INSERT TO MATCH EXISTING WINDOW DETAIL
PO13	(2) 2 ¹ -0" × 6 ¹ -8"	В	WOOD/GLASS		PTD	PTD	PASSAGE	CUSTOM LATTICE PANEL INSERT TO MATCH EXISTING WINDOW DETAIL
P014	2'-4" x 6'-8"	D	METAL		PTD	PTD	•	SALVAGE AND REFURBISH EXISTING METAL WINE CELLAR DOOR
P015	2'-4" × 6'-8"	E	WOOD		PTD	PTD	PRIVACY	•
P016	2'-4" × 6'-8"	E	WOOD		PTD	PTD	PRIVACY	•
FIRST FLO	20R							
PIOI	EXISTING	•	METAL/GLASS		PTD	PTD	ENTRY	RESTORE EXISTING AND REVERSE SWING (CONVERT TO INSWING)
P102	EXISTING	D	WOOD		STD	STD	ENTRY	RESTORE EXISTING AND REVERSE SWING (CONVERT TO INSWING)
P103	EXISTING	A	WOOD/GLASS		STD	PTD	PATIO	RESTORE EXISTING DOOR AND HARDWARE
P104	EXISTING	A	WOOD/GLASS		STD	PTD	PATIO	RESTORE EXISTING DOOR, HARDWARE, AND SIDELITES
P105	EXISTING	A	WOOD/GLASS		STD	PTD	PATIO	RESTORE EXISTING DOOR AND HARDWARE
P106	2'-0" x 8'-0"	D	WOOD	-	PTD	PTD	x	RESTORE AND REHINGE HIDDEN JIB DOOR
P107	2'-0" x 8'-0"	D	WOOD		PTD	PTD	x	RESTORE AND REHINGE HIDDEN JIB DOOR
P108	EXISTING	Þ	WOOD		STD	STD	x	RESTORE EXISTING VENEER DOOR
P109	EXISTING	D	WOOD		STD	STD	x	RESTORE EXISTING VENEER DOOR
PIIO	EXISTING	D	WOOD		STD	STD	x	RESTORE EXISTING VENEER DOOR
PIII	EXISTING	D	WOOD		STD	STD	x	RESTORE EXISTING VENEER DOOR
P112	EXISTING	Þ	WOOD		STD	STD	×	RESTORE EXISTING VENEER DOOR
PII3	2'-6" × 6'-8"	×	WOOD		PTD	PTD	PRIVACY	NEW JIB DOOR
P114	2'-6" × 6'-8"	E	WOOD		PTD	PTD	PASSAGE	x
P115	2'-9" × 6'-10"	×	WOOD		PTD	PTD	PA99AGE	x
P116	2'-6" × 6'-8"	E	WOOD		PTD	PTD		ELEVATOR DOOR
	-							
SECOND	Z na nana naw na	1	11.6	 				
P201	EXISTING	A	WOOD		PTD	PTD	PATIO	RESTORE EXISTING DOOR AND HARDWARE
P202	EXISTING	Α -	WOOD	-	PTD	PTD	PATIO	x
P203	(2) 2'-6" × 7'-6"	F	WOOD		PTD	PTD	PRIVACY	X X
P204	(2) 3¹-O" x 7¹-6"	F	WOOD	+	PTD	PTD	POCKET	POCKET DOORS AND HARDWARE
P205	2'-4" × 7'-6"	F	WOOD		PTD	PTD	PRIVACY	-
P206	3'-0" x 7'-6"	F	WOOD		PTD	PTD	PRIVACY	<u>-</u> -
P207	2'-8" x 7'-6"	F	WOOD		PTD	PTD	PRIVACY	-
P208	2'-8" x 7'-6"	F	WOOD		PTD	PTD	PRIVACY	
P209	2'-8" × 7'-6"	F	WOOD	-	PTD	PTD	PRIVACY	-
P210	2'-8" × 7'-6"	F	WOOD		PTD	PTD	PRIVACY	
P211	2'-4" x 7'-6"	F	WOOD		PTD	PTD	PRIVACY	
P212	2'-6" x 7'-6"	F	XXXXXXXXX		PTD	PTD	PRIVACY	************
P213	2'-0" x 7'-6"	F	WOOD		PTD	PTD	PRIVACY	PECTAGE EVICTIME PROGRAM I LABOURANT
P214	2'-8" × 7'-6"	F	WOOD	-	PTD	PTD	PRIVACY	RESTORE EXISTING PRIVACY HARDWARE
P215	3'-0" x 7'-6"	F	WOOD		PTD	PTD		RESTORE EXISTING HARDWARE
P216	2'-6" x 7'-6"	F -	WOOD		PTD	PTD	-	RESTORE EXISTING HARDWARE
P217	2'-8" × 7'-6"	F	WOOD		PTD	PTD	PRIVACY	RESTORE EXISTING HARDWARE
P218	2'-8" × 7'-6"	F	WOOD		PTD	PTD	PASSAGE	PROTEIN TWOTING MEN ALONG HARMHAGE
F219	2'-8" × 7'-6"	F	WOOD		PTD	PTD	PRIVACY	RESTORE EXISTING PRIVACY HARDWARE
P220	2'-8" x 7'-6"	F	WOOD		PTD	PTD	PRIVACY	RESTORE EXISTING PRIVACY HARDWARE
F221	2'-6" x 7'-6"	F	WOOD		PTD	PTD		ELEVATOR DOOR

DOOR	DOOR SIZE	TYPE	MATERIAL	SILL	INTERIOR	EXTERIOR	HARDWARE		MENT OF THE D			
**					FINISH	FINISH	<u>FUNCTION</u>		PERMIT OPERA PLANS			SION
THIRD FL			Ĭ.	_				Permit N		te _09/:		
P301	(2) 3'-0" × 7'-0"	F	WOOD		PTD	PTD	PRIVACY	These all	dial	III.		
P3/02	NOT USED	-	- Unco		-	-	-	- Inese pl	ans are condition tted or noted do	urina	olan re	vea eview
P3O3 P3O4	2'-6" × 7'-0" 3'-0" × 7'-0"	F	WOOD WOOD	+	PTD PTD	PTD PTD	PASSAGE PRIVACY	and are :	subject to field i	nspe	ction. A	Approv
P305	3'-0" x 7'-0"	F	- 8		PTD	PTD	PRIVACY	plans mu	ist be kept on si	te an	d are n	eeded
P306	2'-4" x 7'-0"	<u> </u>	WOOD	1	PTD	PTD	PA66AGE		ctions. No chan plans. Changes			
P301	2'-4" x 7'-0"	F	WOOD		PTD	PTD	PASSAGE	- permit w	ith the revised	plans	. Trade	Permi
P308	2'-6" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY	are requ	ired for trade w	ork.	e.g. Ele	ectrica
P309	3'-0" × 7'-0"	F	WOOD		PTD	PTD	PRIVACY	or Piumb	ing		166	66
P310	2'-8" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY	• Structural Revi	teve Callcott - 09-27-201 w - Abdul Muzikir - 09-27			
P311	2'-6" x 7'-0"	F	WOOD		PTD	PTD	PASSAGE	Fire Review - L	v - Luchi Lu - 09-27-2017 uchi Lu - 09-27-2017			
P312	2'-8" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY	RESIDE EXISTING PRIVACT HARDWARE Mechanical Re	eview - Charles Edwards - (view - Alec Petrillo-Groh -	09-2		
P313	EXISTING		•		PTD	PTD	•	Fnergy Review	ew - Alec Petrillo-Groh - 09 Robert Campbell - 09-27	-201		
P314	2'-8" x 7'-0"	F	WOOD WOOD		PTD	PTD	PRIVACY	The refuse and the refuse of t	e w - Saima Dar - 09-27-201 -		A DALEC	\/
P315 P316	2'-6" x 7'-0" 3'-0" x 7'-0"	F	MOOD	+	PTD	PTD	PRIVACY PRIVACY	RESTORE EXISTING HARDWARE RESTORE EXISTING PRIVACY HARDWARE	1		ARNES	
P317	3'-0" x 1'-0"	<u> </u>		+	PTD	PTD	PRIVACY	- INDICATE AND THE PROPERTY OF	1		CHITE	27. (200)
P318	2'-4" × 7'-0"	F	WOOD		PTD	PTD	PA66AGE	•!	1		0 Potomac Suite	L-2
P319	2'-6" x 7'-0"	F	MOOD		PTD	PTD	-	ELEVATOR DOOR	1	Wa	ashington,	
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3	WINDOWS AND EXTE]			7 ~
4 5 6		SPONS	BLE FOR COOF	RDINATING R	EQUIRED JAM	B DEPTHS, A	NO FOR PROVIDING JAN	MB EXTENSIONS WHERE NECESSARY FOR WALL THICKNESS SHOWN.			EET CE	W, 20008
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CI DOOR SCHEDULE - POPE HOUSE ALL N.T.S.

MOON	OW SCHEDULE - <u>sash size</u>	TYPE	MATERIAL	INTERIOR	EXTERIOR	an i	CODE	HARDWARE	HEAD/JAMB/	NOTES
MINDOM	SASH SIZE	III E	TATERIAL	FINISH	FINISH	SILL	CODE NOTES	HARDWARE	SILL DETAILS	NOTES
OWER I	i LEVEL	_ L		1			_ I			
1 001	(2) 2'-O" x 3'-5"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
PO02	(2) 2'-O" x 3'-5"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P003	2'-2" x 2'-7"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P004a	(2) 2'-O" x 3'-3"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P004b	313005 30 07, 939 309-000 09 0,00000		WOOD	PTD	PTD					DECORATIVE WINDOWS, SEE INTERIOR ELEVATIONS
P005a	24 94 955 2000 PC COMPANY COMPANY	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P005b			WOOD	PTD	PTD			1		DECORATIVE WINDOWS, SEE INTERIOR ELEVATIONS
P006a	Ac 1600 90 1500	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P006b			WOOD	PTD	PTD					DECORATIVE WINDOWS, SEE INTERIOR ELEVATIONS
P007a	(2) 3'-2" x 3'-10"	DOUBLE HUNG	WOOD	PTD	PTD					NEW WINDOWS TO REPLACE DOOR/WINDOW COMBO UNIT.
P007b			WOOD	PTD	PTD			1		DECORATIVE WINDOWS, SEE INTERIOR ELEVATIONS
P008	2'-0" x 4'-6"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P009	2'-0" x 4'-6" (3) 1'-4" x 2'-9"	DOUBLE HUNG	WOOD	PTD	PTD					NEW LARGER WINDOW IN EXIST. OPENING. REMOVE TRANSOM DECORATIVE WINDOWS, SEE INTERIOR ELEVATIONS
P010	(3/1'-4" X 2'-9"		WOOD	FID	FID					DECORATIVE WINDOWS, SEE INTERIOR ELEVATIONS
IRST FL	<u> </u> .00R			1						
PIOI	4'-8" x 10'-2"	DOUBLE HUNG	WOOD	PTD	PTD					BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE \$7
PI02	1'-4" × 4'-0"	CASEMENT	WOOD	PTD	PTD		1			6A6H TO BE FIXED SHUT FOR SECURITY, SEE NOTE \$7
PIO3	1'-4" x 4'-0"	CASEMENT	WOOD	PTD	PTD		1			6A6H TO BE FIXED SHUT FOR SECURITY, SEE NOTE #7
P104	4'-8" x 10'-2"	DOUBLE HUNG	WOOD	PTD	PTD					BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE *7
P105	NOT USED		280 200	20 20	5% 38					
P106	(2) 2'-2" × 3'-9"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
PIOT	4'-8" x 10'-2"	DOUBLE HUNG	WOOD	PTD	PTD					REPAIR MISSING GLASS PANE
PIO8	4'-8" x 10'-2"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
PI09	41-8" x 101-2"	DOUBLE HUNG	WOOD	PTD	PTD		- V			EXISTING, VERIFY SIZE IN FIELD
PIIO	4'-8" x 10'-2"	DOUBLE HUNG	WOOD	PTD	PTD					BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE \$7, REPAIL MISSING GLASS PANE.
PIII	4'-8" x 10'-2"	DOUBLE HUNG	WOOD	PfD	PfD					BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE \$7, REPAI
	7-0 10-2	Bouble In a	,,,,,	1.5						MISSING GLASS PANE.
PII2	4'-8" x 10'-2"	DOUBLE HUNG	WOOD	PTD	PTD					BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE \$7, REPAI MISSING GLASS PANE.
ECOND	FLOOR				_			<u> </u>	1	
P201	4'-8" x 8'-10"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P202	1'-4" x 8'-8"	CASEMENT	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P203	5'-0" x 8'-8"	CASEMENT	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P204	1'-4" x 8'-8"	CASEMENT	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P205	4'-8" x 8'-10"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P206	4'-8" x 8'-10"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P207	5'-0" x 4'-9" W/ 1'-5" SIDELITES	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P208	4'-8" x 8'-10"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P209	4'-8" x 8'-10"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P210	2'-8" x 4'-5"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P211	2'-8" × 4'-5"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P212	4'-8" x 8'-10"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P213	4'-8" x 8'-10"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P214	2'-10" x 4'-9"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P215	21-10" × 41-9"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P216	4'-8" × 8'-10"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
				1						
THIRD FL	T		A. No Transferent			I	T	1		المالم إذا المالم المال
P301	3'-10" x 5'-1"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P302	2'-0" x 3'-0"	OVAL CASEMENT	WOOD	PTD	PTD		-			EXISTING, VERIFY SIZE IN FIELD
P303	2'-0" x 3'-0"	OVAL CASEMENT	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P304	3 ¹ -10" x 5 ¹ -1"	DOUBLE HING	WOOD	PTD	PTD		+			EXISTING, VERIFY SIZE IN FIELD
P305	3'-10" x 5'-1"	DOUBLE HUNG	WOOD	PTD	PTD		+			EXISTING, VERIFY SIZE IN FIELD
P306	4'-2" x 4'-5" W/ 1'-2" SIDELITES		WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P307	3'-10" x 5'-1"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P308	3'-10" x 5'-1"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P309	3'-10" x 5'-1"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P310	3'-10" x 5'-1"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P311	3'-6" x 4'-9"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
P312	3'-10" x 5'-1"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD
- W										
<u>ROOF</u>	·									
P401	2'-0" x 4'-0"	SKYLIGHT	, - ,	PTD	PTD					WITH NEW CUSTOM PTD. WD. LAYLIGHT
P402	2'-0" x 4'-0"	SKYLIGHT	-	PTD	PTD					WITH NEW CUSTOM PTD. WD. LAYLIGHT
P403	4'-8" x 6'-8"	SKYLIGHT	•	PTD	PTD					WITH NEW CUSTOM PTD. WD. LAYLIGHT
P404	5'-0" x 7'-0"	SKYLIGHT	1-1	PTD	PTD					WITH NEW CUSTOM PTD. WD. LAYLIGHT
DAGE	3'-1" x 4'-9"	SKYLIGHT	=	PTD	PTD					WITH NEW CUSTOM PTD. WD. LAYLIGHT
P405				DtD	PTD	l				WITH NEW CUSTOM PTD. WD. LAYLIGHT
P406	2'-0" x 4'-0"	SKYLIGHT		PTD	1 10					WITH NEW CUSTOTT FID. W.D. LATEIGHT

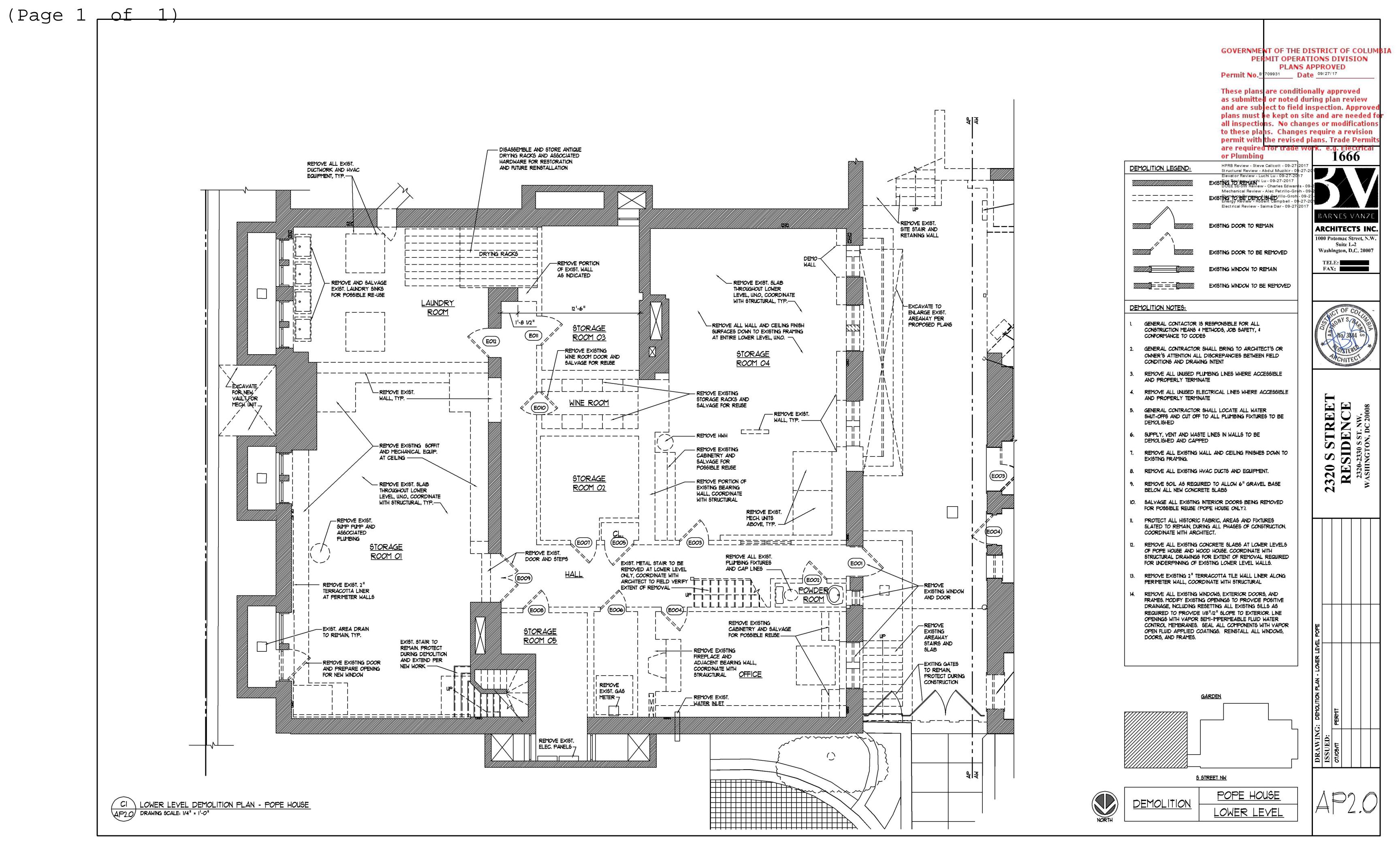
GENER A	L NOTES: SEE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION	GOVERN		STRICT OF COLUN
1	SEE SPECIFICATIONS FOR WINDOW ALLOWANCES, IF ANY.	,	PERMIT OPERATI	PPROVED
2	WINDOWS ARE TO BE RESTORED TO OPERABLE UNLESS OTHERWISE NOTED.	Permit N		09/27/17
3	WINDOWS AND EXTERIOR DOORS SHALL BE PROVIDED BY THE SAME MANUFACTURER.		2	3
4	CONTRACTOR IS RESPONSIBLE FOR COORDINATING REQUIRED JAMB DEPTHS AND FOR PROVIDING JAMB EXTENSIONS WHERE NECESSARY FOR WALL THICKNESS SHOWN.		ins are condition	
5	SIZES ARE GIVEN FOR REFERENCE ONLY AND SHOULD BE VERIFIED IN FIELD.		tted or noted dur	
6	ALL HISTORIC FABRIC IS TO BE PROTECTED AND LEFT INTACT WHERE POSSIBLE.			spection. Approve
7	WINDOW TO HAVE FIXED INTERIOR STEEL SECURITY SHUTTER WITH SECURITY GLASS			e and are needed f es or modification
8	RESET ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8" PER FOOT SLOPE TO EXTERIOR.			equire a revision
9	REMOVE ALL EXISTING WINDOWS, EXTERIOR DOORS, AND FRAMES. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO TO EXTERIOR. LINE OPENINGS WITH VAPOR SEMI-IMPERMEABLE FLUID WATER CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL W DOORS, AND FRAMES.	اااک (INDOWS, Ext ERIOP requi or Plumb	red for trade wo ing	lans. Trade Permit rk. e.g. Electrical 1666
10	ALL GLASS TO BE STANDARD CLEAR, DOUBLE-PANE INSULATED, TEMPERED, ARGON FILLED, LOW "E" (0.35 "U" VALUE MINIMUM, TYP)	图 100g 网络拉克斯 Amazana A	Steve Callcott - 09-27-2017 w - Abdul Muzikir - 09-27-20	
11	ALL SKYLIGHT GLAZING TO HAVE A 055 "U" VALUE, AND AN SOLAR HEAT GAIN COEFFICIENT (SHGC) VALUE OF 030		r - Luchi Lu - 09-27-2017 chi Lu - 09-27-2017	
12	FENESTRATION IN THERMALLY ISOLATED SUNROOMS TO HAVE A MAXIMUM "U" VALUE OF 0.45, ALL OTHER SUNROOM FENESTRATION TO MEET CODE REQUIREMENTS.		view - Charles Edwards - 09- iew - Alec Petrillo-Groh - 09-	
13	SKYLIGHTS IN A THERMALLY ISOLATED SUNROOM TO HAVE A MAXIMUM "U" VALUE OF 0.7, ALL OTHER SUNROOM SKYLIGHTS TO MEET CODE REQUIREMENTS.	Plumbing Revie	w - Alec Petrillo-Groh - 09-27 Robert Campbell - 09-27-20	
14	FENESTRATION WILL MEET AAMA/WDMA/CSA 101/16. 2/A440 OR DOES NOT EXCEED CODE LIMITS PER NIFRC 400.	3,	w - Saima Dar - 09-27-2017	BARNES VANZE
				ARCHITECTS INC 1000 Potomac Street, N.W Sulte L-2 Washington, D.C. 20007
IINDOW	DESCRIPTION DESCRIPTION			TELE:
1	ALL WINDOW DETAILS, INCLUDING CASING AND MUNTIN STYLE, SHALL MATCH EXISTING.			FAX:
2	PROVIDE PRICING FOR TISCHLER 062 SERIES, MQ, ASSELIN, HOPES, OR EQ CUSTOM MAHOGANY WINDOWS TME. WHERE REQUIRED AT REPLACEMENTS.			
ARDW.	 ARE NOTES			
1	ALL WINDOW HARDWARE IS TO BE CLEANED AND MADE OPERABLE. HARDWARE SHALL BE REPLACED WHERE IT IS MISSING TIME.			SICT OF COL
	PROVIDE SAMPLES OF ALL HARDWARE FOR ARCHITECT AND OWNER REVIEW AND APPROVAL PRIOR TO FABRICATION.		1	SNY S. R. Z.

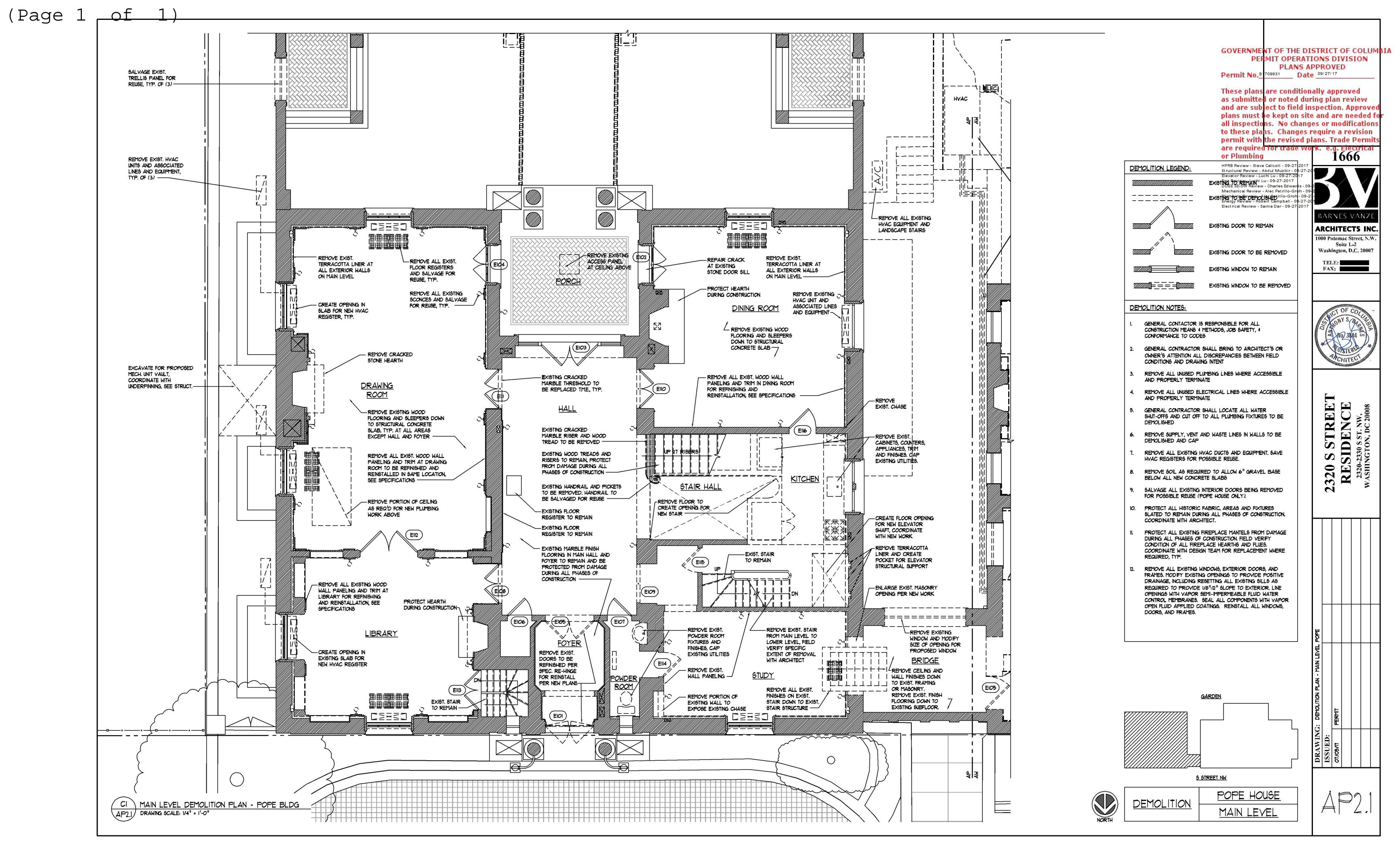


FLASHING W/ THREE SIDES TURNED UP TO FORM PAN.

C2 DETAIL OF SILL FLASHING
A1.3 NOT TO SCALE

2320 S STREET
RESIDENCE
2320-2330 S ST. NW,
WASHINGTON, DC 20008





(Page 1 GOVERNMENT OF THE DISTRICT OF COLUMBIA PERMIT OPERATIONS DIVISION PLANS APPROVED Permit No. B 709931 Date 09/27/17 These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approve plans must be kept on site and are needed fo all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permit are required for trade work. e.g. E or Plumbing HPRB Review - Steve Callcott - 09-27-20 DEMOLITION LEGEND: REFINISH EXIST. METAL RAILING, - REMOVE RAISED PORCH FLOOR -REFINISH EXIST. METAL BALCONY, Structural Review - Abdul Muzikir - 09-2 SEE SPECIFICATIONS -TILES ON SLEEPERS AND SEE SPECIFICATIONS Elevator Review - Luchi Lu - 09-27-201 REPLACE EXIST. DRAIN BELOW EXISTING TO REMAIN Lu - 09-27-2017 DOEE SE-SW Review - Charles Edward Mechanical Review - Alec Petrillo-_______ EXISTRUM TO BE VIENO 15 LED rillo-GI _____ Electrical Review - Saima Dar - 09-27 ARNES VANZE EXISTING DOOR TO REMAIN ARCHITECTS INC. 1000 Potomac Street, N.W - REMOVE EXIST. Suite L-2 SCONCE AND WITHIN WALL, Washington, D.C. 20007 EXISTING DOOR TO BE REMOVED SALVAGE FOR TYP. OF (4) REUSE, TYP. FAX: EXISTING WINDOW TO REMAIN - REMOVE EXISTING PLASTER CEILING AND EXISTING WINDOW TO BE REMOVED BEDROOM #3 CROWN MOULDING FOR MECHANICAL WORK — DEMOLITION NOTES: BEDROOM \$4 GENERAL CONTACTOR IS RESPONSIBLE FOR ALL REMOVE EXIST. HVAC CONSTRUCTION MEANS & METHODS, JOB SAFETY, & FLOOR REGISTER AND CONFORMANCE TO CODES SALVAGE FOR FIELD VERIFY SIZE -REMOVE EXIST. POSSIBLE REUSE, TYP. DOOR AND SALVAGE AND LOCATION OF GENERAL CONTRACTOR SHALL BRING TO ARCHITECT'S OR FOR REUSE, TYP. EXIST. PIPING CHASE OWNER'S ATTENTION ALL DISCREPANCIES BETWEEN FIELD FOR NEW DOOR AS CONDITIONS AND DRAWING INTENT SCHEDULED, ON C.L. REMOVE ALL TILE WITH EXIST. WINDOW (£216) REMOVE ALL UNUSED PLUMBING LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE FIXTURES, TYP. AT (E213) E218 (E2II) REMOVE ALL UNUSED ELECTRICAL LINES WHERE (E217) SSTREET
SIDENCE
0-2330 SST. NW,
INGTON, DC 20008 EXIST. BATHROOMS -ACCESSIBLE AND PROPERLY TERMINATE BATHROOM #4 (E219) GENERAL CONTRACTOR SHALL LOCATE ALL WATER SHUT-OFFS AND CUT OFF TO ALL PLUMBING FIXTURES TO BE (E227) (E210) REMOVE SUPPLY, VENT AND WASTE LINES IN WALLS TO BE DEMOLISHED AND CAP REMOVE ALL EXISTING PEDESTAL SINKS AND MEDICINE CABINETS AND SALVAGE FOR REUSE. HANDRAIL AND PICKETS AND 320 RE 8. REMOVE ALL EXISTING HYAC DUCTS AND EQUIPMENT. SALVAGE FOR REUSE - REMOVE FLOOR FINISHES 10. SALVAGE ALL EXISTING INTERIOR DOORS BEING REMOVED AND SLEEPERS DOWN TO FOR POSSIBLE REUSE (POPE HOUSE ONLY). FLOORING EXIST. STRUCTURAL BATHROOM #2 AT STAIR CONCRETE SLAB, TYP. II. PROTECT ALL HISTORIC FABRIC, AREAS AND FIXTURES LANDINGS -THROUGHOUT SECOND FLOOR -SLATED TO REMAIN DURING ALL PHASES OF CONSTRUCTION. COORDINATE WITH ARCHITECT. RISERS (E206) (EXIST) 12. REMOVE TILE IN ALL BATHROOMS. EXISTING WOOD AND (E2O3) PLASTER TRIM TO REMAIN. E226) 13. PROTECT ALL TRIM IN PLACE WHERE OPENINGS ARE TO E208 (E204) -CREATE POCKETS IN (E22þ) (E220) (EXIST) REMOVE ALL EXISTING FLOOR FINISHES AND SLEEPERS EXISTING MASONRY WALL 二 <u>几</u>(E2*0*9) DOWN TO EXISTING STRUCTURAL CONCRETE SLAB UNO. ______ FOR ELEVATOR FRAMING -REMOVE EXISTING PROTECT EXISTING BASE AND CEILING TRIM FROM DAMAGE PLASTER CEILING AND REMOVE EXIST. FIXTURES WHERE WALLS ARE TO REMAIN. CROWN MOULDING FOR AND CREATE OPENING FOR MECHANICAL WORK -NEW ELEVATOR SHAFT 16. REMOVE ALL EXISTING WINDOWS, EXTERIOR DOORS, AND (EXIST) FRAMES. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE (E221) DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS (E223) REQUIRED TO PROVIDE 1/8":12" SLOPE TO EXTERIOR. LINE -EXIST. STAIR TO REMAIN, BEDROOM #1 PROTECT THROUGHOUT ALL OPENINGS WITH VAPOR SEMI-IMPERMEABLE FLUID WATER (E225) CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH PHASES OF CONSTRUCTION BEDROOM #2 VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, DOORS, AND FRAMES. SEWING ROOM FIELD VERIFY CONDITION OF ALL FIREPLACE HEARTHS AND SALVAGE ALL FLUES. COORDINATE WITH DESIGN TEAM FOR REPLACEMENT MEDICINE CABINETS -REMOVE EXISTING \ (E224) WHERE REQUIRED, TYP. FOR REUSE ---PLASTER CEILING AND -EXISTING CABINETRY BATHROOM # CROWN MOULDING FOR TO REMAIN MECHANICAL WORK -REFINISH EXIST. METAL RAILING, SEE SPECIFICATIONS S STREET NW DEMOLITION CI SECOND FLOOR DEMOLITION PLAN - POPE HOUSE SECOND FLOOR AP2.2 DRAWING SCALE: 1/4" = 1'-0"

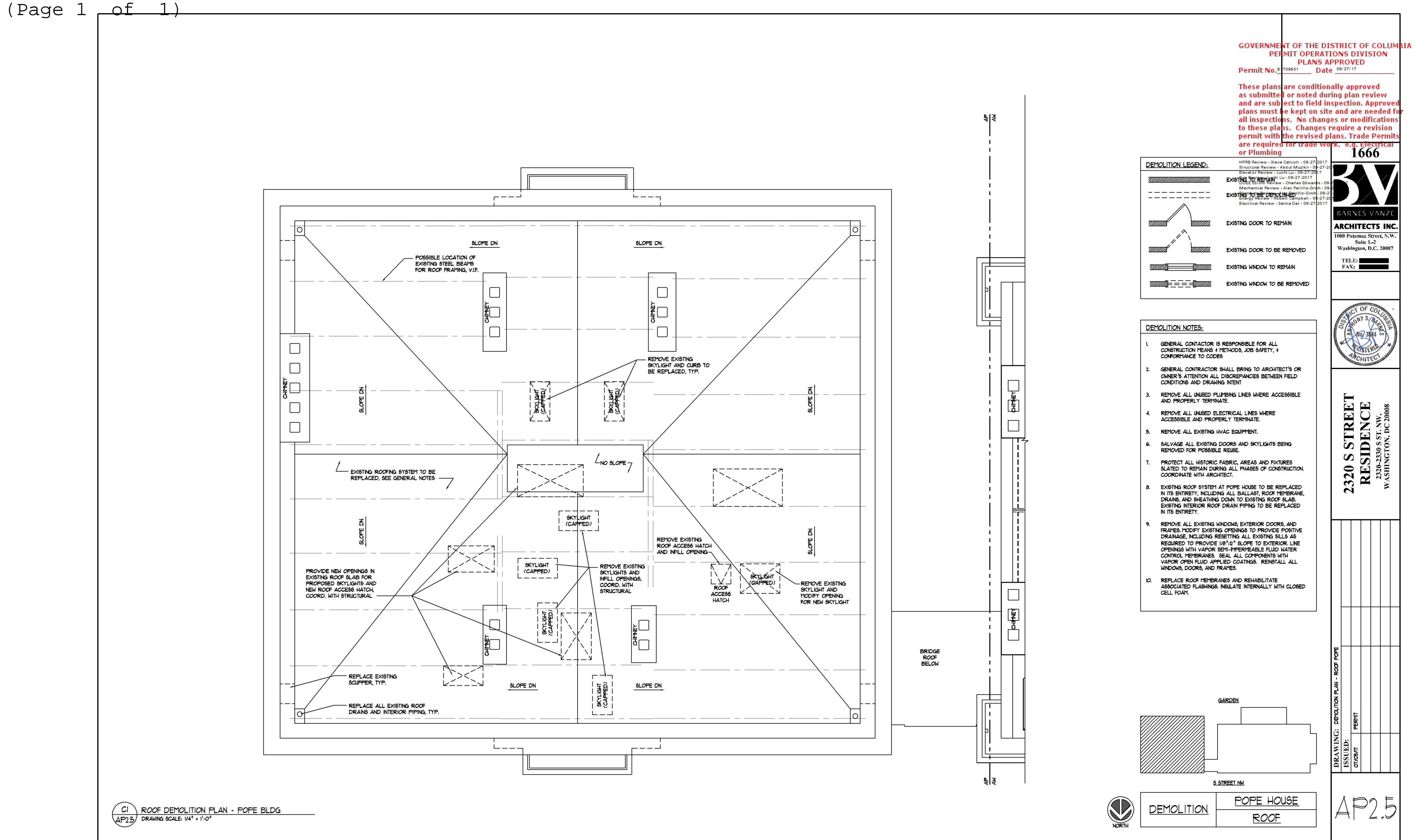
(Page 1 GOVERNMENT OF THE DISTRICT OF COLUMBIA PERMIT OPERATIONS DIVISION PLANS APPROVED Permit No. B 709931 Date 09/27/17 These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approve plans must be kept on site and are needed fo all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permit are required for trade work. e.g. Electric or Plumbing HPRB Review - Steve Callcott - 09-27-20 DEMOLITION LEGEND: Structural Review - Abdul Muzikir - 09-2 Elevator Review - Luchi Lu - 09-27-20 EXIST NO PEN AND LU - 09-27-2017 DOEE SE-SW Review - Charles Edwar Mechanical Review - Alec Petrillo--------EXISTING PORE CEMOLISTED TILLO-GI -----Electrical Review - Saima Dar - 09-27 ARNES VANZE EXISTING DOOR TO REMAIN ARCHITECTS INC. 1000 Potomac Street, N.W Suite L-2 FIELD VERIFY LOCATIONS - REMOVE ALL EXIST. Washington, D.C. 20007 RADIATORS, COVERS, OF EXISTING WALL EXISTING DOOR TO BE REMOVED CHASES, TYP. AND ASSOCIATED TELE: FAX: PORCH BELOW PIPING, TYP. EXISTING WINDOW TO REMAIN FIELD VERIFY CONDITION OF ALL FIREPLACE HEARTHS AND FLUES. EXISTING WINDOW TO BE REMOVED COORDINATE WITH DESIGN TEAM FOR REPLACEMENT WHERE REQUIRED, TYP. -GUEST ROOM 2 **DEMOLITION NOTES:** GENERAL CONTACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION MEANS & METHODS, JOB SAFETY, & GUEST ROOM 1 REMOVE EXISTING CONFORMANCE TO CODES CABINET AND SALVAGE FOR REUSE -GENERAL CONTRACTOR SHALL BRING TO ARCHITECT'S OR OWNER'S ATTENTION ALL DISCREPANCIES BETWEEN FIELD RAD 🗆 7/REMOVE ALL TILE CONDITIONS AND DRAWING INTENT WALL FINISHES AND (E323) FIXTURES AT EXIST. REMOVE ALL UNUSED PLUMBING LINES WHERE ACCESSIBLE BATHROOMS -AND PROPERLY TERMINATE E324 _ _ _ E325 REMOVE ALL UNUSED ELECTRICAL LINES AND SURFACE SSTREET
SIDENCE
0-2330 SST. NW,
INGTON, DC 20008 BATHROOM #2 MOUNTED WIRING WHERE ACCESSIBLE AND PROPERLY BATHROOM #1 E326 GENERAL CONTRACTOR SHALL LOCATE ALL WATER CREATE OPENING FOR NEW DOOR SHUT-OFFS AND CUT OFF TO ALL PLUMBING FIXTURES TO BE E327 DEMOLISHED AS SCHEDULED -EXIST. SUPPLY, VENT AND WASTE LINES IN WALLS TO BE (E321) DEMOLISHED AND CAPPED - REMOVE EXIST. REMOVE ALL EXISTING HVAC DUCTS AND EQUIPMENT. HANDRAIL AND 320 RE PICKETS AND E328 8. SALVAGE ALL EXISTING INTERIOR DOORS BEING REMOVED SALVAGE FOR REUSE GUEST ROOM 3 FOR POSSIBLE REUSE (POPE HOUSE ONLY). - REMOVE ALL EXIST. SCONCES AND SALVAGE PROTECT ALL HISTORIC FABRIC, AREAS, FIXTURES, AND TRIM N FOR RE-USE, TYP. AT ALL LOCATIONS NOTED TO REMAIN, DURING ALL PHASES OF CONSTRUCTION. COORDINATE WITH ARCHITECT. - REMOVE FLOOR FINISH REMOVE INTERIOR PARTITIONS, TYP. DOWN TO EXISTING 10. REMOVE TILE IN ALL BATHROOMS. EXISTING WOOD AND STRUCTURAL CONCRETE PLASTER TRIM TO REMAIN. RISERS T SLAB, TYP. THROUGHOUT THIRD FLOOR LEVEL UN.O. -REMOVE ALL FLOOR FINISHES AND SLEEPERS TO EXISTING STRUCTURAL CONCRETE SLAB, TYP. THROUGHOUT POPE HOUSE **/**_______ (E301) THIRD FLOOR LEVEL UN.O. REMOVE EXIST. ROOF REMOVE ALL EXISTING WINDOWS, EXTERIOR DOORS, AND LADDER AND ACCESS E302 RISERS FRAMES. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE E314 HATCH ABOVE ---CORRIDOR DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS CREATE FLOOR REQUIRED TO PROVIDE 1/8":12" SLOPE TO EXTERIOR. LINE OPENING FOR NEW OPENINGS WITH VAPOR SEMI-IMPERMEABLE FLUID WATER ELEVATOR SHAFT, CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR SEE STRUCTURAL OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, DOORS, AND FRAMES. 13. FIELD VERIFY CONDITION OF ALL FIREPLACE HEARTHS AND (E304) FLUES. COORDINATE WITH DESIGN TEAM FOR REPLACEMENT (E305) - REMOVE RAILING AT EXIST. LANDING WHERE REQUIRED, TYP. AND PREPARE FOR NEW WALLS PER NEW WORK SERY. ROOM SERY. ROOM SERV. ROOM SERY. ROOM SERY. ROOM SERY. ROOM <u>GARDEN</u> LTRAD_ S STREET NW

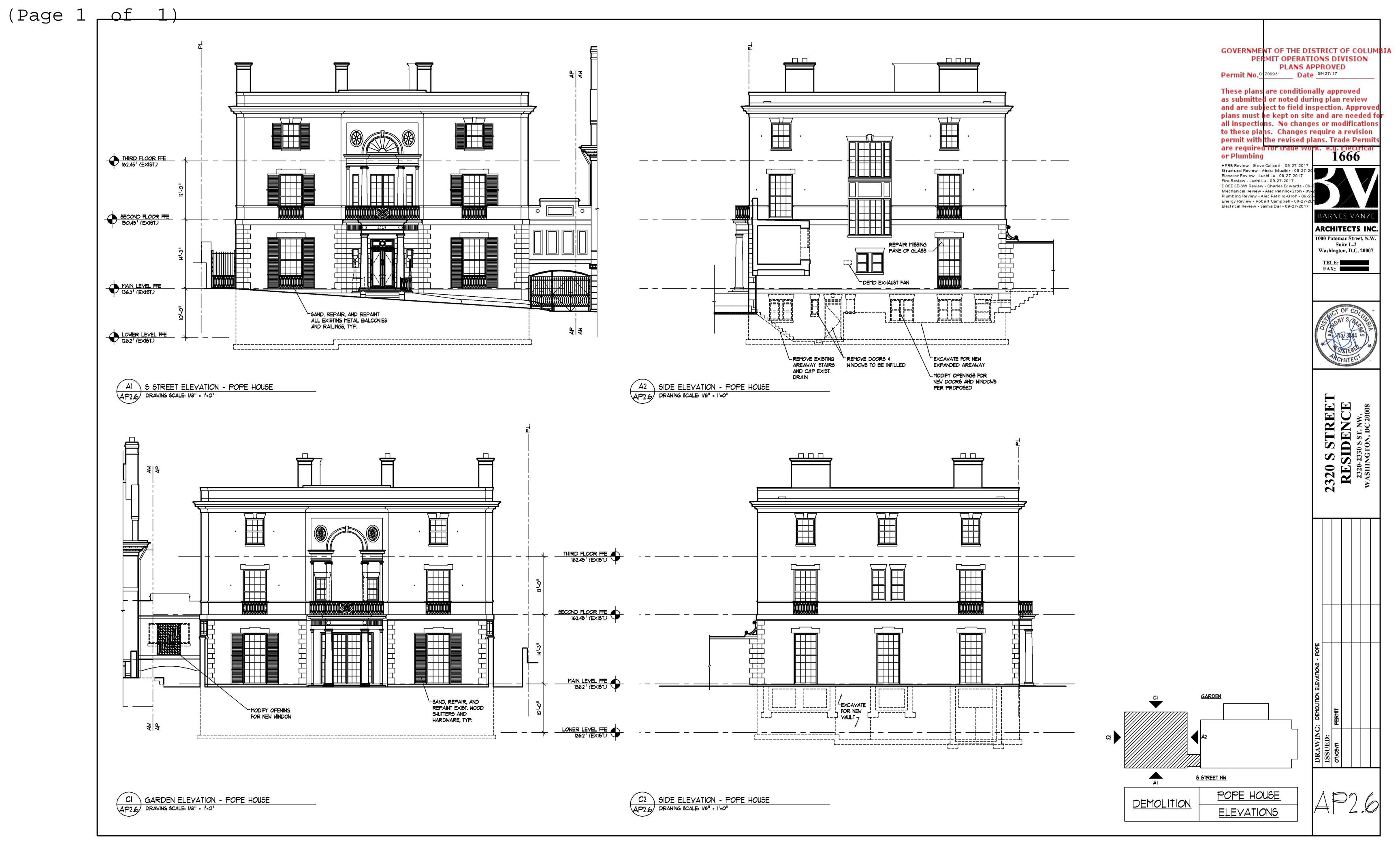
THIRD FLOOR DEMOLITION PLAN - POPE BLDG

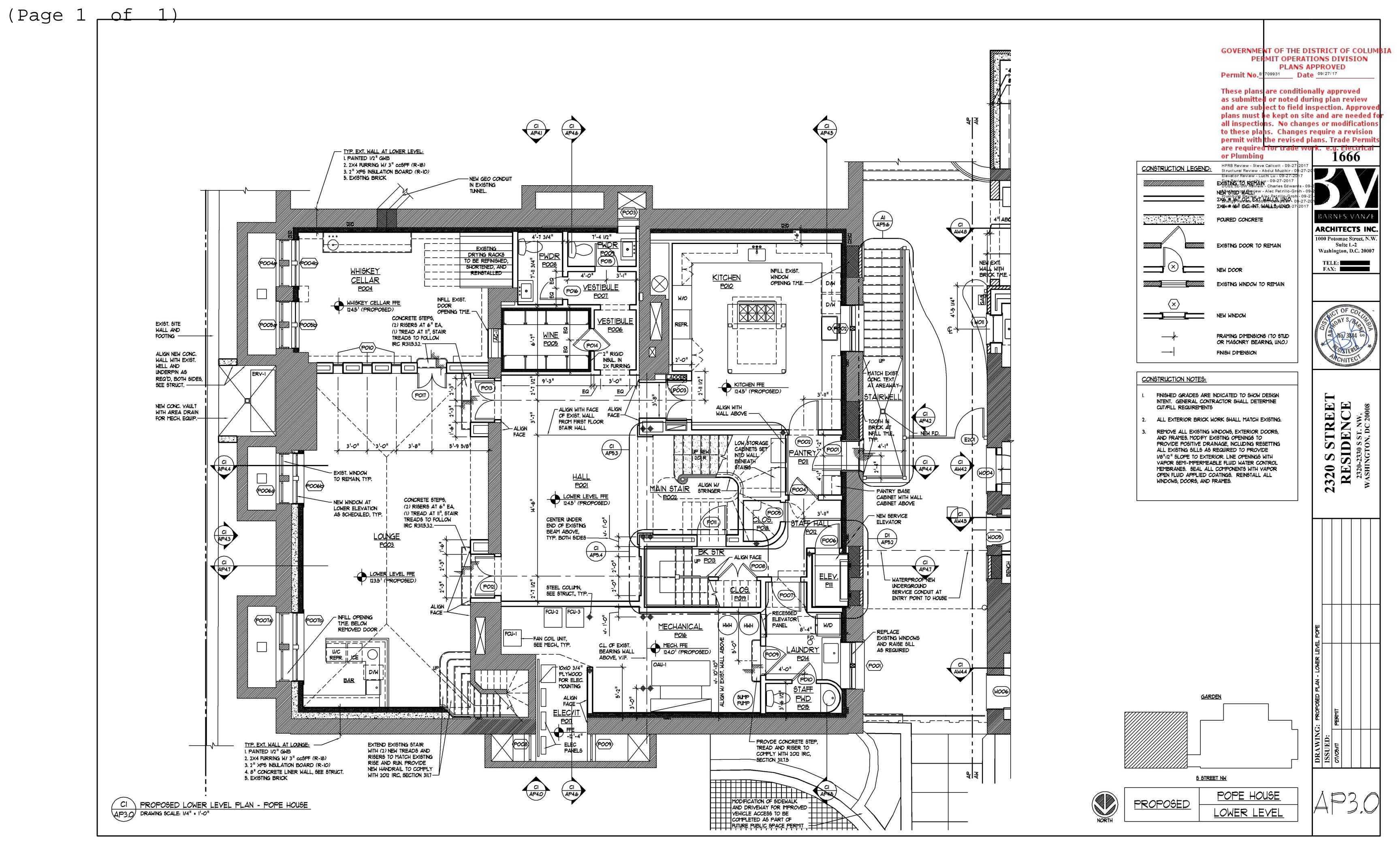
AP2.3 DRAWING SCALE: 1/4" = 1'-0"

