

111 WEST 57TH STREET

NEW YORK, NY 10019

DOB PAA
3.27.15

JDS DEVELOPMENT GROUP

JDS DEVELOPMENT GROUP
100 WEST 42ND STREET, 4TH FLOOR
NEW YORK, NY 10018
TEL: 212 850 3000

sh p

ARCHITECT
SH&P ARCHITECTS, P.C.
228 BROADWAY, 11TH FLOOR
NEW YORK, NY 10007
TEL: 212 869 9300

STRUCTURAL ENGINEER
YUSEF GHAFFAR HEBBAR
228 EAST 43RD STREET
NEW YORK, NY 10017
TEL: 212 867 5866

MEP ENGINEER
JACOBS, SALAM & BOLLER
40 RINE STREET, 12TH FLOOR
NEW YORK, NY 10003
TEL: 212 869 9300

CIVIL ENGINEER
ARUP ENGINEERING, P.C.
40 FIFTH AVE, 26TH FLOOR
NEW YORK, NY 10018
TEL: 212 260 8000

ACOUSTICS
LONGMAN LINDSEY
40 WEST 58TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 917 238 2300

INTERIORS
STUDIO JOSEPH
300 LAURETTA STREET
NEW YORK, NY 10001
TEL: 212 475 1300

FAÇADE
BURROUGHS WELFORD
100 BROADWAY
NEW YORK, NY 10005
TEL: 212 254 2025

VERTICAL TRANSPORTATION
VAN DEUSEN & ASSOCIATES
2 RICHMOND STREET, SUITE 204
LARKSPUR, NJ 07033
TEL: 973 984 4770

RESTORATION
JAN HRO FOKORNY ASSOCIATES
30 WEST 57TH STREET, 7TH FLOOR, 10A
NEW YORK, NY 10019
TEL: 212 268 6462

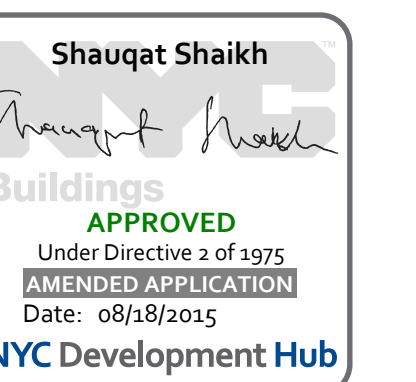
GEOTECH
MICE
205 WEST 43RD STREET, 4TH FLOOR
NEW YORK, NY 10018
TEL: 917 238 4900

LIGHTING
CONSERVATORIE INTERNATIONAL
100 WALL STREET, 7TH FLOOR EAST
NEW YORK, NY 10005
TEL: 212 255 4463

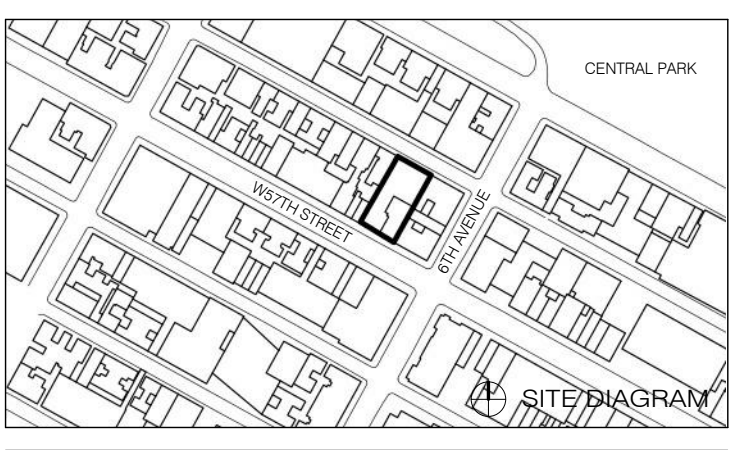


PROPERTY MARKETS GROUP
100 WEST 42ND STREET, 2ND FLOOR
NEW YORK, NY 10018
TEL: 212 850 9000

CURRENT ISSUE
DOB PAA



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



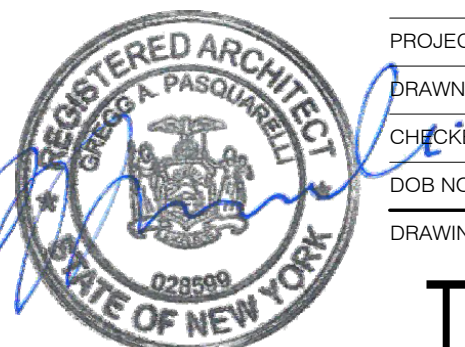
1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SH&P ARCHITECTS P.C. ALL RIGHTS RESERVED.

DRAWING TITLE

TITLE SHEET

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130607	
DRAWN BY	SH&P	
CHECKED BY	SH&P	
DOB NO.	121332068	
DRAWING NUMBER		



T-000.01

Table with columns: SHEET NUMBER, SHEET NAME, O, 0, 1. Rows include titles, general notes, life safety plans, zoning, structural details, and building elevations.

Table with columns: SHEET NUMBER, SHEET NAME, O, 0, 1. Rows include structural details for stairs, walls, and various levels.

Table with columns: SHEET NUMBER, SHEET NAME, O, 0, 1. Rows include mechanical details for ductwork, piping, and equipment.

Table with columns: SHEET NUMBER, SHEET NAME, O, 0, 1. Rows include plumbing details for fixtures, piping, and risers.

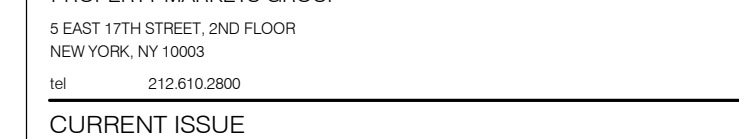
Table with columns: SHEET NUMBER, SHEET NAME, O, 0, 1. Rows include energy and fire safety details for compliance and detection.

Project information including JDS Development Group logo, architect details (Shp Architects), structural engineer details (M&G), and a site diagram showing the project location at 111 West 57th Street.



sh p

Table listing project team members: ARCHITECT, STRUCTURAL ENGINEER, MEP ENGINEER, CIVIL ENGINEER, INTERIORS.



PROPERTY MARKETS GROUP
CURRENT ISSUE
DOB PAA
NYC Development Hub



Table with columns: NO., DATE, REVISION. Contains two revision entries.

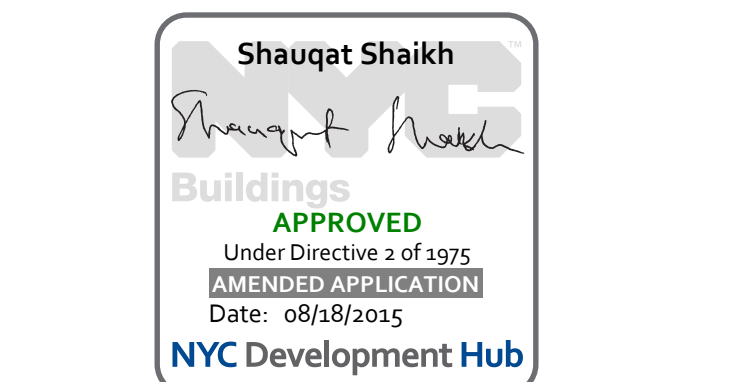
DRAWING TITLE: INDEX
DRAWING NUMBER: G-001.01
Includes a seal for Shauqat Shaikh, Registered Professional Engineer, State of New York.

ARCHITECT		SH&P ARCHITECTS, P.C.	235 BROADWAY, 17TH FLOOR NEW YORK, NY 10007 TEL: 212.689.9338
STRUCTURAL ENGINEER		SH&P ARCHITECTS, P.C.	235 BROADWAY, 17TH FLOOR NEW YORK, NY 10007 TEL: 212.689.9338
MEP ENGINEER		JACOBS, BALK & BOLLES	40 WEST 57TH STREET, 17TH FLOOR NEW YORK, NY 10019 TEL: 212.269.8300
CIVIL ENGINEER		ARUP ENGINEERING, P.C.	40 WEST 57TH STREET, 17TH FLOOR NEW YORK, NY 10019 TEL: 212.269.8300
ACQUISITION		LONGMAN LINDSEY	40 WEST 57TH STREET, 17TH FLOOR NEW YORK, NY 10019 TEL: 212.269.8300
INTERIORS		STUDIO 303	1700 3RD AVENUE, 17TH FLOOR NEW YORK, NY 10019 TEL: 212.689.9338
PROPERTY MARKETS GROUP		SH&P ARCHITECTS, P.C.	235 BROADWAY, 17TH FLOOR NEW YORK, NY 10007 TEL: 212.689.9338
CURRENT ISSUE			