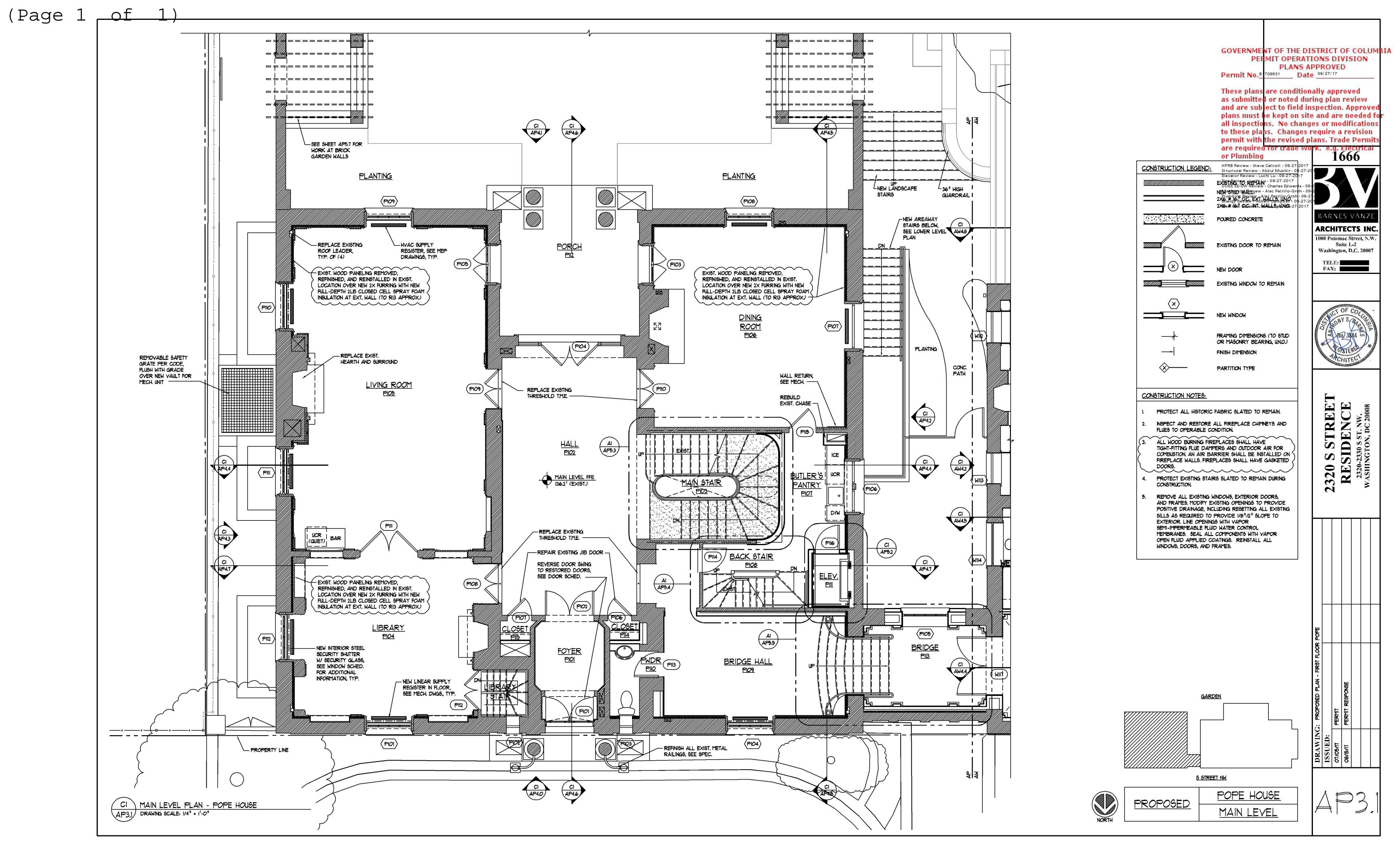
DEMOLITION

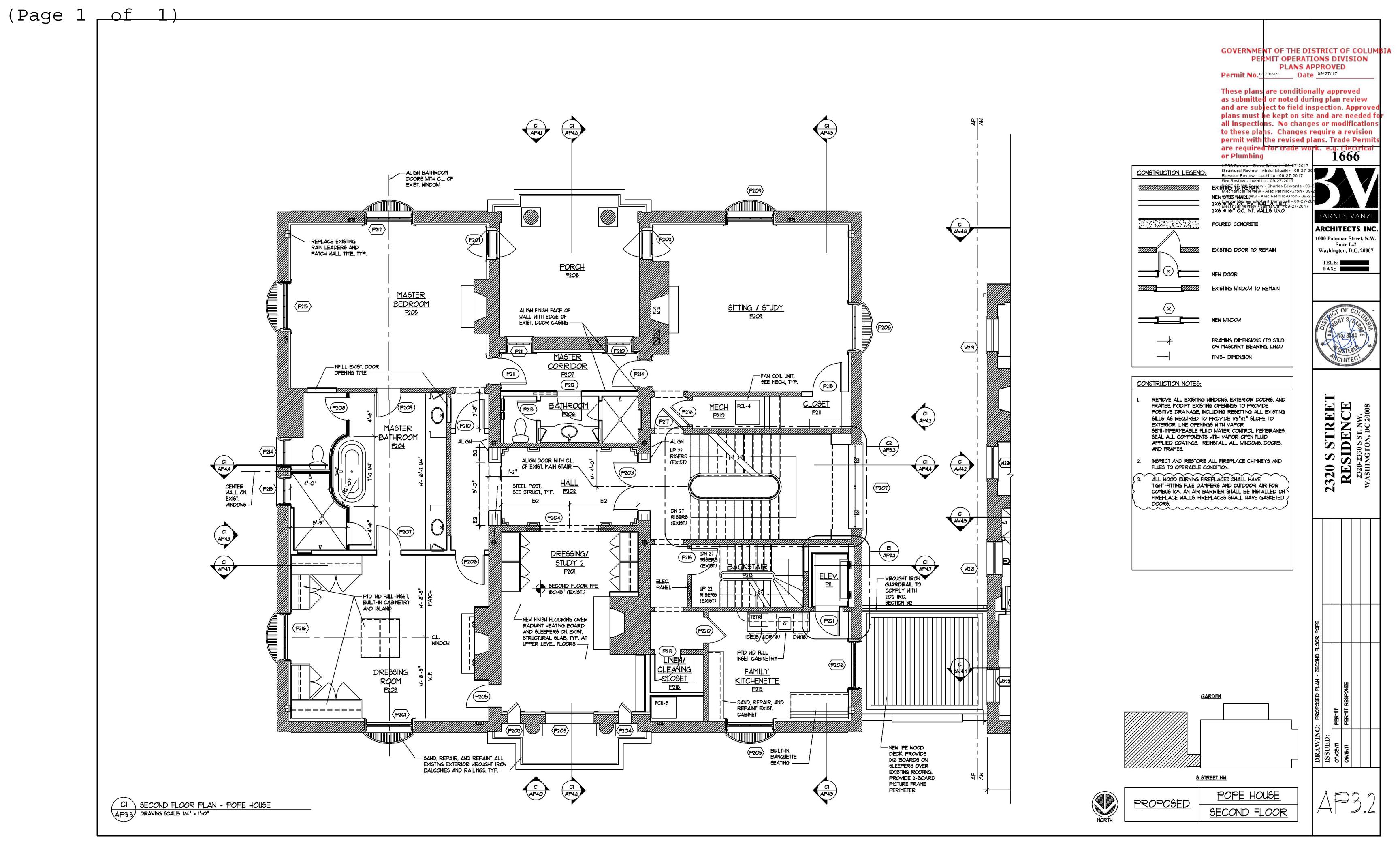
POPE HOUSE THIRD FLOOR

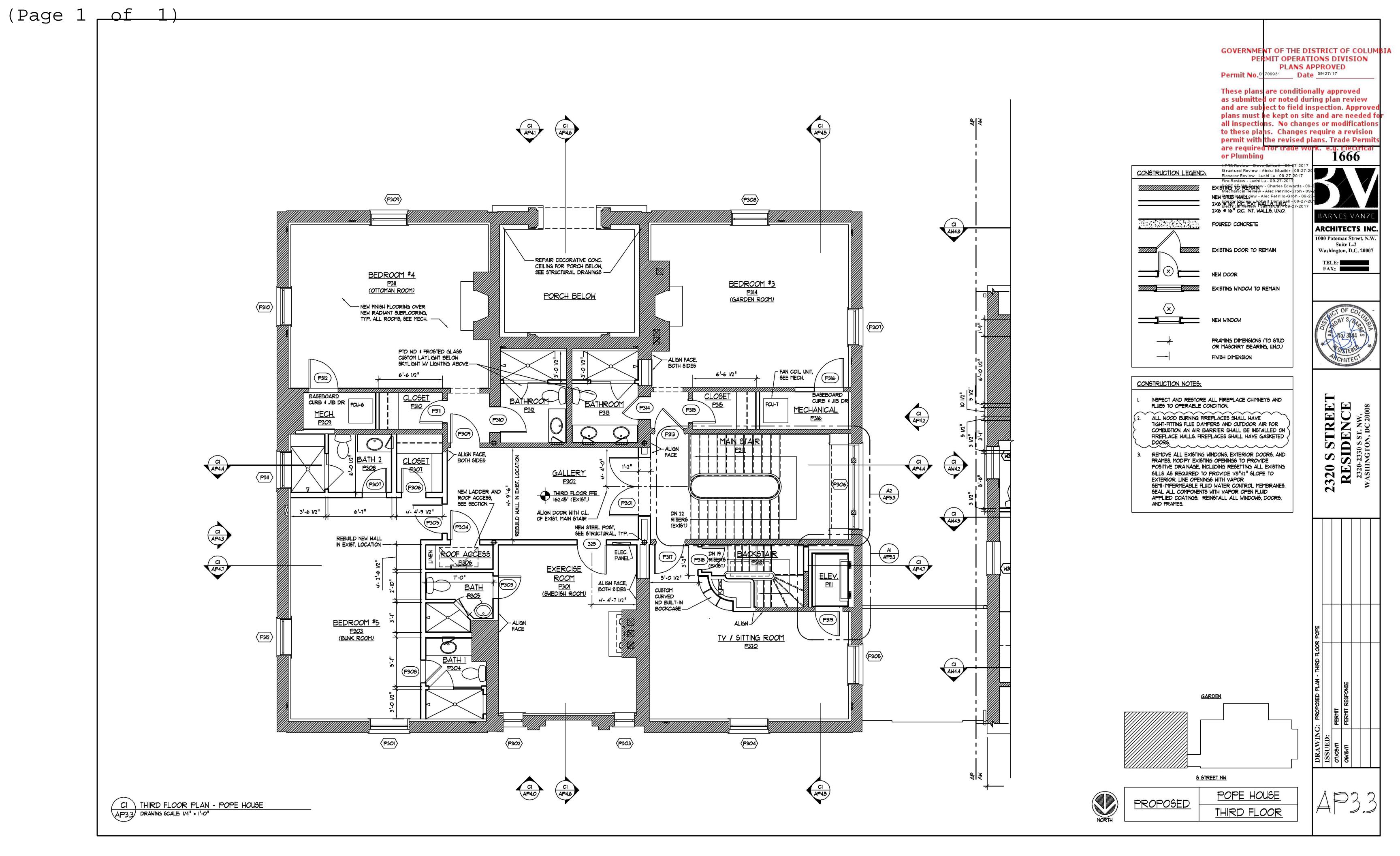


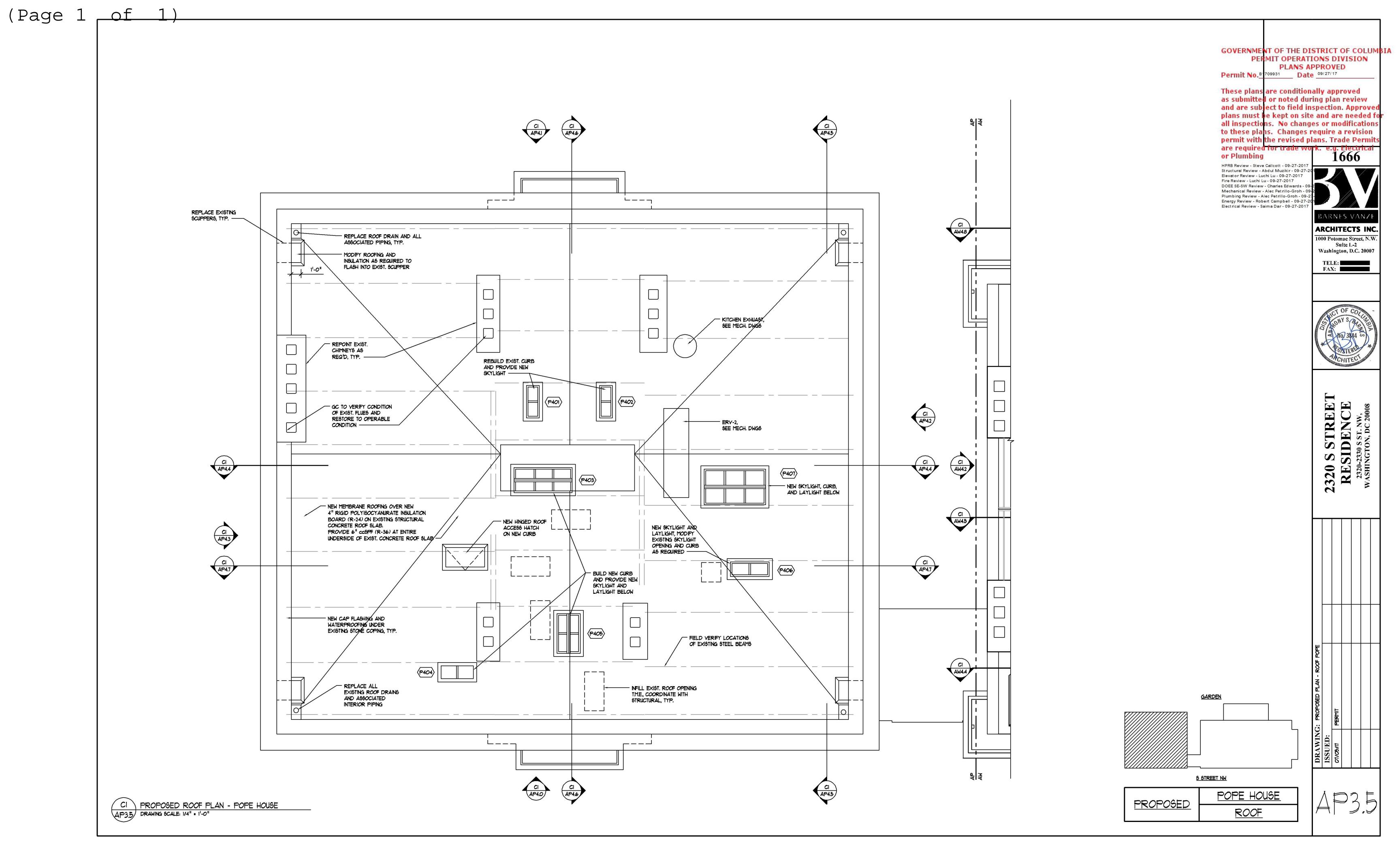




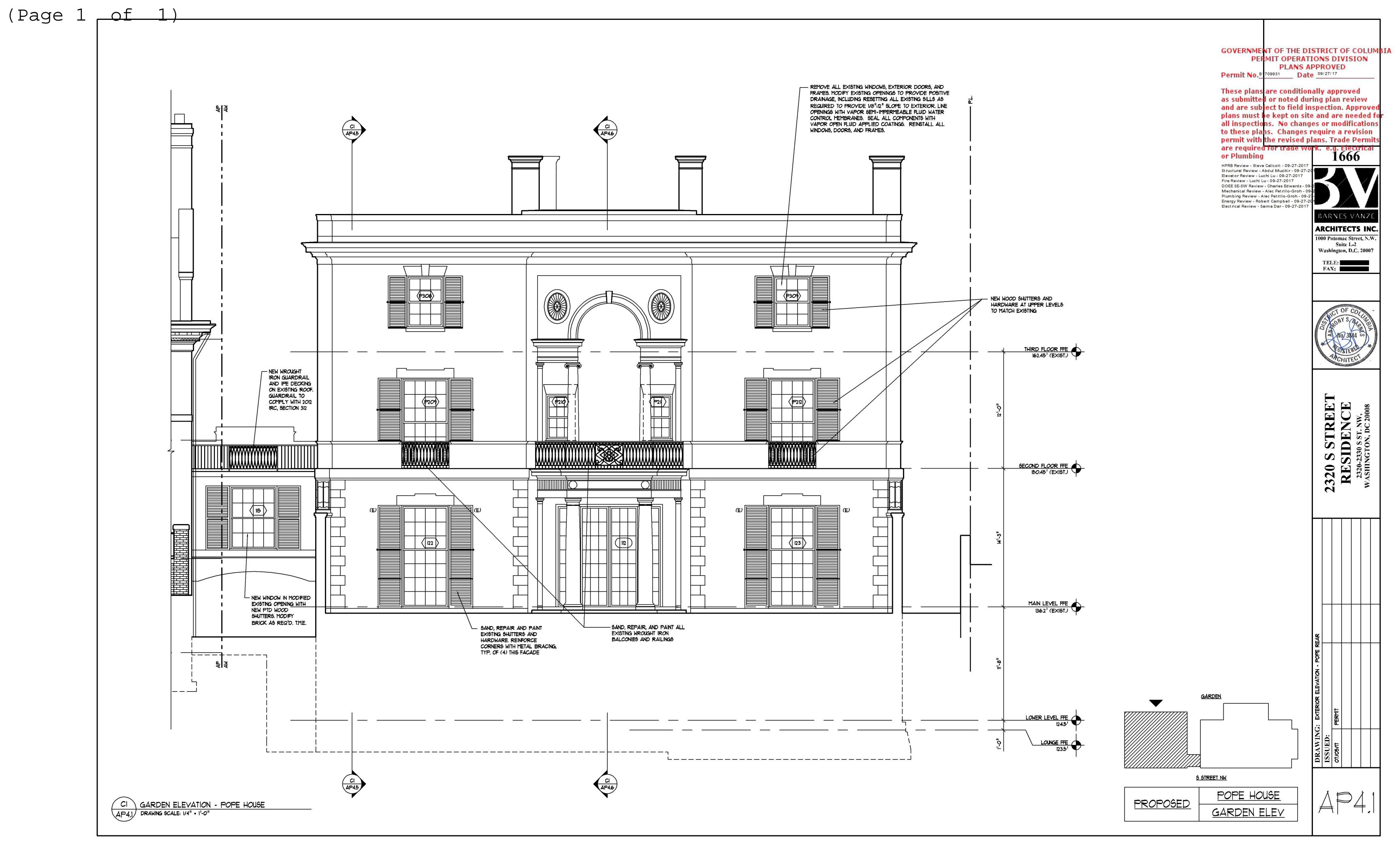


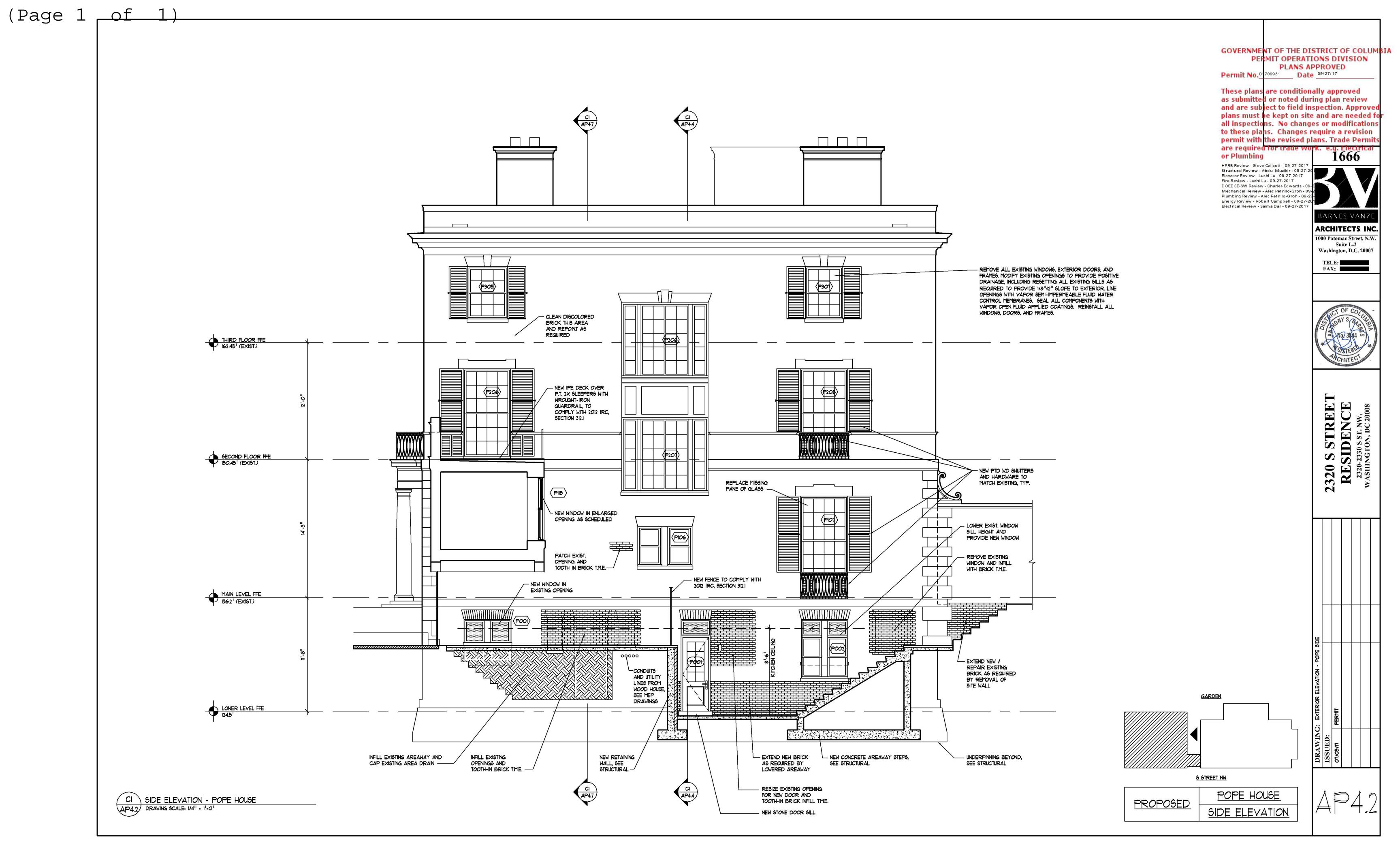


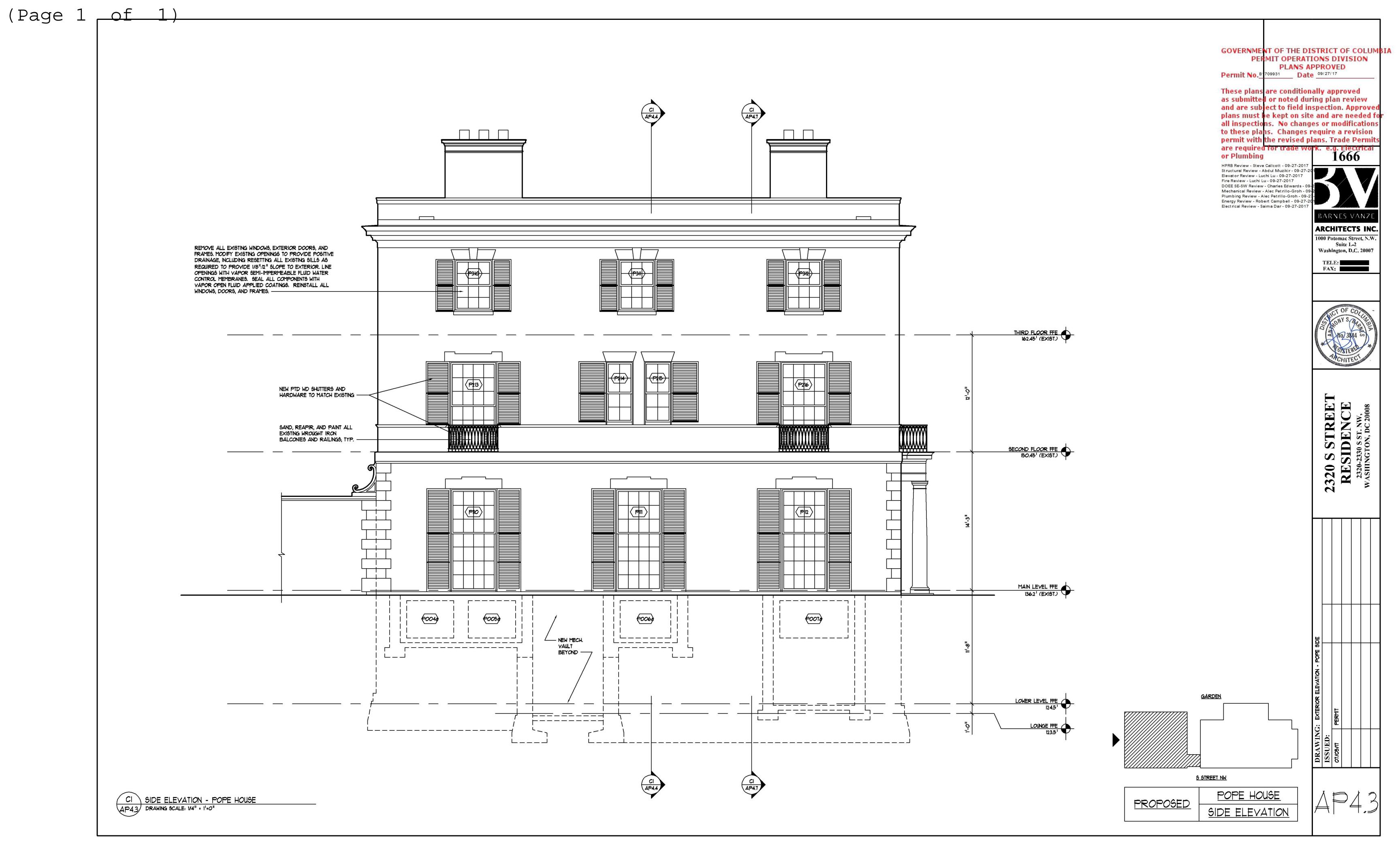


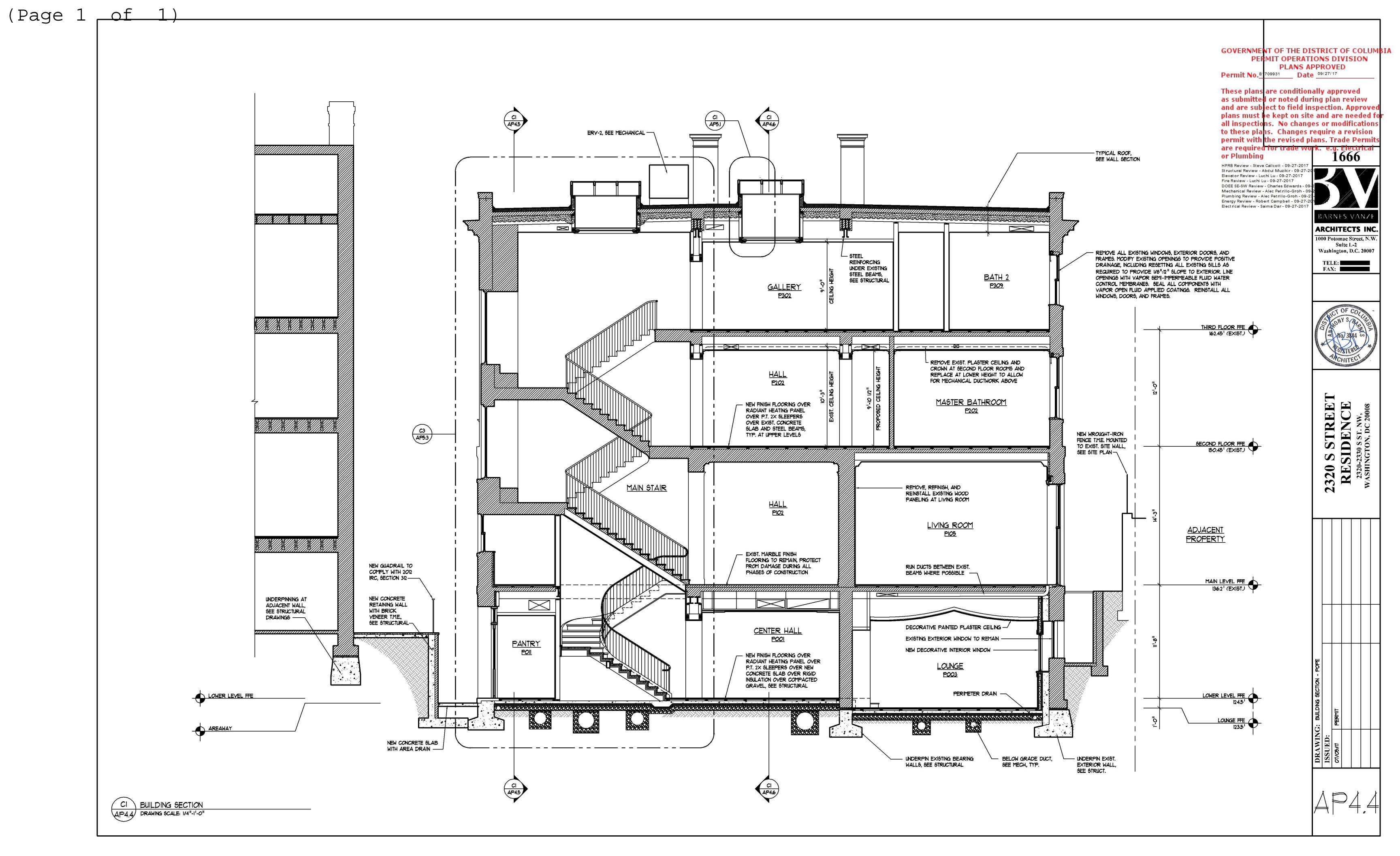


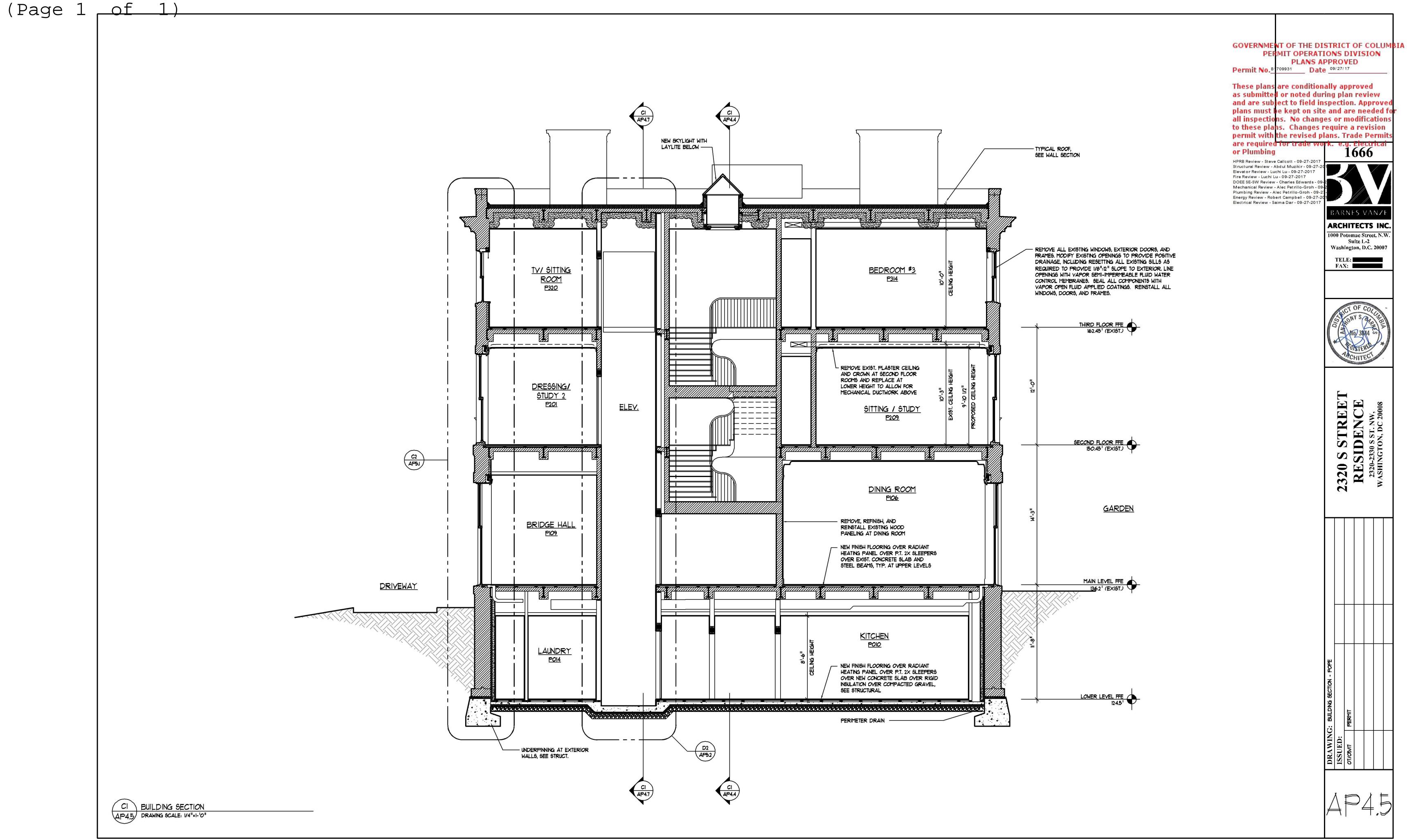












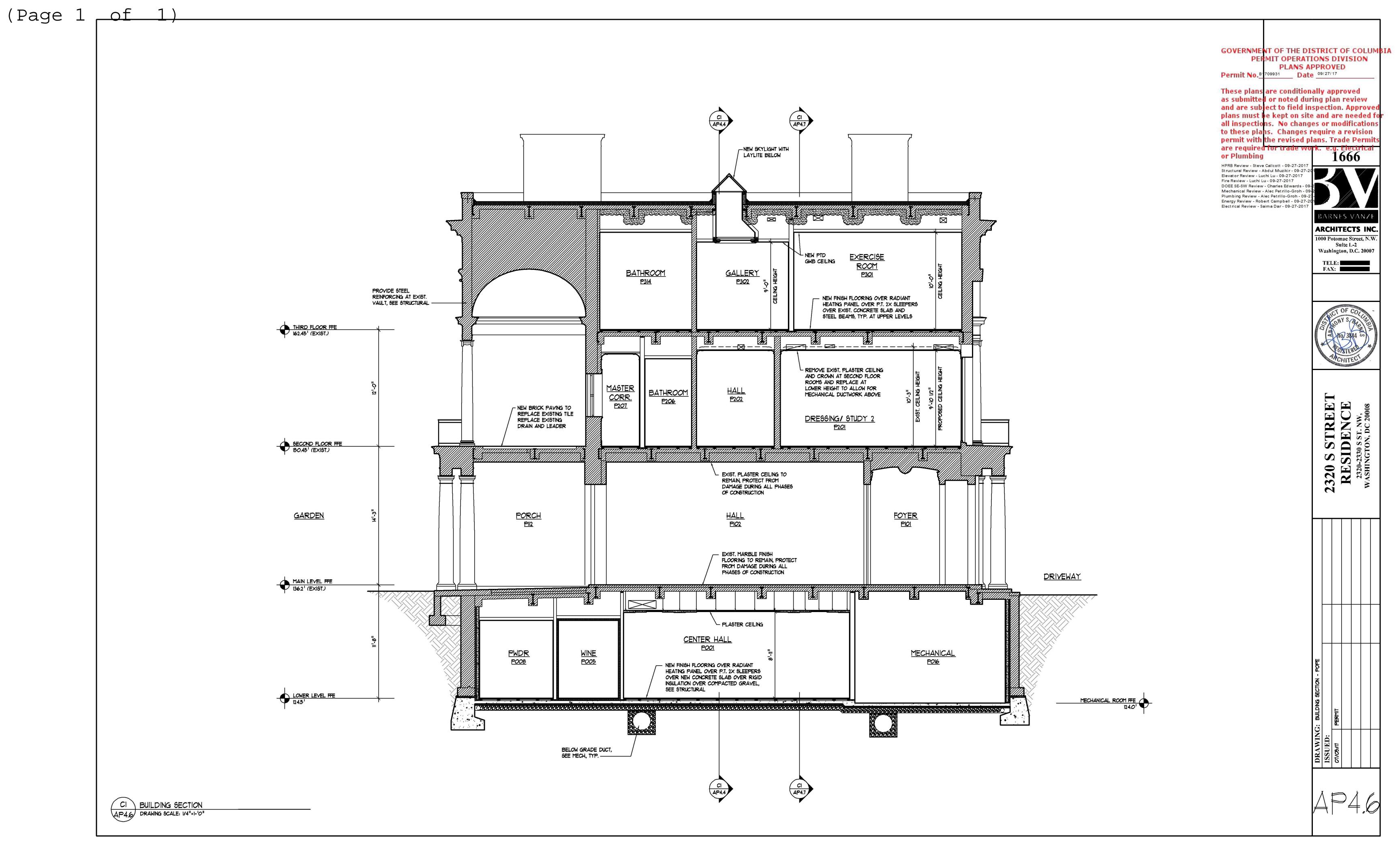
PERMIT OPERATIONS DIVISION

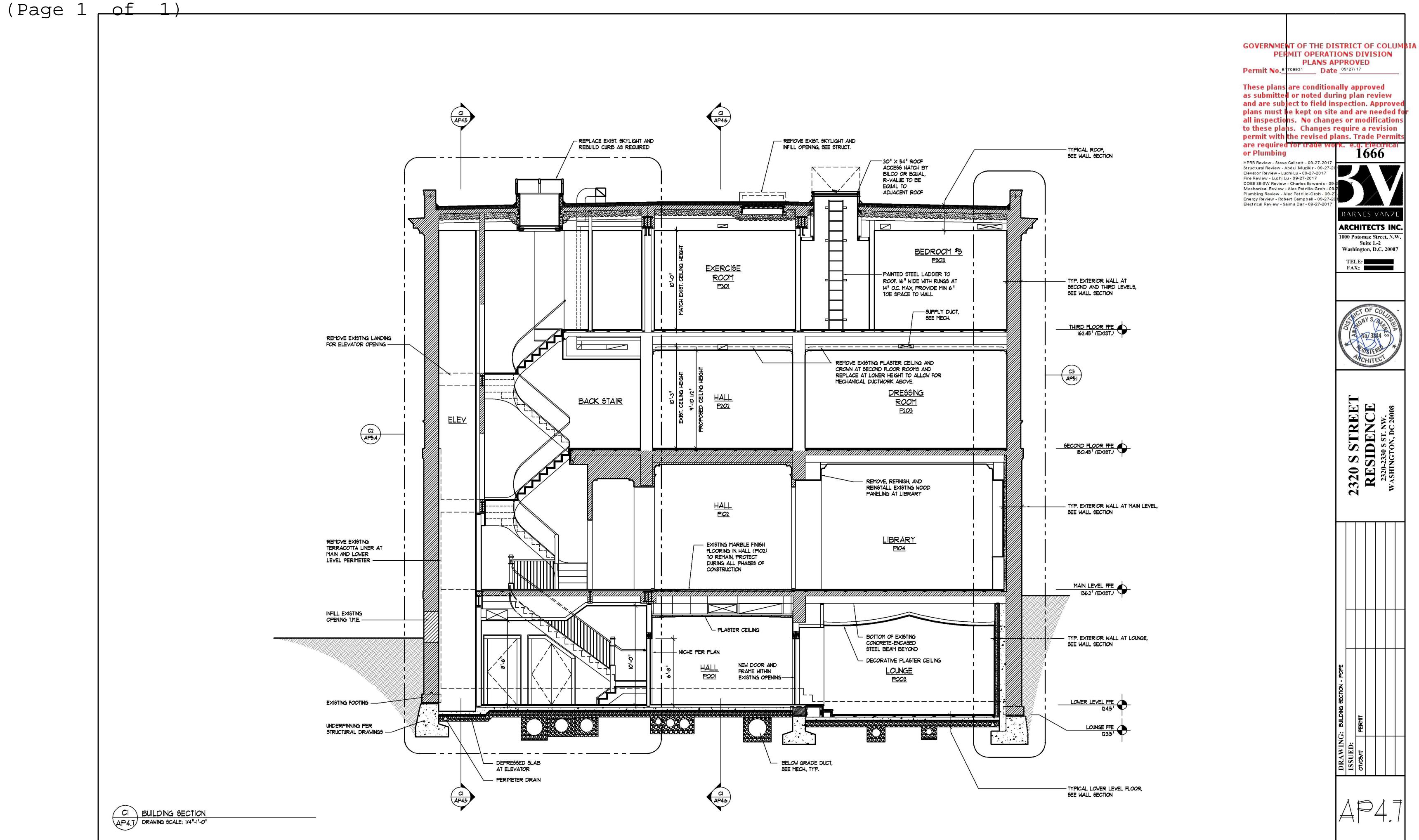
plans must be kept on site and are needed fo all inspections. No changes or modifications permit with the revised plans. Trade Permit

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Washington, D.C. 20007



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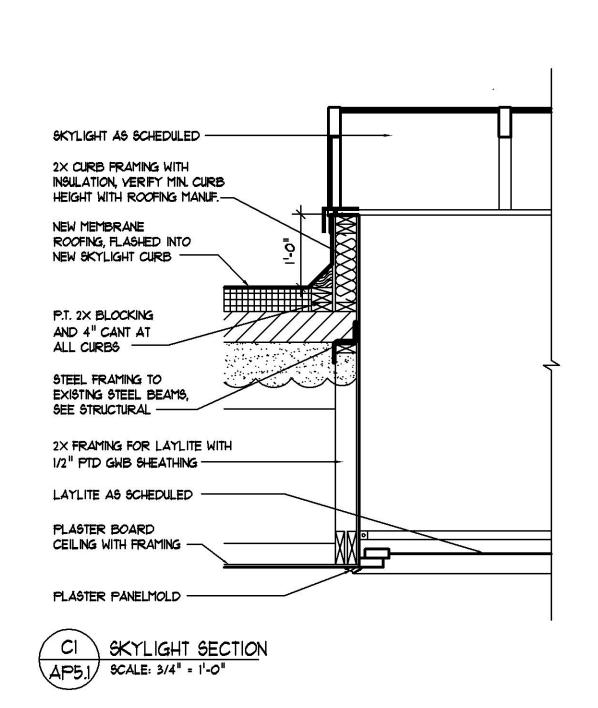
TABLE R402.4.1.1

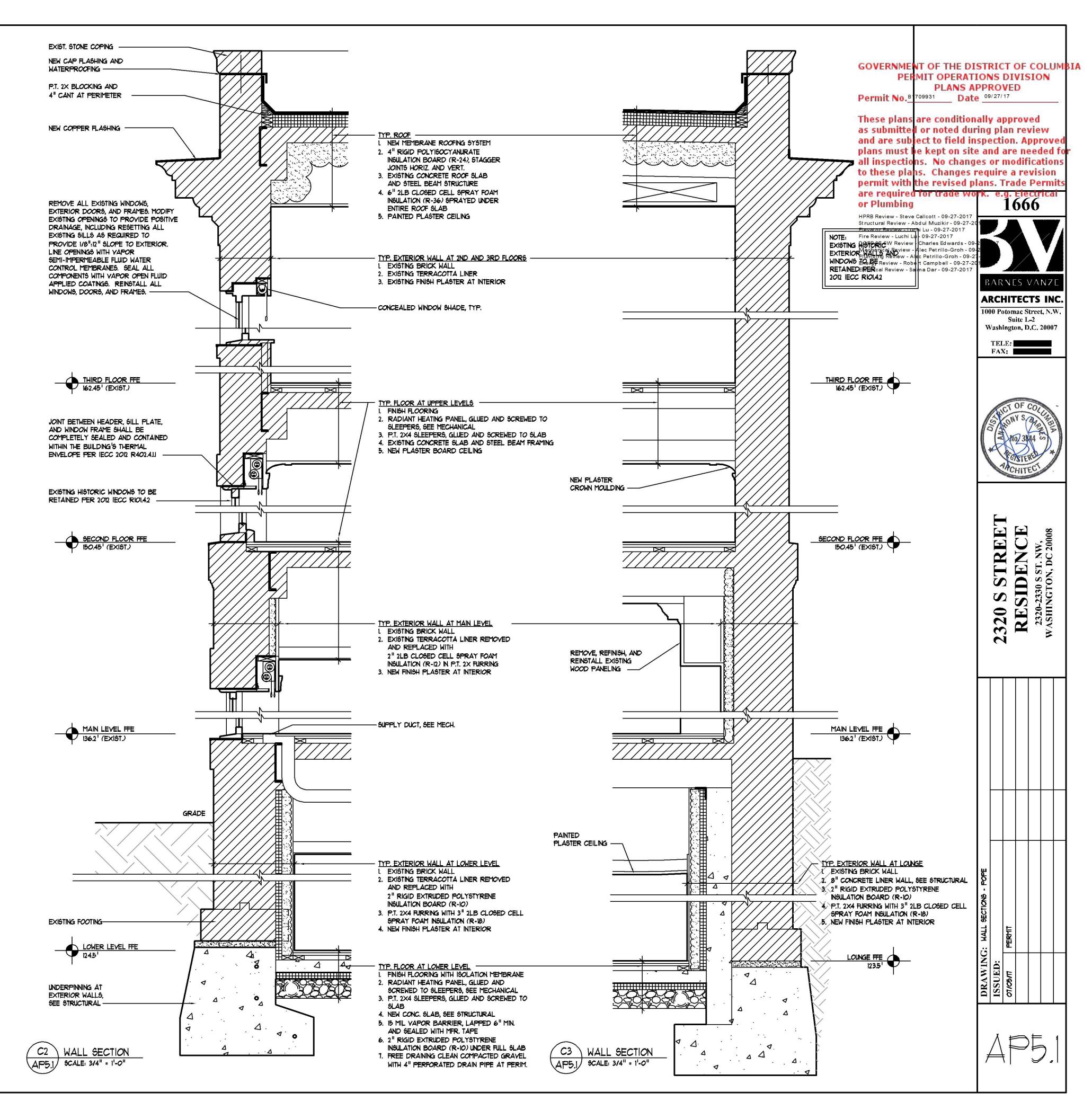
man-same more samenament stand	AIR BARRIER AND INSULATION INSTALLATION
COMPONENT	CRITERIA (a)
	A continuous air barrier shall be installed in the building envelope. Exterior thermal
Air barrier and thermal barrier	envelope contains a continuous air barrier.
All barrier and thermal barrier	Breaks or joints in the air barrier shall be sealed.
	Air-permeable insulation shall not be used as a sealing material.
	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and
Ceiling/attic	any gaps in the air barrier sealed.
Cerning/ actic	Access openings, drop down stair or knee wall doors to unconditioned attic spaces
	shall be sealed.
	Corners and headers shall be insulated and the junction of the foundation and sill
	plate shall be sealed.
Walls	The junction of the top plate and top of exterior walls shall be sealed.
vvalis	Exterior thermal envelope insulation for framed walls shall be installed in
	substantial contact and continuous alignment with the air barrier.
	Knee walls shall be sealed.
NA/indexes abuliable and deepe	The space between window/door jambs and framing and skylights and framing shall
Windows, skylights and doors	be sealed.
Rim joists	Rim joists shall be insulated and include air barrier.
	Insulation shall be installed to maintain permanent contact with underside of
Floors (including above-garage and	subfloor decking.
cantilevered floors)	The air barrier shall be installed at any exposed edge of insulation.
	Where provided in lieu of floor insulation, insulation shall be permanently attached
Cravel are as wells	to the crawlspace walls.
Crawl space walls	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder
	with overlapping joints taped.
Chafte and the time	Duct shafts, utility penetrations, and flue shafts opening to exterior or
Shafts, penetrations	unconditioned space shall be sealed.
NI-	Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by
Narrow cavities	insulation that on installation readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.
December of Park Property	Recessed light fixtures installed in the building thermal envelope shall be air tight, IC
Recessed lighting	rated, and sealed to the drywall.
	Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by
Plumbing and wiring	insulation that on installation readily conforms to available space shall extend
	behind piping and wiring.
	Exterior walls adjacent to showers and tubs shall be insulated and the air barrier
Shower/tub on exterior wall	installed separation them from the showers and tubs.
Electrical falls and the second and	The air barrier shall be installed behind electrical or communication boxes or air
Electrical/phone box on exterior walls	sealed boxes shall be installed.
	HVAC register boots that penetrate building thermal envelope shall be sealed to the
HVAC register boots	subfloor or drywall.
	An air barrier shall be installed on fireplace walls. Fireplaces shall have gasketed
Fireplace	doors.