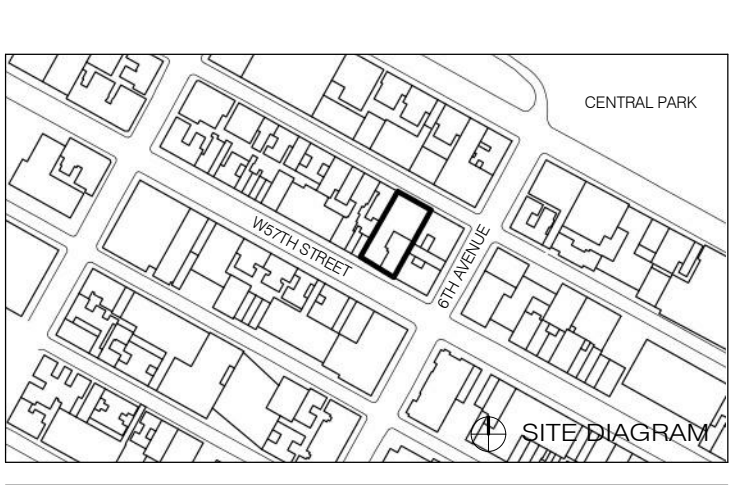


PROPERTY MARKETS GROUP	SH&P ARCHITECTS, P.C.
111 WEST 57TH STREET, 17TH FLOOR NEW YORK, NY 10019 TEL: 212.269.8300	235 BROADWAY, 17TH FLOOR NEW YORK, NY 10007 TEL: 212.689.9338

DOB PAA



111 WEST 57TH STREET
 111 WEST 57TH STREET
 NEW YORK, NY 10019



1	3/27/15	DOB PAA
	5/1/14	DOB PLING SET
NO.	DATE	REVISION
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SH&P ARCHITECTS, P.C. ALL RIGHTS RESERVED.		

DRAWING TITLE

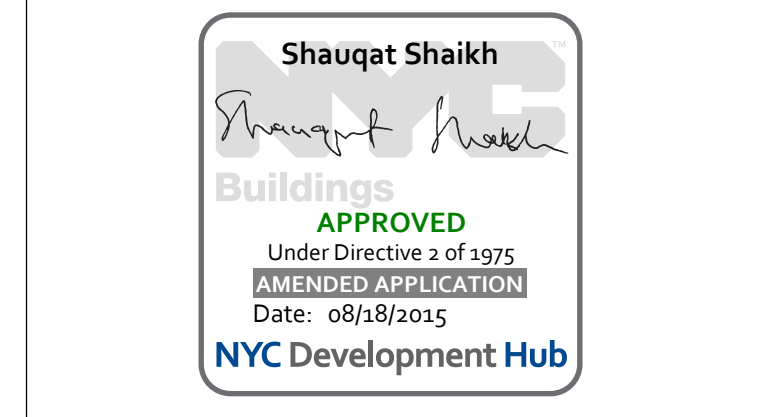
OCCUPANT LOAD SCHEDULE

SEAL & SIGNATURE	DATE	3/27/15
PROJECT NO.	130007	
DRAWN BY	SH&P	
CHECKED BY	SH&P	
DOB NO.	121332068	
DRAWING NUMBER	G-005.01	

W57 1 RESTROOM COUNT SUMMARY			
ALT 1			
Mercantile Level -1			
M with total occupants		272.0	OCC.
50% male		136.0	males
50% female		136.0	females
water closets (50%)			
males: 1 per		500	1.0 males
females: 1 per		500	1.0 females
total		2.0	
lavatories (50%)			
males: 1 per		750	1.0 males
females: 1 per		750	1.0 females
drinking fountains		1000	1.0
1 per			
Mercantile Level 0			
M with total occupants		215.0	OCC.
50% male		107.5	males
50% female		107.5	females
water closets (50%)			
males: 1 per		500	1.0 males
females: 1 per		500	1.0 females
total		2.0	
lavatories (50%)			
males: 1 per		750	1.0 males
females: 1 per		750	1.0 females
drinking fountains		1000	1.0
1 per			
Mercantile Level 3			
M with total occupants		212.0	OCC.
50% male		106.0	males
50% female		106.0	females
water closets (50%)			
males: 1 per		500	1.0 males
females: 1 per		500	1.0 females
total		2.0	
lavatories (50%)			
males: 1 per		750	1.0 males
females: 1 per		750	1.0 females
drinking fountains		1000	1.0
1 per			
Mercantile Level 4			
M with total occupants		117.0	OCC.
50% male		58.5	males
50% female		58.5	females
water closets (50%)			
males: 1 per		500	1.0 males
females: 1 per		500	1.0 females
total		2.0	
lavatories (50%)			
males: 1 per		750	1.0 males
females: 1 per		750	1.0 females
drinking fountains		1000	1.0
1 per			
Mercantile Level 5			
M with total occupants		114.0	OCC.
50% male		57.0	males
50% female		57.0	females
water closets (50%)			
males: 1 per		500	1.0 males
females: 1 per		500	1.0 females
total		2.0	
lavatories (50%)			
males: 1 per		750	1.0 males
females: 1 per		750	1.0 females
drinking fountains		1000	1.0
1 per			