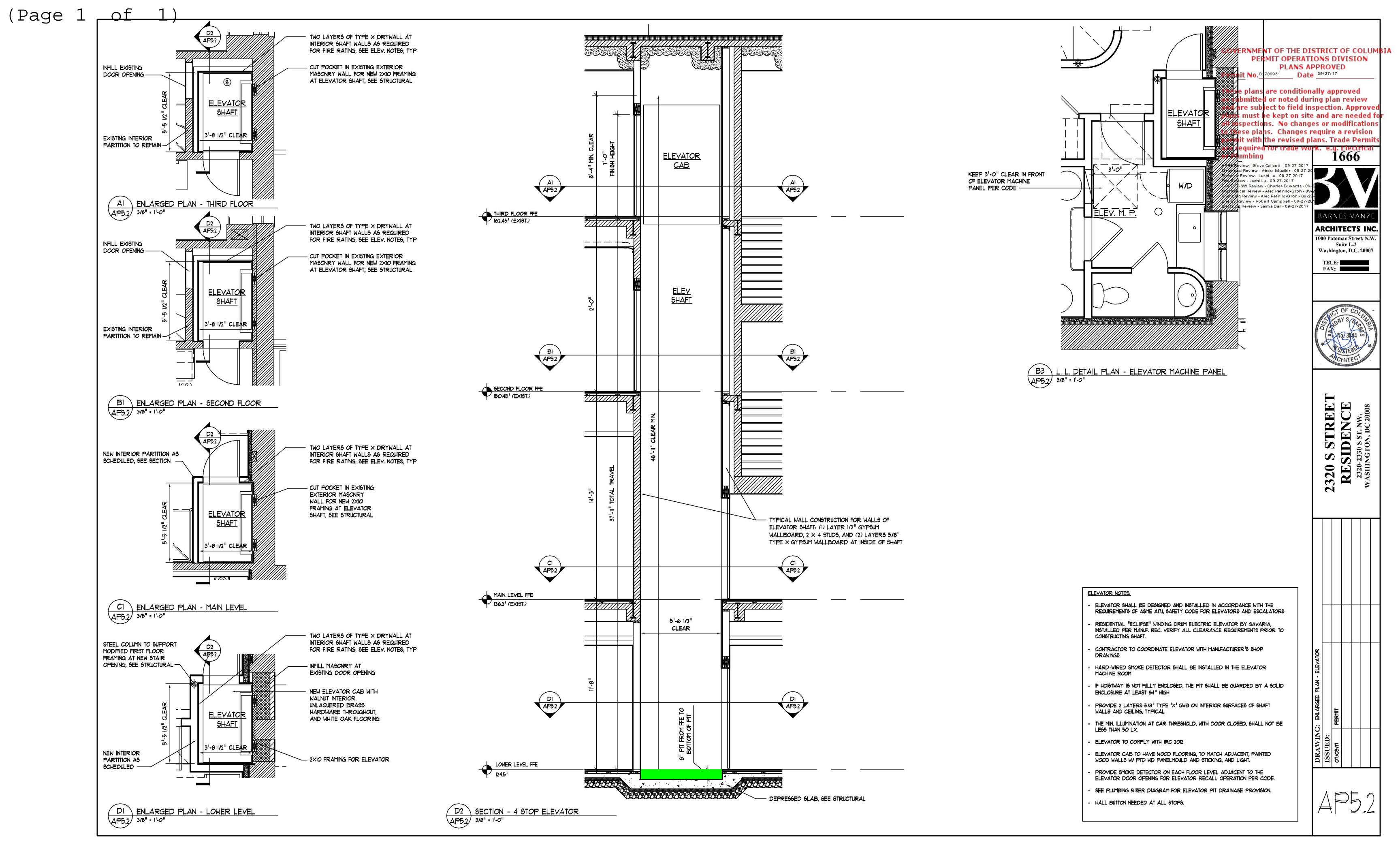
a. In addition, inspection of log walls shall be in accordance with the provisions of ICC-400.

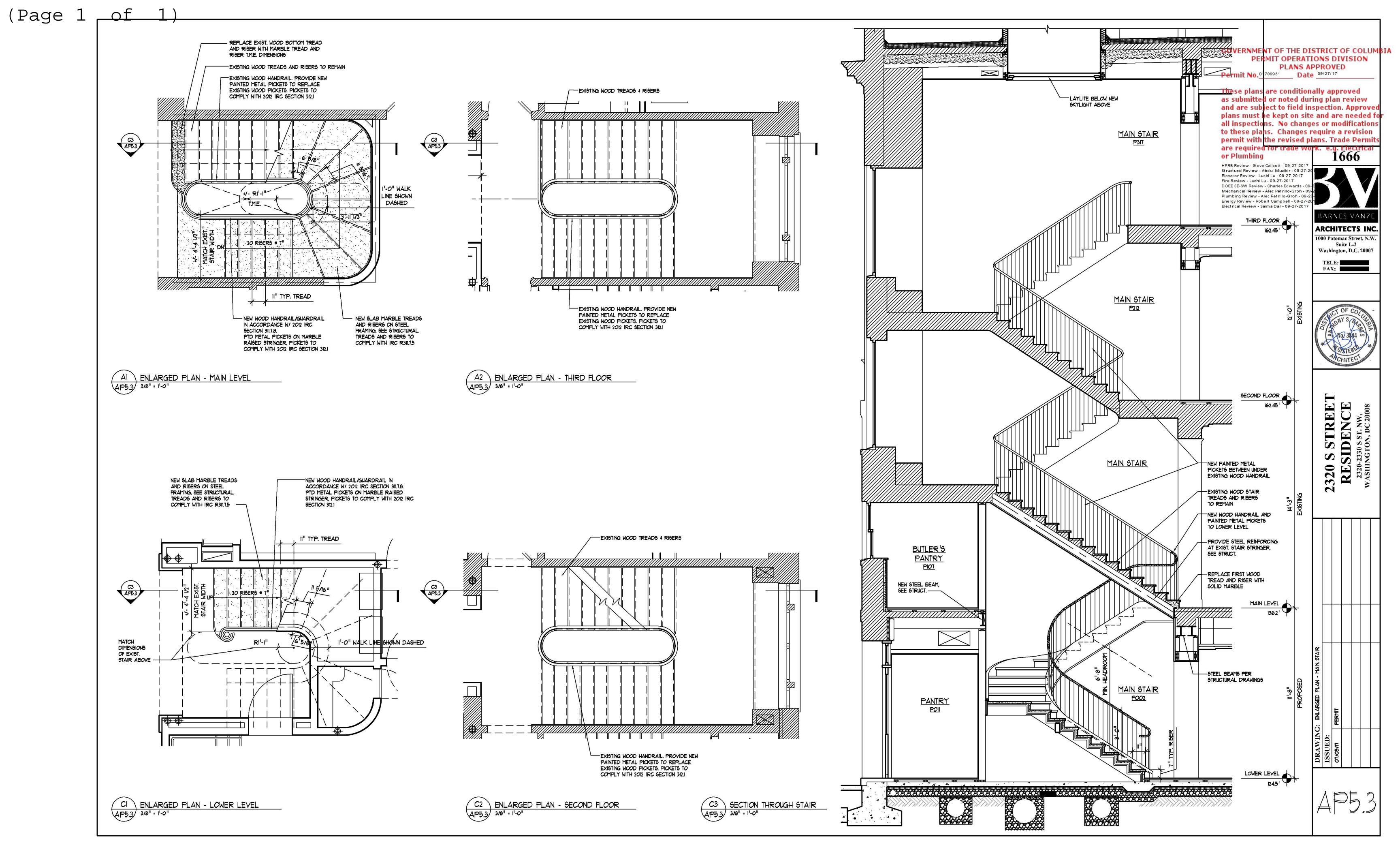
INSTALLATION NOTES:

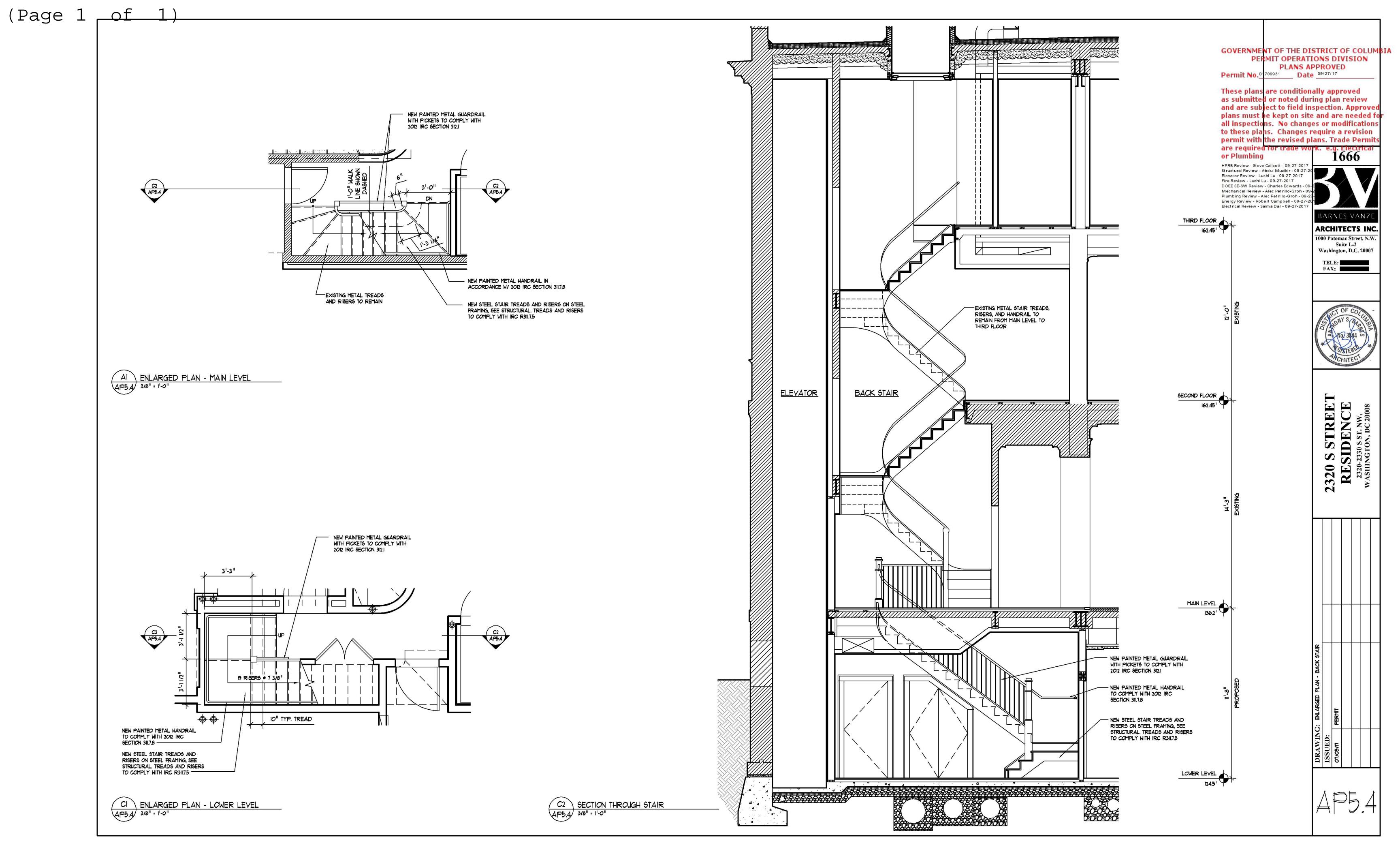
- ALL MATERIALS, SYSTEMS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND THE INTERNATIONAL RESIDENTIAL CODE, 2012 IECC R303.2
- . THE THICKNESS OF BLOWN-IN OR SPRAYED INSULATION SHALL BE WRITTEN IN INCHES IN MARKERS AND THE R-VALUE SHALL BE LISTED ON CERTIFICATED PROVIDED BY THE INSULATION INSTALLER, IN ACCORDANCE WITH 2012 IECC R303.1.1.1
- 3. A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE PER TABLE R402.4.I.I. ALL CORNERS, BUILDING JOINTS, RIM JOISTS, SOFFITS, SHALL BE SEALED CONTINUOUSLY WITHIN THE PACKAGE. THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION IN THE PACKAGE. AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.

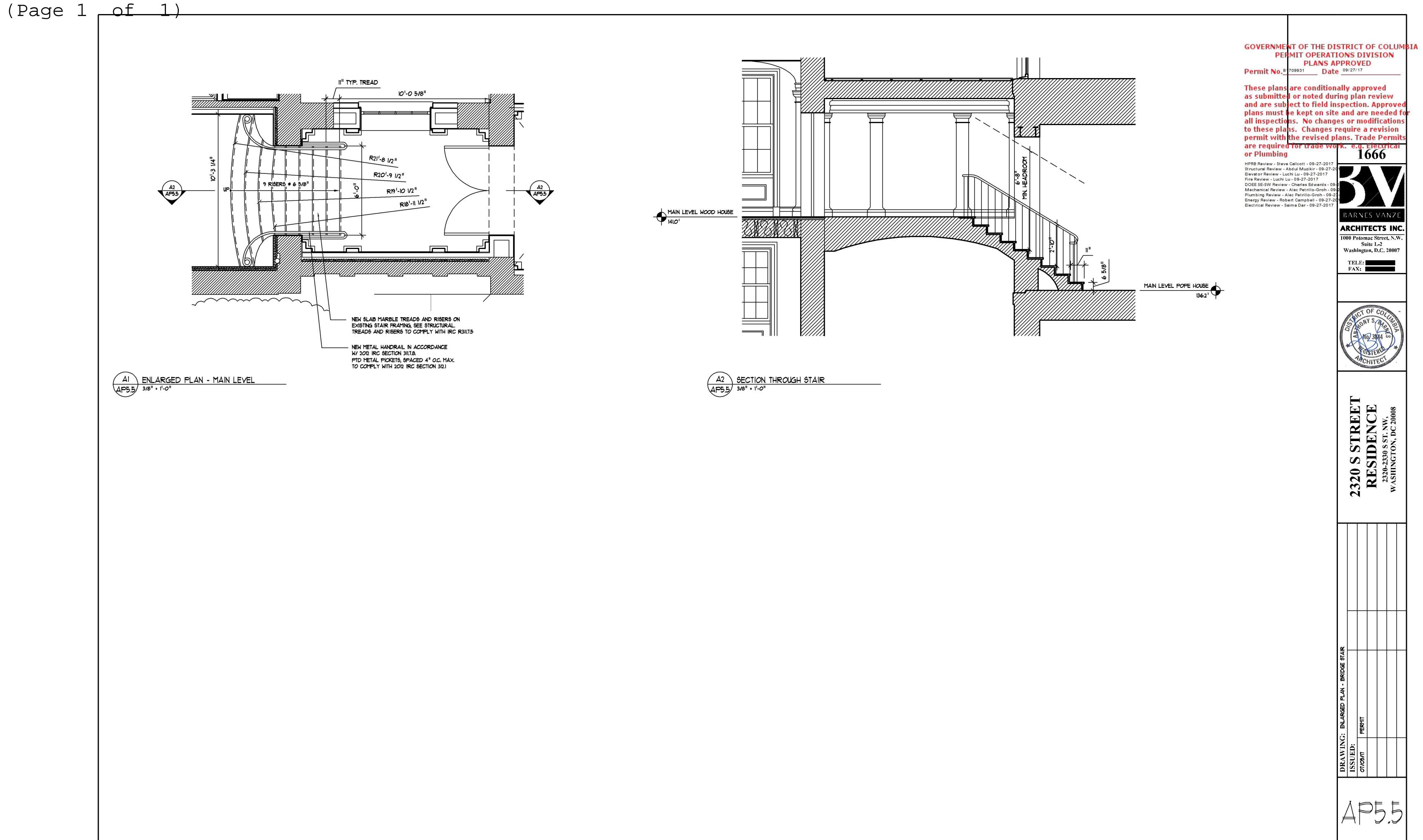


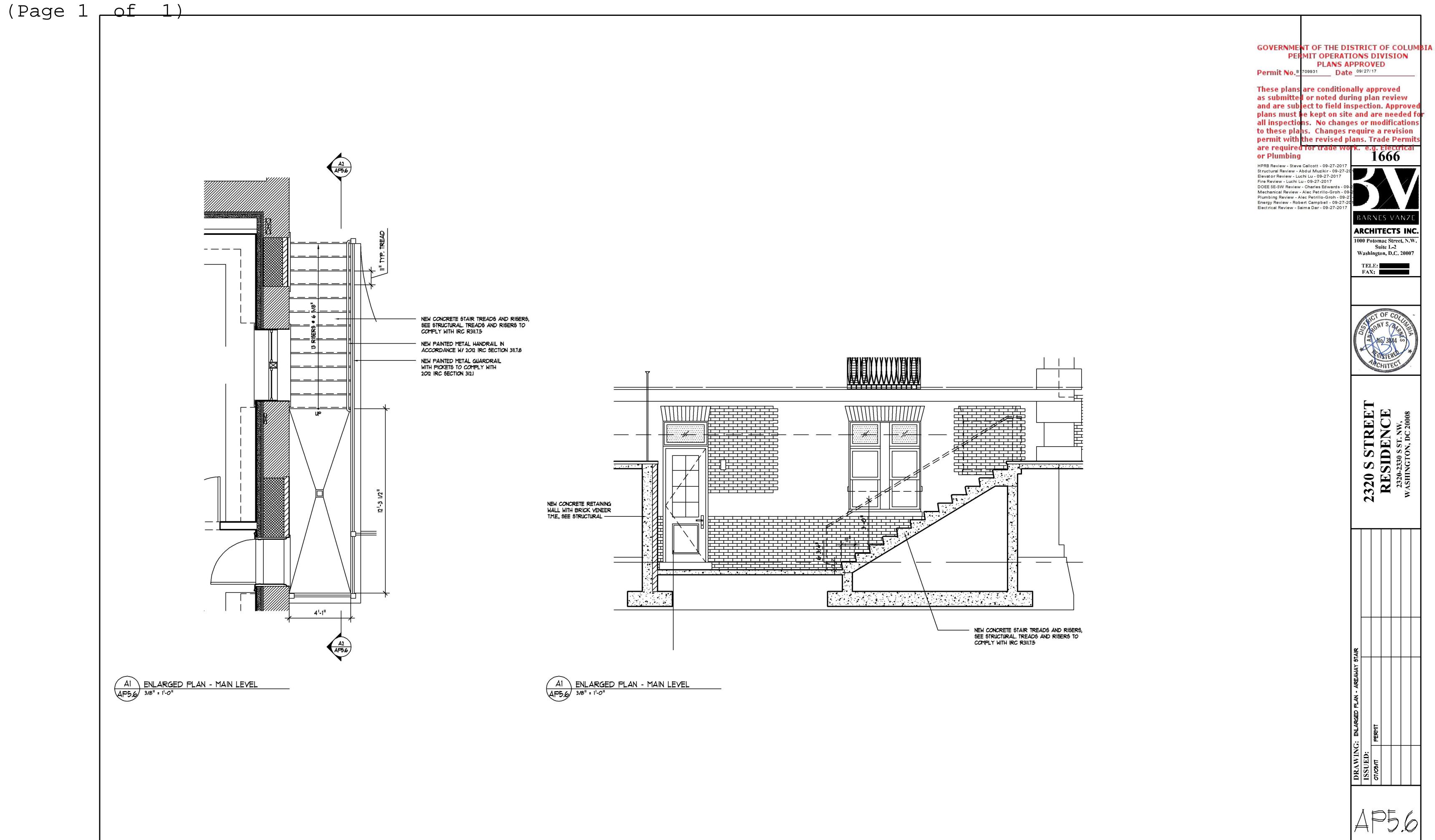












PERMIT OPERATIONS DIVISION

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed fo all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

BARNES VANZE

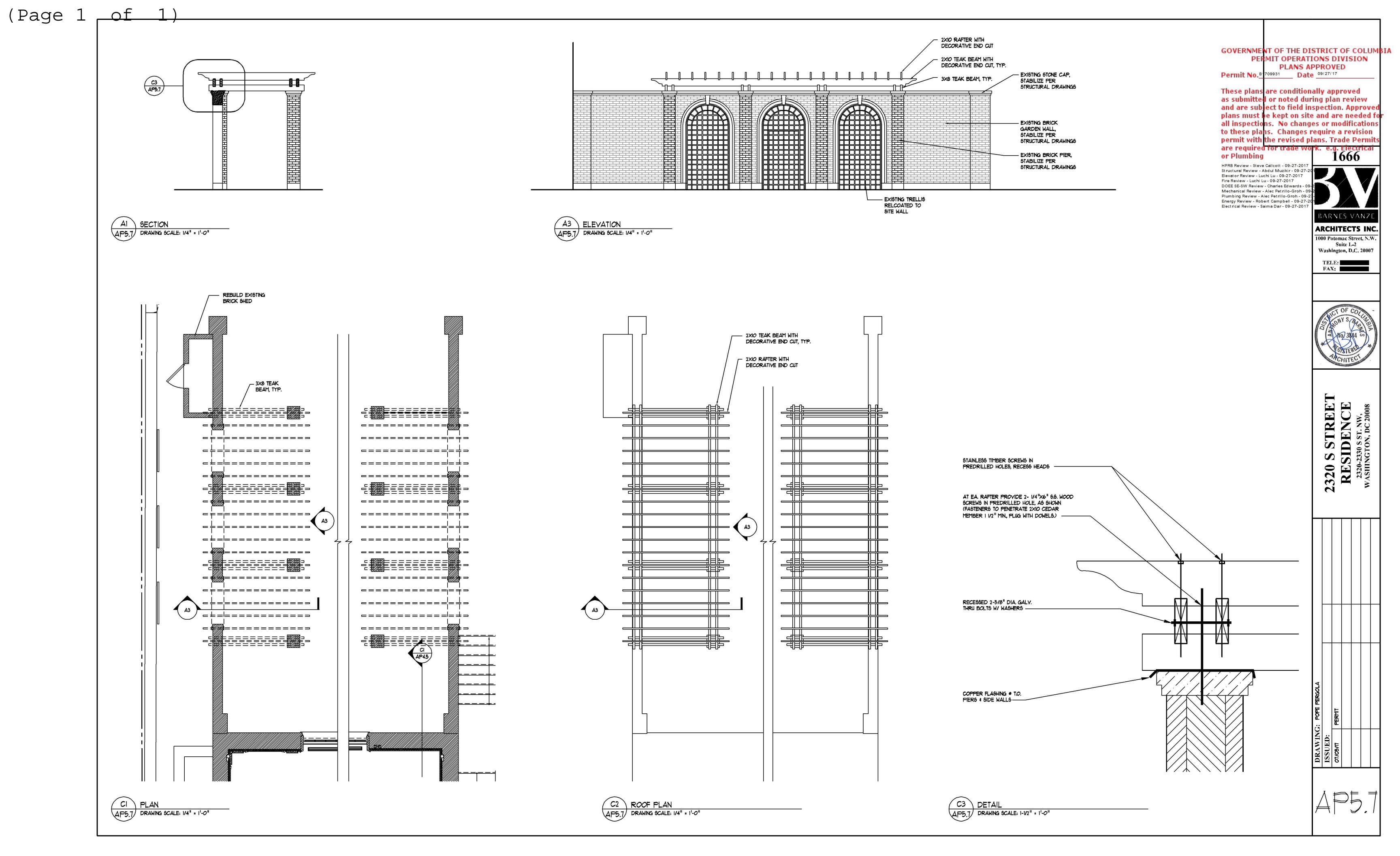
ARCHITECTS INC.

1000 Potomac Street, N.W. Suite L-2 Washington, D.C. 20007

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RESIDENCE
2320-2330 S.T. NW,
WASHINGTON, DC 20008



(Page 1 <u>of 1)</u>

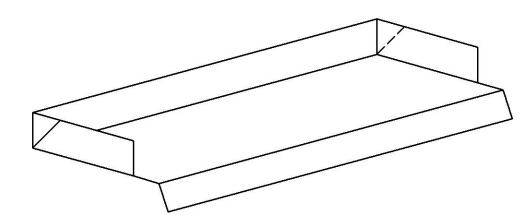
50	DOOR SIZE	TYPE	MATERIAL	<u>SILT</u>		EXTERIOR FINISH	HARDWARE FUNCTION	NOTES .
OWER L	EVEL (2) 2'-6" × 7'-4"	A	METAL/GLASS		PTD	PTD	ENTRY	REPURBISH EXISTING HISTORIC DOORS AND HARDWARE
WOO2	3'-4" × 7'-4"	Д	WOOD/GLASS		PTD	PTD		REPURBISH EXISTING HISTORIC DOORS AND HARDWARE
WOO3	3'-0" × 7'-0"	x	METAL		PTD	PTD		-
WOO4	3'-0" x 7'-0"	В	WOOD/GLASS		PTD	PTD		-
WO05	3'-0" x 7'-0"	В	WOOD/GLASS		PTD	PTD		-
W006	3'-6" × 7'-0"	В	WOOD/GLASS		PTD	PTD		-
MOOT	(2) 2'-6" × 7'-0"	В	WOOD/GLASS		PTD	PTD		CUSTOM BRONZE GRILLE MOUNTED TO GLASS
W008	21-8" × 71-0"	F	WOOD		PTD	PTD	PRIVACY	-
WO09	2'-6" × 7'-0"	F	WOOD		PTD	PTD	PRIVACY	x
MOIO	3'-0" x 7'-0"	F	WOOD		PTD	PTD		LOCKED ELEVATOR MACHINE ROOM DOOR TO CODE
WOII	3'-0" x 7'-0"	F	WOOD		PTD	PTD		×
WO12	2'-8" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY	×
WO13	3'-8" × 7'-0"	F	WOOD		PTD	PTD		ELEVATOR DOOR
WO14	3'-0" × 7'-0"	F	WOOD		PTD	PTD		BI-SWINGING DOOR
WO15	3'-0" × 7'-0"	F	WOOD		PTD	PTD		BI-SWINGING DOOR
WO16	2'-8" × 7'-0"	+	WOOD		PTD	PTD	PASSAGE	-
WOIT	3'-0" x 7'-0"	F	WOOD		PTD	PTD	PASSAGE	-
MOIB	3'-0" x 7'-0"	F	WOOD		PTD	PTD	PASSAGE	•
WO19	3'-0" x 7'-0"	F	WOOD		PTD	PTD	PASSAGE	PLAVING DOOP
WO20	3'-0" x 7'-0"	F	MOOD		PTD	PTD	PASSAGE	BI-SWINGING DOOR
WO21	2'-4" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY	-
WO22	2'-4" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY	BLAWING DOOP
WO23	3'-0" x 7'-0"	F	WOOD		PTD	PTD	PASSAGE	BI-SWINGING DOOR
WO24	(2) 2'-0" x 7'-0"	F	MOOD		PTD	PTD		•
WO25 WO26	(2) 2'-6" × 7'-0" 3'-0" × 7'-0"	F	WOOD WOOD		PTD	PTD		
WO26	2'-8" x 7'-0"	F	MOOD		PTD	PTD	PRIVACY	
WO28	2'-8" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY	
WO29	2'-4" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY	
WO30	3'-4" x 7'-0"	F	WOOD		PTD	PTD	I DIEDEL	
WO31	2'-4" × 7'-0"	 	WOOD		PTD	PTD	PRIVACY	
WO32	2'-8" × 7'-0"	F	WOOD		PTD	PTD	PRIVACY	
WO33	2'-8" × 7'-0"	F	WOOD		PTD	PTD	PRIVACY	
WO34	3'-0" x 7'-0"	D	WOOD		PTD	PTD		REPURBISH EXISTING HISTORIC DOOR
WO35	(2) 2'-6" × 7'-0"	F	WOOD		PTD	PTD	PRIVACY	
W036	2'-6" x T'-0"	F	WOOD		PTD	PTD	DUMMY	
WO37	3'-0" x 7'-0"	F	WOOD		PTD	PTD	<u> </u>	DUTCH DOOR WITH SHELF
W038	(2) 3'-0" × T'-0"	F	WOOD		PTD	PTD		
WO39	3'-0" x 7'-0"	D	WOOD		PTD	PTD		REPURBISH EXISTING HISTORIC DOOR
WO40	3'-0" x 7'-0"	F	WOOD		PTD	PTD		
WO41	3'-0" x 7'-0"	F	WOOD		PTD	PTD	DUMMY	
WO42	(2) 3'-0" x T'-0"		WOOD		PTD	PTD	DUMMY	
WO43	3'-0" x 7'-0"	F	WOOD		PTD	PTD	PASSAGE	
IRST FL	<u>xor</u>							
WIOIA	(2) 2'-6" x 7'-0"	В	WOOD/GLASS		PTD	PTD	×	×
WIOIB	(2) 2 ¹ -6" × 7'-0"	+	WOOD/GLASS		PTD	PTD	×	×
W102	(2) 2'-6" x 7'-0"	С	BRONZE		•	X •	OPERABLE	W/ 1'-8" TALL TRANSOM
W103	(2) 2 ¹ -6" × 7 ¹ -0"	С	BRONZE			E	FIXED	W/ 1'-8" TALL TRANSOM
W104	(2) 2'-6" × 7'-0"	С	BRONZE			•	FIXED	W/ 1'-8" TALL TRANSOM
W105	(3) 2 ¹ -6" × 7 ¹ -0"	С	BRONZE			-	FIXED	W/ 1'-8" TALL TRANSOM
W106	(2) 2'-6" × 7'-0"	С	BRONZE		•	-	FIXED	W/ 1'-8" TALL TRANSOM
WIOT	(2) 2'-6" × 7'-0"	С	BRONZE		•	-	FIXED	W/ 1'-8" TALL TRANSOM
WIOB	(3) 2 ¹ -6" x 7 ¹ -0"	С	BRONZE		•		FIXED	W/ 1'-8" TALL TRANSOM
W109	(2) 2'-6" x 7'-0"	С	BRONZE		•	S=	FIXED	W/ 1'-8" TALL TRANSOM
WIIO	(2) 2 ¹ -6" × 7 ¹ -0"	С	BRONZE		•	-	OPERABLE	W/ 1'-8" TALL TRANSOM
WIII	(2) 2'-6" × 7'-0"	E	WOOD/GLASS		PTD	PTD		
W112	(4) 2 ¹ -6" x 7 ¹ -0"	С	BRONZE		•	-		DOUBLE FOLDING DOORS
WII3	(2) 2'-6" × 7'-0"	E	WOOD/GLASS		PTD	PTD		
WII4	(2) 2'-6" x 7'-0"	E	WOOD/GLASS		PTD	PTD		
WII5	(2) 2'-6" × 7'-0"	E	WOOD/GLASS		PTD	PTD		
WII6	(2) 2'-6" × 7'-0"	E	WOOD/GLASS		PTD	PTD		
WIIT	(2) 3'-0" x 7'-0"	+	WOOD/GLASS		PTD	PTD		W/ CUSTOM BRONZE GRILLE
	3'-8" × 7'-0"	E	WOOD		PTD	PTD		ELEVATOR DOOR
	3'-0" × 7'-0"	E	WOOD		PTD	PTD		BI-9WING DOOR
eliw Pilw	90 000 101 VO 101 O	E	WOOD		PTD	PTD		
W119 W120	3'-0" × 7'-0"		Annual Annual Control	1	PTD	PTD		
W119 W120 W121	3'-0" × 7'-0" 2'-0" × 7'-0"	E	WOOD		V-21/	-		BI-SWING DOOR
W119 W120 W121 W122	3'-0" × 7'-0" 2'-0" × 7'-0" 2'-6" × 7'-0"	E	WOOD		PTD	PTD		SOUR SOURCE SOURCE MODIFIES
W119 W120 W121 W122 W123	3'-0" × 7'-0" 2'-0" × 7'-0" 2'-6" × 7'-0" 2'-4" × 7'-0"	E	WOOD WOOD		PTD	PTD		HIDDEN JIB DOOR AND HARDWARE
W119 W120 W121 W122 W123 W124	3'-0" × 7'-0" 2'-0" × 7'-0" 2'-6" × 7'-0" 2'-4" × 7'-0" 2'-10" × 7'-0"	E	WOOD WOOD		PTD PTD	PTD PTD		SOUR SOURCE STATE AND A SOURCE MANAGEMENT AND A SOURCE AN
W119 W120 W121 W122 W123	3'-0" × 7'-0" 2'-0" × 7'-0" 2'-6" × 7'-0" 2'-4" × 7'-0"	E	WOOD WOOD		PTD	PTD		SOUR SOURCE SOURCE ASSOCIATION ASSOCIATION

DOOR	DOOR SIZE	TYPE	MATERIAL	<u>SILL</u>	INTERIOR FINISH	EXTERIOR FINISH	HARDWARE FUNCTION	NOTES			NT OF THE DIS MIT OPERATI PLANS A	ONS D	IVISION
ECOND			<u>. </u>	<u>. </u>	•				Permit N	0. B1	709931 Date		
W201	(2) 2 ¹ -6" x 7 ¹ -0"	F			PTD	PTD	PRIVACY		Those pla		are condition	-Uir ant	uad
W2O2	3'-8" x 7'-0"	F	WOOD		PTD	PTD	motive ov				l or noted dur		
W2O3	3'-0" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		and are s	ub	ect to field in:	spectio	n. Approve
W204	3'-0" x 7'-0" (2) 2'-6" x 7'-0"	F	WOOD		PTD PTD	PTD PTD	PASSAGE PRIVACY		plans mu	st l	e kept on site	and ar	re needed f
W205 W206	2'-4" x 7'-0"	F	WOOD	+	PTD	PTD	PRIVACY		all inspec	ctio	ns. No change	es or m	odification
W2007	(2) 2 ¹ -0" x 7 ¹ -0"	F	towice need to	+	PTD	PTD	PRIVACY		normit w	plai ith	ns. Changes r the revised pl	equire	a revision
W208	2'-6" x 7'-0"	F	WOOD	+	PtD	PTD	PRIVACY				for trade wo		
W209	2'-0" x 7'-0"	F	MOOD	+	PTD	PTD	PRIVACY		or Plumb				666
W210	2'-6" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY				Callcott - 09-27-2017		
WZIO	2-6 X I-0	F	MCCD	+	1510		PRIVACI		Elevator Review	- Luc	obdul Muzikir - 09-27-20 chi Lu - 09-27-2017		
HIRD FL	00P								Fire Review - Lu		u - 09-27-2017 - Charles Edwards - 09-	2 7	
W301	2'-8" x 7'-0"	T =	WOOD	T	PTD	PTD	PRIVACY				Alec Petrillo-Groh - 09- lec Petrillo-Groh - 09-27		
W3O2	3'-0" x 7'-0"	'		-	PTD	PTD	PRIVACY		Energy Review	Rob	ert Campbell - 09-27-20 aima Dar - 09-27-2017		
W3O3	31-8" x 71-0"	<u> </u>		+	PTD	PTD	11317391	ELEVATOR DOOR				BARN	ES VANZE
W304	2'-8" × 7'-0"	F '	7	+	PTD	PTD	PRIVACY			1			
W305	(2) 2'-0" x 7'-0"	F		+	PTD	PTD	DUMMY	 		1		- 98	TECTS INC
W306	2'-0" × 7'-0"	F	WOOD	1	PTD	PTD	PRIVACY			1		S	omac Street, N.W Suite L-2
W30T	2'-6" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY			1			gton, D.C. 20007
W308	2'-6" x 7'-0"	F	WOOD	1	PTD	PTD	PRIVACY			1		TELE	(1)(1)
	21-8" x 71-0"	F	MOOD		PTD	PTD	PRIVACY			1		FAX:	
W310	2'-8" x 7'-0"	F	MOOD		PTD	PTD	PRIVACY			1			
W311	(2) 2'-0" x 7'-0"	F	WOOD		PTD	PTD	DUMMY						
W312	2'-0" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY						
W313	21-8" × 71-0"	F	WOOD		PTD	PTD	PRIVACY					LICT	OF COL
W314	(2) 2'-0" x 7'-0"	F	WOOD		PTD	PTD	DUMMY					500	NY S BE TO
W315	2'-0" × 7'-0"	F	WOOD		PTD	PTD	PRIVACY					震。	10 38M CS
W316	21-8" × 71-0"	F	WOOD		PTD	PTD	DUMMY			1			131
W317	2'-8" × 7'-0"	F	NE. 16 (19 E. C.)		PTD	PTD	PASSAGE			1		1 1	STERED
W318	2'-8" × 7'-0"	F	All Charles (All Charles		PTD	PTD	PRIVACY			-		A.A.	CHITEC
W319	(2) 2'-0" x 7'-0"	1	WOOD		PTD	PTD	DUMMY			-			
W320	2'-B" x 7'-O"	F	WOOD		PTD	PTD	PRIVACY	ı		-		ĺ	
A B C	PE LEGEND EXTERIOR DOOR: R EXTERIOR DOOR: N EXTERIOR DOOR: N	EW MA	HOGANY DOOR 1	TO MATCH EX	×ISTING							TREET	ENCE ST.NW,
A B	EXTERIOR DOOR: R	EW MA EW BR FURBIS W 2 PA	HOGANY DOOR T ONZE DOOR SH EXISTING ANEL DOOR, DET	TAILS TME.	3000	E.,						SSTRE	SIDENC -2330 S ST. NW, NGTON, DC 200
A B C D E	EXTERIOR DOOR: REEXTERIOR DOOR: NO INTERIOR DOOR: NE INTERIOR DOOR: NE	EW MA EW BR FURBIS W 2 PA	HOGANY DOOR T ONZE DOOR SH EXISTING ANEL DOOR, DET	TAILS TME.	3000	E.						0 S STRE	SIDENC -2330 S ST. NW, NGTON, DC 200
A B C D E	EXTERIOR DOOR: REEXTERIOR DOOR: NO INTERIOR DOOR: NO INTERIOR DOOR: NO INTERIOR DOOR: 6	EW MA EW BR FURBIS W 2 PA	HOGANY DOOR T ONZE DOOR SH EXISTING ANEL DOOR, DET	TAILS TME.	3000	E .						320 S STRE	NC 200
A B C D F	EXTERIOR DOOR: REEXTERIOR DOOR: NO INTERIOR DOOR: NO INTERIOR DOOR: NO INTERIOR DOOR: 6	EW MA EW BR FURBIS W 2 PA PANEL	HOGANY DOOR TONZE DOOR SH EXISTING ANEL DOOR, DET DOOR, REFURBI	TAILS TME. ISH EXISTING	: OR NEW T.M.	E .						0 S STRE	RESIDENC 2320-2330 S ST. NW, ASHINGTON, DC 200
A B C D F	EXTERIOR DOOR: R EXTERIOR DOOR: N EXTERIOR DOOR: N INTERIOR DOOR: RE INTERIOR DOOR: NE INTERIOR DOOR: 6 NOTES SEE SPECIFICATIONS	EW MA EW BR FURBIS W 2 PA PANEL	HOGANY DOOR TONZE DOOR SH EXISTING ANEL DOOR, DET DOOR, REFURBI	TAILS TIME. ISH EXISTING CES, IF ANY.	: OR NEW T.M.		ND NOTES. PROVIDE PR	RICING FROM REILLEY.				320 S STRE	RESIDENC 2320-2330 S ST. NW, ASHINGTON, DC 200
A B C D F	EXTERIOR DOOR: R EXTERIOR DOOR: N EXTERIOR DOOR: N INTERIOR DOOR: RE INTERIOR DOOR: NE INTERIOR DOOR: 6 . NOTES SEE SPECIFICATIONS ENTRANCE DOORS / PROVIDE ALT. PRICE	EW MA EW BR FURBIS W 2 PA PANEL FOR 1 ARE CI	HOGANY DOOR TONZE DOOR SH EXISTING ANEL DOOR, DET DOOR, REFURBI	CES, IF ANY. IY (OR BRONE) SERIES, MQ.	OR NEW TM. NZE) PER ELI Q. ASSELIN, HO	EVATIONS AN OPES, OR EQ	CUSTOM MAHOGANY D	RICING FROM REILLEY. DOORS (OR BRONZE AS NOTED)				320 S STRE	RESIDENC 2320-2330 S ST. NW, ASHINGTON, DC 200
A B C D E F IENERAL 1 2 3 4	EXTERIOR DOOR: R EXTERIOR DOOR: N EXTERIOR DOOR: N INTERIOR DOOR: RE INTERIOR DOOR: NE INTERIOR DOOR: 6 NOTES SEE SPECIFICATIONS ENTRANCE DOORS PROVIDE ALT. PRIC	EW MA EW BR FURBIS W 2 PA PANEL FOR 1 ARE CI ING FO	HOGANY DOOR TONZE DOOR SH EXISTING ANEL DOOR, DET DOOR, REFURBI DOOR ALLOWANG USTOM MAHOGAN R TISCHLER 062 DOORS SHALL BE	CES, IF ANY. Y (OR BROW SERIES, MQ, E PROVIDED	OR NEW TM. NZE) PER ELI ASSELIN, HO D BY THE SA	EVATIONS AN OPES, OR EQ ME MANUFAC	CUSTOM MAHOGANY D	DOORS (OR BRONZE AS NOTED)				320 S STRE	RESIDENC 2320-2330 S ST. NW, ASHINGTON, DC 200
A B C D E F I ENERAL I 2 3 4 5	EXTERIOR DOOR: RE EXTERIOR DOOR: N EXTERIOR DOOR: N INTERIOR DOOR: RE INTERIOR DOOR: NE INTERIOR DOOR: 6 NOTES SEE SPECIFICATIONS ENTRANCE DOORS A PROVIDE ALT. PRIC WINDOWS AND EXTER	EW MA EW BR FURBIS W 2 PA PANEL FOR 1 ARE CI ING FO RIOR I SPONS	HOGANY DOOR ONZE DOOR SH EXISTING ANEL DOOR, DET DOOR, REFURBI DOOR ALLOWANG USTOM MAHOGAN R TISCHLER 062 DOORS SHALL BE	CES, IF ANY. ISH EXISTING CES, IF ANY. IY (OR BRON SERIES, MQ, E PROVIDED DINATING RE	NZE) PER ELE A 499ELIN, HO D BY THE SAI	EVATIONS AN OPES, OR EQ IME MANUFAC 11B DEPTHS, A	C CUSTOM MAHOGANY D CTURER. AND FOR PROVIDING J	Proceedings of the Control of the Co				320 S STRE	RESIDENC 2320-2330 S ST. NW, ASHINGTON, DC 200
A B C D E F I ENERAL 1 2 3 4	EXTERIOR DOOR: RE EXTERIOR DOOR: N EXTERIOR DOOR: N INTERIOR DOOR: RE INTERIOR DOOR: NE INTERIOR DOOR: 6 NOTES SEE SPECIFICATIONS ENTRANCE DOORS A PROVIDE ALT. PRIC WINDOWS AND EXTERIOR SEE RESET ALL EXISTING	EW MA EW BR FURBIS W 2 PA PANEL FOR 1 ARE CI ING FO RIOR 1 SPONS SILLS	HOGANY DOOR ONZE DOOR ONZE DOOR OH EXISTING ANEL DOOR, DET DOOR ALLOWANG USTOM MAHOGAN R TISCHLER 062 DOORS SHALL BI IBLE FOR COORI AS REQUIRED T	TAILS TIME. ISH EXISTING CES, IF ANY. IY (OR BRON SEPROVIDED DINATING RE	NZE) PER ELI ASSELIN, HO D BY THE SAI EQUIRED JAM 1/8" PER FO	EVATIONS AN OPES, OR EQ IME MANUFAC 11B DEPTHS, A OOT SLOPE TO	C CUSTOM MAHOGANY D CTURER. AND FOR PROVIDING J O EXTERIOR.	OOORS (OR BRONZE AS NOTED) AMB EXTENSIONS WHERE NECESSARY FOR WALL THICKNESS SHOWN.				320 S STRE	RESIDENC 2320-2330 S ST. NW, ASHINGTON, DC 200
A B C D E F I ENERAL I 2 3 4 5 6 7	EXTERIOR DOOR: REENTERIOR DOOR: NOTES SEE SPECIFICATIONS ENTRANCE DOORS PROVIDE ALT. PRICE WINDOWS AND EXTERIOR SEE RESET ALL EXISTING REMOVE ALL EXISTING TO EXTERIOR. LINE OF DOORS, AND FRAME	EW MA EW BR FURBIS W 2 PA PANEL FOR 1 ARE CI ING FO RIOR I SPONS SILLS WIND PENIN	HOGANY DOOR ONZE	CES, IF ANY. IY (OR BRON SEPROVIDED DINATING RE TO PROVIDE	NZE) PER ELE NZE) PER ELE NZE) PER ELE NZE) PER FORMES. M	EVATIONS AN OPES, OR EQ ME MANUFAC 1B DEPTHS, A XOT SLOPE TO MODIFY EXIST	C CUSTOM MAHOGANY D CTURER. AND FOR PROVIDING J O EXTERIOR. TING OPENINGS TO PRO	DOORS (OR BRONZE AS NOTED)				320 S STRE	RESIDENC 2320-2330 S ST. NW, ASHINGTON, DC 200
A B C D E F ENERAL 1 2 3 4 5 6 7	EXTERIOR DOOR: RE EXTERIOR DOOR: N EXTERIOR DOOR: N INTERIOR DOOR: RE INTERIOR DOOR: RE INTERIOR DOOR: 6 INTERIOR LINE (DOOR: AND FRAME) INTO EXTERIOR. LINE (DOOR: AND FRAME) INDOOR DESCRIPTION	EW MA EW BR FURBIS W 2 PA PANEL FOR 1 ARE CI ING FO RIOR I SPONS SILLS WINI SPENIN S.	HOGANY DOOR ONZE DOOR ONZE DOOR ONZE DOOR ONZE DOOR ONZE DOOR ONZE DOOR, DET DOOR, REFURBI DOOR ALLOWANG USTOM MAHOGAN OR TISCHLER 052 DOORS SHALL BI DOORS SHALL BI SIBLE FOR COORI AS REQUIRED TOOWS, EXTERIOR GS WITH VAPOR	CES, IF ANY. ISH EXISTING CES, IF ANY. IY (OR BRON SERIES, MQ. DINATING RE TO PROVIDE CORS, ANI SEMI-IMPERI	NZE) PER ELI NZE) PER ELI NZE) PER ELI NZE) PER FO NZE) PER FO NZE) PER FO NZE) PER FO NZE) PER FO NZE) PER FO NZE) PER FO	EVATIONS AN OPES, OR EQ ME MANUFAC 1B DEPTHS, A XOT SLOPE TO MODIFY EXIST ID WATER CO	C CUSTOM MAHOGANY D CTURER. AND FOR PROVIDING J O EXTERIOR. TING OPENINGS TO PRO ONTROL MEMBRANES. S	DOORS (OR BRONZE AS NOTED) AMB EXTENSIONS WHERE NECESSARY FOR WALL THICKNESS SHOWN. DVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8				320 S STRE	RESIDENC 2320-2330 S ST. NW, ASHINGTON, DC 200
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A B C D E F S S S S S S S S S S S S S S S S S S	EXTERIOR DOOR: RE EXTERIOR DOOR: N EXTERIOR DOOR: N INTERIOR DOOR: RE INTERIOR DOOR: RE INTERIOR DOOR: 6 INTERIOR LINE (DOOR: AND FRAME) INTERIOR DOOR: 5 INTERIOR DOOR: 6 INTER	EW MA EW BR FURBIS W 2 PA PANEL FOR 1 ARE CI ING FO RIOR 1 SPONS SILLS WIND PENIN S.	HOGANY DOOR ONZE DOOR, DET DOOR, REFURBI DOOR ALLOWANG USTOM MAHOGAN ON TISCHLER 062 DOORS SHALL BI DOORS SHALL BI DOWS, EXTERIOR GE WITH VAPOR ON TOORS, INCLUD	CES, IF ANY. IY (OR BROND SERIES, MQ, E PROVIDED DINATING RE TO PROVIDE DOORS, AND SEMI-IMPERIT	NZE) PER ELE NZE) PER ELE NZE) PER ELE NZE) PER ELE NZE) PER FOR NZE) PER ELE NZE) PER ELE NZE) PER ELE NZE) PER ELE NZE) PER ELE NZE) PER FOR NZE) PER FOR NZ	EVATIONS AN OPES, OR EQ ME MANUFAC 1B DEPTHS, A NOT SLOPE TO MODIFY EXIST ID WATER CO	C CUSTOM MAHOGANY DETURER. AND FOR PROVIDING J. O EXTERIOR. TING OPENINGS TO PRODUITE ONTROL MEMBRANES. SECTION. ED. MATCH EXISTING.	OOORS (OR BRONZE AS NOTED) AMB EXTENSIONS WHERE NECESSARY FOR WALL THICKNESS SHOWN. OVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8 SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, EXT				320 S STRE	RESIDENC 2320-2330 S ST. NW, ASHINGTON, DC 200
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A B C D E F ENERAL 1 2 3 4 5 6 7 ITERIOR 1 2 3	EXTERIOR DOOR: RE EXTERIOR DOOR: N EXTERIOR DOOR: N INTERIOR DOOR: RE INTERIOR DOOR: RE INTERIOR DOOR: 6 NOTES SEE SPECIFICATIONS ENTRANCE DOORS A PROVIDE ALT. PRIC WINDOWS AND EXTE CONTRACTOR IS RE RESET ALL EXISTING REMOVE ALL EXISTING TO EXTERIOR. LINE (DOOR DESCRIPTION INTERIOR DOORS SH ALL DETAILS ON INT ALL NEW INTERIOR (R DOOR DESCRIPTION ENTRANCE DOOR EX	EW MA EW BR FURBIS W 2 PA PANEL FOR 1 ARE CI ING FO SPONS SILLS WININ S. HALL E ERIOR TERIOR TERIOR	HOGANY DOOR ONZE DOOR, DET DOOR, REFURBI DOOR ALLOWANG USTOM MAHOGAN OR TISCHLER 052 DOORS SHALL BE OOWS, EXTERIOR GE WITH VAPOR ONZE SOLID WOOD, ONZE DOORS, INCLUID ORS SHALL BE MA	CES, IF ANY. IY (OR BRONDE SERIES, MQ. DINATING RE DOORS, ANI SEMI-IMPERI TRECEIVE A IAHOGANY, HI AHOGANY, AN	NZE) PER ELI NZE) PER ELI NZE) PER ELI NZE) PER ELI NZE) PER FORMA NZE) P	EVATIONS AN OPES, OR EQ ME MANUFAC 18 DEPTHS, A MODIFY EXIST ID WATER CO	CLUSTOM MAHOGANY DETURER. AND FOR PROVIDING JA O EXTERIOR. TING OPENINGS TO PRODUITE OF THE CONTROL MEMBRANES. SEED. MATCH EXISTING. ED TO MATCH THE DOOR	DOORS (OR BRONZE AS NOTED) AMB EXTENSIONS WHERE NECESSARY FOR WALL THICKNESS SHOWN. DVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8 SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, EXT				320 S STRE	RESIDENC 2320-2330 S ST. NW, ASHINGTON, DC 200
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A B C D E F STENERAL I 2 3 4 5 6 7 7 STERIOR I 2 3 4 5 5 6 5 6 7 7 STERIOR I 2 3 5 5 5 6 5 6 7 7 5 5 5 6 6 7 7 5 5 6 6 7 7 7 7	EXTERIOR DOOR: RE EXTERIOR DOOR: N EXTERIOR DOOR: N INTERIOR DOOR: RE INTERIOR DOOR: RE INTERIOR DOOR: RE INTERIOR DOOR: 6 INTERIOR SHALL EXISTING TO EXTERIOR. LINE: 6 INTERIOR DOOR: 5 INTERIOR DOOR: 5 INTERIOR DOOR: 5 INTERIOR DOOR: 6 INTERIOR	EW MA EW BR FURBIS W 2 PA PANEL FOR 1 ARE CO SPONS SILLS SILLS WINN S. HALL E FOR 1 TERIOR	HOGANY DOOR ONZE DOOR, DET DOOR, REFURBI DOOR ALLOWANG USTOM MAHOGAN OR TISCHLER 062 DOORS SHALL BE MED TO BE MAHOR ONZE SHALL BE MA ONZE SHALL BE	CES, IF ANY. IY (OR BRONDED BY SERIES, MQ. IS PROVIDED BY DOORS, AND SEMI-IMPERIOR HARDWANT RECEIVE AND FINANCE INSULATE WITH MILL FINAL MATCH EX	NZE) PER ELI Q. ASSELIN, HO DIBY THE SAI EQUIRED JAM 1/8" PER FO ND FRAMES, M MEABLE FLUII C. RAISED-PA ARE AND CA A DOOR SHAI HIGH-PERFORI FIELD STAINET ED, TEMPERE INISH ALUMINU XISTING.	EVATIONS AN OPES, OR EQ AME MANUFAC IB DEPTHS, A COT SLOPE TO MODIFY EXIST ID WATER CO ANEL, PAINTER ANALL BE CASED ANACE FACTOR AINED. ED, ARGON FILLIM CHAMPAGI	CLUSTOM MAHOGANY DETURER. AND FOR PROVIDING JA O EXTERIOR. TING OPENINGS TO PRODUITED MEMBRANES. S D. MATCH EXISTING. ED TO MATCH THE DOOD TORY-PRIMED, AND FIE ELLED, LOW "E" (0.35 " ENE SPACER BAR.	AMB EXTENSIONS WHERE NECESSARY FOR WALL THICKNESS SHOWN. DVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8 SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, EXT PRS, UNLESS NOTED OTHERWISE ON THE PLANS.				2320 S STRE	RESIDENC 2320-2330 S ST. NW, ASHINGTON, DC 200
A B C D E F STENERAL I 2 3 4 5 6 7 7 STERIOR I 2 3 4 5 5 6 5 6 7 7 STERIOR I 2 3 5 5 5 6 5 6 7 7 5 5 5 6 6 7 7 5 5 6 6 7 7 7 7	EXTERIOR DOOR: RE EXTERIOR DOOR: N EXTERIOR DOOR: N INTERIOR DOOR: RE INTERIOR DOOR: RE INTERIOR DOOR: RE INTERIOR DOOR: 6 NOTES SEE SPECIFICATIONS ENTRANCE DOORS A PROVIDE ALT. PRIC WINDOWS AND EXTE CONTRACTOR IS RE RESET ALL EXISTING REMOVE ALL EXISTING TO EXTERIOR. LINE O DOOR DESCRIPTION INTERIOR DOORS SH ALL DETAILS ON INT ALL NEW INTERIOR O ENTRANCE DOOR EX ENTRANCE AND SWIT ENTRANCE AND SWIT ENTRANCE AND SWIT ENTRANCE AND SWIT	EW MA EW BR FURBIS W 2 PA PANEL FOR 1 ARE CI ING FO RIOR 1 SPONS SILLS WINING SPONS SILLS FRICE TERIOR TERI	HOGANY DOOR ONZE DOOR ONZE DOOR OH EXISTING ANEL DOOR, DET DOOR, REFURBI DOOR ALLOWANG USTOM MAHOGAN R TISCHLER 062 DOORS SHALL BE MISHE FOR COORI AS REQUIRED TO DOWS, EXTERIOR GS WITH VAPOR ORS SHALL BE MA RS SHALL BE MA RS TO BE MAHOX EAR, DOUBLE-PA DIVIDED LIGHTS, AD PROFILE SHALL TIO DOORS SHALL TIO DOO	TAILS TIME. ISH EXISTING CES, IF ANY. IY (OR BRON SEPROVIDED DINATING RE TO PROVIDE A DOORS, AND SEMI-IMPERIOR TO RECEIVE A IAHOGANY, HI AHOGANY, AND GANY AND FI AINE INSULATE WITH MILL FIN LL MATCH EX LL HAVE CUS	NZE) PER ELI NZE) PER ELI NZE) PER ELI NZE) PER ELI NZE) PER FOR NZ	EVATIONS AN OPES, OR EQ AME MANUFAC 18 DEPTHS, A NOT SLOPE TO MATER CO	CLUSTOM MAHOGANY DETURER. AND FOR PROVIDING JA O EXTERIOR. TING OPENINGS TO PRODUITED MEMBRANES. S D. MATCH EXISTING. ED TO MATCH THE DOOD TORY-PRIMED, AND FIE ELLED, LOW "E" (0.35 " ENE SPACER BAR.	AMB EXTENSIONS WHERE NECESSARY FOR WALL THICKNESS SHOWN. DVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8 SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, EXT PRS, UNLESS NOTED OTHERWISE ON THE PLANS. ELD-PAINTED. I'U" VALUME MINIMUM, TYP), LAMINATED. SAFETY GLAZING WHERE REQUIRED BY CODE.				<u>эснерице - моор</u> 2320 S STRE	RESIDENC 2320-2330 S ST. NW, ASHINGTON, DC 200
A B C D E F 1 2 3 4 5 6 7 2 3 4 5 6 7 2 3 4 5 6 7 2 3 4 5 6 7 2 7 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	EXTERIOR DOOR: RE EXTERIOR DOOR: N EXTERIOR DOOR: N INTERIOR DOOR: RE INTERIOR DOOR: RE INTERIOR DOOR: RE INTERIOR DOOR: 6 NOTES SEE SPECIFICATIONS ENTRANCE DOORS A PROVIDE ALT. PRIC WINDOWS AND EXTE CONTRACTOR IS RE RESET ALL EXISTING REMOVE ALL EXISTING TO EXTERIOR. LINE O DOOR DESCRIPTION INTERIOR DOORS SH ALL DETAILS ON INT ALL NEW INTERIOR O ENTRANCE DOOR EX ENTRANCE AND SWIT ENTRANCE AND SWIT ENTRANCE AND SWIT ENTRANCE AND SWIT	EW MA EW BR FURBIS W 2 PA PANEL FOR I ARE CI ING FO RIOR I SPONS SILLS SILLS WININ S. HALL E ERIOR TERIOR	HOGANY DOOR ONZE DOOR, DET DOOR, REFURBI DOOR ALLOWANG USTOM MAHOGAN ON TISCHLER 052 DOORS SHALL BE ON THAT DO NOT ON THA	TAILS TIME. ISH EXISTING CES, IF ANY. IY (OR BROND ESERIES, MQ, ESERIES, ES	NZE) PER ELI NZE) PER FO NZE) PER ELI	EVATIONS AN OPES, OR EQ ME MANUFAC IB DEPTHS, A DOT SLOPE TO MODIFY EXIST ID WATER CO ANEL, PAINTER ASING, SHALL BE CASED MANCE FACTORINED. ED, ARGON FILM CHAMPAGINTER CHAMPAGINTERLOCKING AND MUNTING AND MUNTI	CLUSTOM MAHOGANY DECTURER. AND FOR PROVIDING JA O EXTERIOR. TING OPENINGS TO PRODUITED. MEMBRANES. S TO TO MATCH THE DOOR TORY-PRIMED, AND FIE TILLED, LOW "E" (0.35" TILLED, LOW "E" (0.35" TILLED, LOW "E" (0.35" TORY-PRIMED AND FIE TORY-PRIMED AND FIE TORY-PRIMED AND FIE TORY-PRIMED AND FIE	AMB EXTENSIONS WHERE NECESSARY FOR WALL THICKNESS SHOWN. DVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8 SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, EXT PRS, UNLESS NOTED OTHERWISE ON THE PLANS. ELD-PAINTED. I'U" VALUME MINIMUM, TYP), LAMINATED. SAFETY GLAZING WHERE REQUIRED BY CODE.				<u>эснерице - моор</u> 2320 S STRE	RESIDENC 2320-2330 S ST. NW, ASHINGTON, DC 200
A B C D E F S S S S S S S S S S S S S S S S S S	EXTERIOR DOOR: RE EXTERIOR DOOR: N EXTERIOR DOOR: N INTERIOR DOOR: RE INTERIOR DOOR: RE INTERIOR DOOR: RE INTERIOR DOOR: 6 INTERIOR SAID EXTERIOR REMOVE ALL EXISTING TO EXTERIOR. LINE CONTRACTOR IS RE RESET ALL EXISTING TO EXTERIOR. LINE COORS, AND FRAME INTERIOR DOORS SH ALL DETAILS ON INTERIOR DOOR DESCRIPTION INTERIOR DOORS SH ALL NEW INTERIOR CO REPORT DESCRIPTION ENTRANCE DOOR IN ENTRANCE DOOR IN ENTERTAINING LEVEL ALL GLASS SHALL BE GRILLES SHALL BE GRILLES SHALL BE GRILLES SHALL BE GRILLES SHALL BE INTERIOR DOOR IN ENTRANCE AND SWITT ALL DETAILS ON EX	EW MA EW BR FURBIS W 2 PA PANEL FOR I ARE CI ING FO RIOR I SPONS SILLS SILLS WININ S. HALL E ERIOR TERIOR	HOGANY DOOR ONZE DOOR, DET DOOR, REFURBI DOOR ALLOWANG USTOM MAHOGAN ON TISCHLER 052 DOORS SHALL BE ON THAT DO NOT ON THA	TAILS TIME. ISH EXISTING CES, IF ANY. IY (OR BROND ESERIES, MQ, ESERIES, ES	NZE) PER ELI NZE) PER FO NZE) PER ELI	EVATIONS AN OPES, OR EQ ME MANUFAC IB DEPTHS, A DOT SLOPE TO MODIFY EXIST ID WATER CO ANEL, PAINTER ASING, SHALL BE CASED MANCE FACTORINED. ED, ARGON FILM CHAMPAGINTER CHAMPAGINTERLOCKING AND MUNTING AND MUNTI	CLUSTOM MAHOGANY DECTURER. AND FOR PROVIDING JA O EXTERIOR. TING OPENINGS TO PRODUITED. MEMBRANES. S TO TO MATCH THE DOOR TORY-PRIMED, AND FIE TILLED, LOW "E" (0.35" TILLED, LOW "E" (0.35" TILLED, LOW "E" (0.35" TORY-PRIMED AND FIE TORY-PRIMED AND FIE TORY-PRIMED AND FIE TORY-PRIMED AND FIE	AMB EXTENSIONS WHERE NECESSARY FOR WALL THICKNESS SHOWN. DVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8 SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, EXT PRS, UNLESS NOTED OTHERWISE ON THE PLANS. ELD-PAINTED. I'U" VALUME MINIMUM, TYP), LAMINATED. SAFETY GLAZING WHERE REQUIRED BY CODE.				POOR SCHEDULE - WOOD 2320 S STRE	RESIDENC 2320-2330 S ST. NW, ASHINGTON, DC 200
A B C D E F	EXTERIOR DOOR: RE EXTERIOR DOOR: N EXTERIOR DOOR: N INTERIOR DOOR: RE INTERIOR DOOR: RE INTERIOR DOOR: RE INTERIOR DOOR: 6 INTERIOR LEXISTING REMOVE ALL EXISTING REMOVE ALL EXISTING TO EXTERIOR. LINE: 6 INTERIOR DOOR: 5 INTERIOR DOOR: 5 INTERIOR DOOR: 5 INTERIOR DOOR: 6 INTERIO	EW MA EW BR FURBIS W 2 PA PANEL FOR I ARE CI SPONS SILLS WININ SERIOR TERIOR TE	HOGANY DOOR ONZE DOOR, DET DOOR, REFURBI DOOR ALLOWANG USTOM MAHOGAN ON TISCHLER 062 DOORS SHALL BE ONS, EXTERIOR OS SHALL BE MA ON TO BE MAHOX O	TAILS TIME. ISH EXISTING CES, IF ANY. IY (OR BRON SERIES, MQ, SE PROVIDED TO PROVIDE TO	NZE) PER ELE Q ASSELIN, HO D BY THE SAME I/8" PER FOR IMEABLE FLUII C, RAISED-PA ARE AND CA A DOOR SHAM HIGH-PERFORI ND FIELD-STAINED FIELD STAINED ED, TEMPERE INISH ALUMINU XISTING. BTOM BRASS VARE, CASING E OF O.40, TY	EVATIONS AN OPES, OR EQ ME MANUFAC IB DEPTHS, A DOT SLOPE TO MODIFY EXIST ID WATER CO ANEL, PAINTER ASING, SHALL BE CASED MANCE FACTORINED. ED, ARGON FILM CHAMPAGINTER CHAMPAGINTERLOCKING AND MUNTING AND MUNTI	CLUSTOM MAHOGANY DECTURER. AND FOR PROVIDING JA O EXTERIOR. TING OPENINGS TO PRODUITED. MEMBRANES. S TO TO MATCH THE DOOR TORY-PRIMED, AND FIE TILLED, LOW "E" (0.35" TILLED, LOW "E" (0.35" TILLED, LOW "E" (0.35" TORY-PRIMED AND FIE TORY-PRIMED AND FIE TORY-PRIMED AND FIE TORY-PRIMED AND FIE	AMB EXTENSIONS WHERE NECESSARY FOR WALL THICKNESS SHOWN. DVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8 SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, EXT PRS, UNLESS NOTED OTHERWISE ON THE PLANS. ELD-PAINTED. I'U" VALUME MINIMUM, TYP), LAMINATED. SAFETY GLAZING WHERE REQUIRED BY CODE.				IG: DOOR SCHEDULE - WOOD 2320 S STRE	RESIDENC 2320-2330 S ST. NW, ASHINGTON, DC 200
A B C D E F S S S S S S S S S S S S S S S S S S	EXTERIOR DOOR: RE EXTERIOR DOOR: N EXTERIOR DOOR: N INTERIOR DOOR: RE INTERIOR DOOR: RE INTERIOR DOOR: RE INTERIOR DOOR: 6 NOTES SEE SPECIFICATIONS ENTRANCE DOORS A PROVIDE ALT. PRIC WINDOWS AND EXTE CONTRACTOR IS RE RESET ALL EXISTING REMOVE ALL EXISTING TO EXTERIOR. LINE O DOOR DESCRIPTION INTERIOR DOORS SH ALL DETAILS ON INT ALL NEW INTERIOR O ENTRANCE DOOR IN ENTERTAINING LEVEL ALL GLASS SHALL E GRILLE SHALL BE GRILLE AND GLAZIN ENTRANCE AND SWIT ALL DETAILS ON EX ENTRANCE AND SWIT ALL DETAILS ON EX GRILLES SHALL BE GRILLE AND GLAZIN ENTRANCE AND SWIT ALL DETAILS ON EX GLAZING SOLAR HEA RE NOTES	EW MA EW BR FURBIS W 2 PA PANEL FOR I ARE CI SPONS SILLS WININ SERIOR TERIOR TE	HOGANY DOOR ONZE DOOR, DET DOOR, REFURBI DOOR ALLOWANG USTOM MAHOGAN ON TISCHLER 062 DOORS SHALL BE ONS, EXTERIOR OS SHALL BE MA ON TO BE MAHOX O	TAILS TIME. ISH EXISTING CES, IF ANY. IY (OR BRON SERIES, MQ, SE PROVIDED TO PROVIDE TO	NZE) PER ELE Q ASSELIN, HO D BY THE SAME I/8" PER FOR IMEABLE FLUII C, RAISED-PA ARE AND CA A DOOR SHAM HIGH-PERFORI ND FIELD-STAINED FIELD STAINED ED, TEMPERE INISH ALUMINU XISTING. BTOM BRASS VARE, CASING E OF O.40, TY	EVATIONS AN OPES, OR EQ ME MANUFAC IB DEPTHS, A DOT SLOPE TO MODIFY EXIST ID WATER CO ANEL, PAINTER ASING, SHALL BE CASED MANCE FACTORINED. ED, ARGON FILM CHAMPAGINTER CHAMPAGINTERLOCKING AND MUNTING AND MUNTI	CLUSTOM MAHOGANY DECTURER. AND FOR PROVIDING JA O EXTERIOR. TING OPENINGS TO PRODUITED. MEMBRANES. S TO TO MATCH THE DOOR TORY-PRIMED, AND FIE TILLED, LOW "E" (0.35" TILLED, LOW "E" (0.35" TILLED, LOW "E" (0.35" TORY-PRIMED AND FIE TORY-PRIMED AND FIE TORY-PRIMED AND FIE TORY-PRIMED AND FIE	AMB EXTENSIONS WHERE NECESSARY FOR WALL THICKNESS SHOWN. DVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8 SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, EXT PRS, UNLESS NOTED OTHERWISE ON THE PLANS. ELD-PAINTED. I'U" VALUME MINIMUM, TYP), LAMINATED. SAFETY GLAZING WHERE REQUIRED BY CODE.				IG: DOOR SCHEDULE - WOOD 2320 S STRE	RESIDENC 2320-2330 S ST. NW, WASHINGTON, DC 200
A B C D E F SENERAL 2 3 4 5 6 7 2 3 4 5 6 7 2 3 4 5 6 7 2 3 4 5 6 7 2 3 4 5 6 7 8 9 9	EXTERIOR DOOR: RE EXTERIOR DOOR: N EXTERIOR DOOR: N INTERIOR DOOR: RE INTERIOR DOOR: RE INTERIOR DOOR: RE INTERIOR DOOR: 6 NOTES SEE SPECIFICATIONS ENTRANCE DOORS A PROVIDE ALT. PRIC WINDOWS AND EXTE CONTRACTOR IS RE RESET ALL EXISTING REMOVE ALL EXISTING TO EXTERIOR. LINE O DOOR DESCRIPTION INTERIOR DOORS SH ALL DETAILS ON INT ALL NEW INTERIOR O ENTRANCE DOOR IN ENTERTAINING LEVEL ALL GLASS SHALL E GRILLE SHALL BE GRILLE AND GLAZIN ENTRANCE AND SWIT ALL DETAILS ON EX ENTRANCE AND SWIT ALL DETAILS ON EX GRILLES SHALL BE GRILLE AND GLAZIN ENTRANCE AND SWIT ALL DETAILS ON EX GLAZING SOLAR HEA RE NOTES	EW MA EW BR FURBIS W 2 PA PANEL FOR I ARE CI SPONS SILLS WININ SERIOR TERIOR TE	HOGANY DOOR ONZE DOOR, DET DOOR, REFURBI DOOR ALLOWANG USTOM MAHOGAN ON TISCHLER 062 DOORS SHALL BE ONS, EXTERIOR OS SHALL BE MA ON TO BE MAHOX O	TAILS TIME. ISH EXISTING CES, IF ANY. IY (OR BRON SERIES, MQ, SE PROVIDED TO PROVIDE TO	NZE) PER ELE Q ASSELIN, HO D BY THE SAME I/8" PER FOR IMEABLE FLUII C, RAISED-PA ARE AND CA A DOOR SHAM HIGH-PERFORI ND FIELD-STAINED FIELD STAINED ED, TEMPERE INISH ALUMINU XISTING. BTOM BRASS VARE, CASING E OF O.40, TY	EVATIONS AN OPES, OR EQ ME MANUFAC IB DEPTHS, A DOT SLOPE TO MODIFY EXIST ID WATER CO ANEL, PAINTER ASING, SHALL BE CASED MANCE FACTORINED. ED, ARGON FILM CHAMPAGINTER CHAMPAGINTERLOCKING AND MUNTING AND MUNTI	CLUSTOM MAHOGANY DECTURER. AND FOR PROVIDING JA O EXTERIOR. TING OPENINGS TO PRODUITED. MEMBRANES. S TO TO MATCH THE DOOR TORY-PRIMED, AND FIE TILLED, LOW "E" (0.35" TILLED, LOW "E" (0.35" TILLED, LOW "E" (0.35" TORY-PRIMED AND FIE TORY-PRIMED AND FIE TORY-PRIMED AND FIE TORY-PRIMED AND FIE	AMB EXTENSIONS WHERE NECESSARY FOR WALL THICKNESS SHOWN. DVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8 SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, EXT PRS, UNLESS NOTED OTHERWISE ON THE PLANS. ELD-PAINTED. I'U" VALUME MINIMUM, TYP), LAMINATED. SAFETY GLAZING WHERE REQUIRED BY CODE.				<u>эснерице - моор</u> 2320 S STRE	RESIDENC 2320-2330 S ST. NW, WASHINGTON, DC 200

CI DOOR SCHEDULE - WOOD HOUSE Al.2 N.T.S.

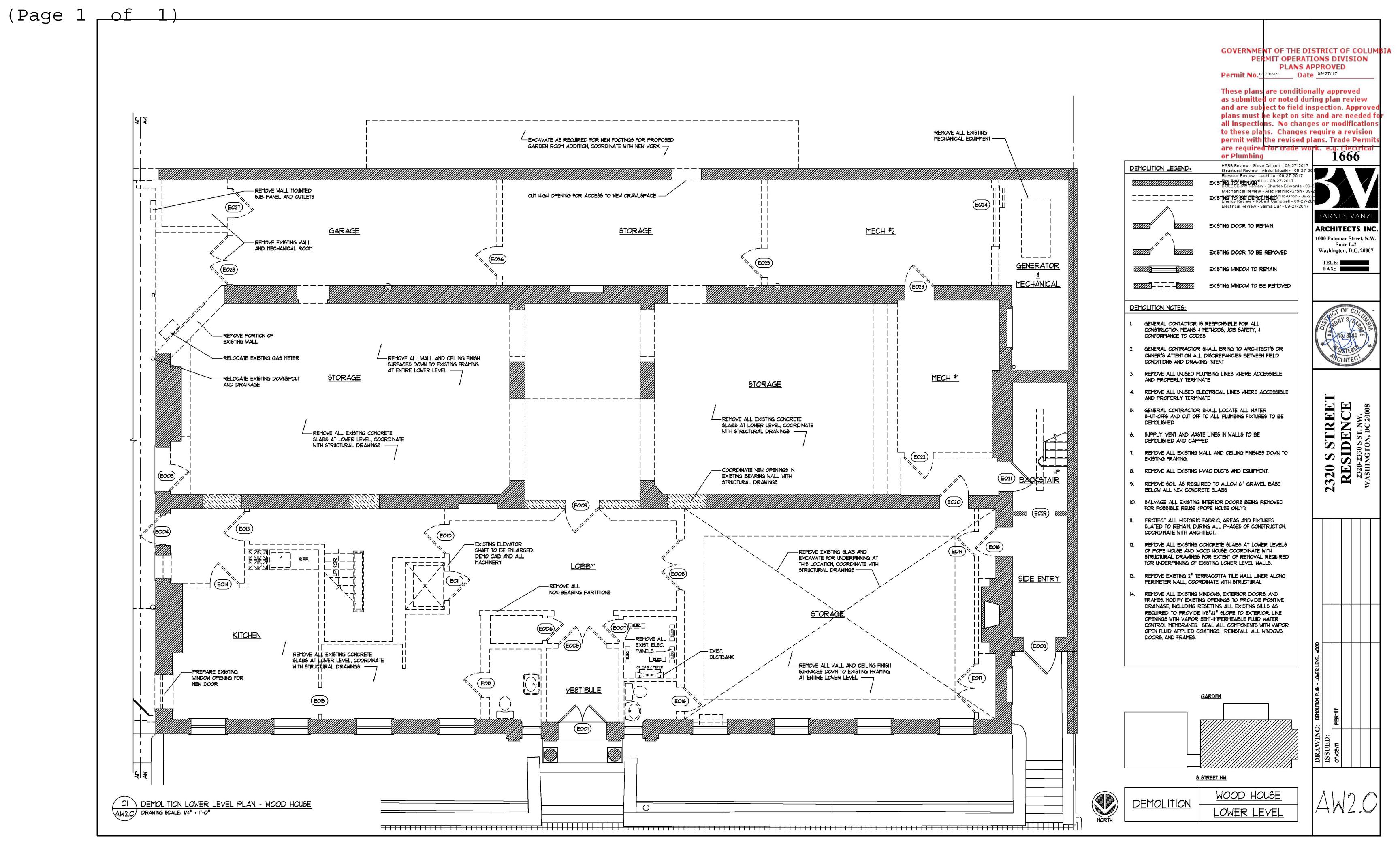
	<u>Sash size</u>		<u>TYPE</u>	MATERIAL	INTERIOR FINISH	EXTERIOR FINISH	SILL	CODE NOTES	HARDWARE	HEAD/JAMB/ SILL DETAILS	NOTES
OWER LE	<u>EVEL</u>										
MOOI	3'-6" x 4'-10"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD				•11	BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE \$7
WOO2	3'-6" x 4'-10"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD				-	BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE \$7
WOO3	3'-6" x 4'-10"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD				-	BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE \$7
WOO4	3'-6" x 4'-10"	V.IF.	DOUBLE HUNG	WOOD	PTD	PTD				-	BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE \$7
WOO5	2'-0" x 4'-6"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD					BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE \$7
W006	2'-0" x 4'-6"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD					BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE \$7
WOOT	3'-6" x 4'-10"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD				-	BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE \$7
WOO8	3'-6" x 4'-10"	V.IF.	DOUBLE HUNG	WOOD	PTD	PTD				-	BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE \$7
W009	3'-6" × 4'-10"	V.IF.	DOUBLE HUNG	WOOD	PTD	PTD				_	BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE \$7
WOIO	3'-6" x 4'-10"	V.IF.	DOUBLE HUNG	WOOD	PTD	PTD				_	BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE *7
WOII	2'-9" x 4'-10"	T.11.	DOUBLE HUNG	WOOD	PTD	PTD					RESTORE EXISTING WINDOW LOCATION, TIME.
WOII	2-7 × 4-10		DOUBLE HUNG	HOOD					1		REGIONE EXIGNIC RINGON ECONTROL TILL
IRST FLO	DOR				l	<u> </u>					
WIOI	4'-0" x 6'-9"	V.IF.	DOUBLE HUNG	WOOD	PTD	PTD				2	
W102	4'-0" × 6'-9"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD					
WIO3	4'-0" x 6'-9"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD					
WI03	4'-0" x 6'-9"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD	+		1		
		-	DOUBLE HUNG	WOOD	PTD	PTD	+	+	1		LITTER EACH SIDE
WIO5	4'-0" x 6'-9"	V.I.F.					-	1			W/ 1'-6" SIDELITES EACH SIDE
WIO6	4'-0" x 6'-9"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD	-	+	1		
WIOT	4'-0" × 6'-9"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD			1		
WIOS	4'-0" × 6'-9"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD	-				
WIO9	4'-0" x 6'-9"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD					
WIIO	2'-2" × 6'-9"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD					
WIII	2'-2" x 6'-9"	V.IF.	DOUBLE HUNG	WOOD	PTD	PTD					
WII2	3'-3" x 6'-9"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD					
WII3	3'-3" x 6'-9"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD					
WII4	4'-5" x 6'-9"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD		1			NEW WINDOW IN NEW SMALLER OPENING, TO MATCH WINDOW WII
	errors of the common particle of the common p			600	NOT	200 - 200 		1	1		
ECOND F	FLOOR		•	1		1	1		1	ı	
W2O1	3'-4" x 4'-9"	V.IF.	DOUBLE HUNG	WOOD	PTD	PTD					
W2O2	3'-4" x 4'-9"	V.IF.	DOUBLE HUNG	WOOD	PTD	PTD					
W2O3	3'-4" x 4'-9"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD					
W2O4	3'-4" x 4'-9"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD		+			
W205	1'-2" x 2'-9"	V.I.F.	OYAL CASEMENT	WOOD	PTD	PTD					
W206	3'-4" x 4'-9"	V.IF.	DOUBLE HUNG	WOOD	PTD	PTD					
2 Section September 1997 Section 1997	3'-4" x 4'-9"	V.IJF.	DOUBLE HUNG	WOOD	PTD	PTD					
W207	3'-4" x 4'-9"	NAME OF TAXABLE PARTY.	DOUBLE HUNG	WOOD	PTD	PTD				2	
W208	ALDHOOD 14000 44004 644 597	V.IF.	NUMBER RECONSTRUCTION OF STREET, ST. LET STREE	200 - 100 -	107 1.000000	75976 3100047		_0,			
W2O9	3'-4" x 4'-9"	VIF.	DOUBLE HUNG	WOOD	PTD	PTD					
W210	2'-2" x 4'-9"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD					
W211	2'-2" × 4'-9"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD					
W212	(3) 1'-10" x 8'-5"		CASEMENT	WOOD	PTD	PTD					
W213	(3) 1'-10" x 8'-5"	V.I.F.	CASEMENT	WOOD	PTD	PTD					
W214	(3) 1'-10" x 8'-5"	V.I.F.	CASEMENT	WOOD	PTD	PTD					
W215	3'-4" x 4'-9"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD		ex_			
W216	31-4" × 41-9"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD				2	
W217	3'-4" x 4'-9"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD					
W218	3'-4" x 4'-9"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD					W/ 11-3" SIDELITES EACH SIDE
W219	3'-4" x 4'-9"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD					
W220	3'-4" x 4'-9"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD			1		
W221	3'-4" x 4'-9"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD	<u> </u>	1			
W222	3'-4" x 4'-9"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD	<u> </u>	1			
	NOTE BEEN SE			360	SEASK	,000 W					
HIRD FLO	<u>oor</u>		•	,			•				
W301	3'-4" x 4'-6"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD					
W3O2	3'-4" x 4'-6"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD					
W3O3	3'-4" × 4'-6"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD	<u> </u>	1	1		
W3O4	3'-4" x 4'-6"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD	<u> </u>	1			
W305	3'-4" x 4'-6"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD					W/ 1'-2" SIDELITES EACH SIDE. NEW WINDOW TO MATCH HISTOR MATCH DETAILS OF EXISTING WINDOWS
W306	3'-4" x 4'-6"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD	 				
W307	3'-4" x 4'-6"	V.IJF.	DOUBLE HUNG	WOOD	PTD	PTD	+		1		
	1260 AV 78 1260	200	DOUBLE HUNG	WOOD	PTD	PTD	+	79	1	N	
W308	3'-4" x 4'-6"	V.IF.	9200 NASA PERANGSA P	10-10-00-00-07-07-00-00-00-00-00-00-00-00-00	181 000000000 Vis	1000 110000	+	+			
W309	3'-4" x 4'-6"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD	-		1		
W310	2'-10" × 2'-2"	V.I.F.	CASEMENT	WOOD	PTD	PTD			1		
W311	3'-4" x 4'-6"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD					
	3'-4" × 4'-6"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD					
W312	3'-4" x 4'-6"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD					
W312 W313	3'-4" × 4'-6"	V.I.F.	DOUBLE HUNG	WOOD	PTD	PTD					
00.70.00.00 TO.		Y.IF.	DOUBLE HUNG	WOOD	PTD	PTD		1			
W313	3'-4" x 4'-6"	A'I'.	DOUDTH IN TO			, cago (4000)		_	4		
W313 W314 W315	1240 AV 12 1260	555	\$2000 - 344 - 340	100 TO	PTD	PTD					
W313 W314 W315 W316	3'-4" x 4'-6"	V.I.F.	DOUBLE HUNG	WOOD	PTD PTD	PTD					
W313 W314 W315	1240 AV 12 1260	555	\$2000 - 344 - 340	100 TO	PTD PTD PTD	PTD PTD					

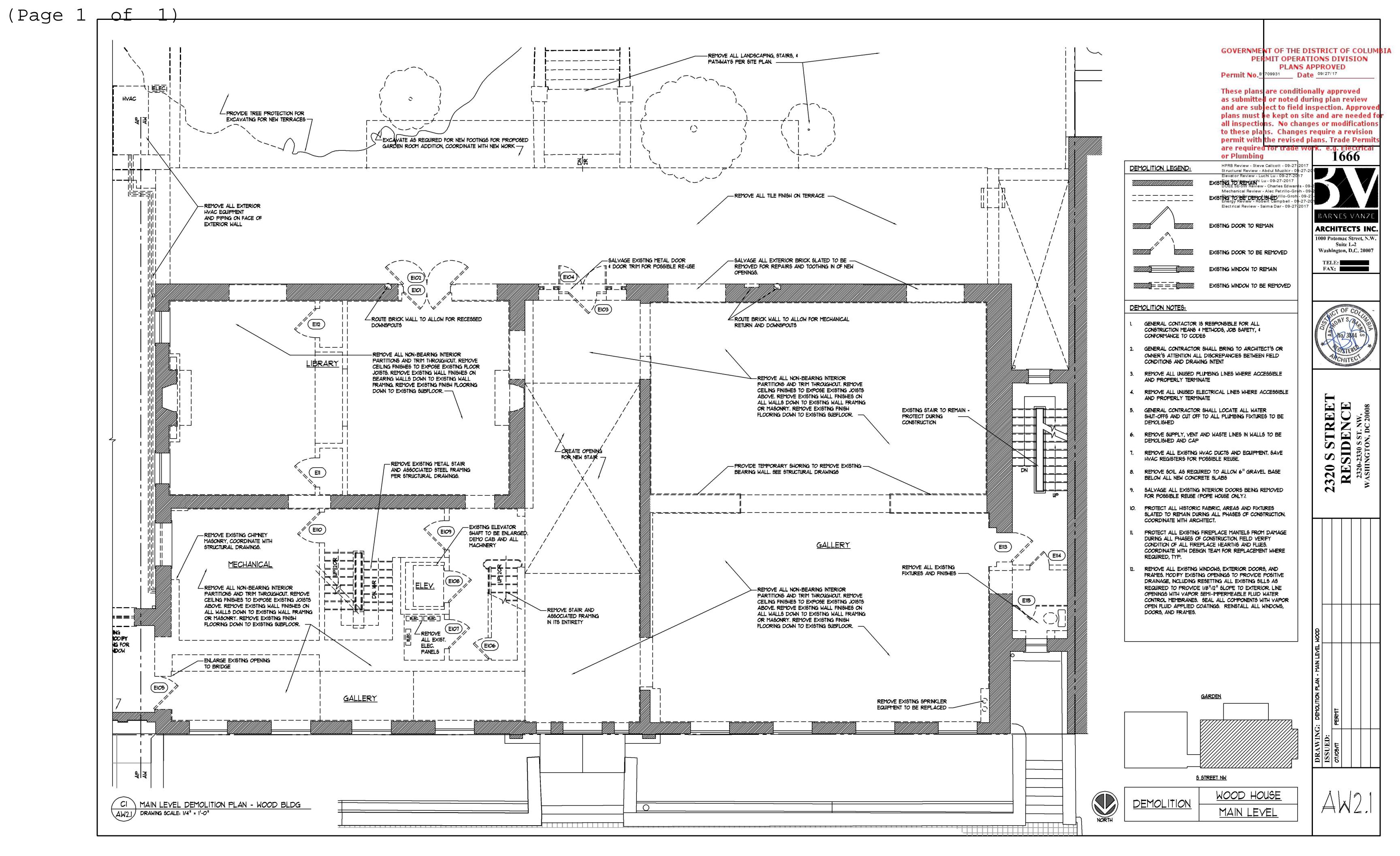
<u> </u>	<u>Sash size</u>	<u>TYPE</u>	MATERIAL	INTERIOR FINISH	EXTERIOR FINISH	SILL	CODE NOTES	HARDWARE HEAD/JAMB/ SILL DETAILS	NOTES	SOVERN			TRICT OF COLUMN ONS DIVISION PROVED
ATTIC										Permit N	o. B1		09/27/17
W401	× Y.I.F.	×	×	x	×				×	20 20	1000	702.702	29 34
W4O2	X Y.I.F.	×	×	×	×				×	These pl	ans	are conditiona	lly approved
										as submi	tte	d or noted duri	ng plan review
<u>ROOF</u>				<u> </u>			<u>!</u>	+ +		and are	subj	ject to field ins	pection. Approve and are needed t
W501	7'-0" x 5'-0"	T x	x	x	x		$\overline{}$		l x	plans mu	15t I	be kept on site	and are needed t
W5O2	4'-6" x 3'-8" V.IF.	×	¥	×	×		+		REFURBISH EXIST. SKYLIGHT AT ELEVATOR SHAFT	to those	ola	ns. No change	s or modification equire a revision
7,002	40 800 1		+				+						ns. Trade Permit
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	NOTES APP SO ALIBERT	Asia America Leta IA Es	n Annielait	I Is the company of the						Fire Review - L	uchi L	_u - 09-27-2017 v - Charles Edwards - 09-2	
ZENERAL		3 AND SPECIFICATIONS FO		_ INFORMATI	<u></u>					Mechanical Re	view -	- Alec Petrillo-Groh - 09-2	
1		R WINDOW ALLOWANCES, IF								Fnergy Review	Rob	Alec Petrillo-Groh - 09-27- pert Campbell - 09-27-201	
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3	WINDOWS AND EXTERIOR	R DOORS SHALL BE PROVI	DED BY THE 8	AME MANUFA	CTURER.						1		BARNES VANZE
4	CONTRACTOR IS RESPON	ISIBLE FOR COORDINATING	REQUIRED JA	MB DEPTHS	AND FOR PR	ROVIDING J	AMB EXTENSION	ONS WHERE NECESSARY FOR WA	ALL THICKNESS SHOWN.]		ARCHITECTS INC
5	SIZES ARE GIVEN FOR RI	EFERENCE ONLY AND SHOU	ALD BE VERIFI	ED IN FIELD.									1000 Potomac Street, N.W
											_		TOOU I OLUMBIC SUREEL IV. W
6	ALL HISTORIC FABRIC IS	TO BE PROTECTED AND I	LEFT INTACT WI	HERE POSSIE	3LE.						1		Suite L-2
6		TO BE PROTECTED AND LINTERIOR STEEL SECURITY											Suite L-2
6 7 8	WINDOW TO HAVE FIXED RESET ALL EXISTING SILL	INTERIOR STEEL SECURITY LG AS REQUIRED TO PROV	9HUTTER WITH MDE 1/8" PER	SECURITY GI FOOT SLOPE	LASS TO EXTERIOR	10 years (64)							
7 8 9	WINDOW TO HAVE FIXED RESET ALL EXISTING SILL REMOVE ALL EXISTING W	INTERIOR STEEL SECURITY LS AS REQUIRED TO PROVINDOWS, EXTERIOR DOORS	SHUTTER WITH MDE 1/8" PER 1 B, AND FRAMES	SECURITY GI FOOT SLOPE B. MODIFY EXI	LASS TO EXTERION	NGS TO PR			TTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, I		-		Suite L-2 Washington, D.C. 20007 TELE:
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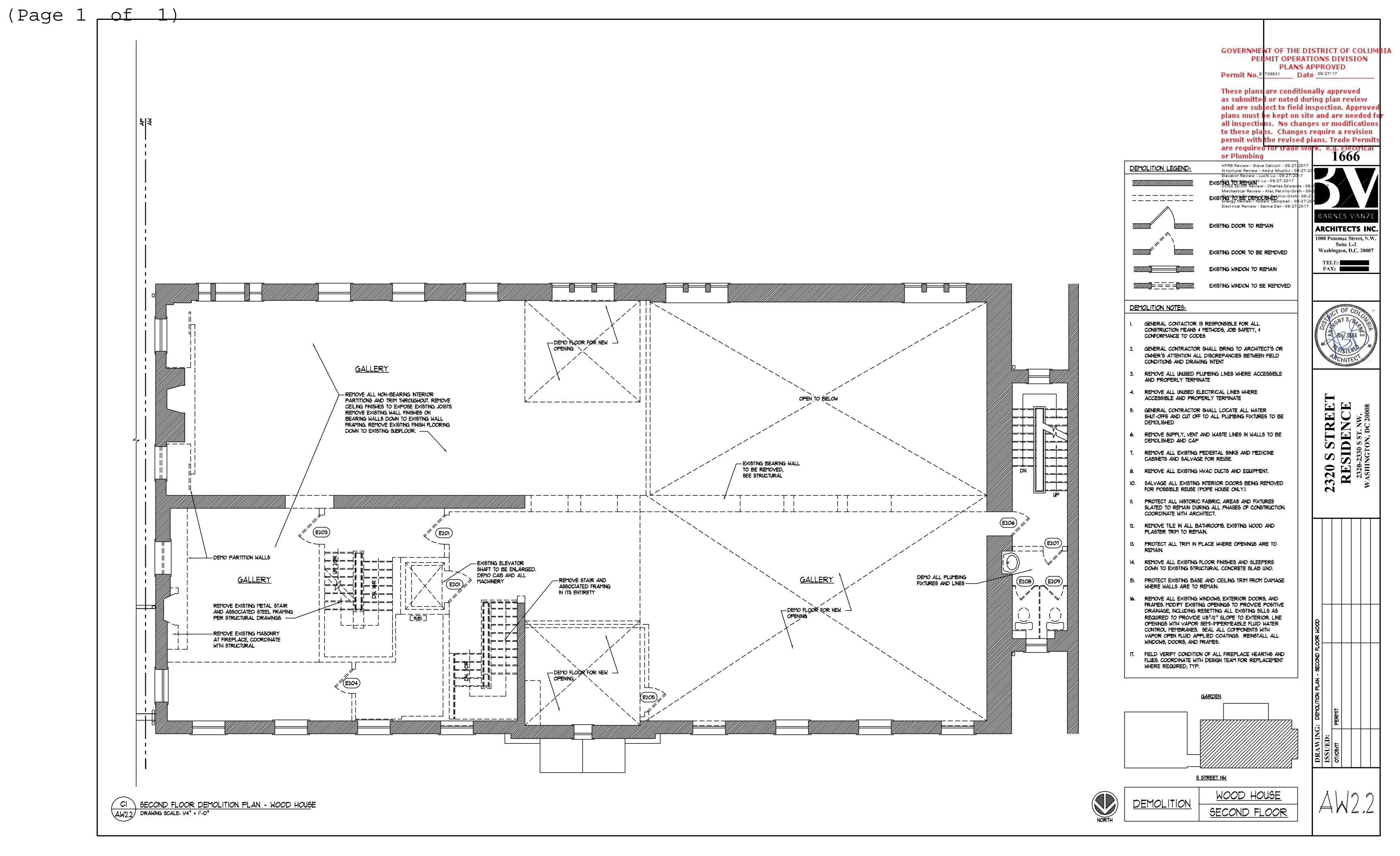


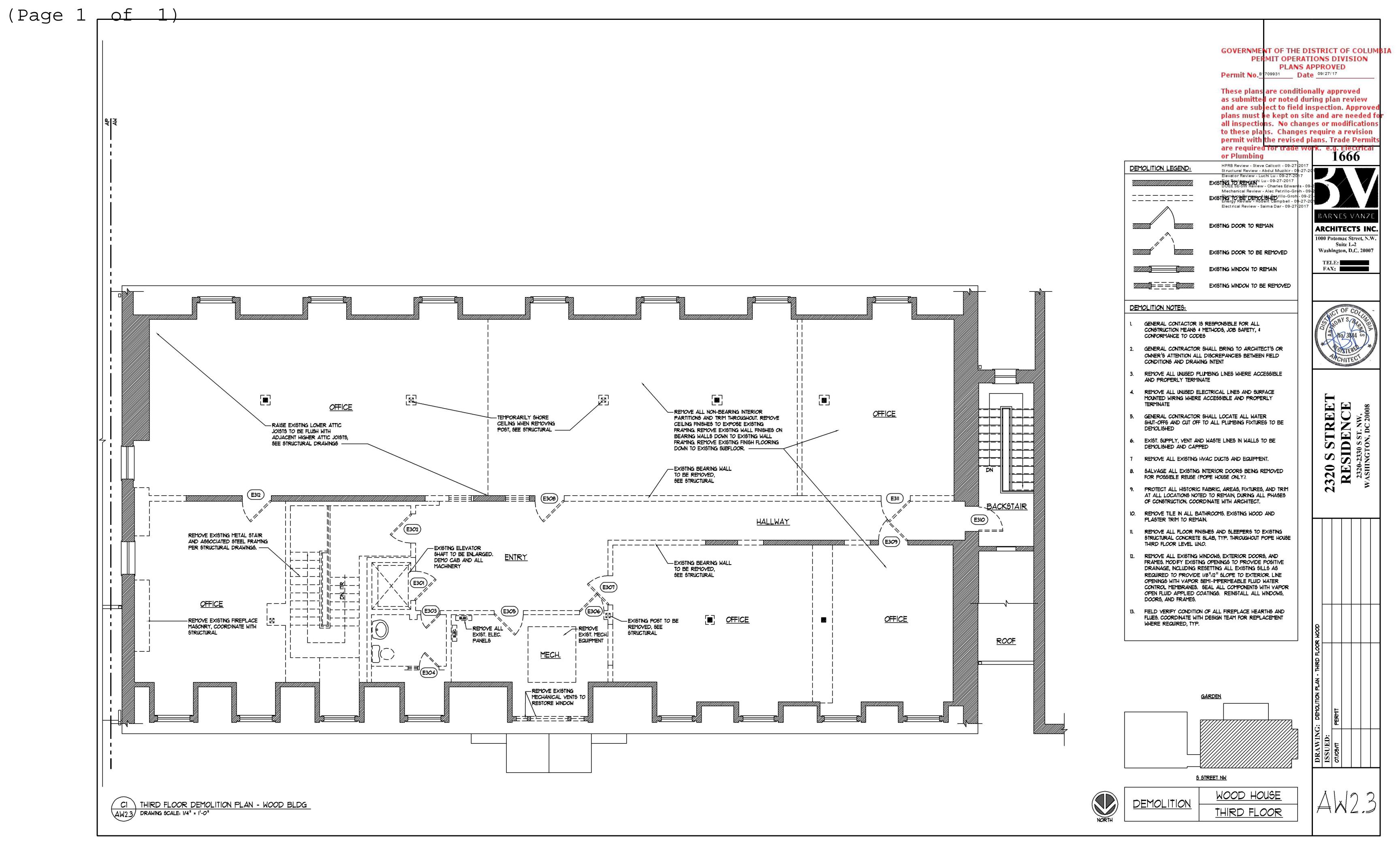
FLASHING W/ THREE SIDES TURNED UP TO FORM PAN.