LIFE SAFETY - USE BY ROOM							
NAME	NUMBER	OCCUPANCY CLASS	LOAD FACTOR	OCCUPANT LOAD	AREA	NOTES	
SUB-CELLAR							
STEAM POE & PRIV ROOM	0201	F-2	300	4	1031 SF		
FIRE PUMP ROOM	0202	F-2	300	2	409 SF		
MECHANICAL	0203	F-2	300	5	1346 SF		
MECHANICAL	0204	F-2	300	4	1176 SF		
SUB-CELLAR							
				15			
CELLAR							
RETAIL	-0100	M	30	124	3709 SF	TENANT IMPROVEMENT AREA	
RETAIL	-0100.A	M	30	27	784 SF	TENANT IMPROVEMENT AREA	
RETAIL	-0101	M	30	54	1615 SF	TENANT IMPROVEMENT AREA	
FUTURE RTL MECH	-0101.A	M	300	3	786 SF	TENANT IMPROVEMENT AREA	
MECHANICAL	-0103	F-2	300	2	590 SF		
IT POE	-0103.A	F-2	300	2	344 SF		
SWITCHGEAR ROOM	-0103.B	F-2	300	7	1833 SF		
WATER METER	-0103.C	F-2	300	1	252 SF		
AC ROOM	-0103.D	F-2	300	1	198 SF		
EM GEAR RM	-0103.F	F-2	300	1	100 SF		
RESIDENTIAL STORAGE	-0103.G	S-2	300	1	144 SF		
RESIDENTIAL STORAGE	-0104	S-2	300	3	810 SF		
BIKE STORAGE	-0105	S-2	300	2	311 SF		
LOCKER	-0106.A	R-2	50	4	Level 7 Mezzanine (Level 8)		
RESIDENTIAL STORAGE	-0107	S-2	300	1	37 SF		
RETAIL	-0108	M	30	34	995 SF	TENANT IMPROVEMENT AREA	
STORAGE	-0108.B	M	300	1	67 SF	TENANT IMPROVEMENT AREA	
PLUMBING POE	-0109	F-2	300	2	341 SF		
GAS POE	-0109.B	M	300	2	410 SF	TENANT IMPROVEMENT AREA	
TRASH COMPACTOR	-0132	F-2	300	1	222 SF		
TRASH COMPACTOR	-0140	F-2	300	1	297 SF		
CELLAR							
				274			
GROUND (63.1 MBD)							
RETAIL	0101	M	30	60	1795 SF	LANDMARK / TENANT IMPROVEMENT AREA	
GUARD	0102.A	M	1	1	89 SF		
BOH	0103.C	R-2	300	1	257 SF		
LOBBY LOUNGE	0104	R-2	50	6	266 SF		
LOBBY	0105	R-2	50	18	853 SF		
CONCIERGE	0107	R-2	100	2	144 SF		
MAIL	0109.B	M	300	1	96 SF	TENANT IMPROVEMENT AREA	
PORTE-COCHERE	0112	S-2	200	12	2351 SF		
COMMERCIAL LOADING	0113	S-1	300	4	1195 SF		
LOADING AREA	0114	S-1	300	1	253 SF		
RETAIL LOBBY	0120	M	30	31	901 SF	TENANT IMPROVEMENT AREA	
RETAIL ATRIUM	0121	M	30	68	2034 SF	TENANT IMPROVEMENT AREA	
GROUND (63.1 MBD)							
				205			
LEVEL 2							
MECHANICAL	0201	F-2	300	2	589 SF		
MECHANICAL	0202	F-2	300	6	1630 SF		
MECHANICAL	0203	F-2	300	4	1019 SF		
SWITCHGEAR ROOM	0204	F-2	300	3	889 SF		
MEZZANINE	0205	M	50	5	205 SF	LANDMARK - ASSIGNED TO GROUND LEVEL OCCUPANT LOAD	
LEVEL 2							
				20			
LEVEL 3							
RETAIL	0300	M	60	31	1816 SF	TENANT IMPROVEMENT AREA	
RETAIL	0301	M	60	7	360 SF	TENANT IMPROVEMENT AREA	
RETAIL	0303	M	60	6	370 SF	TENANT IMPROVEMENT AREA	
RETAIL	0307	M	60	67	4004 SF	TENANT IMPROVEMENT AREA	
RETAIL	0308	M	60	49	2924 SF	TENANT IMPROVEMENT AREA	
RETAIL	0309	M	60	29	1707 SF		
RETAIL	0310	M	60	9	531 SF	TENANT IMPROVEMENT AREA	
RETAIL	0311	M	60	8	461 SF	TENANT IMPROVEMENT AREA	
RETAIL	0312	M	60	16	909 SF	TENANT IMPROVEMENT AREA	
LEVEL 3							
				222			
LEVEL 4							
RETAIL	0400	M	60	51	3004 SF	TENANT IMPROVEMENT AREA	
TERRACE	0400.T	M	60	7	367 SF		
RETAIL	0401	M	60	27	1597 SF	TENANT IMPROVEMENT AREA	
RETAIL	0402	M	60	9	504 SF	TENANT IMPROVEMENT AREA	
STORM WATER DETENTION	0403	F-2	300	2	429 SF	TENANT IMPROVEMENT AREA	
RETAIL	0404	M	60	16	931 SF	TENANT IMPROVEMENT AREA	
LEVEL 4							
				112			
LEVEL 5							
MUSIC PRACTICE	0501	B	20	78	1567 SF		
BAR	0503	B	100	2	185 SF		
GREEN ROOM	0505	B	100	4	336 SF		
LOUNGE	0505.B	B	15	7	98 SF		
BUILDING MGMT	0506.B	B	100	2	148 SF		
BLDG MGMT	0508	B	100	14	197 SF		
MECHANICAL	0509	F-2	300	5	1132 SF		
MECHANICAL	0509A	F-2	300	2	325 SF		
STORAGE	0532	B	300	1	237 SF		
LEVEL 5							
				115			
LEVEL 6							
MECHANICAL	0601	F-2	300	6	1714 SF		
MECHANICAL	0602	F-2	300	22	6368 SF		
MECHANICAL	0604.B	F-2	300	8	2301 SF		
LEVEL 6							
				36			
LEVEL 7							
RESIDENTIAL LOUNGE	0700	R-2	50	13	610 SF	ACCESSORY RESIDENTIAL AMENITY USE	
RESIDENTIAL TERRACE	0700.T	R-2	50	37	1899 SF	ACCESSORY RESIDENTIAL AMENITY USE	
RESIDENTIAL LOUNGE	0701	R-2	50	13	626 SF	ACCESSORY RESIDENTIAL AMENITY USE	
RESIDENTIAL LOUNGE	0701.N	R-2	50	5	206 SF		
RESIDENTIAL LOUNGE	0702	R-2	50	5	224 SF	ACCESSORY RESIDENTIAL AMENITY USE	
CORRIDOR	0703	R-2	200	3	448 SF	ACCESSORY RESIDENTIAL AMENITY USE	
RES LOUNGE BAR	0704	R-2	200	1	164 SF	ACCESSORY RESIDENTIAL AMENITY USE	
RES LOUNGE KITCHEN	0705	R-2	200	2	246 SF	ACCESSORY RESIDENTIAL AMENITY USE	
RESIDENTIAL LOUNGE	0708	R-2	50	7	311 SF	ACCESSORY RESIDENTIAL AMENITY USE	
WOMEN'S DRESSING RM	0713	R-2	100	7	648 SF	ACCESSORY RESIDENTIAL AMENITY USE	
TREATMENT RM	0716.B	R-2	100	2	132 SF	ACCESSORY RESIDENTIAL AMENITY USE	
SALINA	0717	R-2	50	2	87 SF	ACCESSORY RESIDENTIAL AMENITY USE	
POOL DECK	0718	R-2	50	39	1935 SF	ACCESSORY RESIDENTIAL AMENITY USE	
RESIDENTIAL AMENITY POOL	0718.A	R-2	50	21	1043 SF		
SALINA	0720.B	R-2	100	1	57 SF	ACCESSORY RESIDENTIAL AMENITY USE	
MEN'S DRESSING RM	0721	R-2	50	11	535 SF	ACCESSORY RESIDENTIAL AMENITY USE	
TREATMENT RM	0722.B	R-2	100	2	155 SF		
RESIDENTIAL FITNESS STUDIO	0726	R-2	50	30	1474 SF	ACCESSORY RESIDENTIAL AMENITY USE	
LEVEL 7							
				201			
LEVEL 8							
RESIDENTIAL FITNESS BALCONY	0830	R-2	50	16	899 SF		
RESIDENTIAL FITNESS MEZZANINE	0850	R-2	50	9	435 SF		
LEVEL 8							
				27			
Grand total							
				1227			

LIFE SAFETY - OCCUPANCY BY AREA							
NAME	NUMBER	OCCUPANCY CLASS	OCCUPANCY FACTOR	OCCUPANT LOAD			



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

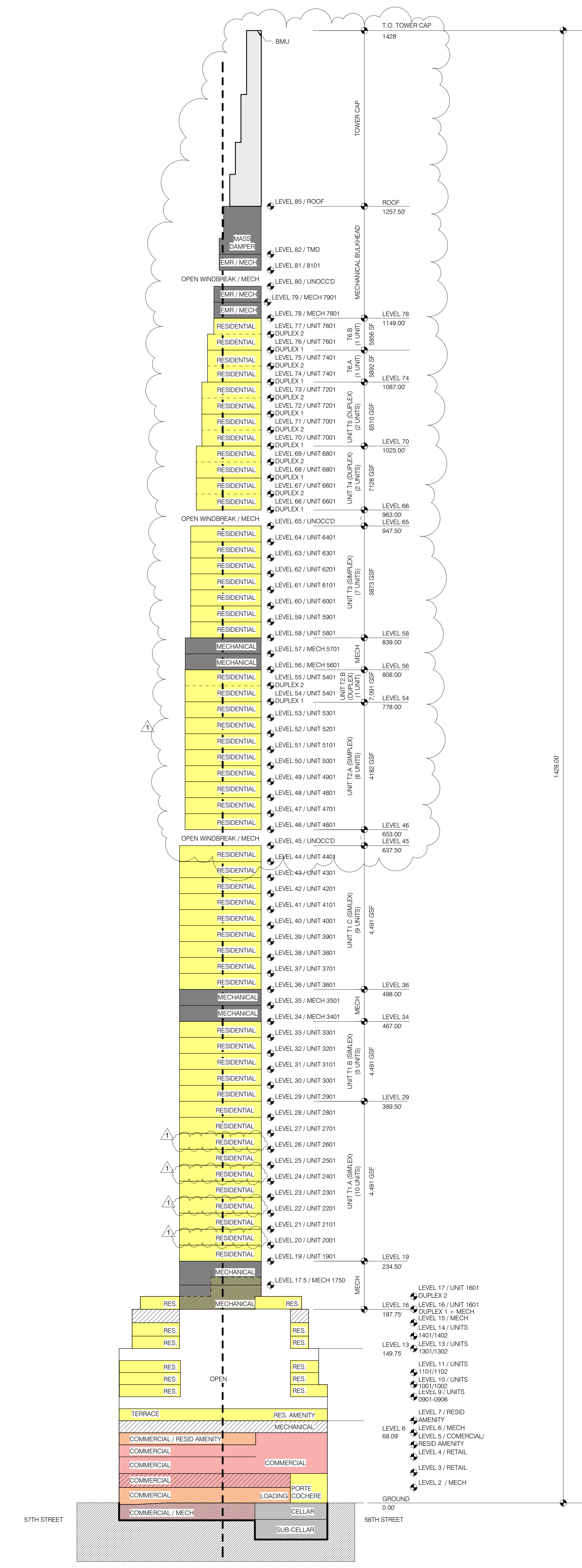
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHIP ARCHITECTS P.C. ALL RIGHTS RESERVED.

DRAWING TITLE

FLOOR ARRANGEMENT

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130007	
DRAWN BY	SH/p	
CHECKED BY	SH/p	
DOB NO.	121332096	
DRAWING NUMBER		

G-010.01

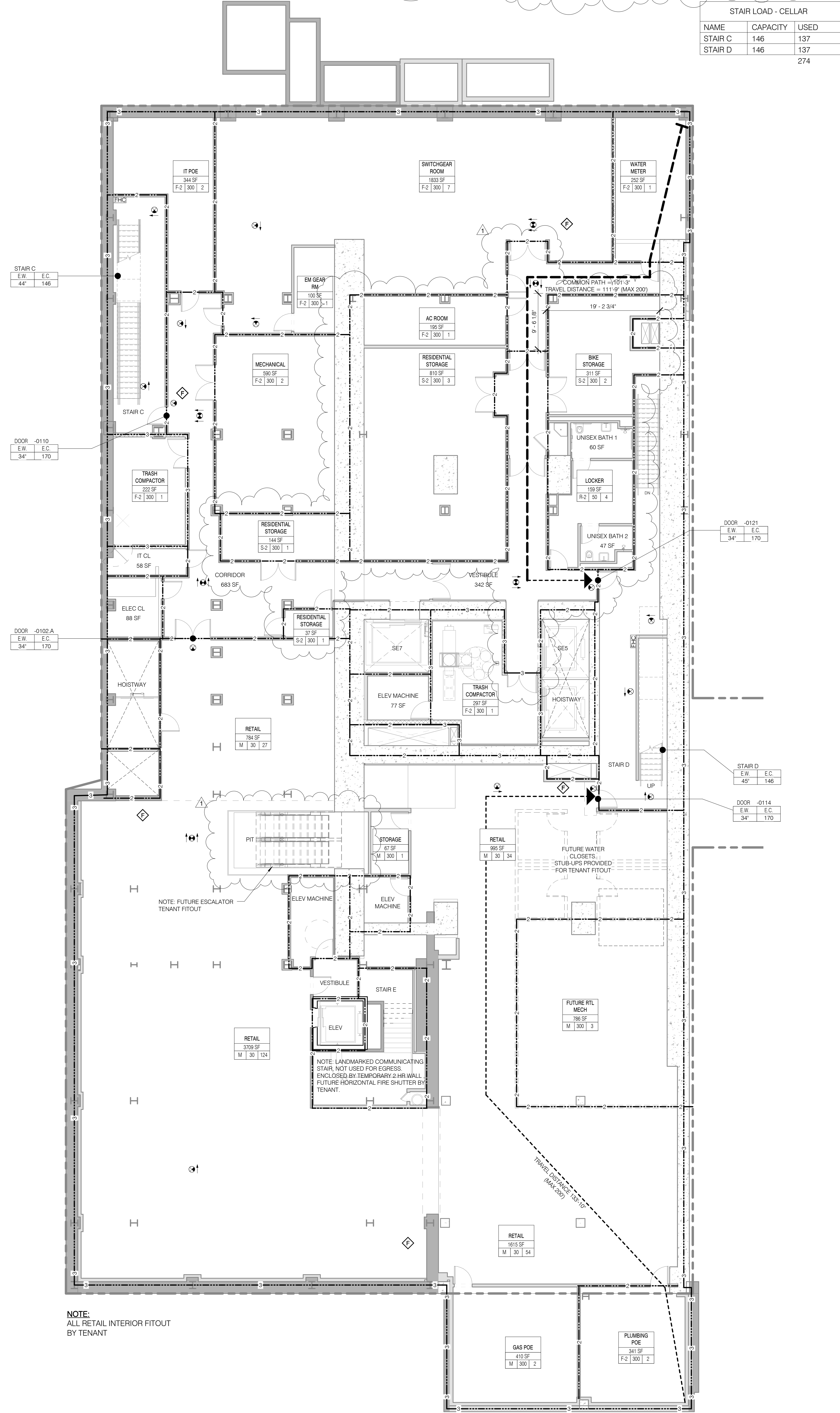


OCCUPANT LOAD - CELLAR						OCCUPANT LOAD - CELLAR					
NAME	NUMBER	OCCUPANCY CLASS	LOAD FACTOR	OCCUPANT LOAD	AREA	NAME	NUMBER	OCCUPANCY CLASS	LOAD FACTOR	OCCUPANT LOAD	AREA
CELLAR						EM GEAR RM	-0103.F	F-2	300	1	100 SF
RETAIL	-0100	M	30	124	3709 SF	RESIDENTIAL STORAGE	-0103.G	S-2	300	1	144 SF
RETAIL	-0100.A	M	30	27	784 SF	RESIDENTIAL STORAGE	-0104	S-2	300	3	810 SF
RETAIL	-0101	M	30	54	1615 SF	BIKE STORAGE	-0105	S-2	300	2	311 SF
FUTURE RTL MECH	-0101.A	M	300	3	786 SF	LOCKER	-0106.A	R-2	50	4	159 SF
MECHANICAL	-0103	F-2	300	2	590 SF	RESIDENTIAL STORAGE	-0107	S-2	300	1	37 SF
IT POE	-0103.A	F-2	300	2	344 SF	RETAIL	-0108	M	30	34	995 SF
SWITCHGEAR ROOM	-0103.B	F-2	300	7	1833 SF	STORAGE	-0108.B	M	300	1	67 SF
WATER METER	-0103.C	F-2	300	1	252 SF	PLUMBING POE	-0109	F-2	300	2	341 SF
AC ROOM	-0103.D	F-2	300	1	195 SF	GAS POE	-0109.B	M	300	2	410 SF
						TRASH COMPACTOR	-0132	F-2	300	1	222 SF
						TRASH COMPACTOR	-0140	F-2	300	1	297 SF
						CELLAR				274	

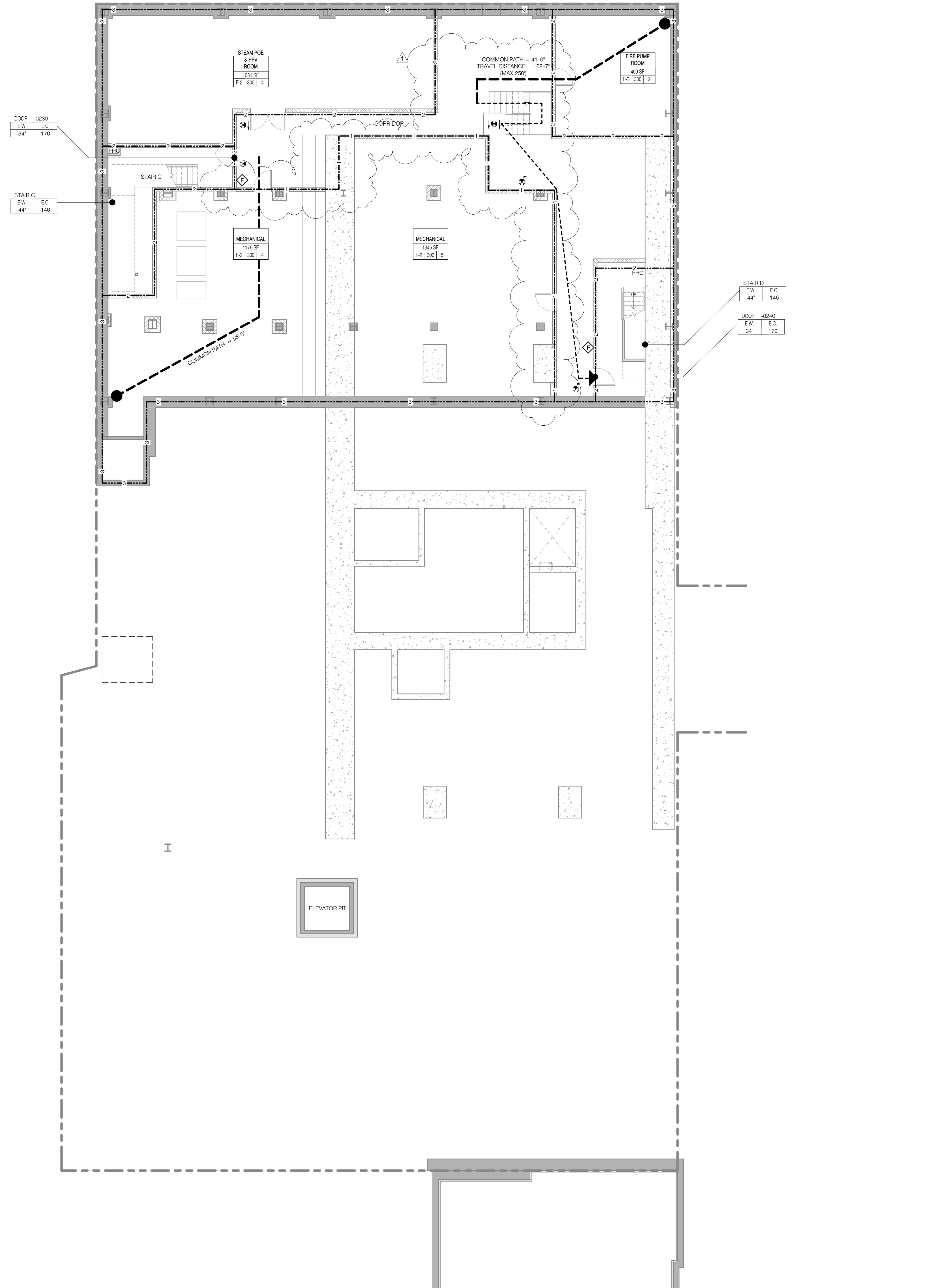
STAIR LOAD - CELLAR		
NAME	CAPACITY	USED
STAIR C	146	137
STAIR D	146	137

OCCUPANT LOAD - SUBCELLAR					
NAME	NUMBER	OCCUPANCY CLASS	LOAD FACTOR	OCCUPANT LOAD	AREA
SUBCELLAR					
STEAM POE & PRV ROOM	-0201	F-2	300	4	1031 SF
FIRE PUMP ROOM	-0202	F-2	300	2	409 SF
MECHANICAL	-0203	F-2	300	5	1346 SF
MECHANICAL	-0204	F-2	300	4	1176 SF
				15	