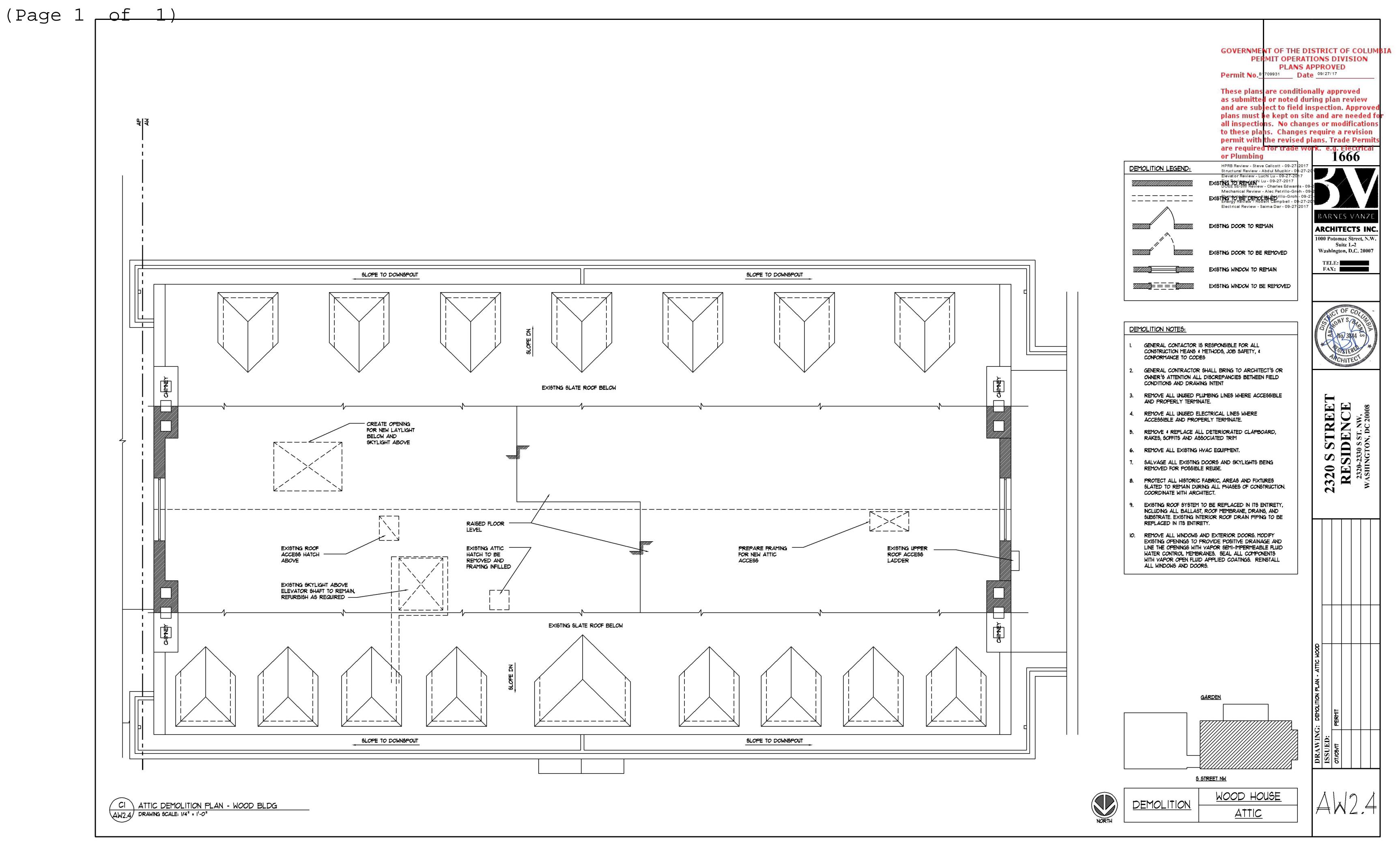
C2 DETAIL OF SILL FLASHING
A1.3 NOT TO SCALE

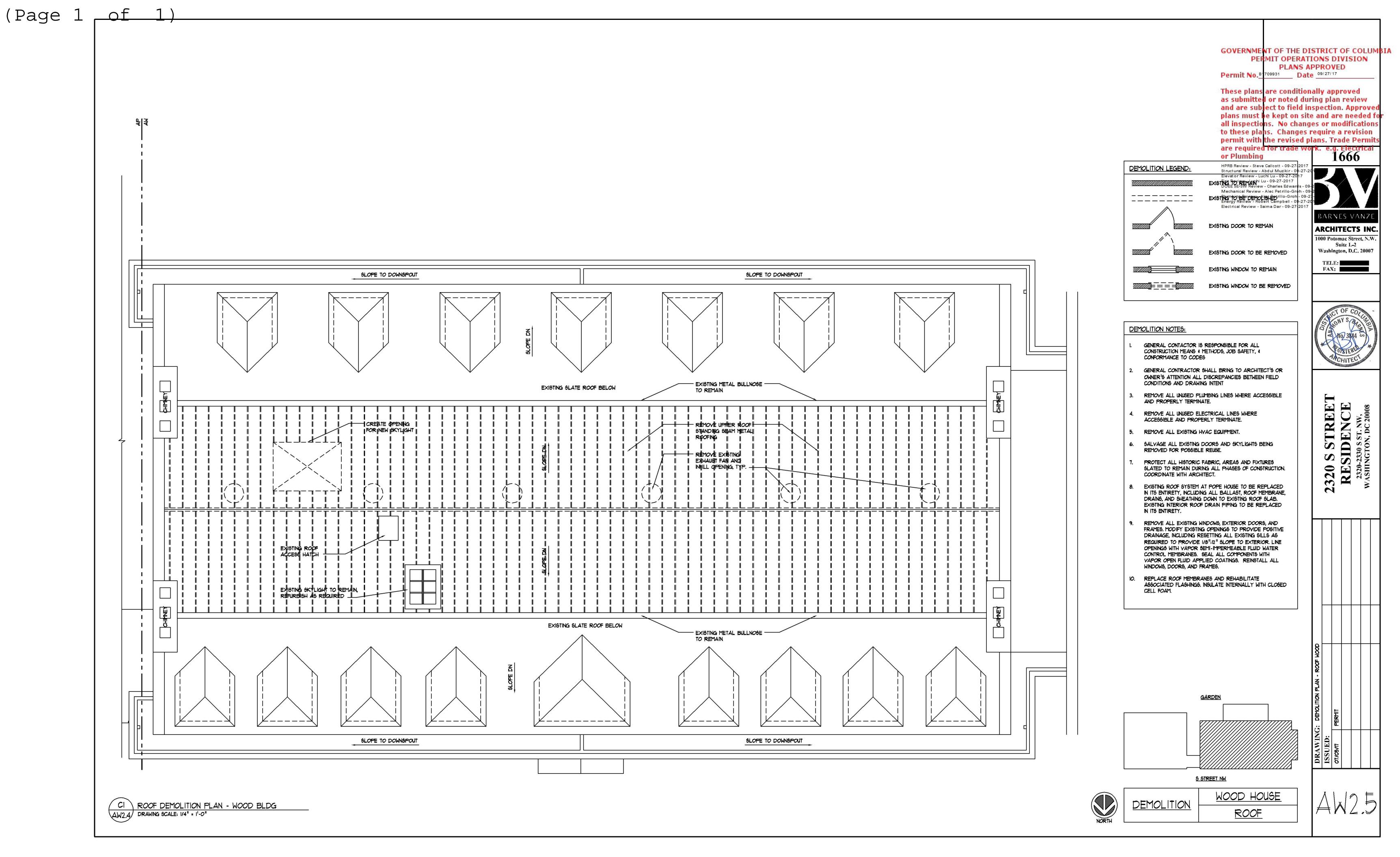


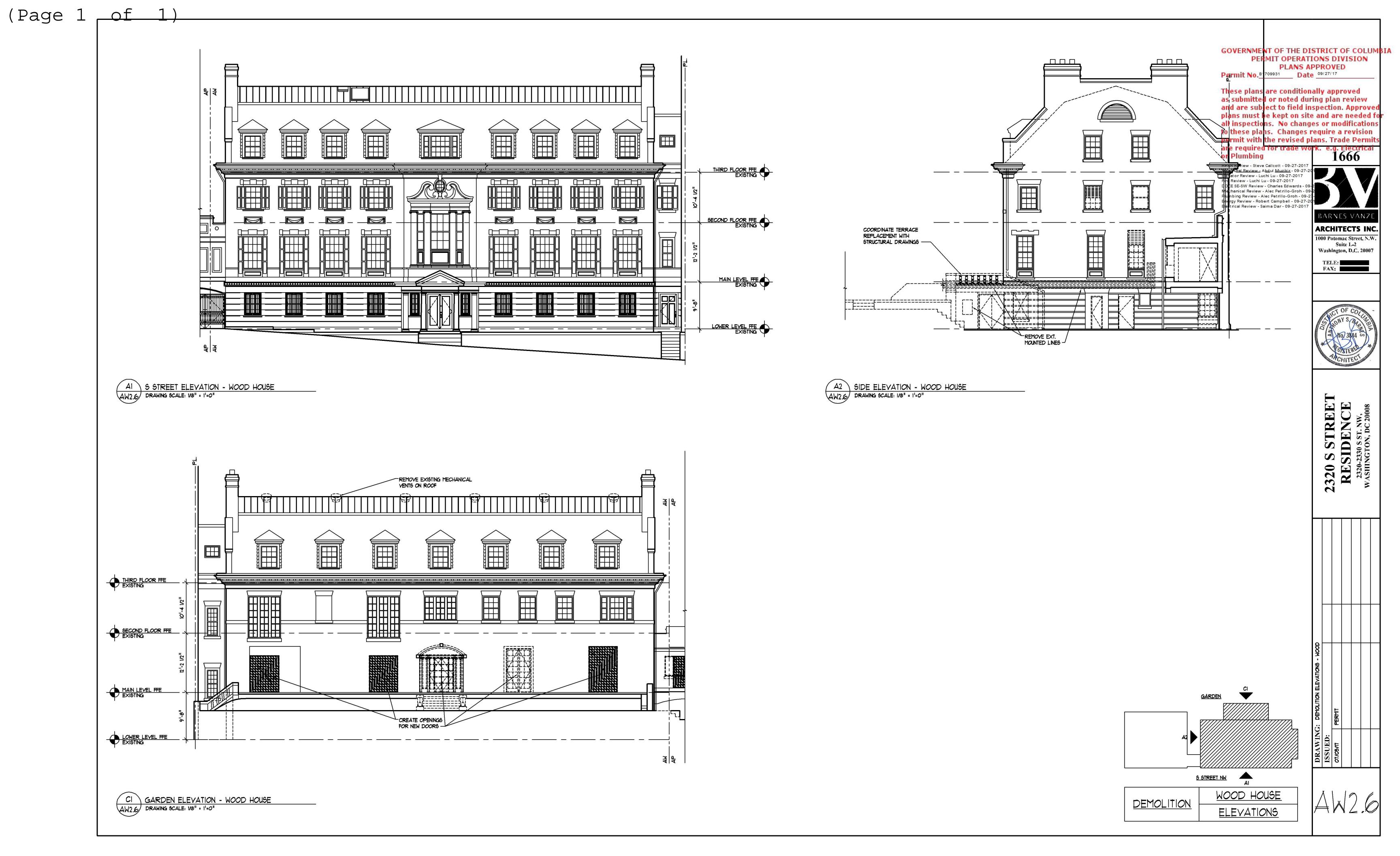


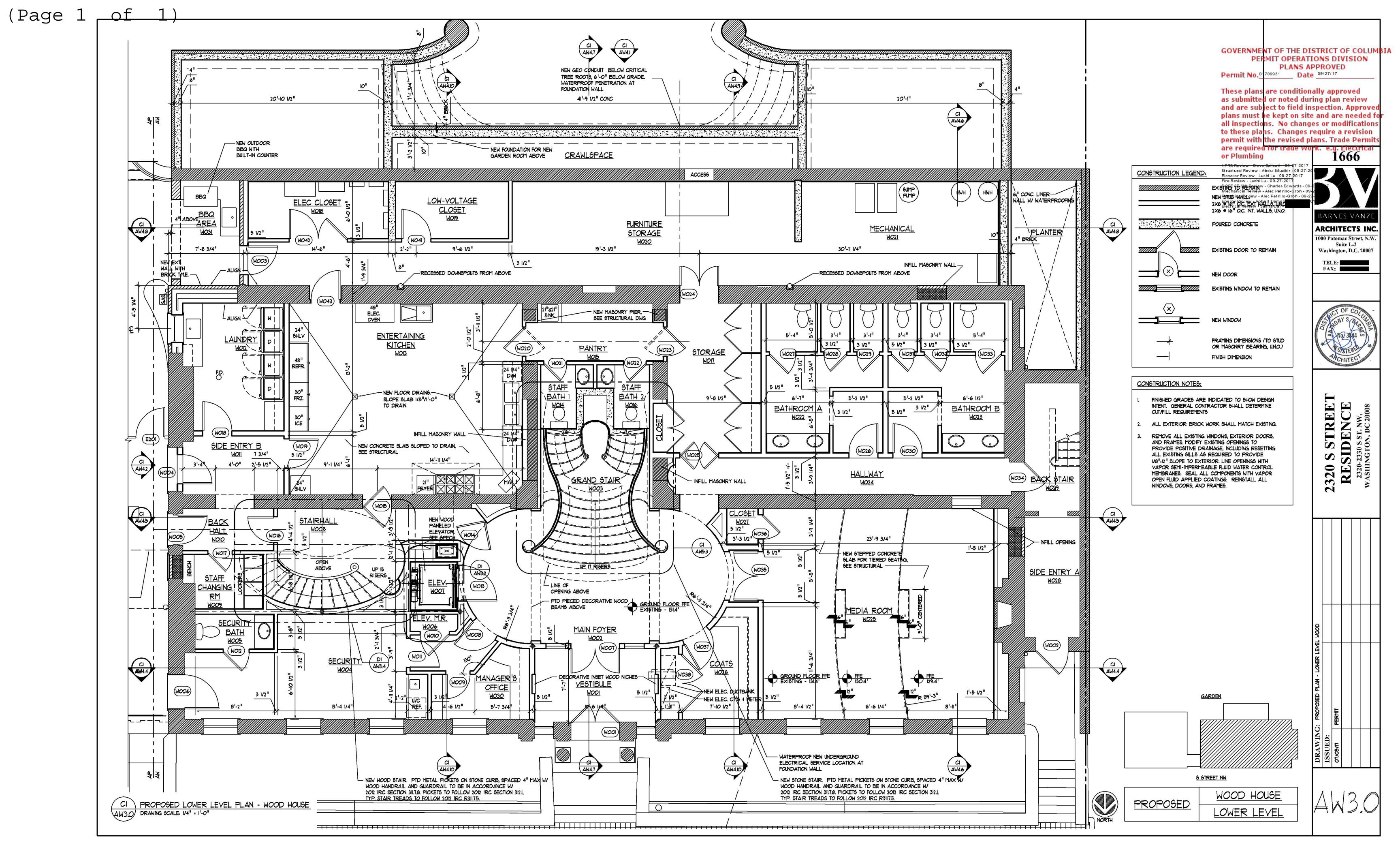


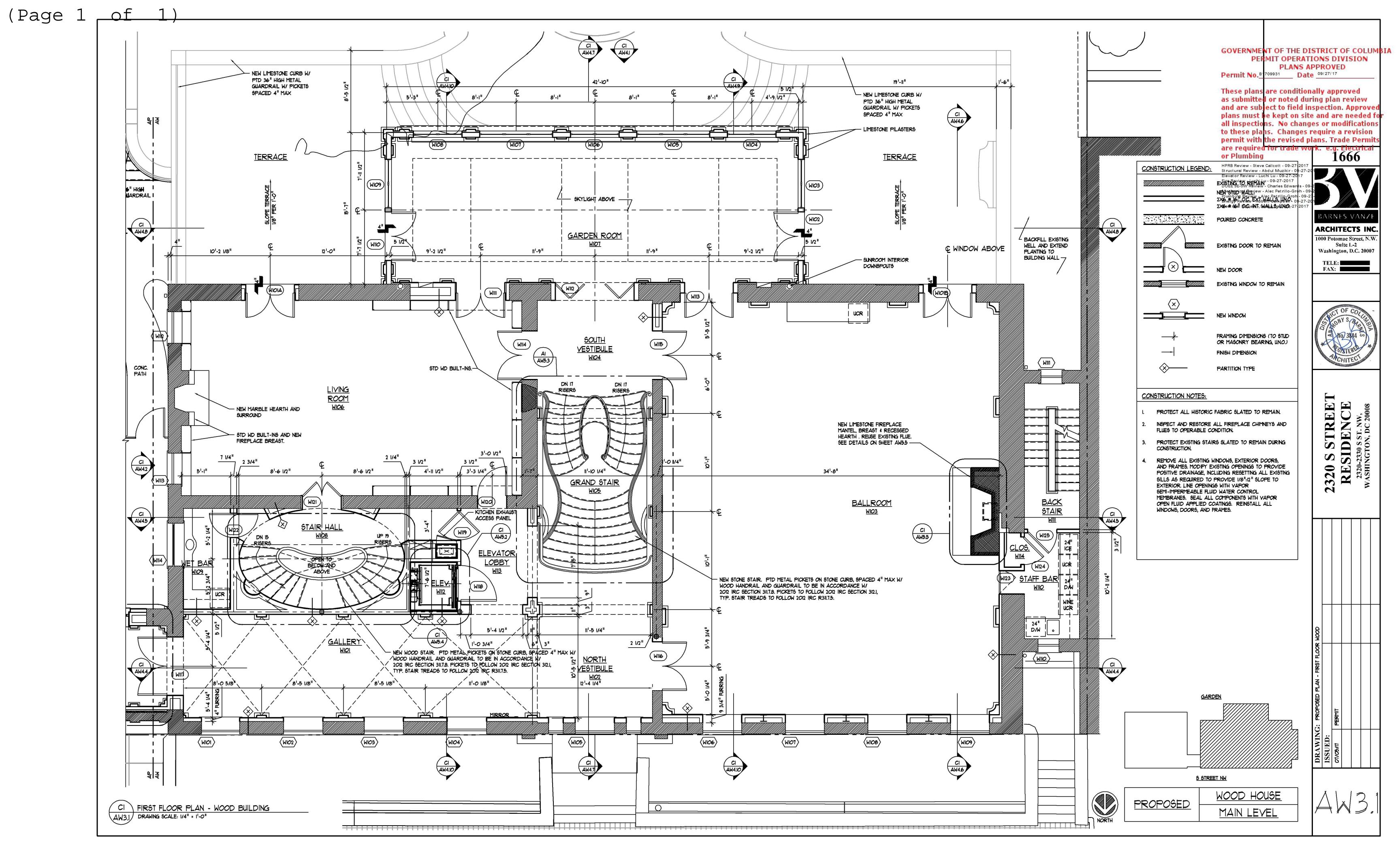


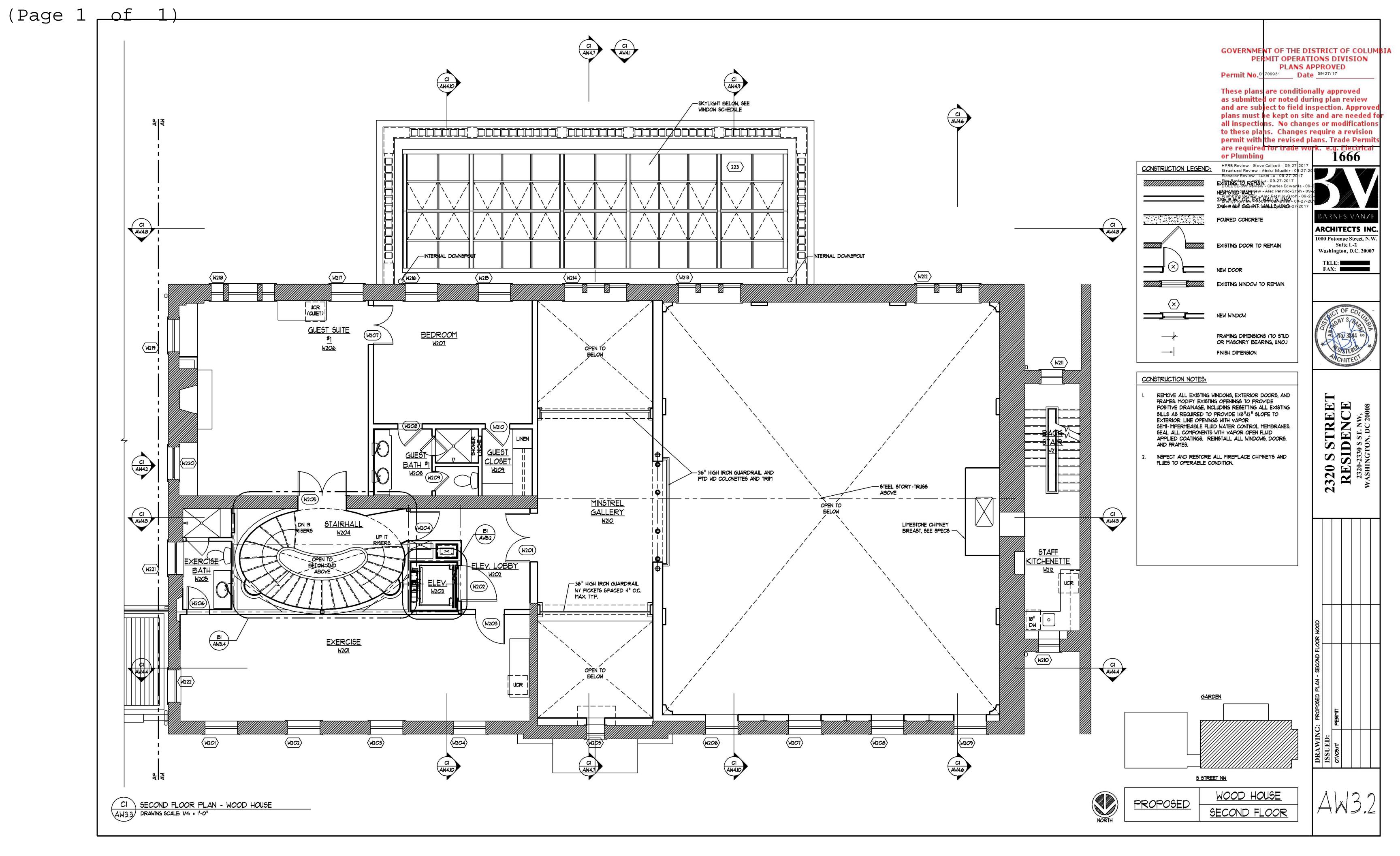


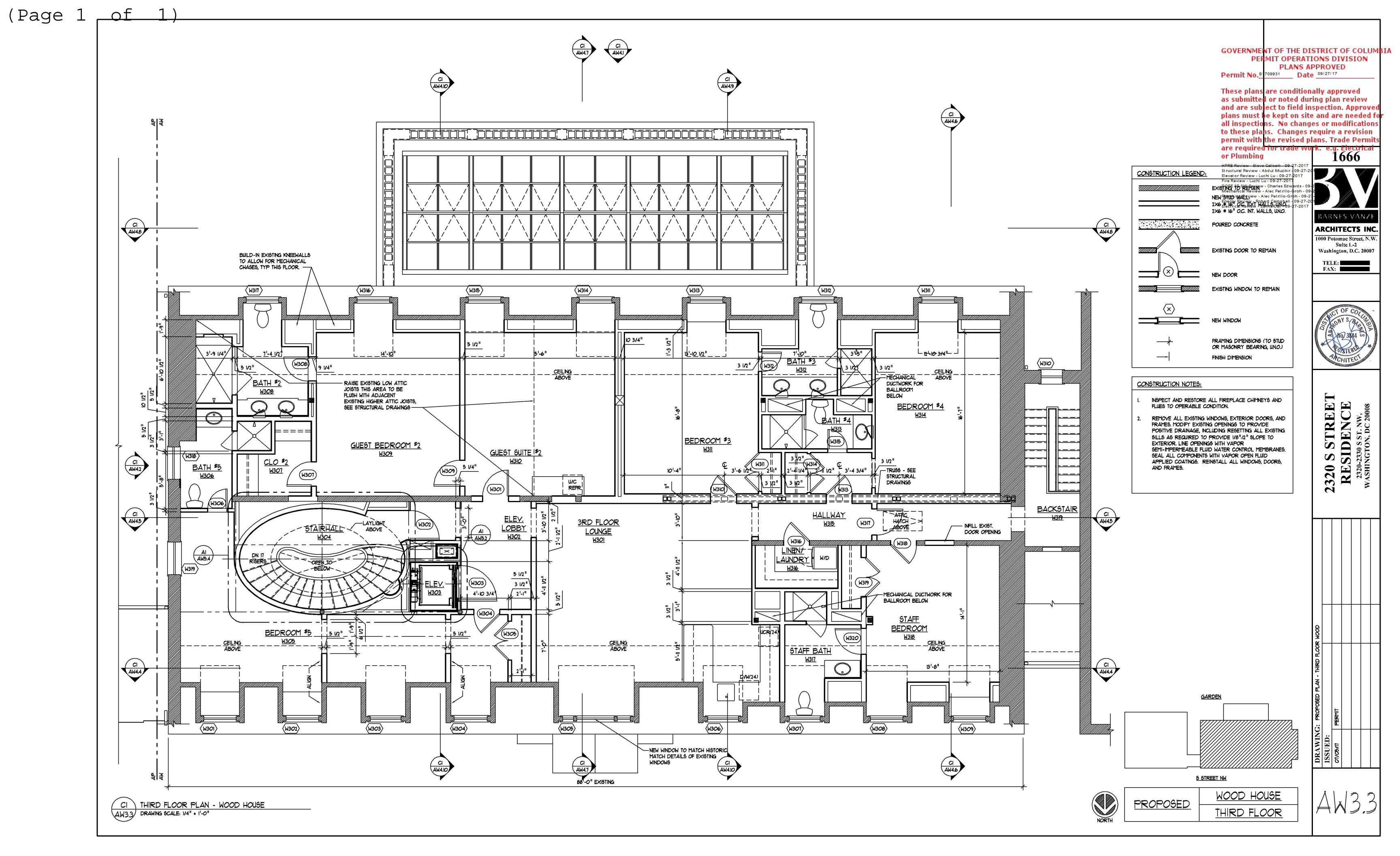


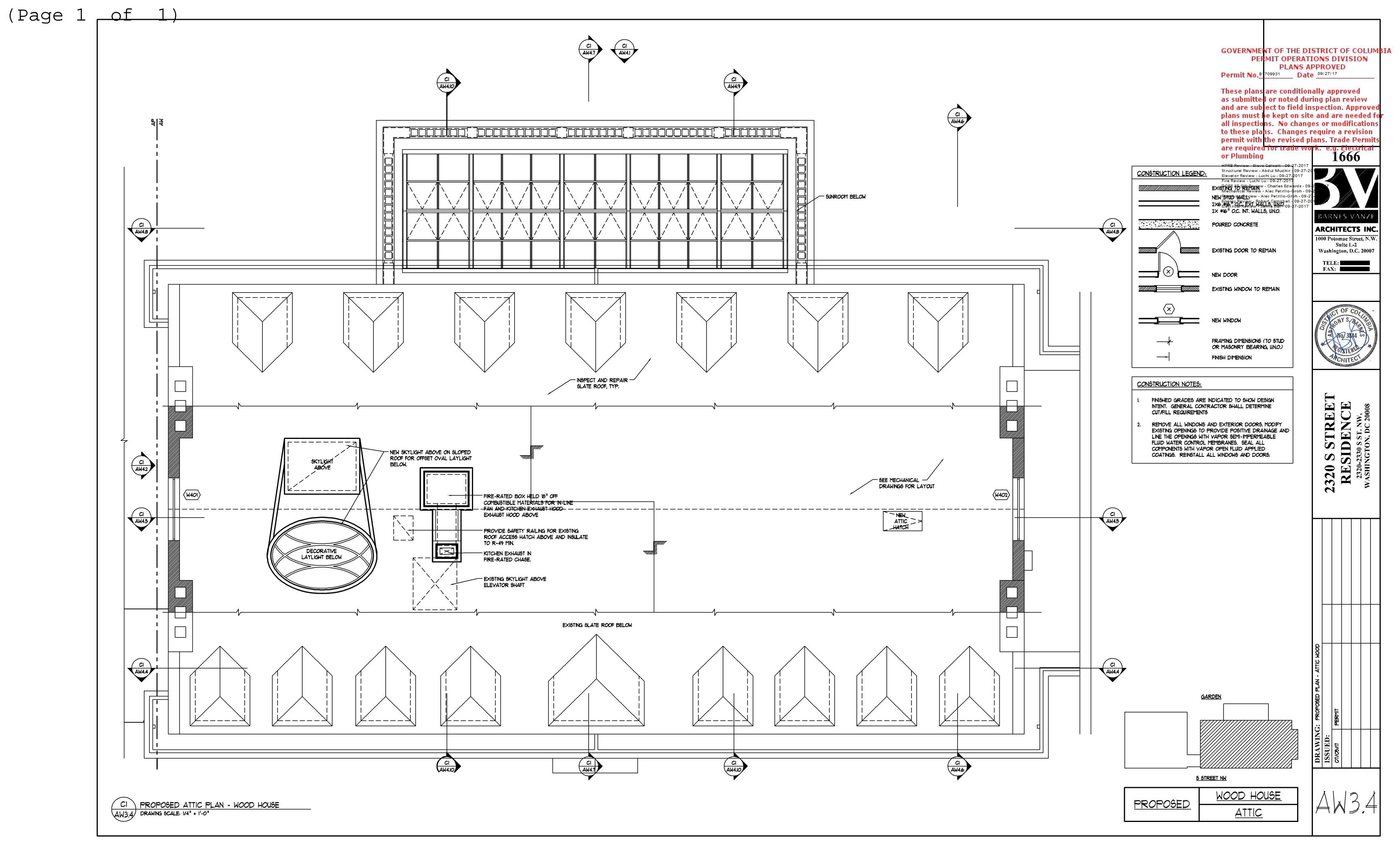


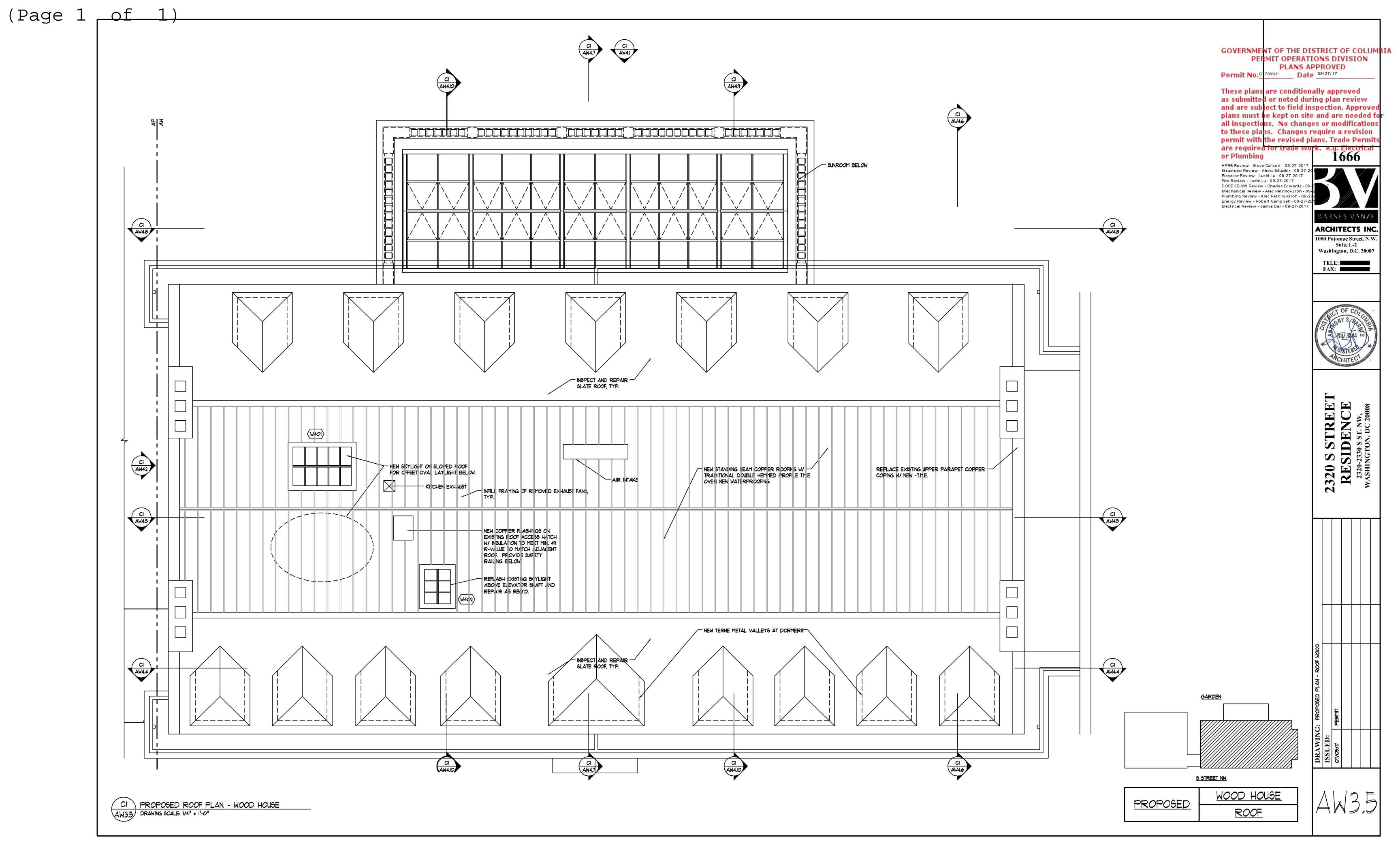




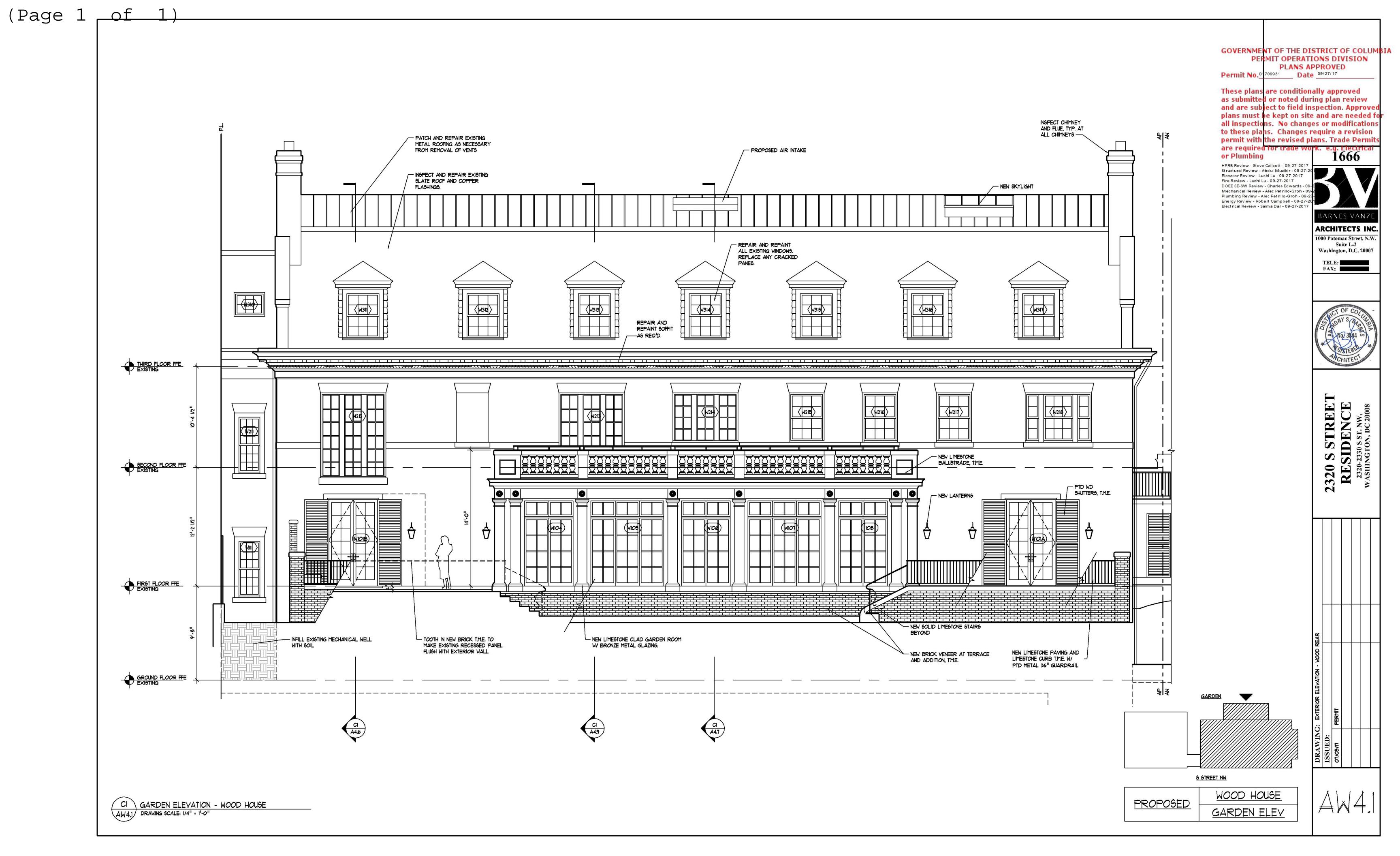


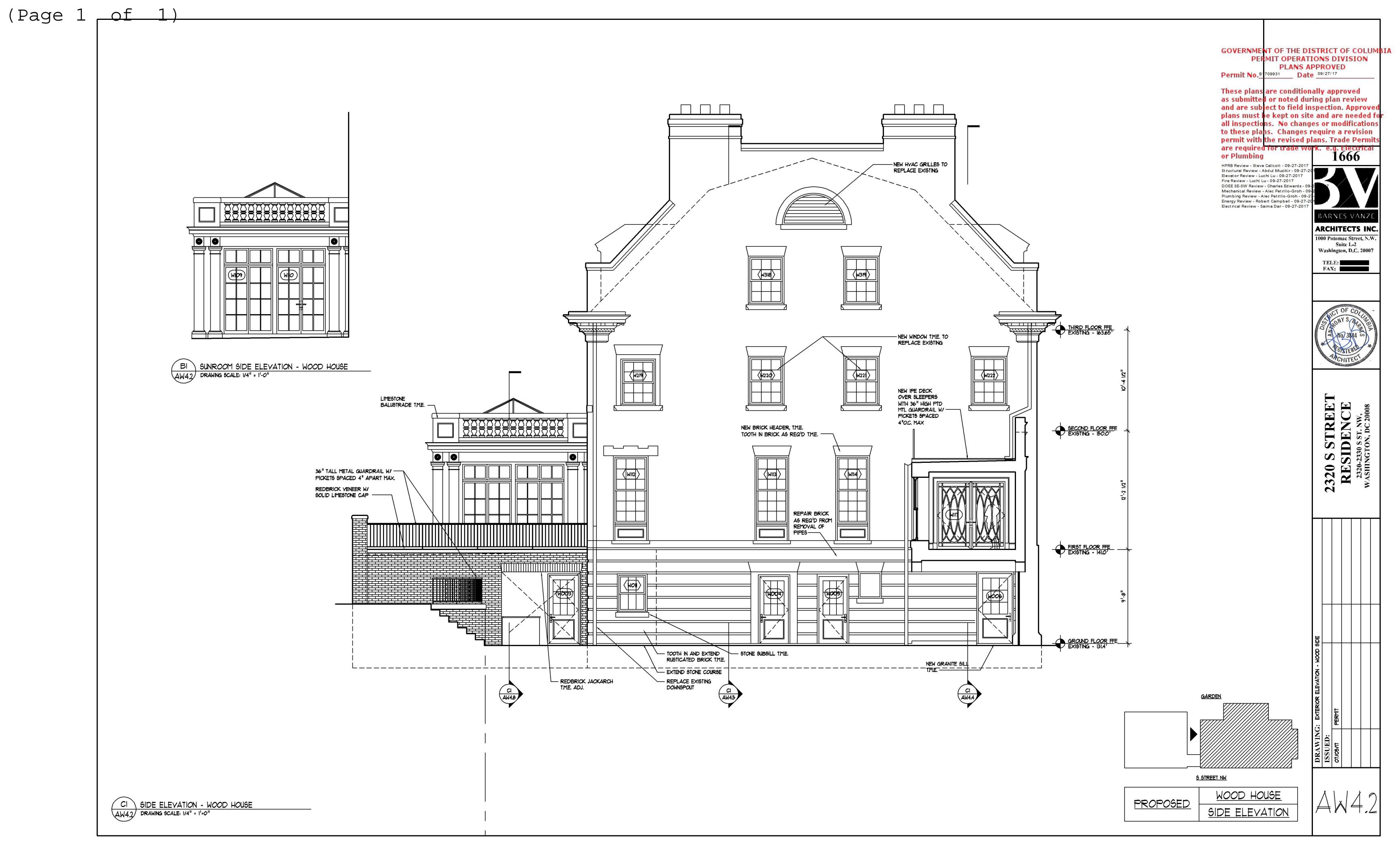


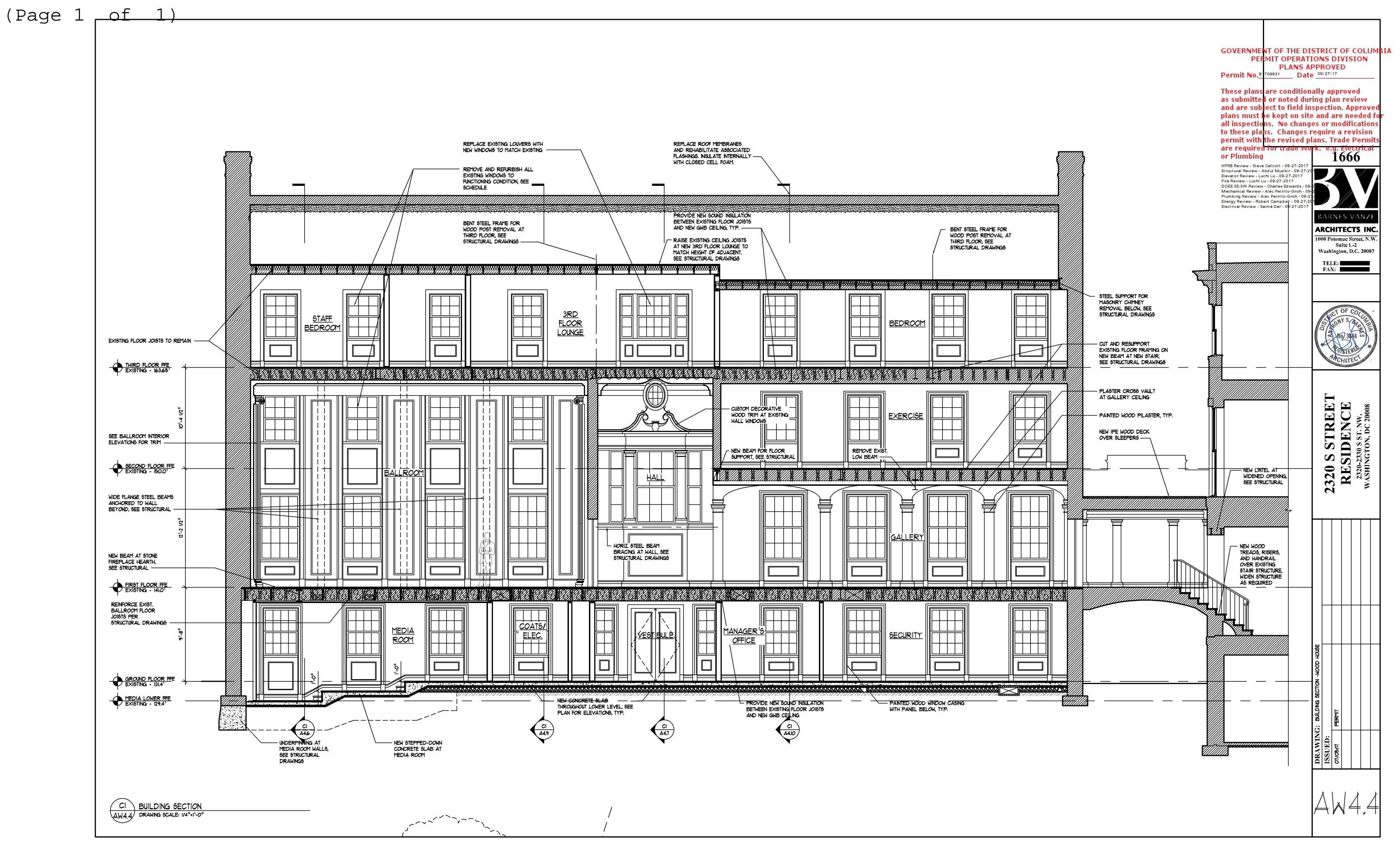


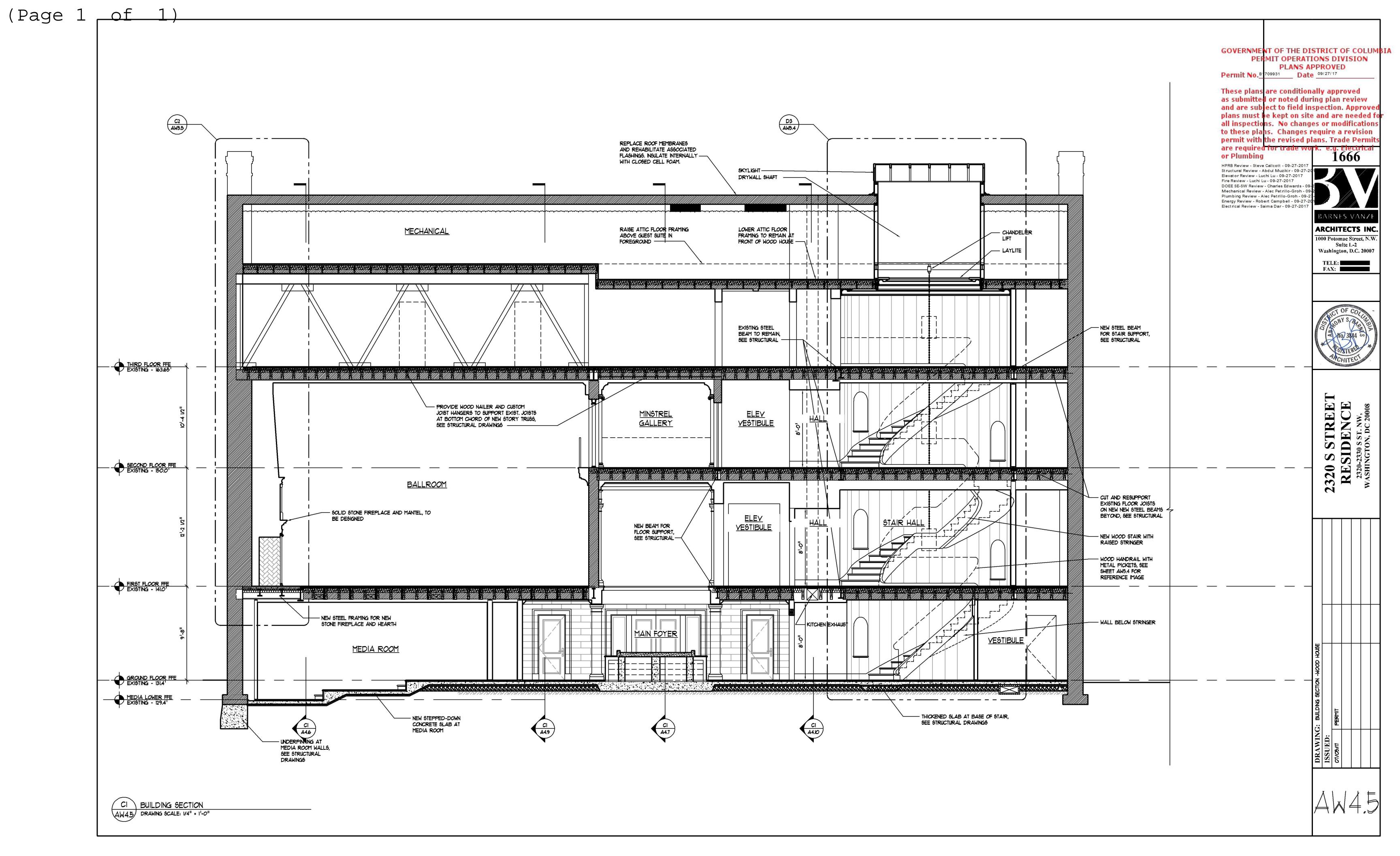


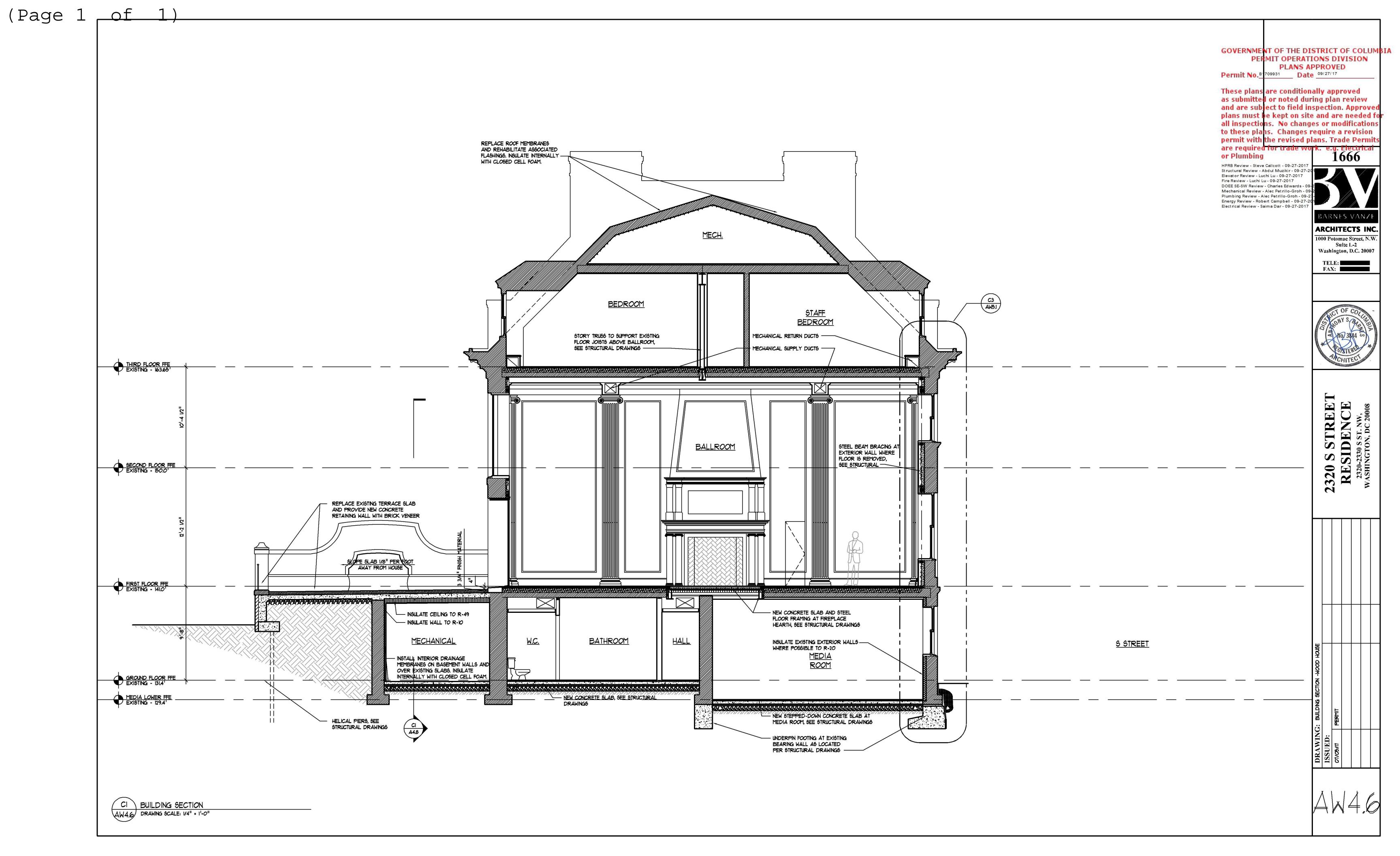


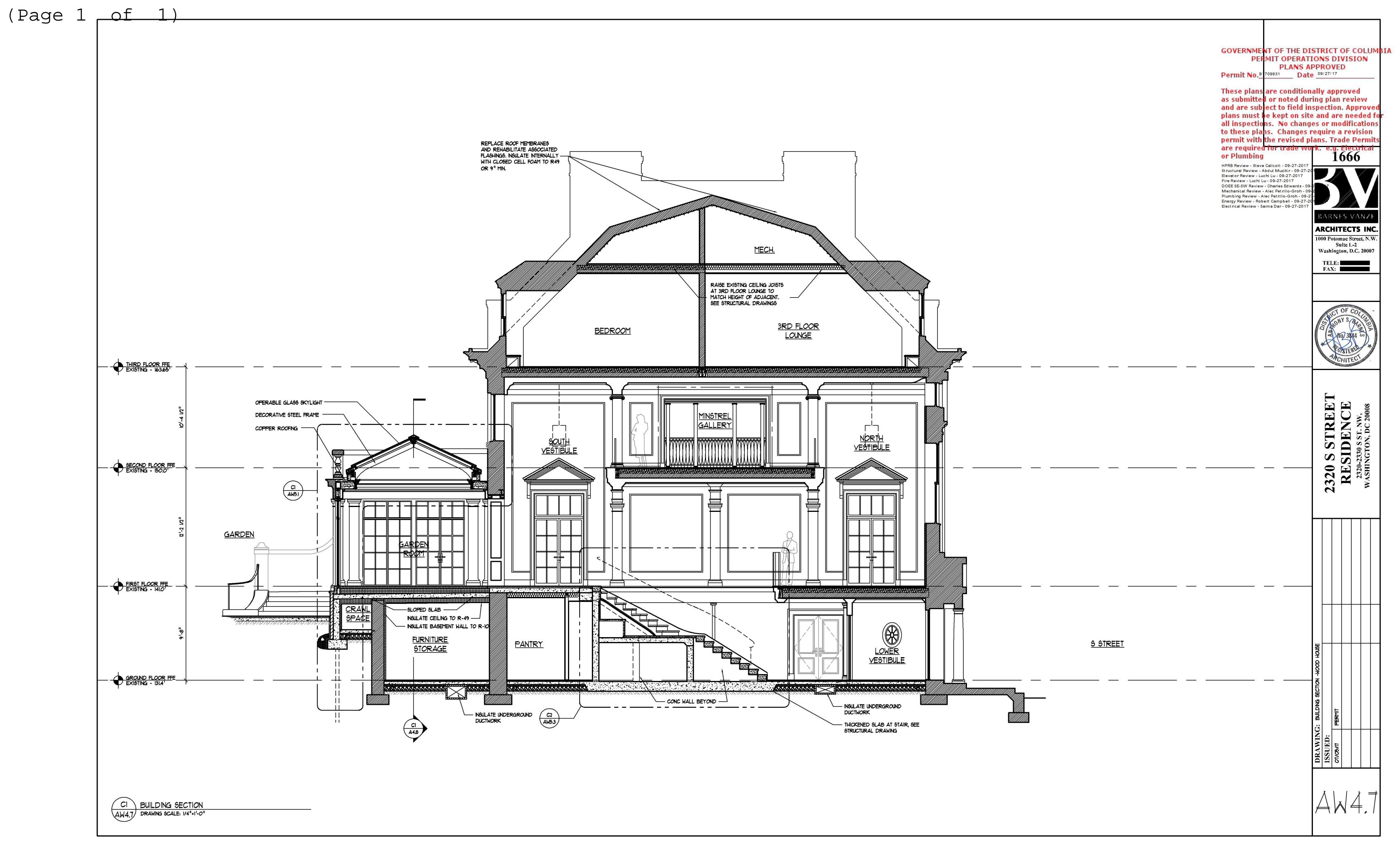


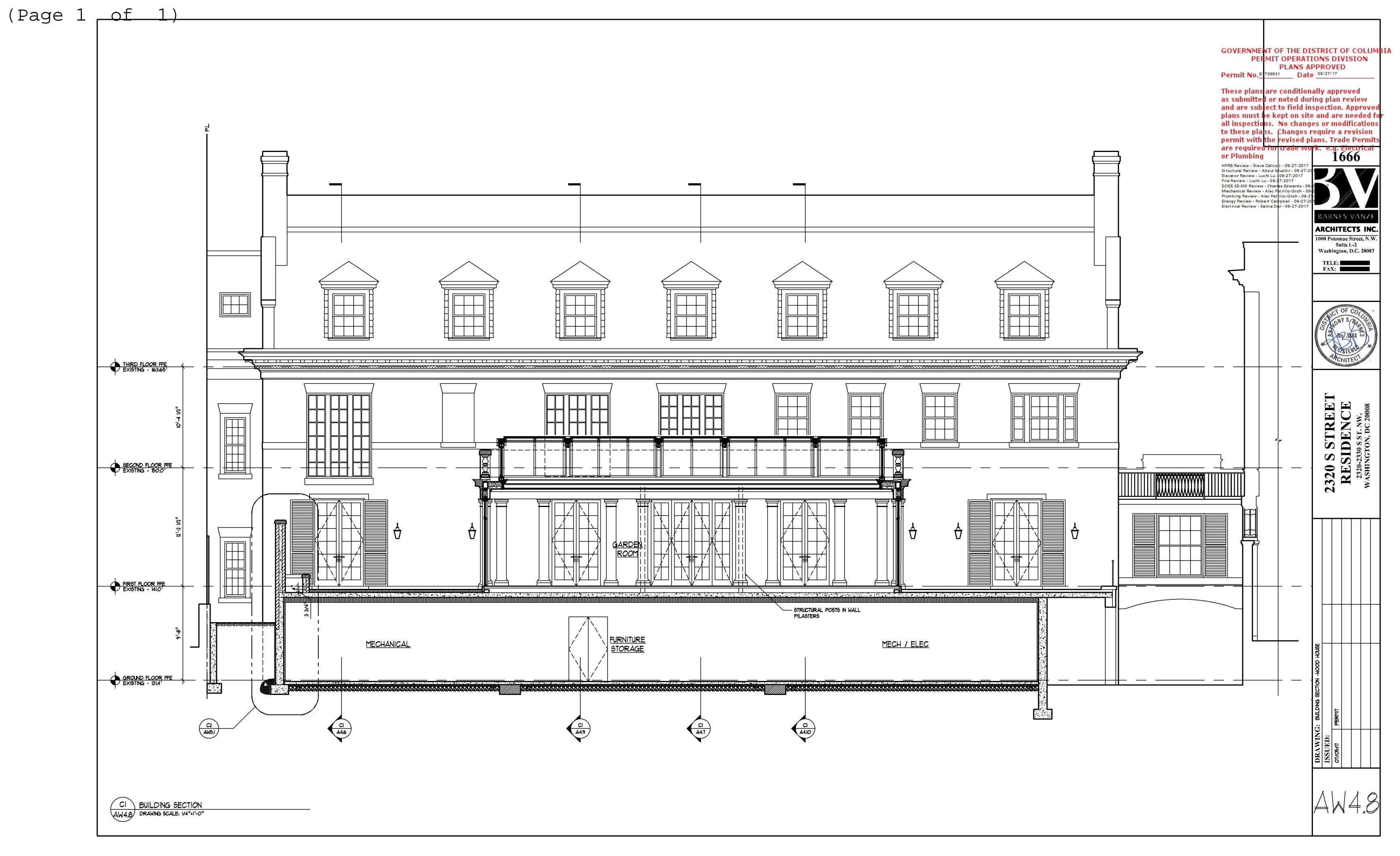


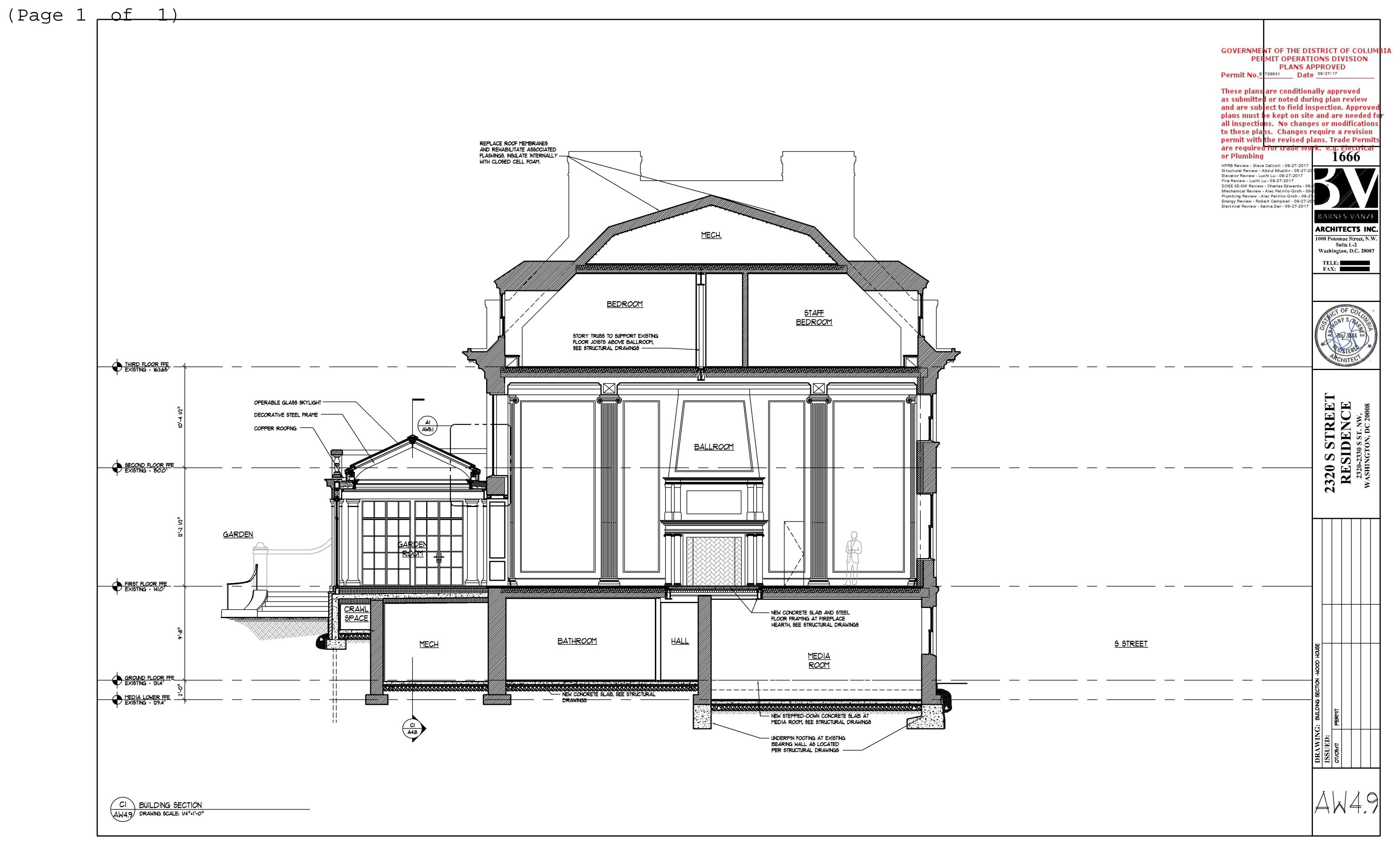


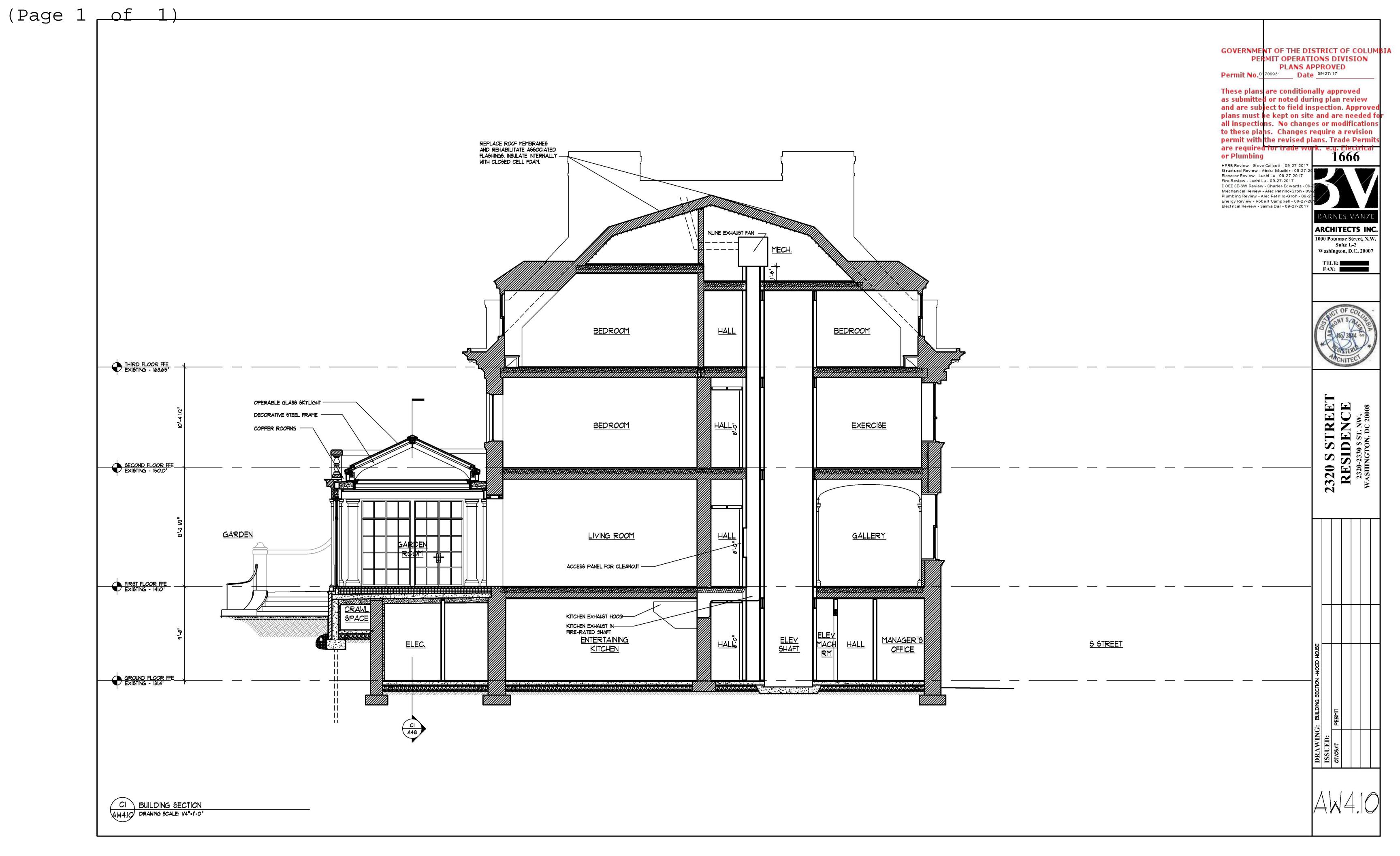


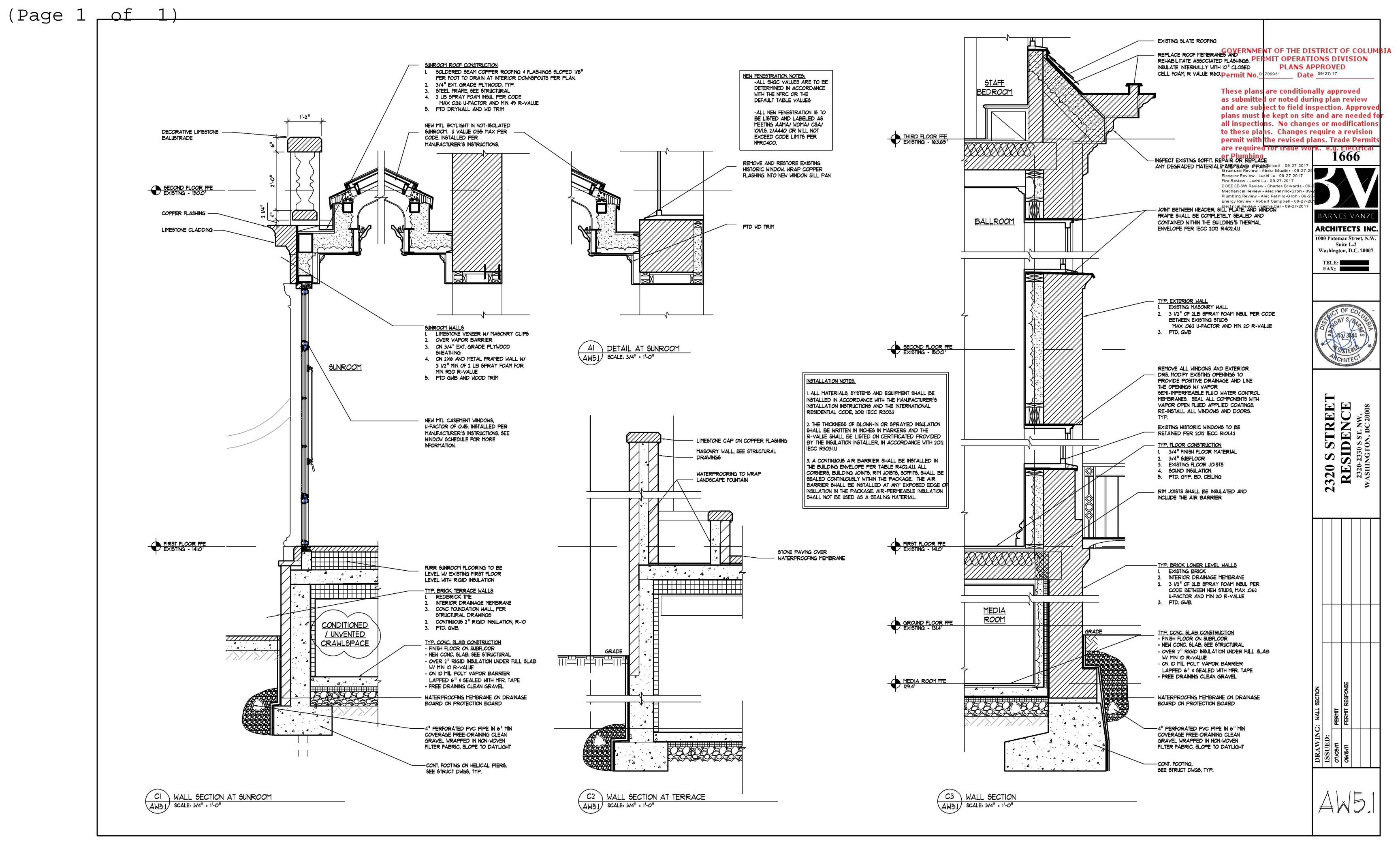


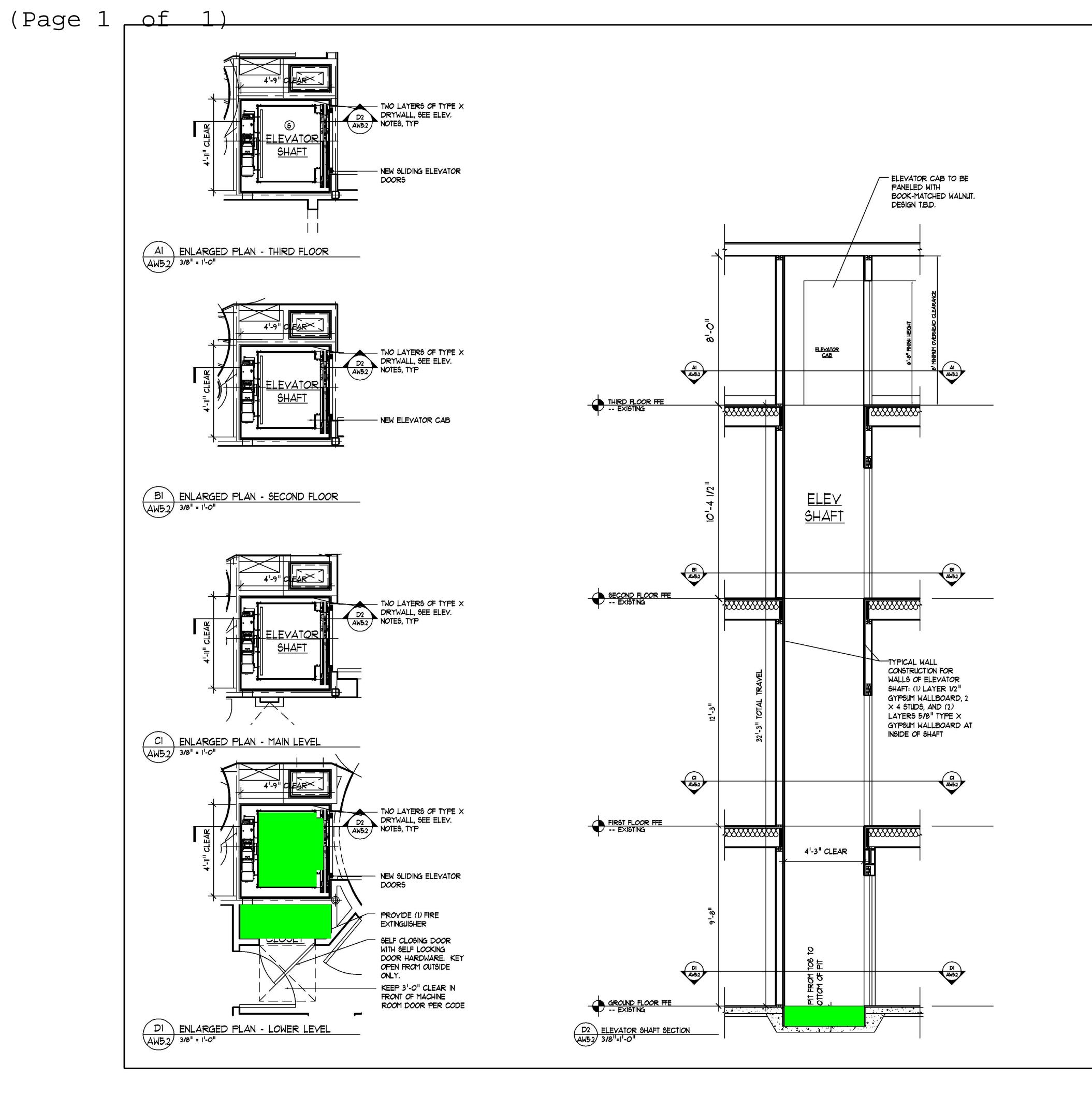












GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED

Permit No. B 709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

HPRB Review - Steve Callcott - 09-27-2017
Structural Review - Abdul Muzikir - 09-27-2
Elevator Review - Luchi Lu - 09-27-2017
Fire Review - Luchi Lu - 09-27-2017
DOEE SE-SW Review - Charles Edwards - 09
Mechanical Review - Alec Petrillo-Groh - 09-2
Electrical Review - Robert Campbell - 09-27-2

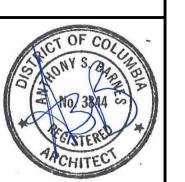
BARNES VANZE