STAIR LOAD - SUBCELLAR		
NAME	CAPACITY	USED
STAIR C	146	8
STAIR D	146	8



CELLAR 1/8" = 1'-0" 2



SUBCELLAR 1/8" = 1'-0" 1

LIFE SAFETY & PARTITION RATING LEGEND

- 3 HR RATED
- 2 HR RATED
- 1 HR RATED
- EGRESS PATH PRIMARY
- EGRESS PATH SECONDARY
- EGRESS PATH TERTIARY
- EGRESS PATH QUATERNARY
- EGRESS PATH FIFTHARY
- EGRESS PATH SIXTHARY
- EGRESS PATH SEVENTHARY
- EGRESS PATH EIGHTHARY
- EGRESS PATH NINTHARY
- EGRESS PATH TENTHARY
- EGRESS PATH ELEVENTHARY
- EGRESS PATH TWELFTHARY
- EGRESS PATH THIRTEENTHARY
- EGRESS PATH FOURTEENTHARY
- EGRESS PATH FIFTEENTHARY
- EGRESS PATH SIXTEENTHARY
- EGRESS PATH SEVENTEENTHARY
- EGRESS PATH EIGHTEENTHARY
- EGRESS PATH NINETEENTHARY
- EGRESS PATH TWENTIETHARY

ROOM OCCUPANCY TAG

ROOM DESCRIPTION
AREA
OCCUPANT LOAD
LOAD FACTOR
OCCUPANT CLASSIFICATION

AREA OCCUPANCY TAG

AREA
AREA NUMBER
AREA DESCRIPTION
OCCUPANT LOAD
LOAD FACTOR
OCCUPANT CLASSIFICATION

DOOR OCCUPANCY TAG

DOOR NUMBER
EGRESS CAPACITY (# OF OCCUPANTS)
EGRESS WIDTH (MIN. WIDTH INCHES)

STAIR OCCUPANCY TAG

STAIR NUMBER
EGRESS CAPACITY (# OF OCCUPANTS)
EGRESS WIDTH (MIN. WIDTH INCHES)

JDS DEVELOPMENT GROUP

JDS DEVELOPMENT GROUP
100 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212.850.3000

sh p

ARCHITECT
shp architects, p.c.
225 BROADWAY, 11TH FLOOR
NEW YORK, NY 10038
TEL: 212.869.9336

STRUCTURAL ENGINEER
BURROUGHS WELLS
225 EAST 43RD STREET
NEW YORK, NY 10017
TEL: 212.869.9336

MEP ENGINEER
JORDIS, BAIAM & BOLLER
40 WINE STREET, 10TH FLOOR
NEW YORK, NY 10038
TEL: 212.869.9336

CIVIL ENGINEER
AWR ENGINEERING, P.C.
40 WINE STREET, 10TH FLOOR
NEW YORK, NY 10038
TEL: 212.869.9336

ACoustiCiD
LONGMAN LINDSEY
40 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212.869.9336

INTERIORS
STUDIO SCARFIELD
300 WASHINGTON STREET
NEW YORK, NY 10013
TEL: 212.869.9336

FAÇADE
BURROUGHS WELLS
100 BROADWAY
NEW YORK, NY 10038
TEL: 212.869.9336

VERTICAL TRANSPORTATION
VAN DEUSEN & ASSOCIATES
100 WEST STREET, SUITE 200
LARKSPUR, NJ 07033
TEL: 201.941.8770

RESTORATION
JAN HED FORKORNY ASSOCIATES
30 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212.869.9336

GEOTECH
MICE
305 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212.869.9336

LIGHTING
CONSERVATIVE INTERNATIONAL
100 WALKER STREET, 7TH FLOOR EAST
NEW YORK, NY 10002
TEL: 212.251.4453

PMG

PROPERTY MARKETS GROUP
100 WEST 57TH STREET, 2ND FLOOR
NEW YORK, NY 10019
TEL: 212.869.9336

CURRENT ISSUE

DOB PAA

Shauqat Shaikh
Building + Water

APPROVED
Under Directive 2 of 1975
DATE: 08/28/2015
NYC Development Hub

111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019

CENTRAL PLAN
SITE DIAGRAM

NO.	DATE	REVISION
1	3.27.15	DOB PAA
2	5.1.14	DOB PLING SET

LIFE SAFETY PLAN SUBCELLAR + CELLAR

DATE: 3.27.15
PROJECT NO: 130607
DRAWN BY: shp
CHECKED BY: shp
DOB NO: 121302068
DRAWING NUMBER: G-011.01

SEAL & SIGNATURE
DATE: 3.27.15
PROJECT NO: 130607
DRAWN BY: shp
CHECKED BY: shp
DOB NO: 121302068
DRAWING NUMBER: G-011.01

LEVEL 02

TOTAL OCCUPANT LOAD: 15
 EXIT CAPACITY PROVIDED: 292
 MAXIMUM TRAVEL DISTANCE: 115'-5"
 FLOOR DIAGONAL: 135'-5"

OCCUPANT LOAD - LEVEL 02						
NAME	NUMBER	OCCUPANCY CLASS	LOAD FACTOR	OCCUPANT LOAD	AREA	
MECHANICAL	0201	F-2	300	2	589 SF	
MECHANICAL	0202	F-2	300	6	1630 SF	
MECHANICAL	0203	F-2	300	4	1079 SF	
SWITCHGEAR ROOM	0204	F-2	300	3	889 SF	
LEVEL 2				15		

STAIR LOAD - LEVEL 02		
NAME	CAPACITY	USED
STAIR A	146	8
STAIR B	146	8
		16

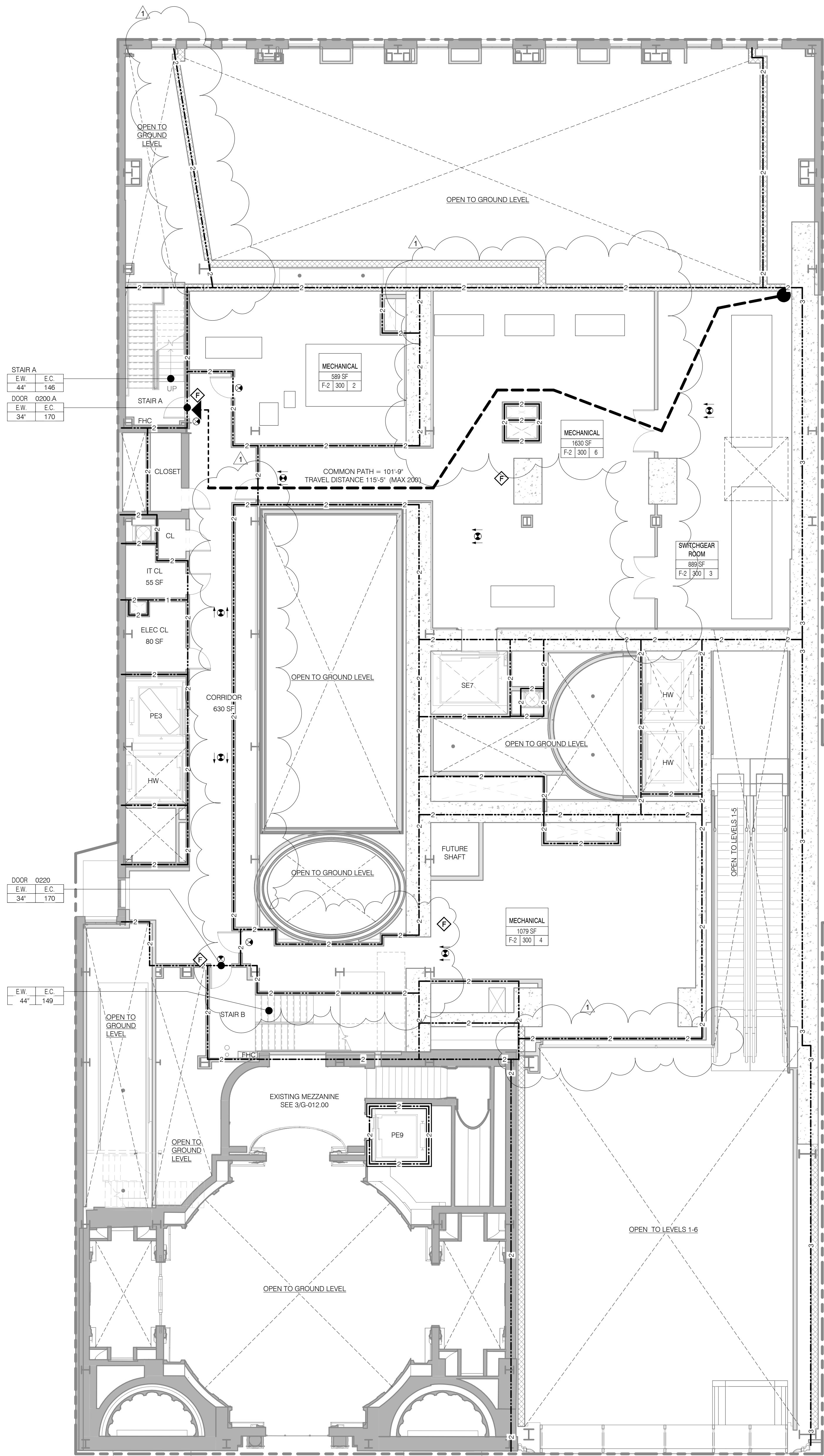
LEVEL 01

TOTAL OCCUPANT LOAD: 210
 EXIT CAPACITY PROVIDED: 1052
 MAXIMUM TRAVEL DISTANCE: 116'-5"
 (W/ MEZZANINE)
 FLOOR DIAGONAL: 210'-11"

OCCUPANT LOAD - LEVEL 01						
NAME	NUMBER	OCCUPANCY CLASS	LOAD FACTOR	OCCUPANT LOAD	AREA	
GROUND (63.1' MBD)						
RETAIL	0101	M	30	60	1795 SF	
GUARD	0102 A	M	100	1	89 SF	
BOH	0103 C	R-2	300	1	257 SF	
LOBBY LOUNGE	0104	R-2	50	6	266 SF	
LOBBY	0105	R-2	50	18	853 SF	
CONCIERGE	0107	R-2	100	2	144 SF	
MAIL	0109 B	M	300	1	96 SF	
PORTE-COCHERE	0112	S-2	200	12	2351 SF	

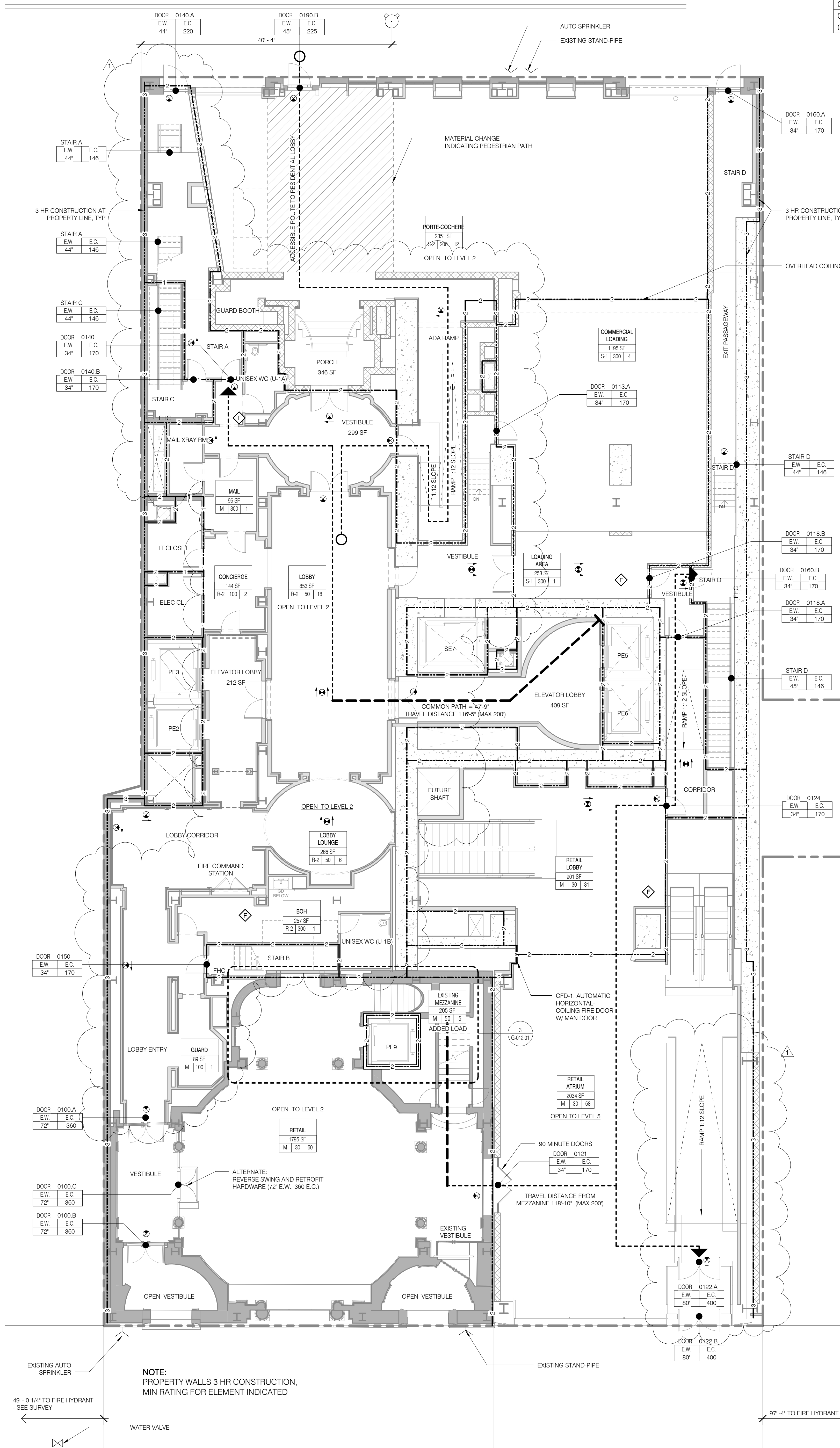
OCCUPANT LOAD - LEVEL 01						
NAME	NUMBER	OCCUPANCY CLASS	LOAD FACTOR	OCCUPANT LOAD	AREA	
COMMERCIAL LOADING	0113	S-1	300	4	1195 SF	
LOADING AREA	0114	S-1	300	1	253 SF	
RETAIL LOBBY	0120	M	30	31	901 SF	
RETAIL ATRIUM	0121	M	30	68	2034 SF	
GROUND (63.1' MBD)				205		
LEVEL 2						
MEZZANINE	0205	M	50	5	205 SF	
LEVEL 2				5		
Grand total				210		

DOOR LOAD				
NAME	CAPACITY	USED L. 01	USED L. 02 & CELLAR	
0112.E	21	142		
0160.A	170	87	134	
0122.A	400	82	N/A	
0100.A	225	21	127	
		211	403	



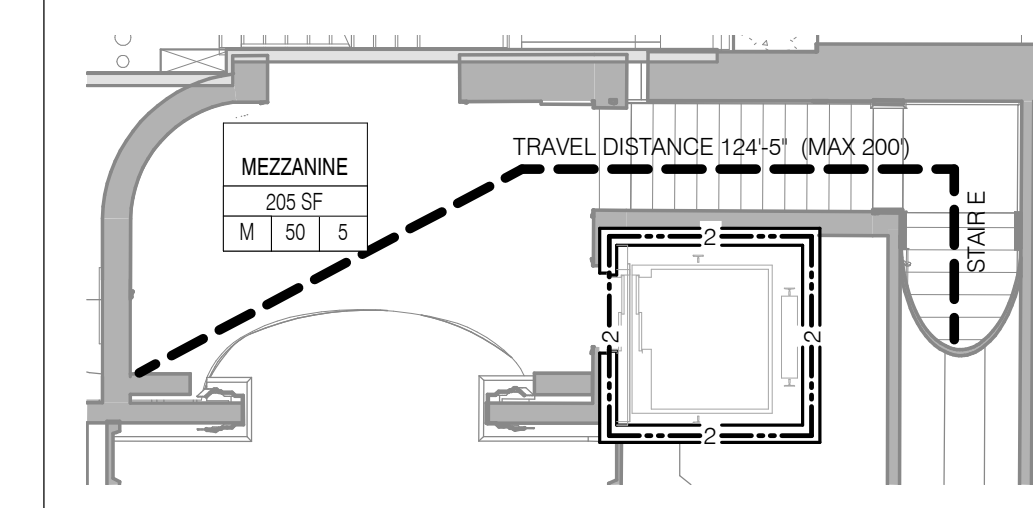
NOTE:
 PROPERTY WALLS 3 HR CONSTRUCTION,
 MIN RATINGS FOR ELEMENT INDICATED

LEVEL 2 1/8" = 1'-0" 2



NOTE:
 PROPERTY WALLS 3 HR CONSTRUCTION,
 MIN RATINGS FOR ELEMENT INDICATED

LEVEL 1 (63.1' MBD) 1/8" = 1'-0" 1



EXISTING LEVEL 1 MEZZANINE 1/8" = 1'-0" 3

LIFE SAFETY & PARTITION RATING LEGEND

- 3 HR RATED
- 2 HR RATED
- 1 HR RATED
- USE BOUNDARY
- EGRESS PATH PRIMARY
- FIRE EXTINGUISHER
- FIRE HYDRANT
- STAND PIPE
- EXIT SIGNAGE
- ILLUMINATED SURFACE DIRECTION
- ROOM OCCUPANCY TAG
- ROOM DESCRIPTION
- AREA
- AREA NUMBER
- AREA DESCRIPTION
- OCCUPANT LOAD
- LOAD FACTOR
- OCCUPANT CLASSIFICATION
- AREA OCCUPANCY TAG
- DOOR OCCUPANCY TAG
- EGRESS CAPACITY (# OF OCCUPANTS)
- EGRESS WIDTH (MIN. WIDTH INCHES)
- STAIR OCCUPANCY TAG
- EGRESS CAPACITY (# OF OCCUPANTS)
- EGRESS WIDTH (MIN. WIDTH INCHES)