ARCHITECTS INC

1000 Potomac Street, N.W.

Suite L-2 Washington, D.C. 20007

TELE: FAX:



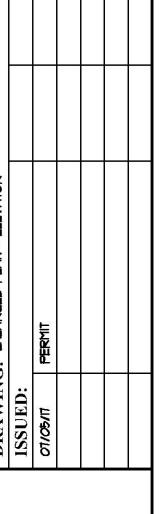
2320-2330 STREET
RESIDENCE
2320-2330 S.T. NW,
WASHINGTON, DC 20008

ELEVATOR NOTES:

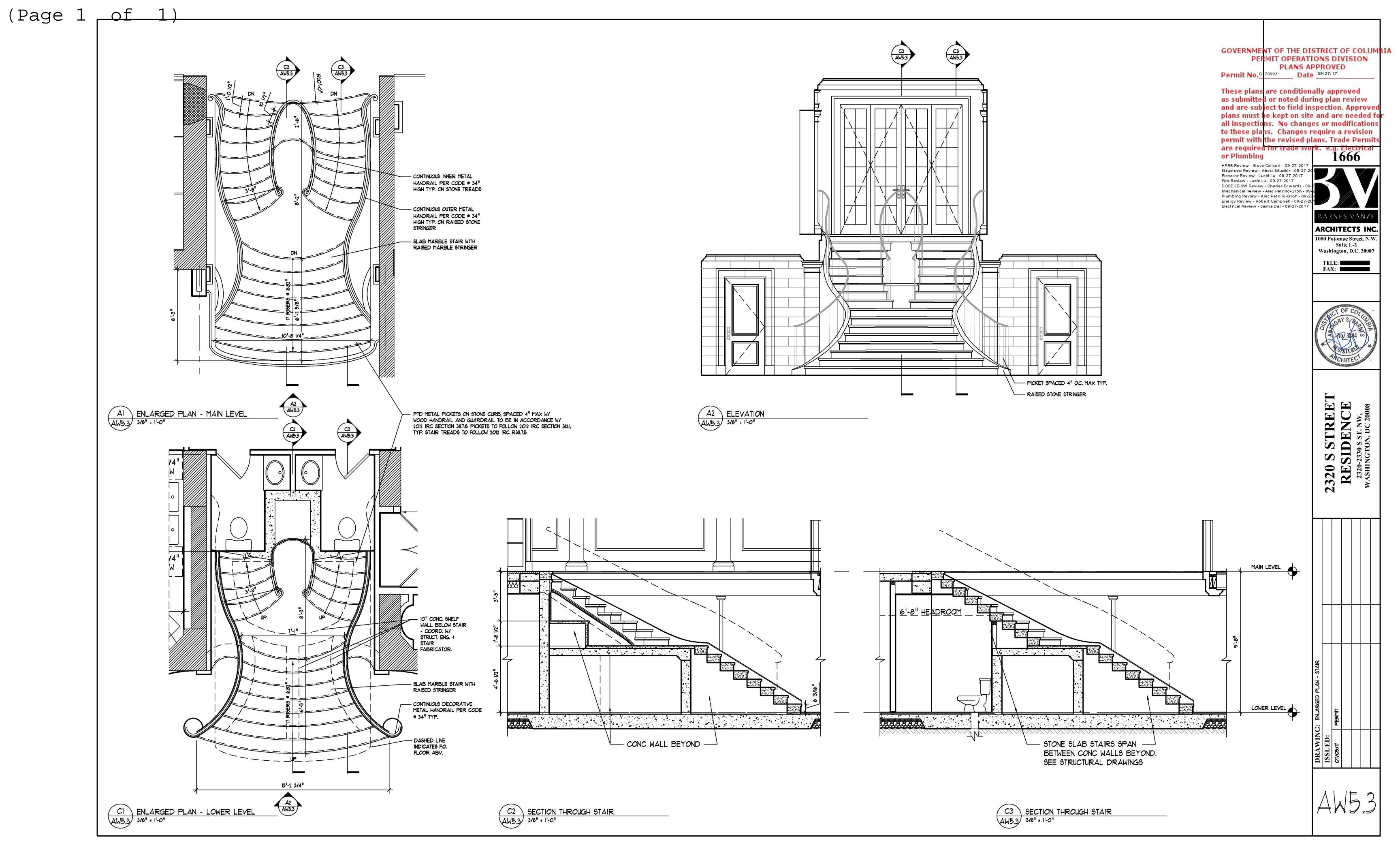
- ELEVATOR SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ASME AIT.I, SAFETY CODE FOR ELEVATORS AND ESCALATORS
- RESIDENTIAL "ECLIPSE" WINDING DRUM ELECTRIC ELEVATOR BY SAVARIA, INSTALLED PER MANUF. REC. VERIFY ALL CLEARANCE REQUIREMENTS PRIOR TO CONSTRUCTING SHAFT.
- CONTRACTOR TO COORDINATE ELEVATOR WITH MANUFACTURER'S SHOP
 DRAWINGS
- HARD-WIRED SMOKE DETECTOR SHALL BE INSTALLED IN THE ELEVATOR MACHINE ROOM
- IF HOISTWAY IS NOT FULLY ENCLOSED, THE PIT SHALL BE GUARDED BY A SOLID ENCLOSURE AT LEAST 84" HIGH
- PROVIDE 2 LAYERS 5/8" TYPE 'X' GWB ON INTERIOR SURFACES OF SHAFT
- WALLS AND CEILING, TYPICAL
- THE MIN. ILLUMINATION AT CAR THRESHOLD, WITH DOOR CLOSED, SHALL NOT BE LESS THAN 50 LX.
- ELEVATOR TO COMPLY WITH IRC 2012

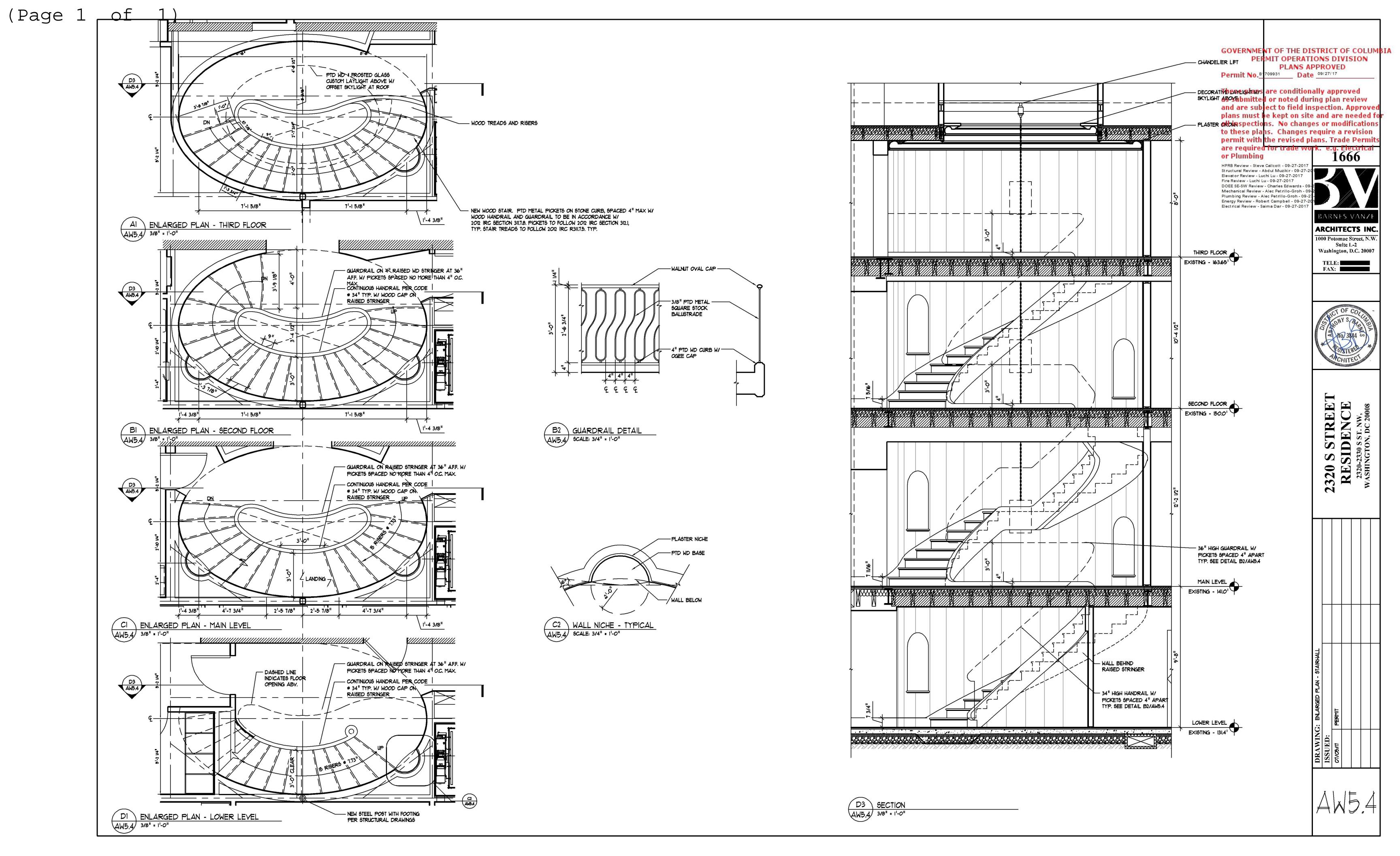
WOOD WALLS, AND LIGHT.

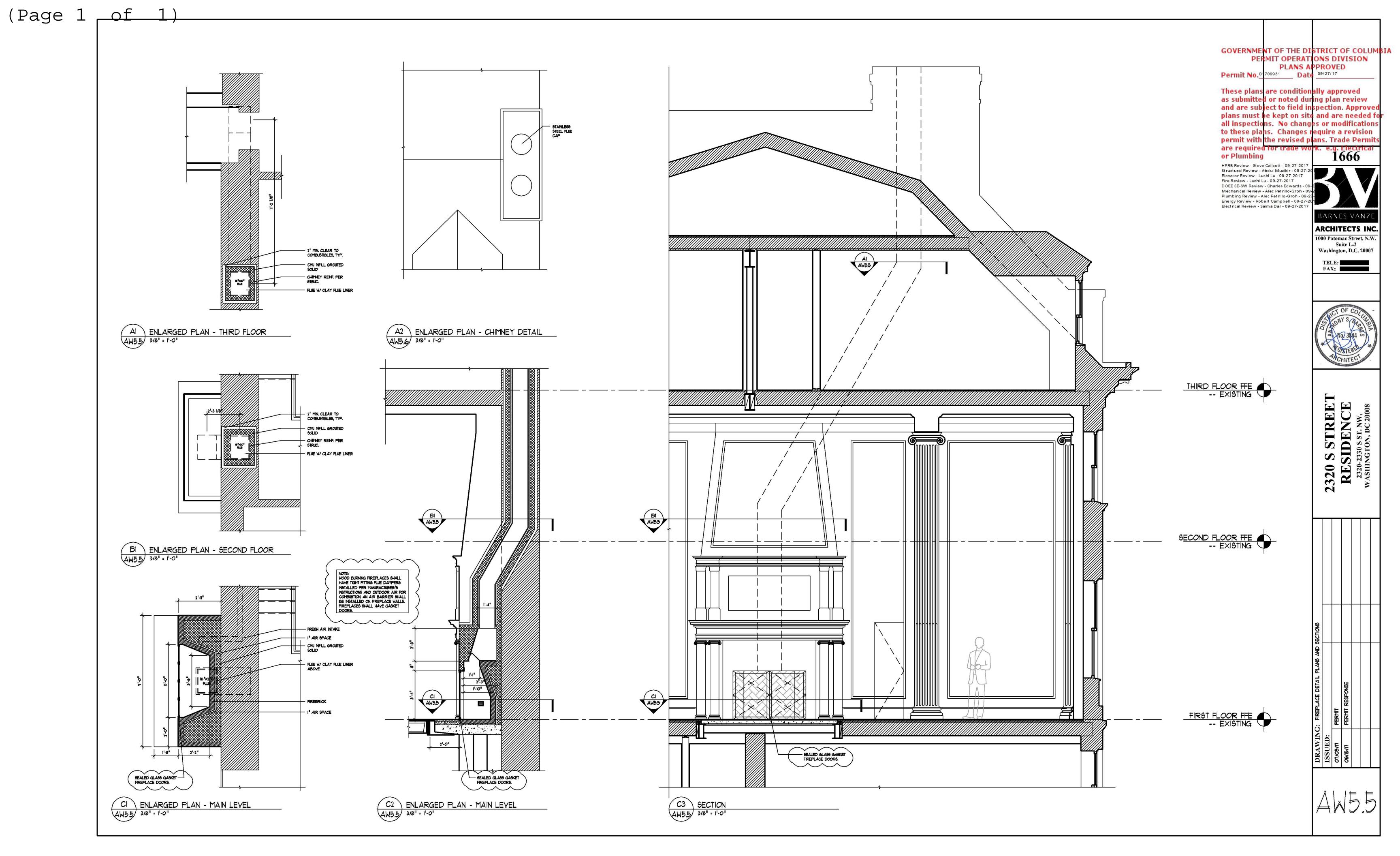
- ELEVATOR CAB TO HAVE WOOD FLOORING, TO MATCH ADJACENT, PAINTED
- PROVIDE SMOKE DETECTOR ON EACH FLOOR LEVEL ADJACENT TO THE
- ELEVATOR DOOR OPENING FOR ELEVATOR RECALL OPERATION PER CODE.
- SEE PLUMBING RISER DIAGRAM FOR ELEVATOR PIT DRAINAGE PROVISION.
- HALL BUTTON NEEDED AT ALL STOPS.