JDS DEVELOPMENT GROUP

111 WEST 57TH STREET, 4TH FLOOR
 NEW YORK, NY 10019
 TEL: 646 832 3600

sh p

ARCHITECT: SHP ARCHITECTS, P.C.
 235 BROADWAY, 11TH FLOOR
 NEW YORK, NY 10007
 TEL: 212 869 9336

STRUCTURAL ENGINEER: BURROUGHS WELLS
 228 EAST 4TH STREET
 NEW YORK, NY 10002
 TEL: 212 697 2886

MEP ENGINEER: JAVROS, BAKM & BOLLER
 40 WINE STREET, 10TH FLOOR
 NEW YORK, NY 10002
 TEL: 212 693 8333

CIVIL ENGINEER: LONGMAN LINDSEY
 40 WEST 57TH STREET, 4TH FLOOR
 NEW YORK, NY 10019
 TEL: 917 288 4900

INTERIORS: STUDIO SCENEFIELD
 300 WASHINGTON STREET
 NEW YORK, NY 10007
 TEL: 212 475 3300

GEOTECH: ACUSTICUS
 40 WEST 57TH STREET, 4TH FLOOR
 NEW YORK, NY 10019
 TEL: 917 288 4900

RESTORATION: JAN HRO POKORNY ASSOCIATES
 30 WEST 57TH STREET, 4TH FLOOR
 NEW YORK, NY 10019
 TEL: 212 284 6482

LIGHTING: COOPERATIVE INTERNATIONAL
 105 WALKER STREET, 7TH FLOOR EAST
 NEW YORK, NY 10002
 TEL: 212 252 4463

PROPERTY MARKETS GROUP
 30 EAST 17TH STREET, 2ND FLOOR
 NEW YORK, NY 10003
 TEL: 212 693 9336

CURRENT ISSUE: DOB PAA

Shauqat Shaikh
 Building Designer
 APPROVED Under Directive 2 of 1975
 DATE: 08/28/2018
 NYC Development Hub

111 WEST 57TH STREET
 111 WEST 57TH STREET
 NEW YORK, NY 10019

CENTRAL PLAN
 SITE DIAGRAM

NO.	DATE	REVISION
1	3.27.15	DOB PAA
	5.1.14	DOB PLUNG SET

LIFE SAFETY PLANS LEVELS 1 + 2

DRAWING TITLE

SEAL & SIGNATURE: [Professional Seal] DATE: 3.27.15
 PROJECT NO: 130607
 DRAWN BY: SHP
 CHECKED BY: SHP
 DATE: 08/28/2018
 DRAWING NUMBER: 121332096
G-012.01

LEVEL 04
 TOTAL OCCUPANT LOAD: 112
 EXIT CAPACITY PROVIDED: 292
 MAXIMUM TRAVEL DISTANCE: 74'-9"
 FLOOR DIAGONAL: 153'-11"

OCCUPANT LOAD - LEVEL 04						
NAME	NUMBER	OCCUPANCY CLASS	LOAD FACTOR	OCCUPANT LOAD	AREA	
LEVEL 4						
RETAIL	0400	M	60	51	3004 SF	
TERRACE	0400.T	M	60	7	367 SF	
RETAIL	0401	M	60	27	1597 SF	
RETAIL	0402	M	60	9	504 SF	
STORM WATER DETENTION	0403	F-2	300	2	429 SF	
RETAIL	0404	M	60	16	931 SF	
LEVEL 4				112		
STAIR LOAD - LEVEL 04						
NAME	CAPACITY	USED				
STAIR A	146	56				
STAIR B	146	56				
		112				

LEVEL 03
 TOTAL OCCUPANT LOAD: 222
 EXIT CAPACITY PROVIDED: 292
 MAXIMUM TRAVEL DISTANCE: 106'-6"
 LEVEL 3 NORTH FLOOR DIAGONAL: 176'-9"
 LEVEL 3 SOUTH FLOOR DIAGONAL: 78'-0"

OCCUPANT LOAD - LEVEL 03						
NAME	NUMBER	OCCUPANCY CLASS	LOAD FACTOR	OCCUPANT LOAD	AREA	
LEVEL 3						
RETAIL	0300	M	60	31	1816 SF	
RETAIL	0301	M	60	7	360 SF	
RETAIL	0303	M	60	6	370 SF	
RETAIL	0307	M	60	67	4004 SF	
RETAIL	0308	M	60	49	2924 SF	
RETAIL	0309	M	60	29	1707 SF	
RETAIL	0310	M	60	9	531 SF	
RETAIL	0311	M	60	8	461 SF	
RETAIL	0312	M	60	16	909 SF	
LEVEL 3				222		
STAIR LOAD - LEVEL 03						
NAME	CAPACITY	USED				
STAIR A	146	111				
STAIR B	146	111				
		222				

LIFE SAFETY & PARTITION RATING LEGEND

- 3 HR RATED
- 2 HR RATED
- 1 HR RATED
- EGRESS PATH PRIMARY
- USE BOUNDARY
- FIRE EXTINGUISHER
- FIRE HYDRANT
- STAND PIPE
- EXIT SIGNAGE
- ILLUMINATED SURFACE
- DIRECTION

ROOM OCCUPANCY TAG

ROOM / AREA

LOAD FACTOR

OCCUPANT CLASSIFICATION

AREA OCCUPANCY TAG

AREA / AREA NUMBER

AREA DESCRIPTION

OCCUPANT LOAD

LOAD FACTOR

OCCUPANT CLASSIFICATION

DOOR OCCUPANCY TAG

DOOR NUMBER

EGRESS CAPACITY (# OF OCCUPANTS)