AW5.2



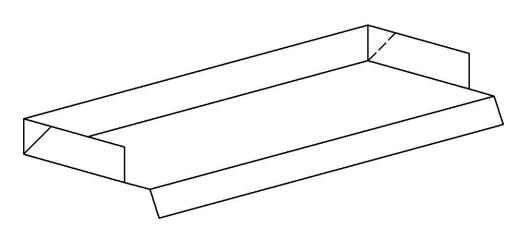




	DOOR SIZE	TYPE	MATERIAL	SILL	INTERIOR		HARDWARE	NOTES
					FINISH	<u>FINISH</u>	<u>FUNCTION</u>	
OWER L	<u>EVEL</u>							
G001	3'-0" x 6'-8"	В	WOOD/GLASS		PTD	PTD	ENTRY	, -
GOO2	2'-6" × 6'-10"	U	WOOD		PTD	PTD	PRIVACY	
GOO3	21-10" x 61-10" EXIST.	۵	WOOD		PTD	PTD	PASSAGE	·
G004	21-8" x 61-10"	U	WOOD		PTD	PTD	DUMMY	•
G005	(2) 3'-0" × 6'-10"	C	WOOD		PTD	PTD	DUMMY	-
445115		5						
IAIN LEV	Section 19				1	T	L	
GIOI	8'-0" x 7'-9 1/2"	G	WOOD/GLASS		PTD	PTD	GARAGE	W/ 31-9 1/2" OPERABLE TRANSOM ABOVE (FOR MECHANICAL)
G102	8'-0" x 7'-9 1/2"	G	WOOD/GLASS		PTD	PTD	GARAGE	W/ 3'-9 1/2" OPERABLE TRANSOM ABOVE (FOR MECHANICAL)
G103	3'-4" × 7'-2"	В	METAL/GLASS		PTD	PTD	ENTRY	
G104	3'-0" x 6'-10"	D	WOOD/GLASS		PTD	PTD	ENTRY	W/ 18" TRANSOM ABOVE
G105	(2) 2'-6" x 6'-10"	С	WOOD		PTD	PTD	DUMMY	-
G106	(2) 2 ¹ -6" x 6 ¹ -10"	С	WOOD		PTD	PTD	DUMMY	
GIOT	2'-6" × 6'-8"	U C	WOOD (GLASS	-	PTD	PTD	ENTRY	SWITCH HINGE SIDE
G108	3'-0" x 6'-10"	<u>م</u> (WOOD/GLASS	-	PTD	PTD	ENTRY	W/ 18" TRANSOM ABOVE
G109	2'-4" x 6'-10"	ع م	WOOD	1	PTD		DUMMY	LU IOII TO ANGOM AROUE
GIIO	2'-6" × 6'-10"	D C	WOOD	1	PTD PTD	PTD PTD	PRIVACY	W/ 18" TRANSOM ABOVE
GIII	2'-6" × 6'-10" 2'-6" × 6'-10"	0	MOOD			PTD	PASSAGE	TRANSOM?
GII2		U C	WOOD		PTD PTD	PTD	PRIVACY	W/ 18" TRANSOM ABOVE
GII3	2'-4" × 6'-10"	D	NOOD		עורוע	טואן	DUMMY	·
					-			
				+	-	1		
IERRACE	E LEVEL		<u> </u>	1	1	<u> </u>	I	1
G201	3'-0" x 6'-8"	Δ	METAL/GLASS		PTD	PfD	ENTRY	T ₋
4201	3-0 X 0-0	-	TIETAETOETOO			1 10	ENIX	
				2 2	3 P			
DOOR TY	PE LEGEND					1		1
А	EXTERIOR DOOR: RE	FURBI	SH EXISTING					
В	EXTERIOR DOOR: NE			O MATCH E	XISTING			
c	INTERIOR DOOR: REU							
D	INTERIOR DOOR: REFI	JRBIS	H EXISTING					
34	INTERIOR DOOR: REF	URBIS	H EXISTING					
D E F		URBIS	H EXISTING					
34	•							
E F								
E F								
E F	- NEW GARAGE DOOR:							
E F G	- NEW GARAGE DOOR:	SEE 1	ELEVATION	CES, IF ANY.				
E F G	- NEW GARAGE DOOR: NOTES SEE SPECIFICATIONS F	SEE I	ELEVATION DOOR ALLOWANG		VZE) PER ELI	Evations an	ID NOTES. PROVIDE PRICIN	KS FROM REILLEY.
E F G SENERAL	- NEW GARAGE DOOR: NOTES SEE SPECIFICATIONS FENTRANCE DOORS AF	SEE 1	ELEVATION DOOR ALLOWANG	Y (OR BRON				KE FROM REILLEY. RS (OR BRONZE AS NOTED)
E F G SENERAL	- NEW GARAGE DOOR: NOTES SEE SPECIFICATIONS FENTRANCE DOORS AF	SEE I	ELEVATION DOOR ALLOWANG STOM MAHOGAN' R TISCHLER 052	Y (OR BRO) 6ERIES, MQ	, ASSELIN, HO	OPES, OR EQ	CUSTOM MAHOGANY DOOR	
E F G SENERAL	- NEW GARAGE DOOR: NOTES SEE SPECIFICATIONS FENTRANCE DOORS AFFERVIDE ALT. PRICING WINDOWS AND EXTER	SEE I	ELEVATION DOOR ALLOWANCE STOM MAHOGAN' R TISCHLER 062 DOORS SHALL BE	Y (OR BROM SERIES, MQ E PROVIDED	, ASSELIN, HO BY THE SA	OPES, OR EQ ME MANUFAC	CUSTOM MAHOGANY DOOF	
F G SENERAL 1 2 3 4	- NEW GARAGE DOOR: NOTES SEE SPECIFICATIONS FENTRANCE DOORS AFFERVIDE ALT. PRICING WINDOWS AND EXTER	SEE I	ELEVATION DOOR ALLOWANCE STOM MAHOGAN' R TISCHLER 062 DOORS SHALL BE BLE FOR COORE	Y (OR BROM SERIES, MQ E PROVIDED DINATING RE	, ASSELIN, HO BY THE SA GUIRED JAM	OPES, OR EQ ME MANUFAC B DEPTHS, A	CUSTOM MAHOGANY DOOF TURER. AND FOR PROVIDING JAMB	RS (OR BRONZE AS NOTED)
E F G SENERAL 1 2 3 4 5	- NEW GARAGE DOOR: NOTES SEE SPECIFICATIONS FENTRANCE DOORS AFFEROVIDE ALT. PRICING WINDOWS AND EXTER CONTRACTOR IS RESERVE ALL EXISTING REMOVE ALL EXISTING	SEE I	ELEVATION DOOR ALLOWANCE STOM MAHOGAN' R TISCHLER 062 DOORS SHALL BE BLE FOR COORE AS REQUIRED TOOWS, EXTERIOR	Y (OR BROM SERIES, MQ E PROVIDED DINATING RE TO PROVIDE E DOORS, AN	, A66ELIN, HO BY THE 6A GUIRED JAM 1/8" PER FO ID FRAMES. I	OPES, OR EQ ME MANUFAC B DEPTHS, A DOT SLOPE T MODIFY EXIS	CUSTOM MAHOGANY DOOF TURER. AND FOR PROVIDING JAMB O EXTERIOR. TING OPENINGS TO PROVID	EXTENSIONS WHERE NECESSARY FOR WALL THICKNESS SHOWN. PE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE
E F G SENERAL 1 2 3 4 5 6	- NEW GARAGE DOOR: NOTES SEE SPECIFICATIONS FENTRANCE DOORS AFFEROVIDE ALT. PRICING WINDOWS AND EXTER CONTRACTOR IS RESERVE ALL EXISTING REMOVE ALL EXISTING	SEE I	ELEVATION DOOR ALLOWAND STOM MAHOGAN* R TISCHLER 062 DOORS SHALL BE BLE FOR COORD AS REQUIRED TOOWS, EXTERIOR R. LINE OPENING	Y (OR BROM SERIES, MQ E PROVIDED DINATING RE TO PROVIDE E DOORS, AN S WITH VAPO	, A66ELIN, HO BY THE 6A GUIRED JAM 1/8" PER FO ID FRAMES. I	OPES, OR EQ ME MANUFAC B DEPTHS, A DOT SLOPE T MODIFY EXIS	CUSTOM MAHOGANY DOOF TURER. AND FOR PROVIDING JAMB O EXTERIOR. TING OPENINGS TO PROVID	RS (OR BRONZE AS NOTED) EXTENSIONS WHERE NECESSARY FOR WALL THICKNESS SHOWN.
E F G SENERAL 1 2 3 4 5 6	- NEW GARAGE DOOR: NOTES SEE SPECIFICATIONS FENTRANCE DOORS AFFERICATION SETTER CONTRACTOR IS RESERVED ALL EXISTING: REMOVE ALL EXISTING: 1/8":12" SLOPE TO EXTERMENTAL TO EXTERMENTAL EXISTING:	SEE I	ELEVATION DOOR ALLOWAND STOM MAHOGAN* R TISCHLER 062 DOORS SHALL BE BLE FOR COORD AS REQUIRED TOOWS, EXTERIOR R. LINE OPENING	Y (OR BROM SERIES, MQ E PROVIDED DINATING RE TO PROVIDE E DOORS, AN S WITH VAPO	, A66ELIN, HO BY THE 6A GUIRED JAM 1/8" PER FO ID FRAMES. I	OPES, OR EQ ME MANUFAC B DEPTHS, A DOT SLOPE T MODIFY EXIS	CUSTOM MAHOGANY DOOF TURER. AND FOR PROVIDING JAMB O EXTERIOR. TING OPENINGS TO PROVID	EXTENSIONS WHERE NECESSARY FOR WALL THICKNESS SHOWN. PE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE
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E F G SENERAL 1 2 3 4 5 6 7 7 NTERIOR 1	- NEW GARAGE DOOR: NOTES SEE SPECIFICATIONS FENTRANCE DOORS AFFEROVIDE ALT. PRICING WINDOWS AND EXTER CONTRACTOR IS RESIDENCE TO EXTEND TO EXTEND TO EXTER ALL WINDOWS, EXTER DOOR DESCRIPTION INTERIOR DOORS SHARLL DETAILS ON INTERIOR DOORS SHARLL DETAILS DOORS SHARLL DETAILS ON INTERIOR DOORS SHARLL DETAILS DOORS SHARLL D	SEE I	ELEVATION DOOR ALLOWANCE STOM MAHOGANTE R TISCHLER 062 DOORS SHALL BE BLE FOR COORD AS REQUIRED TO DOWS, EXTERIOR R. LINE OPENING DOORS, AND FRA E SOLID WOOD, TO DOORS, INCLUDING	Y (OR BROM SERIES, MQ E PROVIDED DINATING RE TO PROVIDE E DOORS, AN S WITH VAPO MES.	, ASSELIN, HO) BY THE SA GUIRED JAM 1/8" PER FO ID FRAMES. I OR SEMI-IMP , RAISED-PA ARE AND CA	OPES, OR EGME MANUFACE B DEPTHS, ADOT SLOPE TO MODIFY EXISTEMBABLE FOR EABLE	CUSTOM MAHOGANY DOOF TURER. AND FOR PROVIDING JAMB O EXTERIOR. TING OPENINGS TO PROVID FLUID WATER CONTROL MEN D. MATCH EXISTING.	EXTENSIONS WHERE NECESSARY FOR WALL THICKNESS SHOWN. PE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE
E F G SENERAL 1 2 3 4 5 6 7 NTERIOR 1 2	- NEW GARAGE DOOR: NOTES SEE SPECIFICATIONS FENTRANCE DOORS AFFEROVIDE ALT. PRICING WINDOWS AND EXTER CONTRACTOR IS RESIDENCE TO EXTEND TO EXTEND TO EXTER ALL WINDOWS, EXTER DOOR DESCRIPTION INTERIOR DOORS SHARLL DETAILS ON INTERIOR DOORS SHARLL DETAILS DOORS SHARLL DETAILS ON INTERIOR DOORS SHARLL DETAILS DOORS SHARLL D	SEE I	ELEVATION DOOR ALLOWANCE STOM MAHOGANTE R TISCHLER 062 DOORS SHALL BE BLE FOR COORD AS REQUIRED TO DOWS, EXTERIOR R. LINE OPENING DOORS, AND FRA E SOLID WOOD, TO DOORS, INCLUDING	Y (OR BROM SERIES, MQ E PROVIDED DINATING RE TO PROVIDE E DOORS, AN S WITH VAPO MES.	, ASSELIN, HO) BY THE SA GUIRED JAM 1/8" PER FO ID FRAMES. I OR SEMI-IMP , RAISED-PA ARE AND CA	OPES, OR EGME MANUFACE B DEPTHS, ADOT SLOPE TO MODIFY EXISTEMBABLE FOR EABLE	CUSTOM MAHOGANY DOOF TURER. AND FOR PROVIDING JAMB O EXTERIOR. TING OPENINGS TO PROVID FLUID WATER CONTROL MEN D. MATCH EXISTING.	EXTENSIONS WHERE NECESSARY FOR WALL THICKNESS SHOWN. PE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE MBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL
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MINDOM	SASH SIZE	TYPE M	1ATERIAL	INTERIOR FINISH	EXTERIOR FINISH	SILL	CODE NOTES	HARDWARE	HEAD/JAMB/ SILL DETAILS	NOTES		MIT OPERATION	TRICT OF COLUM ONS DIVISION
OWER I	LEVEL							1			Dogue Ale 947	PLANS AP	
G001	1'-11" x 1'-10"	CASEMENT	WOOD	PTD	PTD					x	Permit No.º/	09931 Date	
GOO2	2'-6" x 2'-4 1/2 EXIST.	10000 237 CONDAY - 102 - 24 CONDAY	WOOD	PTD	PTD					×	These plans	are conditiona	lly approved
GOO3	2'-6" x 2'-4 1/2 EXIST.	30000000000000000000000000000000000000	WOOD	PTD	PTD					×	as submitted	or noted duri	ng plan review
	= The private			v • v · ∞ v = 0 00	· · ·						and are subj	ect to field ins	pection. Approve
IRST FL	.00R									<u> </u>	plans must b	e kept on site	and are needed for
GIOI	2'-10" × 5'-8" EXIST	DOUBLE HUNG	WOOD	PTD	PTD					W/ 21-6 TRANSOM ABOVE			s or modifications equire a revision
G102	(2) 2'-O" x 5'-8" EXIST.	ACC SECURIOR CONTRACTOR CONTRACTOR	WOOD	PTD	PTD					X			ins. Trade Permit
G103	2'-10" x 5'-8" EXIST.	300 (200 (200 (200 (200 (200 (200 (200 (WOOD	PTD	PTD					×			k. e.g. Electrical
G104	(2) 2'-O" x 5'-8" EXIST.	25 ACCA - 45CD -	WOOD	PTD	PTD		+			×	or Plumbing		1666
G105	2'-10" x 5'-8" EXIST.		WOOD	PTD	PTD					×	HPRB Review - Steve (
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G201	2'-O" × 3'-9"	CASEMENT	WOOD	PTD	PTD						<u>Mechanica</u> l Review - A Plumbing Review - Ale	lec Petrillo-Groh - 09-2 c Petrillo-Groh - 09-21-	
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	TO EXTERIOR. LINE OPE DOORS, AND FRAMES.	NINGS WITH VAPOR SEMI-IMPER	RMEABLE FI	LUID WATER	CONTROL ME	MBRANES.	SEAL ALL C	omponents with	I VAPOR OPEN	FLUID APPLIED COATINGS. REINSTALL ALL W	INDOWS, EXTERIOR		STICT OF COLUMN STORY ST
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1	ALL WINDOW DETAILS, IN	CLUDING CASING AND MUNTIN S	STYLE, SHAL	L MATCH EX	KISTING.							F	
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C2 WINDOW SCHEDULE - GARAGE X N.T.S.

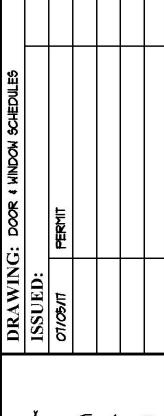


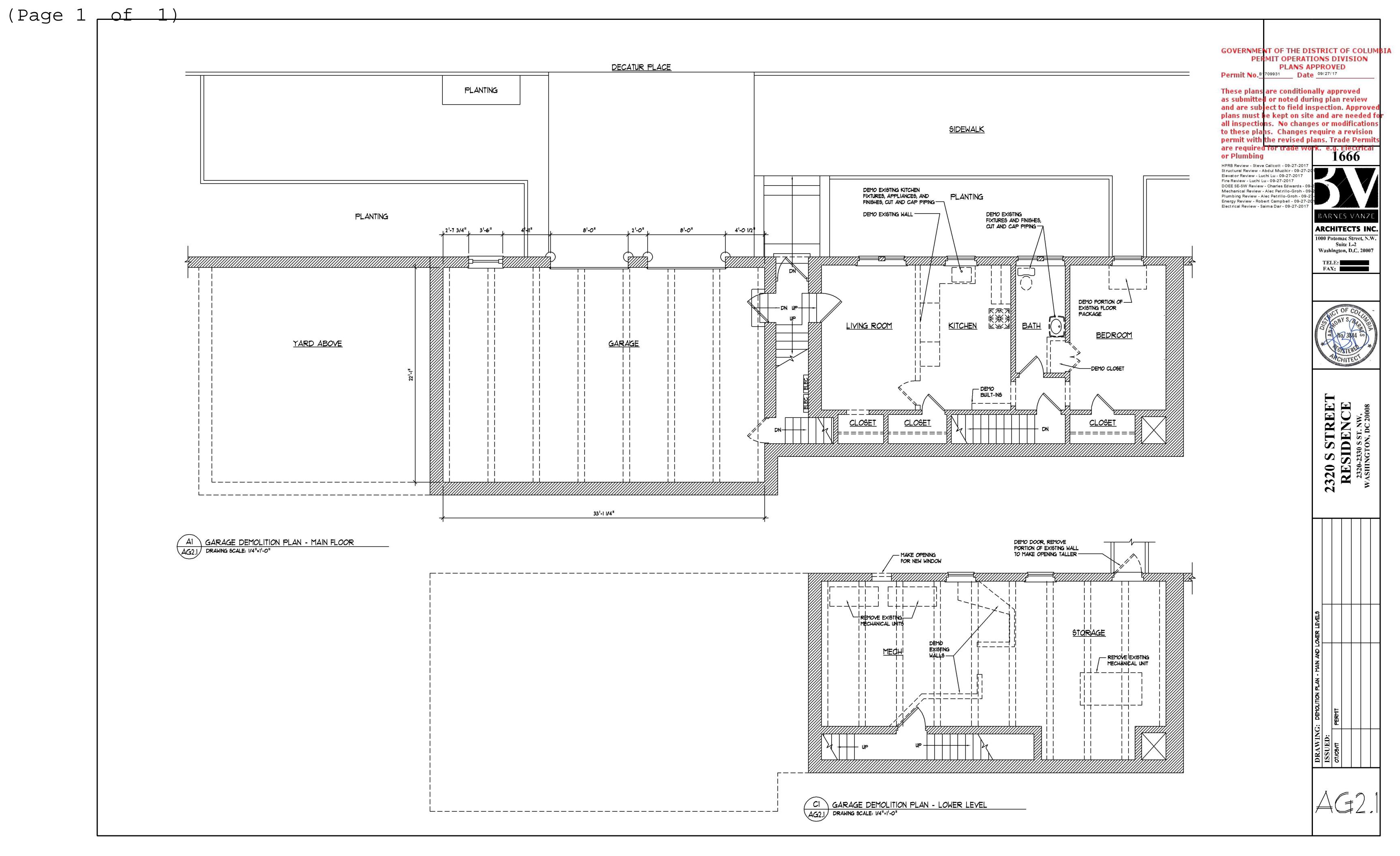
FLASHING W/ THREE SIDES TURNED UP TO FORM PAN.

C3 DETAIL OF SILL FLASHING

X NOT TO SCALE

CI	DOOR SCHEDULE - GARAGE
X	NT.S.





(Page 1 <u>of 1)</u> PLANS APPROVED
Permit No. B 709931 Date 09/27/17

> - REMOVE EXISTING DUCT SIDEWALK BELOW ______ - REMOVE EXISTING CONCRETE PAVERS DOWN TO EXISTING DECK / ROOF ROOF STRUCTURE YARD - REMOVE EXISTING EXCAVATE EXISTING GUARDRAIL, GATE, YARD FOR FUTURE AND STEPS MECHANICAL UNIT -0 L_______ — REMOVE PORTION OF EXISTING WALL 0 — REMOYE PORTION OF EXISTING WALL WADDY WOOD HOUSE BACKYARD ABOVE - REMOVE EXISTING STAIR AND SALVAGE FOR REUSE

GOVERNMENT OF THE DISTRICT OF COLUMBIA PERMIT OPERATIONS DIVISION

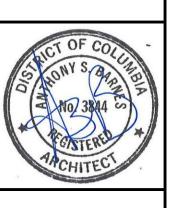
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed fo all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

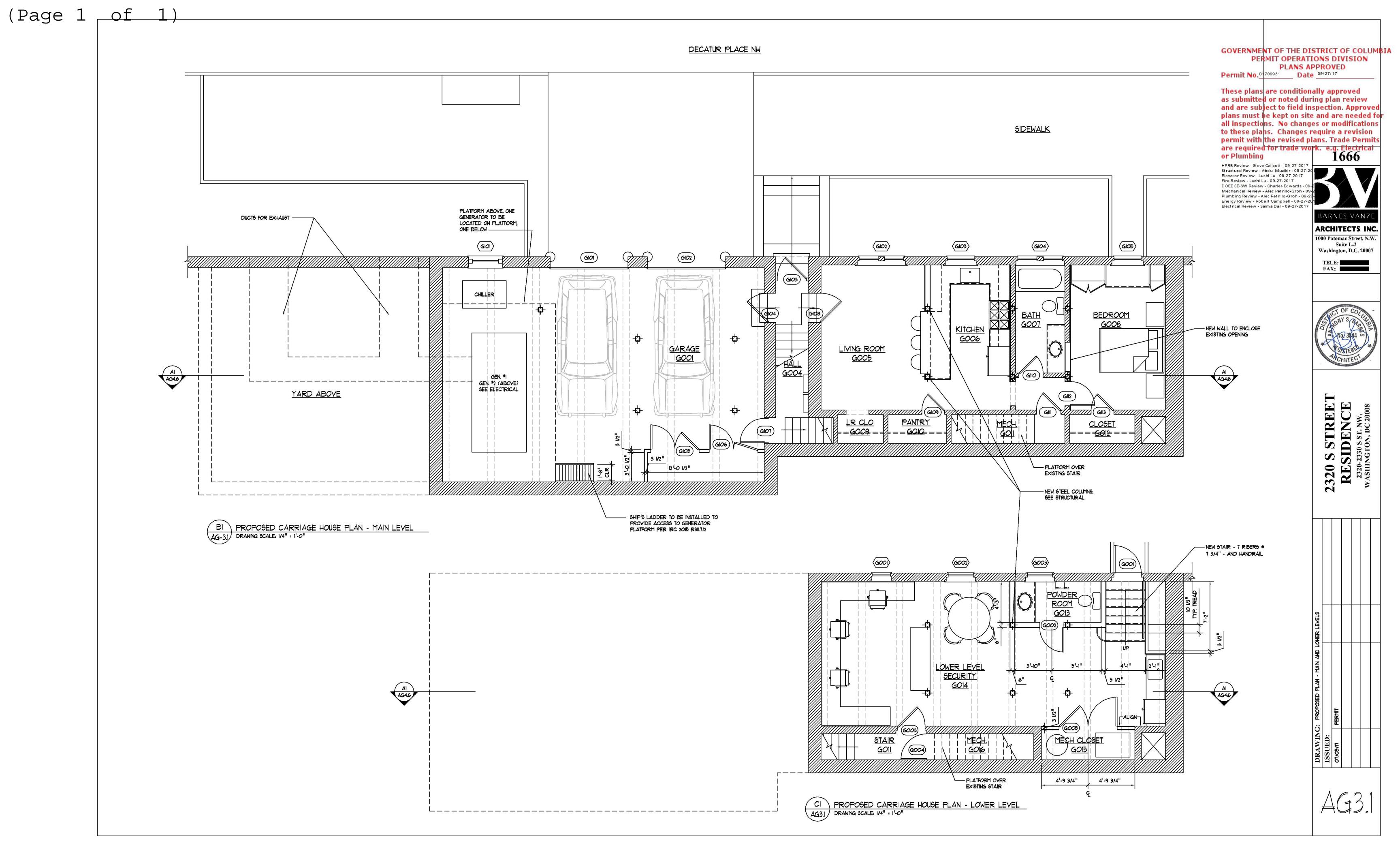
HPRB Review - Steve Callcott - 09-27-2017 Structural Review - Abdul Muzikir - 09-27-2 Elevator Review - Abdul Muzikii - 09-27-2017 Fire Review - Luchi Lu - 09-27-2017 DOEE SE-SW Review - Charles Edwards - 09 Mechanical Review - Alec Petrillo-Groh - 0 Plumbing Review - Alec Petrillo-Groh - 09 Energy Review - Robert Campbell - 09-27-2 Electrical Review - Saima Dar - 09-27-2017

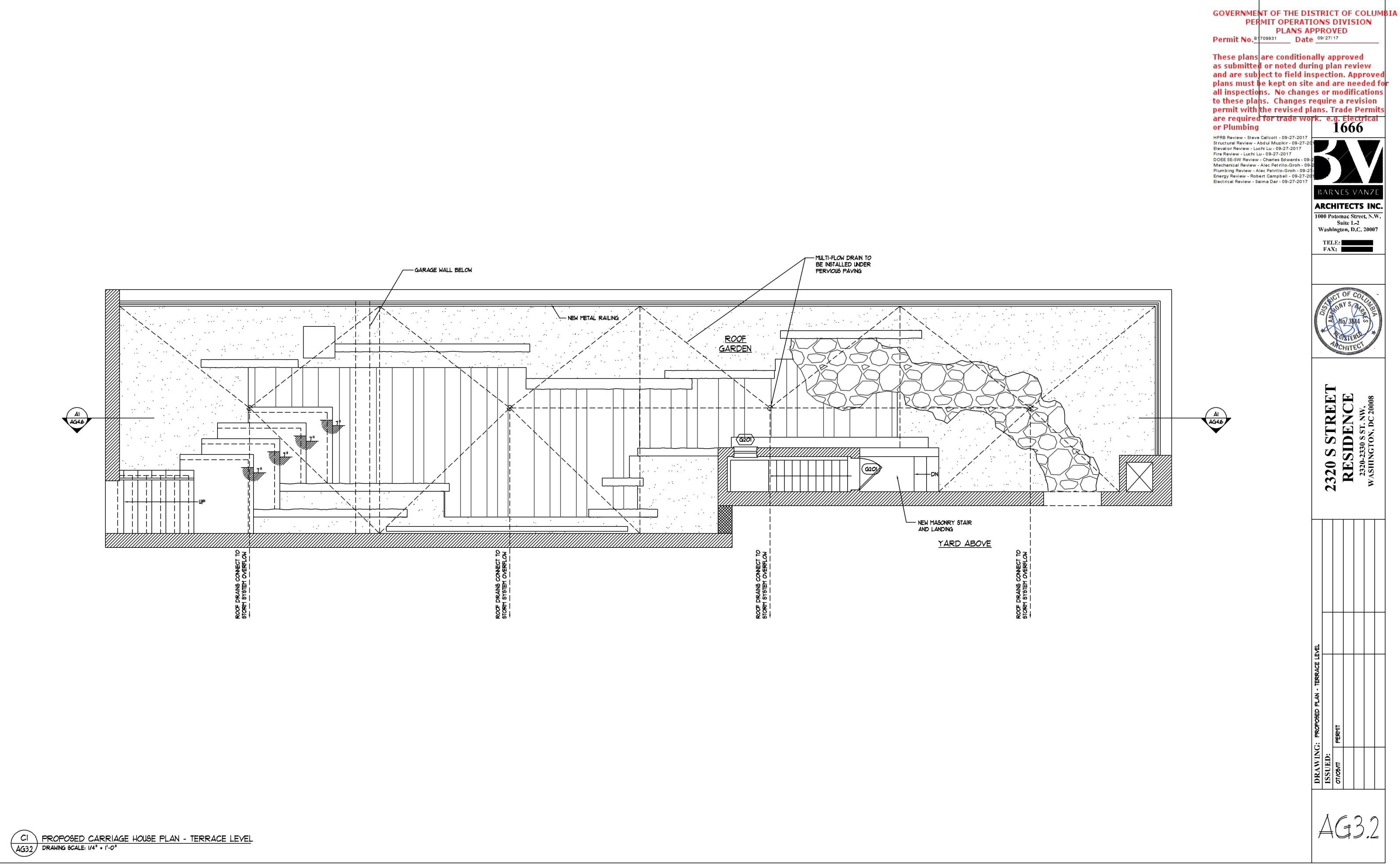
ARNES VANZE ARCHITECTS INC.

1000 Potomac Street, N.W. Suite L-2 Washington, D.C. 20007

TELE: FAX:







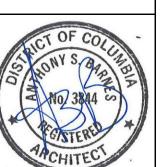
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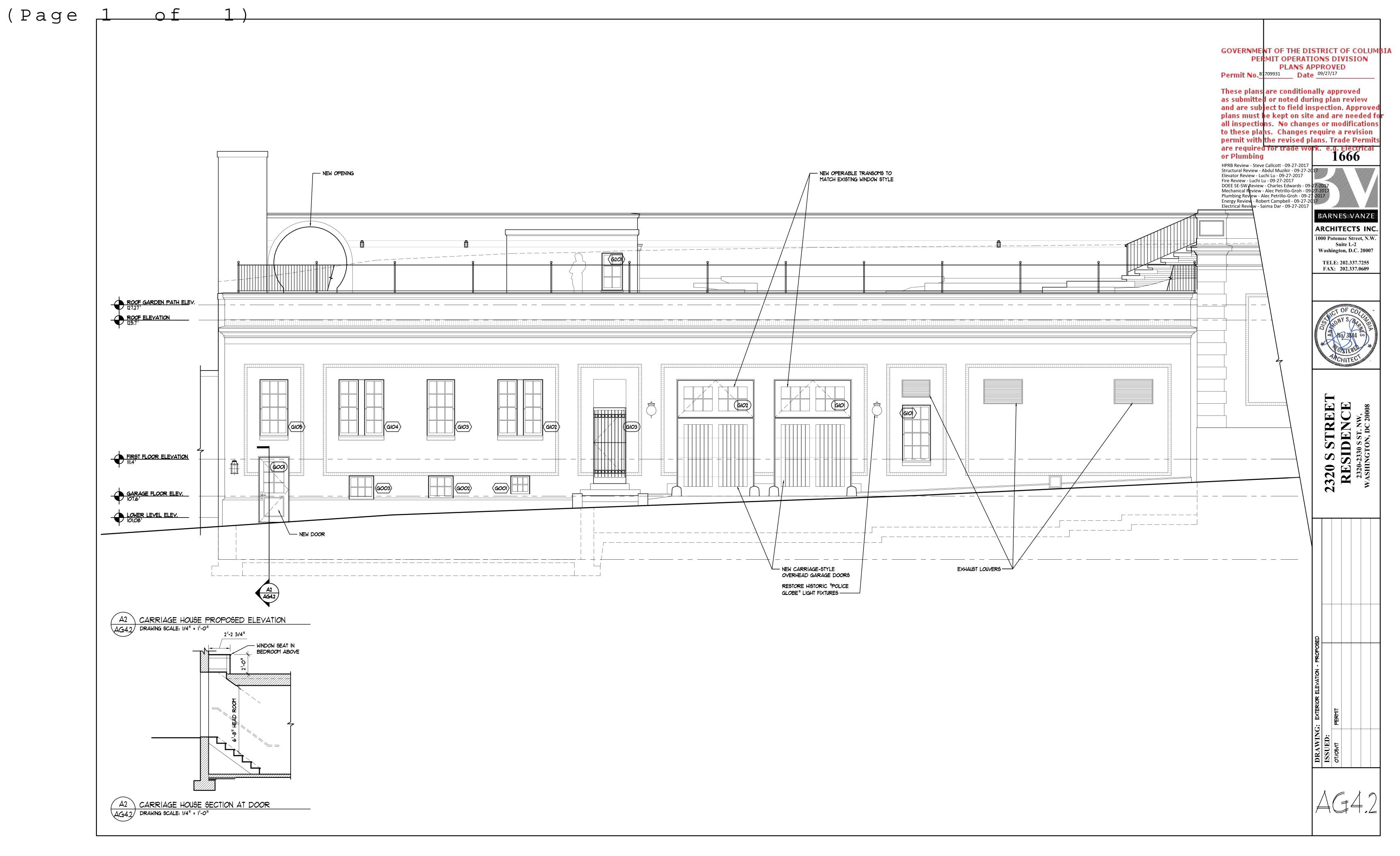
PERMIT OPERATIONS DIVISION

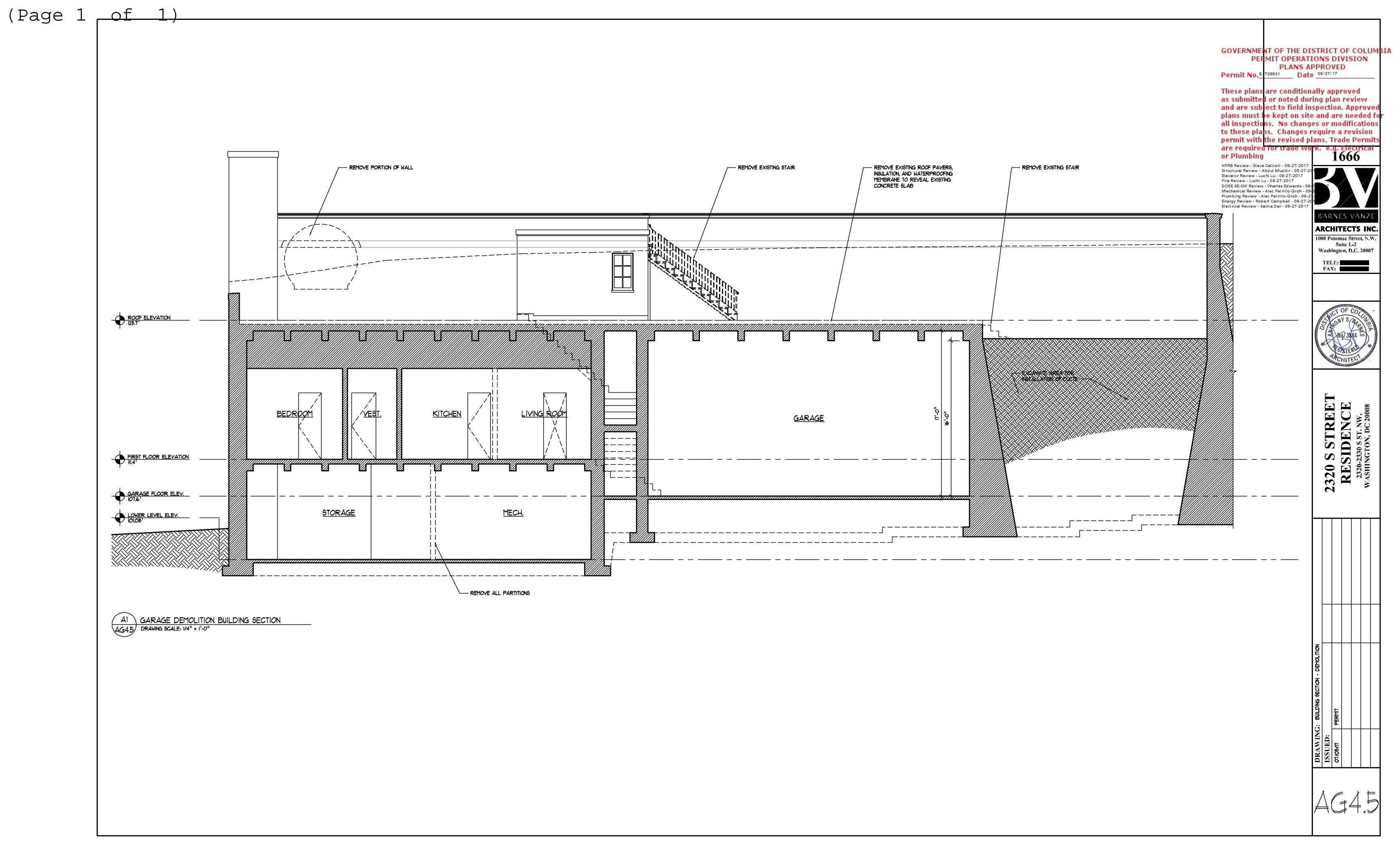
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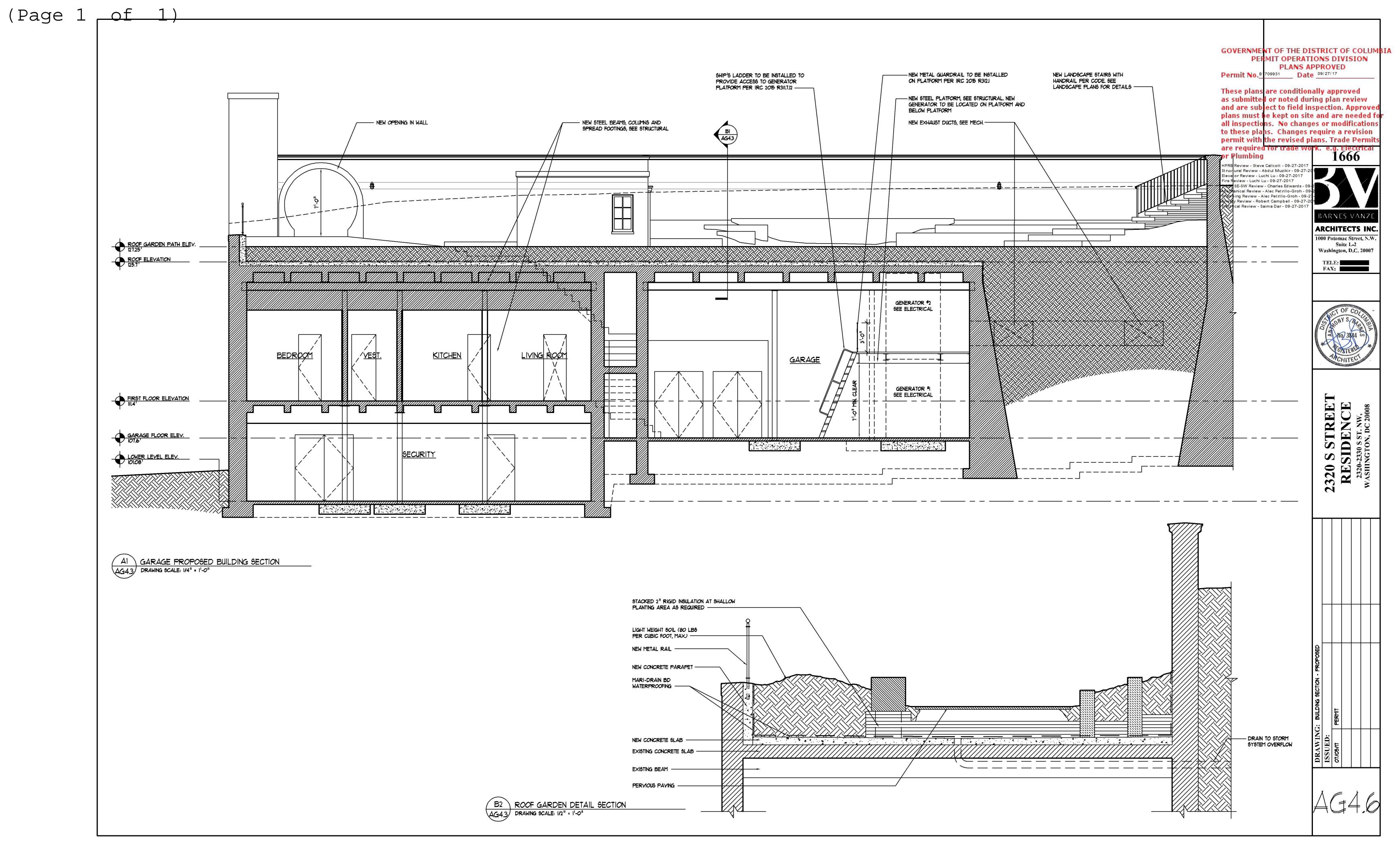
ARCHITECTS INC. 1000 Potomac Street, N.W. Suite L-2 Washington, D.C. 20007

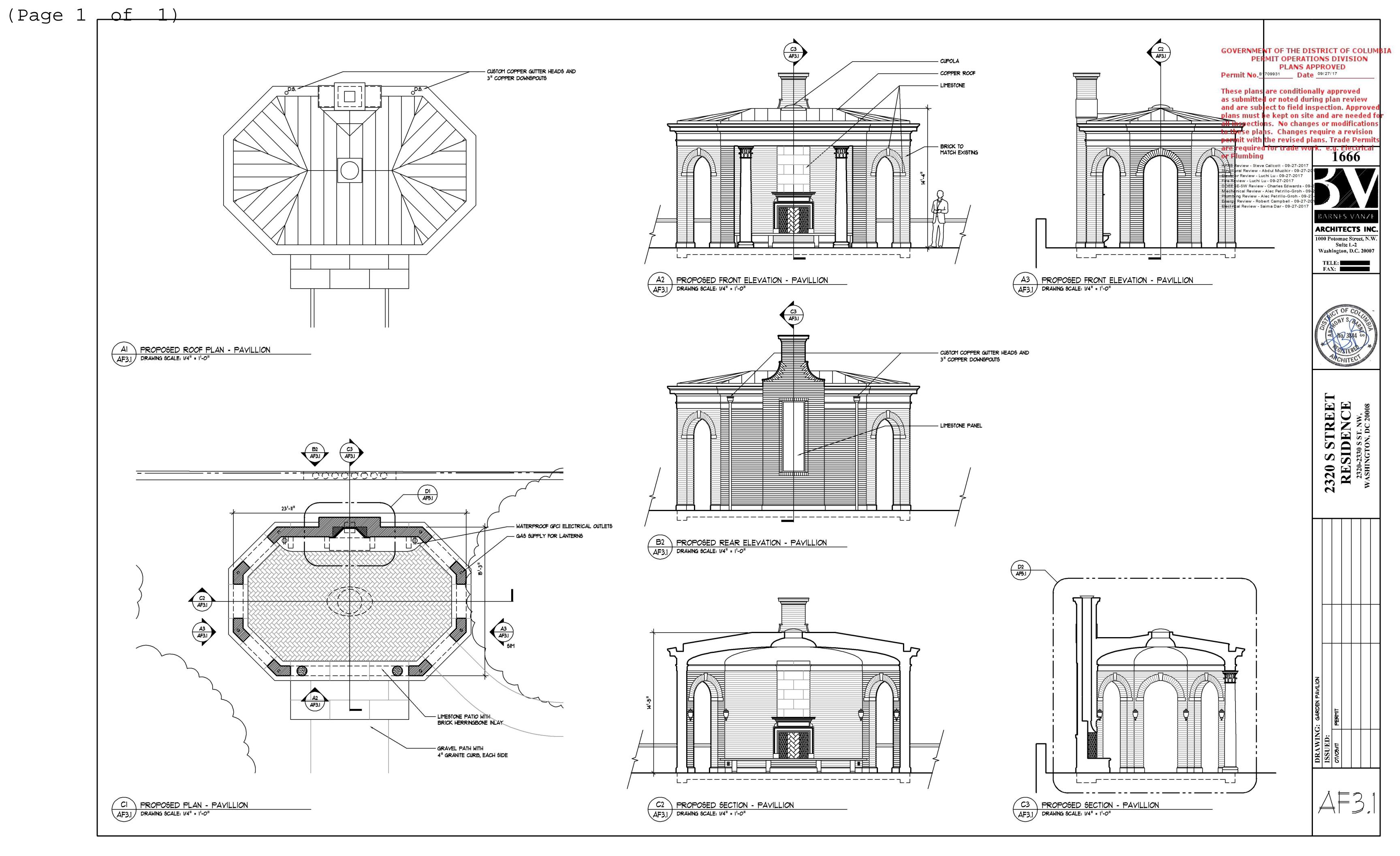
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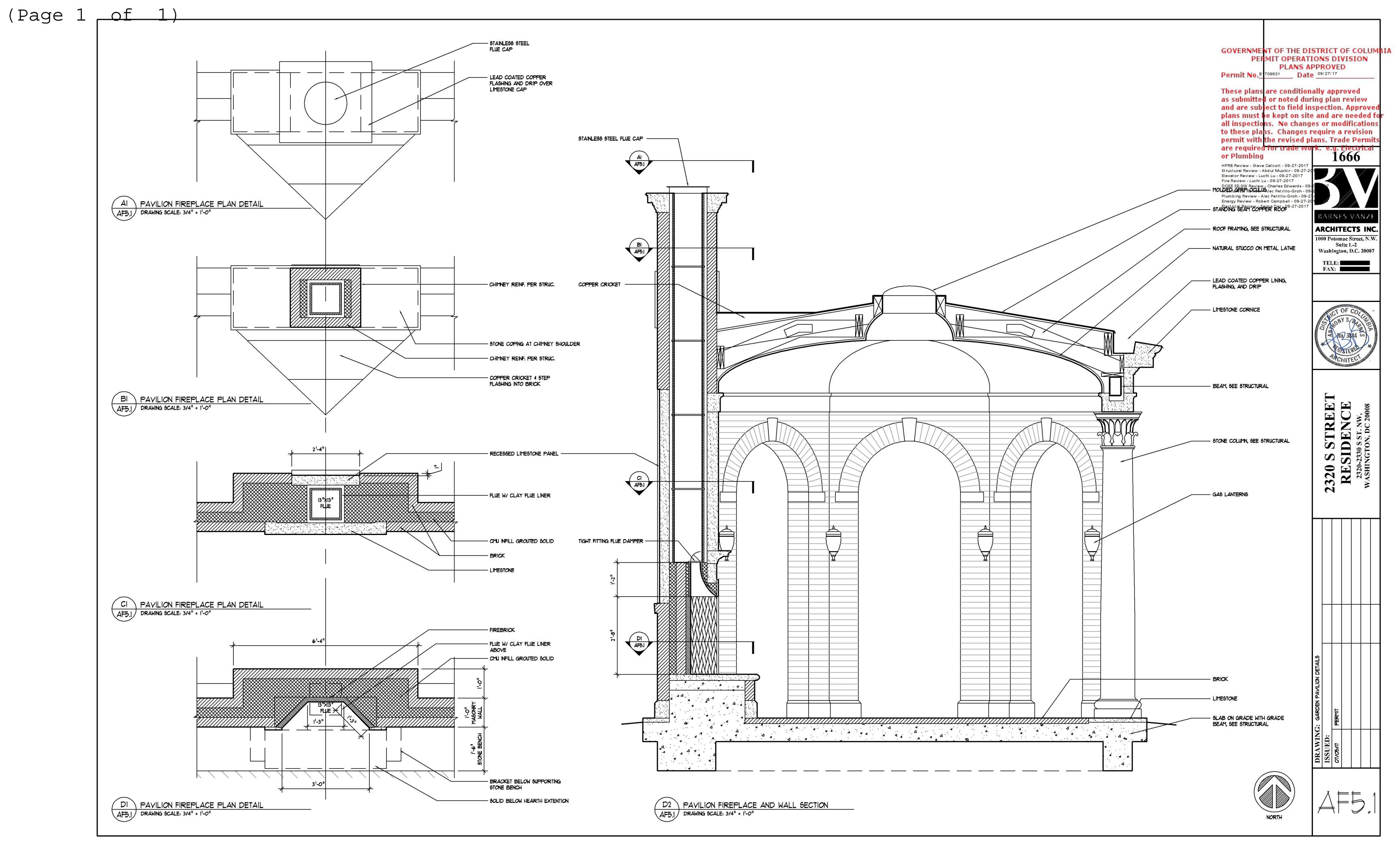












GENERAL NOTES

- TWO-FOOT CONTOUR DATA BASED ON A SURVEY PERFORMED BY CAS ENGINEERING, DATED DECEMBER, 2016.
- BOUNDARY INFORMATION BASED ON A SURVEY PERFORMED BY CAS ENGINEERING, DATED DECEMBER, 2016.

3) ZONING: R-1-B (SHERIDAN-KALORAMA HISTORIC DISTRICT) MINIMUM LOT WIDTH = 50 FEET MINIMUM LOT AREA = 5,000 SQUARE FEET

MINIMUM LOT AREA = 5,000 SUDARE FEET MAXIMUM BUILDING HEIGHT = 40 FEET / 3 STORIES FRONT B.R.L. = NONE PER DC SURVEYORS OFFICE MINIMUM REAR YARD = 25 FEET MINIMUM SIDE YARD = 8 FEET MAXIMUM LOT OCCUPANCY = 40% MINIMUM PERVIOUS SURFACE COVERAGE = 50% NOTE: SITE IS LOCATED IN THE SHERIDAN-KALORAMA HISTORIC DISTRICT AND

- MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS/REVIEW.
- 4) TOTAL LOT AREA: LOT 46 = 34,125 SQUARE FEET (0.783 ACRES) 5) PROJECT IS WITHIN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) ÀS PER FEMA FLOOD INSURANCE RATE MAP PANEL No. 1100010016C.
- 6) FINAL GAS AND ELECTRIC ALIGNMENT SUBJECT TO UTILITY COMPANY APPROVAL. ANY NECESSARY TREE PROTECTION MEASURES, FOR ON-SITE OR OFF-SITE TREES, ARE TO BE ADDRESSED BY OTHERS.
- 8) FINAL GAS AND ELECTRIC ALIGNMENT SUBJECT TO UTILITY COMPANY APPROVAL. 9) EX. WATER AND SEWER LINES TO BE "TEST —PITTED" PRIOR TO CONSTRUCTION. PROPOSED WATER AND SEWER TO BE ADJUSTED IN LINE AND GRADE ACCORDINGLY.
- 10) ANY NECESSARY TREE PROTECTION MEASURES, FOR ON-SITE OR OFF-SITE TREES, ARE TO BE ADDRESSED BY OTHERS.
- 11) THE CONTRACTOR SHALL HAND DIG TEST PITS AT ALL UTILITY CROSSINGS AND CONNECTING POINTS TO DETERMINE THE EXACT LOCATION AND DEPTH WELL IN ADVANCE OF CONSTRUCTION. 12) D.C. STANDARD DETAILS WHERE SHOWN ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL OBTAIN THE MOST CURRENT APPLICABLE D.C. DETAILS AND STANDARDS AND PERFORM CONSTRUCTION ACCORDINGLY.
- 13) FOR FIELD LOCATION AND ABANDONMENT / REMOVAL OF GAS MAINS AND SERVICE CONNECTIONS, CONTRACTOR SHALL NOTIFY WASHINGTON GAS LIGHT COMPANY, 72 HOURS PRIOR TO THE START OF ANY EXCAVATION OR CONSTRUCTION.
- 15) CONTRACTOR SHALL CONTACT DEPARTMENT OF PUBLIC WORKS PUBLIC SPACE MAINTENANCE ADMINISTRATION, 48 HOURS PRIOR TO START OF CONSTRUCTION,
- 16) THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, REPLACING AND/OR RESTORING ANY AND ALL UTILITY SERVICE CONNECTIONS DISTURBED DURING CONSTRUCTION. 17) CONTRACTOR IS TO VERIFY FIELD CONDITIONS PRIOR TO AND DURING CONSTRUCTION AND NOTIFY CAS ENGINEERING AT CONTINUE IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE APPROVED
- 18) THE CONTRACTOR SHALL PERFORM ALL CONSTRUCTION IN PUBLIC SPACE IN ACCORDANCE WITH D.C. DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND STRUCTURES, LATEST EDITION. THE CONTRACTOR SHALL OBTAIN SAID SPECIFICATIONS.
- 19) CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO PROCEEDING WITH DEMOLITION OF EXISTING IMPROVEMENTS. 2D) THE CONTRACTOR SHALL VERIFY THE ACTIVE/INACTIVE STATUS OF ANY EXISTING UTILITIES ENCOUNTERED ON SITE AND ABANDON OR RELOCATE AS APPROPRIATE. ABANDONMENT SHALL BE IN ACCORDANCE WITH DC WATER STANDARDS AND DETAILS.

<u>PROJECT NARRATIVE</u> THIS PROJECT PROPOSES TO DEMOLISH SELECT SITE IMPROVEMENTS AND

DISCONNECT/ABANDON SELECT UTILITIES. FOLLOWING SELECT DEMO ACTIVITIES, THE EXISTING 3-STORY BUILDINGS WILL BE RENOVATED AND CONSTRUCTION OF A REAR ADDITION AND ASSOCIATED APPURTENANCES WILL OCCUR.

SITE CONSTRUCTION NOTES

- PROPOSED UTILITY LOCATIONS SUBJECT TO FIELD MODIFICATION AND UTILITY COMPANY APPROVAL.
- 2) CONTRACTOR TO ADJUST ALL EXISTING UTILITY TOPS (I.E. CLEANOUTS, MANHOLES, VALVE COVERS, ETC.) TO FINAL GRADE WHERE NECESSARY.
- 4) CONTRACTOR TO COORDINATE ON-SITE UTILITY CROSSINGS TO ENSURE ADEQUATE SEPARATION AT INTERSECTIONS. TEST PIT ALL UTILITY CROSSINGS PRIOR TO START OF CONSTRUCTION, ANY FIELD

CONTRACTOR TO COORDINATE ABANDONMENT OF ALL EXISTING UTILITIES AS NECESSARY.

- MODIFICATION TO BE COORDINATED WITH APPROPRIATE UTILITY AND/OR DC INSPECTOR.
- 7) FOR FINAL LANDSCAPE /HARDSCAPE DETAILS, SPECIFICATIONS, ELEVATIONS, AND DIMENSIONS SEE LANDSCAPE PLANS, POOL PLANS, OR ARCHITECTURAL PLANS, AS
- BE BEDDED IN GRAVEL AND TO HAVE A MINIMUM OF 12" OF COVER. WHERE 12" OF COVER CANNOT BE MAINTAINED PVC PIPING IS TO BE BEDDED IN CONCRETE ON ALL SIDES.
 - FOR TREE PROTECTION MEASURES SEE PLANS AND REPORTS BY OTHERS AS APPLICABLE. 9) CONTRACTOR TO MAINTAIN DRAINAGE FACILITIES ON AND THROUGH THE SITE AT ALL TIMES DURING CONSTRUCTION. UTILIZE TEMPORARY FACILITIES/FEATURES AND/OR CONNECTIONS AS NECESSARY TO MAINTAIN POSITIVE DRAINAGE.
 - 10) CONTRACTOR TO COMPLETE SITE GRADING AND PAVING TO ENSURE POSITIVE DRAINAGE TO ALL INLETS OR NATURAL DRAINAGE COURSES TO PREVENT PONDING AND THE CREATION OF LOW SPOTS.
 - 11) CONTRACTOR TO REVIEW TIE IN POINTS WITH EXISTING PAVING AND GRADING WHERE PROPOSED ON AND ADJACENT TO PROJECT SITE, ADJUST WITH TRANSITIONS AND COORDINATE WITH CAS ENGINEERING AS APPROPRIATE.
 - 12) CONTRACTOR RESPONSIBLE FOR ENSURING THAT ROUTES MEET AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS, WHERE REQUIRED/APPLICABLE, 5% MAXIMUM SLOPE, 2% MAXIMUM CROSS SLOPE. CONTRACTOR ALSO RESPONSIBLE FOR ENSURING THAT RAMPS MEET ADA REQUIREMENTS, WHERE REQUIRED/APPLICABLE, 8.3% MAXIMUM SLOPE AND 2% MAXIMUM CROSS SLOPE.
 - 13) CONTRACTOR TO MAINTAIN FIRE DEPARTMENT AND EMERGENCY ACCESS ROUTES TO SITE AND TO APPLICABLE APPURTENANCES (I.E. FIRE HYDRANTS) DURING CONSTRUCTION UNLESS PRIOR APPROVAL IS OBTAINED FROM APPROPRIATE DISTRICT

UTILITY GENERAL <u>NOTES (DC WATER)</u>

- EAD SERVICE REPLACEMENT: IF THIS PROJECT INCLUDES THE REPLACEMENT OF A WATER MAIN THAT HAS EXISTING LEAD WATER SERVICE LATERALS, THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE DC WATER CONSTRUCTION INSPECTION SECTION AT LEAST 9D DAYS PRIOR TO CONSTRUCTION TO ALLOW ADEQUATE TIME TO INITIATE STANDARD LEAD SERVICE REPLACEMENT PROTOCOL. LATERAL REPLACEMENT INCLUDES THE FULL LENGTH OF PIPE IN PUBLIC SPACE.
- OWNER RESPONSIBILITY: THE OWNER IS RESPONSIBLE FOR ALL WORK AND COSTS ASSOCIATED WITH EXCAVATION, INSTALLATION, AND RESTORATION OF PUBLIC SPACE TO PERFORM A WATER/SEWER CONNECTION/ABANDONMENT. ONCE THE CONTRACTO HAS OBTAINED A PUBLIC SPACE PERMIT HE/SHE MUST THEN CONTACT DC WATER PRIOR TO PERFORMING THE EXCAVATION TO INSTALL/INSPECT THE UTILITY WORK. THE OWNER SHALL BE HELD RESPONSIBLE FOR ALL DAMAGES TO EXISTING STRUCTURES AND UTILITIES CAUSED BY CONSTRUCTION ACTIVITY.
- SMALL WATER SERVICE TAPS (2" DIAMETER AND LESS) TO THE PUBLIC MAIN, SMALL WATER SERVICE TAP REMOVALS FROM THE PUBLIC MAIN, FURNISHING & INSTALLING THE METER IN PUBLIC SPACE, AND INSPECTION OF WORK PERFORMED ON THE PUBLIC SYSTEMS.
- 6) MISS UTILITY: CONTACT MISS UTILITY AT HOURS BEFORE ANY 7) PLAN SET: A SET OF SIGNED & SEALED AND DC WATER STAMPED PLANS SHALL KEPT AT ALL TIMES AT THE JOB SITE ON WHICH ALL CHANGES OR VARIATIONS IN
- THE WORK, INCLUDING ALL EXISTING UTILITIES, ARE TO BE RECORDED AND/OR CORRECTED DAILY. ABANDONMENTS: THE OWNER MUST PHYSICALLY DISCONNECT EXISTING WATER, SEWER, AND STORM LATERALS THAT ARE TO BE ABANDONED AT THEIR CONNECTION TO THE PUBLIC MAIN.
- UNMETERED WATER: THERE SHALL BE NO UNMETERED CONNECTIONS TO THE CITY'S WATER SYSTEM, INCLUDING CONNECTIONS BYPASSING METERS FOR TESTING ON-SITE PLUMBING OR FOR OBTAINING CONSTRUCTION WATER.
- 10) PRESSURE TESTING AGAINST VALVES: PRESSURE TESTING AGAINST VALVES WILL NOT BE ALLOWED.
- INSIDE THE BUILDING (UNLESS AN EXTERNAL LOCATION IS NECESSARY OR REQUIRED BY DC WATER) WHERE IT IS SUPPLIED, OWNED, OPERATED, AND MAINTAINED BY THE OWNER. DC WATER DOES NOT FURNISH NOR INSTALL FIRE DOUBLE CHECK DETECTOR FIRE PROTECTION BACKFLOW PREVENTION ASSEMBLIES.
- HESE SHUT DOWNS WITH DC WATER CONSTRUCTION INSPECTION STAFF 14) WATER VALVE OPERATION: THE CONTRACTOR IS REQUIRED TO COORDINATE WITH DC WATER FOR ALL NECESSARY WATER MAIN SHUT DOWNS WITH ADEQUATE ADVANCED NOTICE. ONLY DC WATER EMPLOYEES MAY SHUT DOWN A PUBLIC WATER MAIN. A CERTIFIED PLUMBER IS ONLY AUTHORIZED TO TURN OFF VALVES INSIDE METER PITS.
- 5) WATER GATE VALVE LOCATION: LOCATE GATE VALVES FOR DOMESTIC AND FIRE SERVICES AS CLOSE TO THE PUBLIC WATER MAIN TEE AS POSSIBLE. HOWEVER, IF NECESSARY ADJUSTMENTS ARE REQUIRED DUE TO CONFLICTS, COORDINATE WITH A DC WATER INSPECTOR. 16) MATERIAL: THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING SHOP CUTS TO THE APPROPRIATE DC WATER OFFICE FOR APPROVAL OR OBTAINING A DC WATER
- APPROVAL STAMP FOR ALL WORK IN PUBLIC SPACE IN ADVANCE OF INSTALLATION. ONLY APPROVED MATERIALS MAY BE USED. 17) TEMPORARY CONDITIONS MINIMUM COVER: A NOMINAL FOUR FEET OF COVER IS REQUIRED FOR ALL WATER MAINS AT FINAL GRADE. COVER OF LESS THAN FOUR FEET REQUIRES DC WATER APPROVAL.
- 18) AS-BUILT: DEVELOPERS, CONTRACTORS AND/OR PLUMBERS MUST SUBMIT FINAL CONSTRUCTION AS-BUILT INFORMATION TO THE APPROPRIATE DC WATER INSPECTOR(S) FOR REVIEW AND APPROVAL, UPON COMPLETION OF INSTALLATION OF NEW SERVICES OR ABANDONMENT OF EXISTING SERVICES. WHEN THE FINAL AS-BUILT IS APPROVED THE DEPOSIT WILL BE RETURNED TO THE APPLICANT. SEE DC WATER AS-BUILT REQUIREMENTS FOR ADDITIONAL INFORMATION.
- 19) CONFLICTS: THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF EXISTING DC WATER INFRASTRUCTURE PRIOR TO INSTALLATION OF PROPOSED UTILITIES. A MINIMUM OF ONE FOOT VERTICAL AND FIVE FEET HORIZONTAL CLEARANCE SHALL BE MAINTAINED FROM ANY UTILITIES AND PUBLIC WATER AND SEWER MAINS. 2D) FIRE HYDRANT USE: THE USE OF A FIRE HYDRANT AS A WATER SOURCE IS PROHIBITED UNLESS A PERMIT HAS BEEN OBTAINED FROM DC WATER FOR USE OF
- A SPECIFIC HYDRANT(S). DAILY OR EXTENDED USE PERMITS CAN BE OBTAINED FROM THE DC WATER PERMIT OPERATIONS DEPARTMENT 21) FIRE HYDRANT STATUS: THE CONTRACTOR SHALL NOTIFY FEMS AT PRIOR TO TAKING ANY FIRE HYDRANT OUT OF SERVICE OR RENDERING ANY HYDRANT INACCESSIBLE FOR ANY REASON. FEMS IS ALSO TO BE PROVIDED WITH THE LOCATION OF ANY NEW INSTALLATION OF PRIVATE FIRE HYDRANTS.
- 22) DC WATER SAFETY OFFICE: THE DC WATER SAFETY OFFICE CAN BE CONTACTED AT
- 23) SEWER BACKFLOW PREVENTION: THE PLUMBING SYSTEM MUST BE IN COMPLIANCE WITH SECTION 715 OF THE 2006 INTERNATIONAL PLUMBING CODE WHICH STATES A BACKWATER IS VALVE IS REQUIRED FOR ALL PLUMBING FIXTURES BELOW THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER.

CONSTRUCTION SEQUENCE

- CONTRACTOR TO SECURE ALL NECESSARY PERMITS, AND CONDUCT A PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR,
- INSTALL SEDIMENT CONTROL MEASURES AS SHOWN ON THIS PLAN, INCLUDING BUT NOT LIMITED TO, SUPER SILT FENCING AND SILT FENCING.
- 2) REMOVE EXISTING VEGETATION AND FEATURES AS NECESSARY.
- 3) BEGIN ROUGH GRADING OPERATIONS TO BRING LOT TO GRADE.
- AS STAMPED NOTES ON STORMWATER MANAGEMENT PLANS (SWMPS) WHERE LAND DISTURBANCE IS GREATER THAN 5,000 SQUARE FEET AND LESS THAN ONE ACRE. THESE NOTES SHALL CONSTITUTE A MINIMUM STORMWATER POLLUTION PREVENTION PLAN (SWPPPMIN) AND PROVIDE GUIDANCE ON GOOD HOUSEKEEPING PRACTICES TO PREVENT POTENTIAL CONSTRUCTION—SITE POLLUTANTS FROM INTERACTING WITH STORMWATER. 4) PROCEED WITH CONSTRUCTION FOR BUILDING(S). 5) BEGIN CONSTRUCTION/INSTALLATION OF UNDERGROUND UTILITIES.
- CONTINUE CONSTRUCTION OF BUILDING(S), INCLUDING ALL INTERIOR PLUMBING AND APPURTENANCES. 7) WHEN INDOOR PLUMBING IS IN PLACE, BEGIN AND COMPLETE CONSTRUCTION AND INSTALLATION OF WATER AND SEWER SERVICE CONNECTION(S) TO THE BUILDING(S), IN ADDITION, ALL GAS AND ELECTRIC CONNECTIONS ARE TO BE MADE AT THIS TIME.
- STABILIZE ALL AREAS WHERE CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL CALL THE INSPECTION/ENFORCEMENT BRANCH, WATERSHED PROTECTION DIVISION, DISTRICT DEPARTMENT OF THE
- ENVIRONMENT AT THE PROPERTY OF 10) BUILD TEMPORARY WATER DIVERSION BERM AROUND INFILTRATION TRENCH PRIOR TO COMMENCING BMP INSTALLATION.
- INSTALL INFILTRATION TRENCH, INLETS AND STORM DRAIN PIPE. TEMPORARY WATER DIVERSION BERM TO REMAIN IN PLACE AROUND BMPs UNTIL SITE IS FULLY STABILIZED. NO RUNOFF IS PERMITTED TO BE DIRECTED TOWARDS BMP PRACTICES UNTIL SITE STABILIZATION IS COMPLETE AND APPROVAL IS GIVEN BY THE SEDIMENT CONTROL INSPECTOR.
- STORM DRAIN CONNECTION INTO INFILTRATION TRENCH AND EXTERIOR DRAINAGE FEATURES ARE TO BE BLOCKED UNTIL ALL CONTRIBUTING DRAINAGE AREAS ARE STABILIZED AND UNBLOCKING IS APPROVED BY THE SEDIMENT CONTROL INSPECTOR.
- COMPLETE CONSTRUCTION OF BUILDING(S) AND ALL SITE APPURTENANCES, STABILIZE ALL DISTURBED AREAS PER DC SEDIMENT CONTROL
- REMOVE SEDIMENT CONTROL DEVICES AFTER ENTIRE SITE IS STABILIZED AND PERMISSION IS RECEIVED FROM THE SEDIMENT CONTROL INSPECTOR.
- SEDIMENT TRAPS OR BASINS AND OTHER EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED NO LATER THAN THE FIRST PHASE OF LAND GRADING.
- SEDIMENT TRAPS OR BASINS AND OTHER EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED AS SOON AS NEW SITE-RELATED RUNOFF IS DETECTED AND EMPLOYED AT ALL TIMES TO PROTECT INLETS OR STORM SEWERS BELOW SILT PRODUCING AREAS. IMMEDIATELY AFTER DEBRIS BASINS, DIVERSSIONS, WATERWAYS, AND RELATED STRUCTURES ARE BUILT SEED AND MULCH, OR INSTALL SOD & STABILIZATION BLANKET,
- NO LATER THAN THE FIRST DAY OF CONSTRUCTION INSTALL SITE ACCESS MEASURES TO MINIMIZE OFF-SITE VEHICLE TRACKING OF SEDIMENTS. EACH CONSTRUCTION ENTRANCE MUST BE STABILIZED AND INCLUDE EACH ADDITIONAL MEASURE REQUIRED TO KEEP SEDIMENT FROM BEING CARRIED, ONTO PUBLIC STREETS BY CONSTRUCTION VEHICLES, AND WASHED INTO A STORM DRAIN OR WATERWAYS.
- REMOVE OFF-SITE ACCUMULATIONS OF SEDIMENT DAILY DURING CONSTRUCTION AND IMMEDIATELY AT THE REQUEST OF A DOEE INSPECTOR.

PERFORM ROUTINE MAINTENANCE TO PREVENT ANY NEW DESTABILIZED

THIS PROJECT PROPOSES TO RENOVATE THE EXISTING BUILDINGS, CONSTRUCT AN ADDITION AND ACCESSORY BUILDING, AND CONSTRUCT SITE APPURTENANCES FOLLOWING SELECT DEMOLITION ACTIVITIES ON A LOT APPROXIMATELY 34,125 SQUARE FEET IN SIZE.

THE TOTAL DISTURBED AREA = 35,300 SQUARE FEET±.

PROJECTED EARTHWORK QUANTITIES ARE:

CUT = 500 CUBIC YARDS, FILL = 400 CUBIC YARDS.

THIS LOT CURRENTLY IMPROVED WITH TWO (2) 3-STORY SEMI-DETACHED BUILDINGS (W/ LOWER LEVEL) AND ASSOCIATED SITE APPURTENANCES.

THIS NEIGHBORHOOD CAN BE CHARACTERIZED AS RESIDENTIAL. THIS PARTICULAR LOT IS BOUNDED TO THE EAST BY AN EMBASSY BUILDING ON A RESIDENTIAL LOT, TO THE WEST BY A MUSEUM BUILDING ON A RESIDENTIAL LOT, TO THE NORTH BY S STREET, NW AND TO THE SOUTH BY DECATUR PLACE, NW.

THE SOILS ON SITE CONSIST OF SgC (SASSAFRAS—URBAN LAND COMPLEX) AND UXC (URBAN LAND—SASSFRAZ COMPLEX) SOILS. SgC SOILS CONSIST OF MODERATELY SLOPING, WELL DRAINED SOILS OF THE SASSAFRAS SERIES, MOST AREAS OF WHICH HAVE BEEN ALTERED BY GRADING FOR HOUSING DEVELOPMENTS, SHOPPING CENTERS, INDUSTRIAL AREAS, AND SIMILAR USES. UXC SOILS CONSIST OF AREAS OF URBAN LAND AND WELL DRAINED SASSAFRAS SOILS THAT HAVE BEEN ALTERED BY GRADING FOR HOUSING DEVELOPMENTS, SHOPPING CENTERS, INDUSTRIAL AREAS, AND SIMILAR USES. EXAMINATION AND IDENTIFICATION OF SOILS OR SOIL—LIKE MATERIALS IN THIS UNIT IS IMPRACTICAL BECAUSE SOILS ARE LARGELY COVERED BY IMPERVIOUS SURFACES. CAREFUL ONSITE INVESTIGATION IS RECOMMENDED TO DETERMINE THE POTENTIAL AND LIMITATIONS FOR ANY PROPOSED USES.

THE SITE SHALL BE PERMANENTLY STABILIZED PER THE SEQUENCE OF CONSTRUCTION ON SHEET CIVOO1 AND IN ACCORDANCE WITH D.C. STANDARDS AS PROVIDED FOR ON SHEET CIV302.

STORMWATER MANAGEMENT WILL PROVIDED VIA AN ONSITE INFILTRATION TRENCH

HUNDRED LINEAR FEET (500 FT) OF TRENCH AT ANY ONE TIME.

TREE PROTECTION NOTES

PLACE EXCAVATED MATERIAL FOR UTILITY WORK ON THE UPHILL SIDE OF A TRENCH.

INSTALL INTERIM OR PERMANENT STABILIZATION IMMEDIATELY AFTER A UTILITY TRENCH IS REFILLED.

USE MULCH AND MATTING ON EXCAVATED MATERIAL TO MINIMIZE THEIR EROSION WHEN NATURAL OR ARTIFICIAL GRASS FILTER STRIPS ARE INSTALLED TO RECEIVE STORMWATER RUNOFF FROM EXCAVATED MATERIALS.

STREET TREES TO BE PROTECTED WITH A 6-FT. TALL CHAIN LINK FENCE TO THE EXTENT OF THE TREE BOX (MINIMUM 4' \times 9') OR THE DRIP LINE IN A PLANTING STRIP. DRIP LINE IS THE GROUND AREA UNDER THE CANOPY OF A TREE.

DDOT STANDARD SPECIFICATIONS (GOLD BOOK), SECTIONS 207.03, 608.07 AND

NONE OF THE FOLLOWING SHALL DCCUR WITHIN THE ROOT ZONE OF A STREET TREE WITHOUT DDOT UFA PERMISSION: ALTERATION OR DISTURBANCE TO EXISTING GRADE, STAGING/STORAGE OF CONSTRUCTION MATERIALS, EQUIPMENT, SOIL OR

ROOT ZONE IS MEASURED AT 4.5-FT. ABOVE GRADE FROM THE NEAR SIDE OF THE TRUNK TO THE DISTANCE THAT EQUALS THE TREE DIAMETER \times 1.5-FEET OR TO THE DRIP LINE OF A STREET TREE, WHICHEVER IS GREATER.

NO HEAVY EQUIPMENT SHALL BE USED TO REMOVE EXISTING HARDSCAPE WITHIN THE DRIP LINE OF AN EXISTING STREET TREE.

EXCAVATIONS WITHIN THE DRIP LINE SHALL PROCEED WITH CARE BY USE OF HAND TOOLS OR EQUIPMENT THAT WILL NOT CAUSE INJURY TO TREE TRUNKS, BRANCHES AND ROOTS.

NO ROOTS GREATER THAN TWO (2) INCHES IN DIAMETER SHALL BE CUT WITHOUT DOOT UFA PERMISSION. EXPOSED ROOTS TWO (2) INCHES AND LARGER IN DIAMETER SHALL BE WRAPPED IN BURLAP OR OTHER APPROVED MATERIAL AND KEPT MOIST AT ALL TIMES.

IF THERE ARE ANY TREE CONFLICTS ON THIS JOB SITE, THE PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND CONTACT THE DDOT UFA WARD ARBORIST TO RECEIVE CLEARANCE TO CONTINUE.

CONSTRUCTION/EXCAVATION PERMIT FOR ITS REMOVALS AS PER THE FOLLOWING — HEALTHY STREET TREE: LANDSCAPING — TREE REMOVAL © \$200 PER INCH DIAMETER OR UNHEALTHY STREET TREE: LANDSCAPING — TREE REPLACEMENT © 1:1 REPLACEMENT PLANTING.

EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF GUTTERS AND DOWNSPOUTS AS SOON AS PRACTICABLE.

MEASURES SHALL BE TAKEN TO ACHIEVE A NON-ERODING VELOCITY FOR STORMWATER EXITING FROM A ROOF OR DOWNSPOUT OR TO TEMPORARILY PIPE THAT STORMWATER DIRECTLY INTO A STORM DRAIN.

THE SITE WORK SHALL MAXIMIZE THE PRESERVATION OF NATURAL VEGETATION AND LIMIT THE REMOVAL OF VEGETATION TO WHAT IS NECESSARY FOR CONSTRUCTION OR LANDSCAPING ACTIVITY.

INSPECT THE SITE AND ITS ESC MEASURES AT LEAST ONCE BIWEEKLY AND AFTER A RAINFALL EVENT TO IDENTIFY AND REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM.

LICENSED IN THE DISTRICT OF COLUMBIA AS A CIVIL OR GEOTECHNICAL ENGINEER, A LAND SURVEYOR, OR ARCHITECT.

CERTIFIED THROUGH A TRAINING PROGRAM THAT DDDE APPROVES, INCLUDING A COURSE ON EROSION CONTROL PROVIDED BY ANOTHER JURISDICTION OR PROFESSIONAL ASSOCIATION.

DURING CONSTRUCTION, THE RESPONSIBLE PERSON SHALL KEEP PROOF OF PROFESSIONAL LICENSING OR SUCCESS COMPLETION OF A DDOE-APPROVED TRAINING PROGRAM [21 DCMR 547].

B. RESPOND TO EACH POTENTIAL OR ACTUAL EROSION PROBLEM IDENTIFIED BY CONSTRUCTION PERSONNEL.

C. SPEAK ON SITE WITH DDOE TO REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM.

SUPPLEMENTAL EROSION AND

SEDIMENT CONTROL NOTES

AND DISTURBANCE NOTE

A RESPONSIBLE PERSON MUST BE PRESENT OR AVAILABLE WHILE TO SITE IS IN A LAND-DISTURBING PHASE. THE RESPONSIBLE PERSON IS CHARGED WITH BEING ABLE TO:

UTILITY WORK NOTES

STORMWATER MANAGEMENT

<u>UNDERGROUND</u>

8) SANITARY WASTE. PORTABLE LAVATORIES LOCATED ON SITE WILL BE SERVICES ON A REGULAR BASIS BY A CONTRACTOR. PORTABLE LAVATORIES WILL BE LOCATED IN AN UPLAND AREA AWAY FROM DIRECT CONTACT WITH SURFACE WATERS. ANY SPILLS OCCURRING DURING SERVICING WILL BE CLEANED IMMEDIATELY AND CONTAMINATED SOILS DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL AND DISTRICT OF COLUMBIA REGULATIONS. SEDIMENT CONTROL NARRATIVE PROJECT DESCRIPTION

SEDIMENT CONTROL "GOOD

(SOURCE: DDOE STORMWATER MANAGEMENT GUIDEBOOK, APPENDIX Q. JULY,

THESE NOTES ARE MEANT TO COMPLEMENT STORMWATER HOTSPOTS AND AN

EROSION AND SEDIMENT CONTROL PLAN (ESCP), BUT NOT REITERATE EPA'S CONSTRUCTION GENERAL PERMIT REQUIREMENTS. THESE NOTES SHALL APPEAR

STORMWATER MANAGEMENT PLAN (SWMP) GOOD HOUSEKEEPING STAMP NOTES

FUELS AND OILS. ON-SITE REFUELING WILL BE CONDUCTED IN A DEDICATED LOCATION AWAY FROM ACCESS TO SURFACE WATERS. INSTALL CONTAINMENT BERMS AND, OR SECONDARY CONTAINMENTS AROUND REFUELING AREAS AND STORAGE TANKS. SPILLS WILL BE CLEANED UP IMMEDIATELY AND CONTAMINATED SOILS DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL AND DISTRICT OF COLUMBIA REGULATIONS. PETROLEUM PRODUCTS WILL BE STORED IN CLEARLY LABELED TIGHTLY SEALED CONTAINERS. ALL VEHICLES ON SITE WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE ACTIVITIES. ANY ASPHALT SUBSTANCES USED ON SITE WILL BE APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. SPILL KITS WILL BE INCLUDED WITH

MANUFACTURER'S RECOMMENDATIONS. SPILL KITS WILL BE INCLUDED WITH ALL FUELING SOURCES AND MAINTENANCE ACTIVITIES.

) SOLID WASTE. NO SOLID MATERIALS SHALL BE DISCHARGED TO SURFACE WATER. SOLID MATERIALS INCLUDING BUILDING MATERIALS, GARBAGE AND PAINT DEBRIS SHALL BE CLEANED UP DAILY AND DEPOSITED INTO DUMPSTERS, WHICH WILL BE PERIODICALLY REMOVED AND DEPOSITED INTO

ABRASIVE BLASTING. WATER BLASTING, SANDBLASTING, AND OTHER FORMS OF ABRASIVE BLASTING ON PAINTED SURFACES BUILT PRIOR TO 1978 MAY ONLY BE PERFORMED IF AN EFFECTIVE CONTAINMENT SYSTEM PREVENTS DISPERSAL OF PAINT DEBRIS.

) FERTILIZER. FERTILIZERS WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER, WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER, AND STORED IN A COVERED SHED. PARTIALLY USED BAGS WILL BE TRANSFERRED TO A SEALABLE BIN TO AVOID SPILLS.

COMPOUNDS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGES TO THE STORM SEWERS, BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO

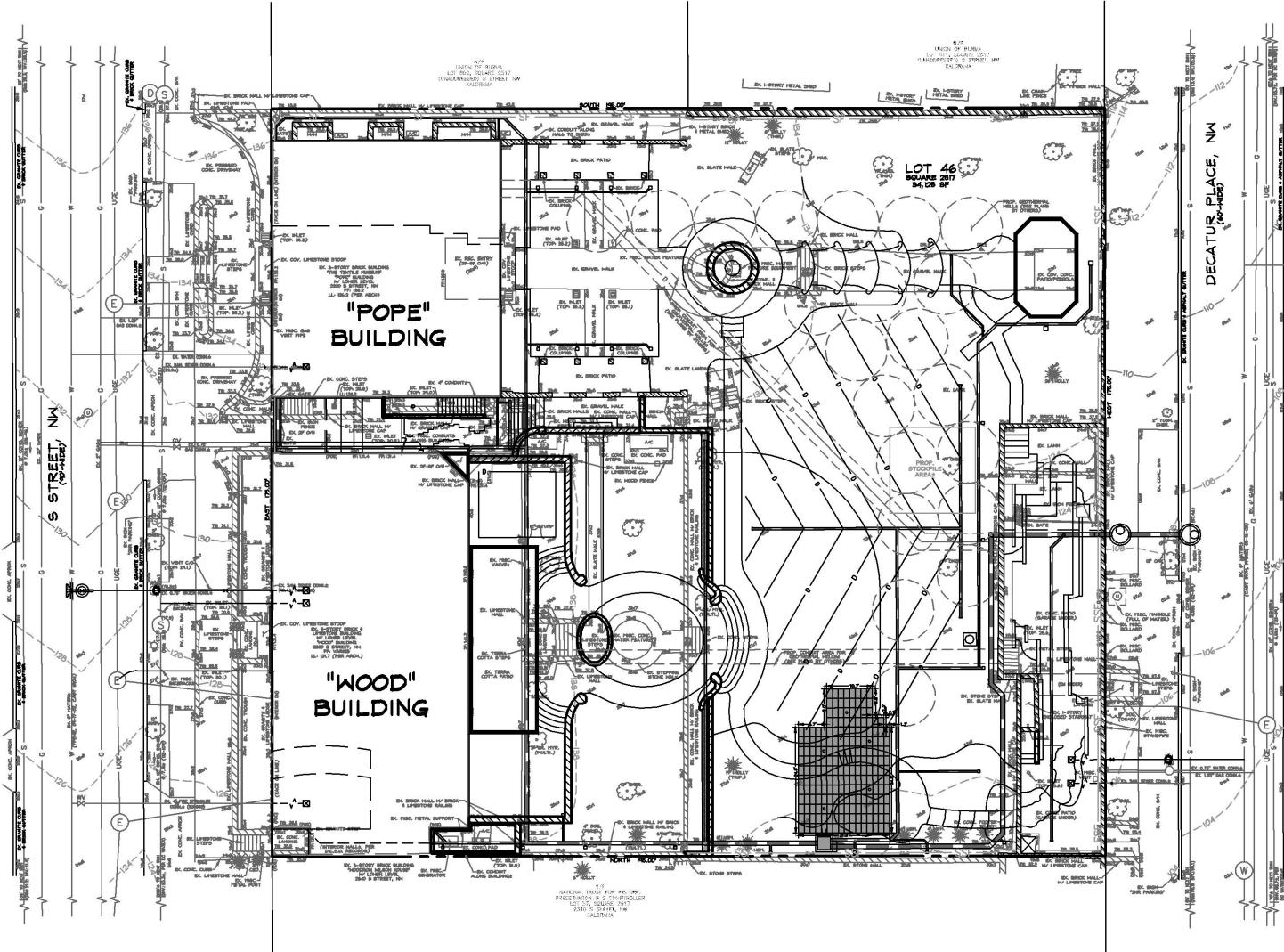
SEWERS, BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. SPRAY GUNS WILL BE CLEANED ON A REMOVABLE TARP. CHEMICALS USED ON SITE ARE KEPT IN SMALL QUANTITIES AND IN CLOSED CONTAINERS UNDERCOVER AND KEPT OUT OF DIRECT CONTACT WITH STORMWATER. AS WITH FUELS AND OILS, ANY IMPENDIX Q POLLUTION PREVENTION THROUGH GOOD HOUSEKEEPING Q-2 INADVERTENT SPILLS WILL BE CLEANED UP IMMEDIATELY AND DISPOSED OF ACCORDING FEDERAL AND DISTRICT OF COLUMBIA REGULATIONS.

6) CONCRETE. CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH ON SITE, EXCEPT IN A SPECIALLY DESIGNATED CONCRETE DISPOSAL AREA. FORM RELEASE OIL FOR DECORATIVE STONE WORK WILL BE APPLIED OVER A PALLET COVERED WITH AN ABSORBENT MATERIAL TO COLLECT EXCESS FLUID. THE ABSORBENT MATERIAL WILL BE REPLACED AND DISPOSED OF PROPERLY WHEN SATURATED.

) WATER TESTING. WHEN TESTING AND, OR CLEANING WATER SUPPLY LINES, THE DISCHARGE FROM THE TESTED PIPE WILL BE COLLECTED AND CONVEYED TO A COMPLETED STORMWATER CONVEYANCE SYSTEM FOR ULTIMATE DISCHARGE INTO A STORMWATER BEST MANAGEMENT PRACTICE

HOUSEKEEPING" NOTES

POLLUTION PREVENTION



INDEX MAP/OVERALL PLAN

ONLY. REFER TO ADDITIONAL PLANS CONTAINED II

THIS SET FOR DETAILS AND INFORMATION ON

PROPOSED CONSTRUCTION ACTIVITIES.

2ND SUBMISSION (ALL SHEETS) MAXIMO 17-573718

PERMIT APPLICATION NUMBERS

INDEX OF CIVIL DRAWINGS

CIV200 BUILDING PERMIT SITE, DC WATER, GRADING, AND STORMWATER MANAGEMENT PLAN

V203 STORMWATER MANAGEMENT DETAILS AND DOEE STORMWATER DATABASE COMPLIANCE DA

IV201 BUILDING PERMIT SITE AND STORMWATER MANAGEMENT DETAILS

CIVOO1 CIVIL COVER SHEET
CIVIOO EXISTING CONDITIONS PLAN

V204 DC WATER PROFILES

207 DC WATER DETAILS

205 DC WATER APPROVAL SHEET NV206 DC WATER APPROVAL SHEETS

C WATER DETAILS

300 | SEDIMENT CONTROL PLAN

V301 SEDIMENT CONTROL NOTES

DIV302 | SEDIMENT CONTROL DETAILS

CIV101 DEMOLITION AND UTILITY DISCONNECTION PLAN

WATER / PUBLIC SPACE DIMENSION

V202 STORMWATER MANAGEMENT DETAILS

DDOT OCCUPANCY No.	10426609
DDOT CONSTRUCTION No.	N/A
DC WATER NEW CONSTRUCTION MAXIMO	17-573718
DC WATER RAZE MAXIMO	N/A
DOEE PLAN NUMBER	5624
DCRA BUILDING PERMIT NUMBER	B1709931
DCRA RAZE PERMIT NUMBER	N/A

VERNMENT OF THE DISTRICT OF COLUME RMIT OPERATIONS DIVISION PLANS APPROVED

709931 **Date** 09/27/17 are conditionally approved BANGROED (ted or noted during plan review

ADC MAP 5528, GRID Belefator Review SCALE: I" = 2000' Fire Review - Luc u - 09-27-2017 r-Charles Edwards - 09-27-2017 - Alec Petrillo-Gron **(1991-1997) இது முகு பெய்ய ம்**ம்.0 DOEE SE-SW Revie Mechanical Revie Energy Review - Robert CaGASII ENGINEERING-DC, LLC Electrical Review - aima Dano Peramedicut Avenue, NW

Washington, DC 20036

THE CHERRY REVOCABLE TRUST ATTN: DAVID A. DECKELBAUM 5301 WISCONSIN AVENUE, NW, SUITE 710 WASHINGTON, DC 20015

CIVIL ➤ SURVEYING ➤ LAND PLANNIN

ARCHITECT BARNES VANZE ARCHITECTS, INC ATTN: WAYNE ADAMS 1000 POTOMAC STREET, NW, SUITE L-2

LOT 46, SQUARE 2517 KALORAMA

2320-2330 S STREET, NW

> N.W. WASHINGTON, DISTRICT OF COLUMBIA



06.02.201 PROGRESS SET TO TEAM TRAFFIC CONTROL PLAN ISSUE 05.14.201 PROGRESS SITE PLAN 06.16.2017 PERMIT SET 06.30.2017 REVISED TCP PER DDOT COMMENTS REVISED PER DOEE COMMENTS REVISED TCP PER DDOT COMMENTS

08/2017 RAWN BY CHECKED BY APPROVAL

SHEET TITLE **CIVIL COVER** SHEET

MISS UTILITY

UTILITY INFORMATION EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND

MUST BE FIELD VERIFIED. UTILITY LOCATIONS ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY UTILITY REQUEST DATE BY INFO RECEIVED PLAN REVISED BY

AT&T 11/17/2016 BDD 11/17/2016 NO FACILITIES
COMCAST 11/17/2016 BDD PENDING -
MCI/WORLDCOM 11/17/2016 BDD PENDING -
PEPCO 11/17/2016 BDD PENDING -
VERIZON 11/17/2016 BDD 12/12/2016 12/19/2016 BDD

WASH. GAS 11/17/2016 BDD 11/21/2016 12/15/2016 BDD

DC SEWER 11/17/2016 BDD 12/02/2016 12/15/2016 BDD

DC WATER 11/17/2016 BDD 12/02/2016 12/15/2016 BDD

ALCC LITH LTV

FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL JURISDICTIONAL REQUIREMENTS.

OR AS REQUIRED BY PLUMBING CODE. 4) MAINTAIN MINIMUM 12" COVER OVER ALL PIPE.

STORM DRAIN NOTES

ALL STORM DRAIN PIPE TO BE SCHEDULE 40 PVC OR OF HIGHER QUALITY.

DOWNSPOUT LEADERS ORIGINATING DIRECTLY FROM DOWNSPOUTS TO BE 4" PVC (OR APPROVED EQUIVALENT), UNLESS INDICATED OTHERWISE ON PLAN.

B) PROPOSED STORM DRAIN PIPING TO BE AT 2.0% MINIMUM SLOPE, UNLESS OTHERWISE INDICATED. USE VERTICAL BENDS WHERE NECESSARY TO FOLLOW FINISHED GRADES.

SEE PLANS BY OTHERS FOR DRAIN LOCATION IN TERRACE AREAS, POOL AREA AND POOL EQUIPMENT AREA.

STORM DRAIN PIPING THROUGH LEDGE AND WALL AREAS TO BE AT 2.0% MINIMUM. INVERTS PROVIDED ARE MINIMUM. CONTRACTOR TO ADJUST PIPING AS NECESSARY FOR DOORS, WINDOWS AND OTHER APPURTENANCES, MAINTAIN 2.0% MINIMUM.

PURSUANT TO DOEE REQUIREMENTS, AREAS INTENDED FOR BMP INSTALLATION INVOLVING INFILTRATION SHALL BE PROTECTED FROM COMPACTION DURING DC WATER NARRATIVE

SEE THIS SHEET AND CIV200-SERIES SHEETS FOR MORE DETAILS.

- INFILTRATION TRENCH CONTAINING RAINTANK MODULES

- N/A, ONLY DISTURBANCE IN PUBLIC SPACE IS UTILITY-EXEMPT

STORMWATER MANAGEMENT

STORMWATER MANAGEMENT FOR THIS PROJECT WILL BE PROVIDED AS FOLLOWS:

NARRATIVE AND FACILITY

PROTECTION NOTE

THE EXISTING BUILDINGS WILL BE RENOVATED AND NEW CONSTRUCTION FOR ASSOCIATED APPURTENANCES WILL OCCUR. THE FOLLOWING CONNECTIONS ARE TO BE ABANDONED: X D.75" WATER CONNECTION IN S STREET, NW ("WOOD" BUILDING)

THIS PROJECT PROPOSES TO PERFORM SELECT DEMOLITION OF SITE APPURTENANCES AND DISCONNECT/ABANDON SELECT UTILITIES. FOLLOWING SELECT DEMO ACTIVITIES,

THE FOLLOWING CONNECTIONS ARE TO BE REUSED: EX. 4" (ASSUMED) SEWER CONNECTION IN S STREET, NW ("POPE" BUILDING)
EX. 4" FIRE WATER CONNECTION IN S STREET, NW ("WOOD" BUILDING) EX. 4" (ASSUMED) SEWER CONNECTION IN DECATUR PLACE, NW

0.75" DOMESTIC WATER CONNECTION IN DECATUR PLACE, NW

ABANDONMENT NOTES

1) ASSURE THAT FINAL METER READING HAS BEEN OBTAINED 2) RETURN DC WATER OWNED METER WITH AMR READING, TRANSMITTER (IF ANY) TO DC WATER CUSTOMER SERVICE METER BRANCH.

- EXCAVATE AND EXPOSE THE EXISTING TAP, AND CAP THE CONNECTION AT PUBLIC WATER MAIN. THE REMAINING WATER SERVICE PIPE IS ABANDONED IN PLACE.

4) WHEN METER PIT IS LOCATED IN PUBLIC SPACE, REMOVE FRAME AND COVER, AND BACKFILL IT.

5) A MINIMUM OF THE TOP TWO (2) FEET OF ALL EXISTING VALVE BOXES DESIGNATED TO BE ABANDONED, INCLUDING THE FRAME AND COVER, SHALL BE REMOVED. THE REMAINING PORTION OF THE STRUCTURE SHALL BE FILLED WITH NON-COMPACTABLE SELECT STONE BACKFILL.