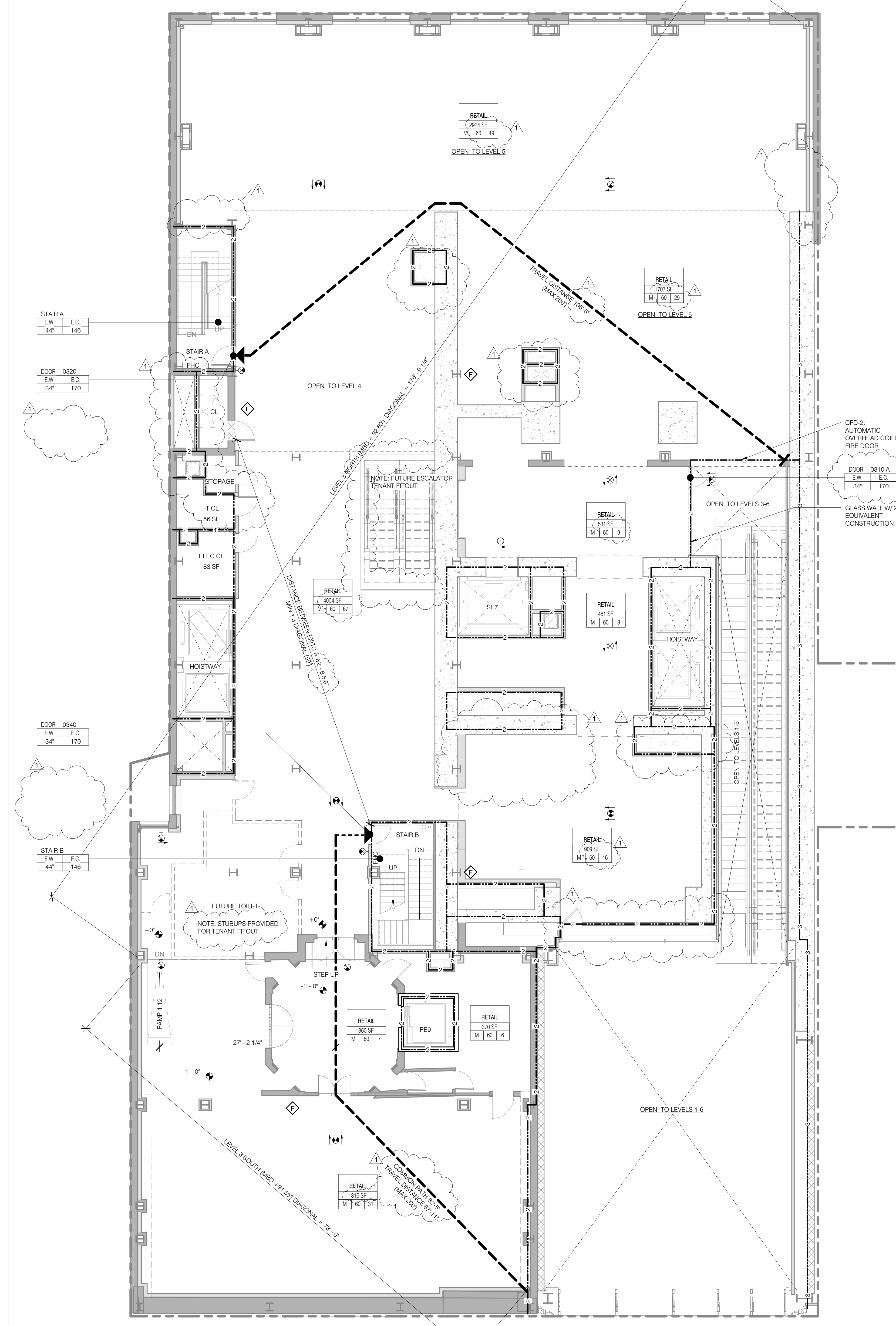
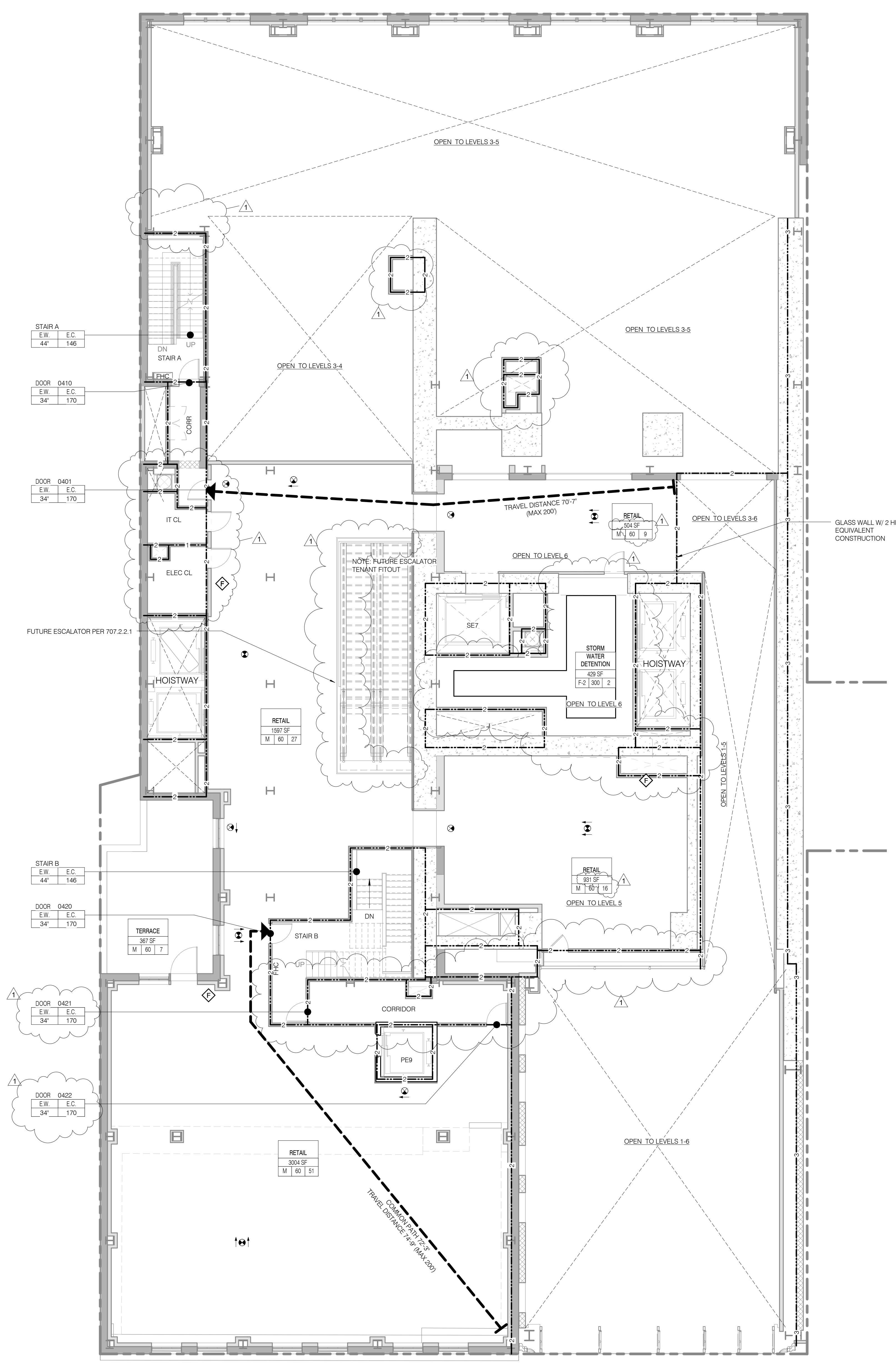
EGRESS WIDTH (MIN. WIDTH INCHES)

STAIR OCCUPANCY TAG

STAIR NUMBER

EGRESS CAPACITY (# OF OCCUPANTS)

EGRESS WIDTH (MIN. WIDTH INCHES)



NOTE:
 ALL RETAIL INTERIOR FITOUT BY TENANT.
 PROPERTY WALLS 3 HR CONSTRUCTION,
 MIN RATING FOR ELEMENT INDICATED.

NOTE:
 ALL RETAIL INTERIOR FITOUT BY TENANT.
 PROPERTY WALLS 3 HR CONSTRUCTION,
 MIN RATING FOR ELEMENT INDICATED.

JDS DEVELOPMENT GROUP

JDS DEVELOPMENT GROUP
 104 WEST 47TH STREET, 4TH FLOOR
 NEW YORK, NY 10019
 TEL: 646 833 3636

sh p

ARCHITECT
 SHP ARCHITECTS, P.C.
 230 BROADWAY, 11TH FLOOR
 NEW YORK, NY 10007
 TEL: 212 869 9336

STRUCTURAL ENGINEER
 YUSEF GANTON BERKUP
 228 EAST 47TH STREET
 NEW YORK, NY 10017
 TEL: 212 897 2886

MEP ENGINEER
 JORDIS, BAIAM & BOLLER
 40 WINE STREET, 10TH FLOOR
 NEW YORK, NY 10003
 TEL: 212 869 6333

CIVIL ENGINEER
 ARIFF ENGINEERING, P.C.
 40 WINE STREET, 10TH FLOOR
 NEW YORK, NY 10003
 TEL: 646 288 8828

ACOUSTIC
 LONGMAN LINDSEY
 41 WEST 40TH STREET, 4TH FLOOR
 NEW YORK, NY 10018
 TEL: 917 238 3300

INTERIORS
 STUDIO SCHEFFEL
 30 WALKER STREET
 NEW YORK, NY 10002
 TEL: 212 475 3300

FAÇADE
 BURROUGHS WELLS
 105 BROADWAY
 NEW YORK, NY 10005
 TEL: 212 244 2025

VERTICAL TRANSPORTATION
 VAN DEUSEN & ASSOCIATES
 1 WOODLAND STREET, SUITE 204
 LARKSPUR, NJ 07033
 TEL: 973 944 9775

RESTORATION
 JAN HRO POKORNY ASSOCIATES
 20 WEST 47TH STREET, 4TH FLOOR
 NEW YORK, NY 10019
 TEL: 212 288 6482

GEOTECH
 MICE
 305 WEST 40TH STREET, 4TH FLOOR
 NEW YORK, NY 10018
 TEL: 917 238 4300

LIGHTING
 COOPERATIVE INTERNATIONAL
 105 WALKER STREET, 7TH FLOOR EAST
 NEW YORK, NY 10002
 TEL: 212 254 4443

PROPERTY MARKETS GROUP
 111 WEST 57TH STREET, 2ND FLOOR
 NEW YORK, NY 10019
 TEL: 212 899 9999

CURRENT ISSUE

DOB PAA

Shauqat Shaikh
 Building & Water
 APPROVED
 Under Directive 2 of 1975
 DATED 05/03/2024
 DATE: 05/03/2024
 NYC Development Hub

111 WEST 57TH STREET
 111 WEST 57TH STREET
 NEW YORK, NY 10019

NO. DATE REVISION

1 3.27.15 DOB PAA

2 5.1.14 DOB FILING SET

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

COPYRIGHT © 2015 SHP ARCHITECTS P.C. ALL RIGHTS RESERVED.

DRAWING TITLE

LIFE SAFETY PLANS LEVELS 3 + 4

SEAL & SIGNATURE DATE 3.27.15

PROJECT NO. 130907

DRAWN BY SHP

CHECKED BY SHP

DOB NO. 121330296

DRAWING NUMBER

G-013.01

LEVEL 06

TOTAL OCCUPANT LOAD: 36
 EXIT CAPACITY PROVIDED: 292
 MAXIMUM TRAVEL DISTANCE: 112'-9"
 FLOOR DIAGONAL: 194'-6"

OCCUPANT LOAD - LEVEL 06					
NAME	NUMBER	OCCUPANCY CLASS	LOAD FACTOR	OCCUPANT LOAD	AREA
LEVEL 6					
MECHANICAL	0601	F-2	300	6	1714 SF
MECHANICAL	0602	F-2	300	22	6368 SF
MECHANICAL	0604.B	F-2	300	8	2301 SF
LEVEL 6					
				36	

STAIR LOAD - LEVEL 06

NAME	CAPACITY	USED
STAIR A	146	18
STAIR B	146	18
		36

LEVEL 05

TOTAL OCCUPANT LOAD: 113
 EXIT CAPACITY PROVIDED: 292
 MAXIMUM TRAVEL DISTANCE: 107'-1"
 FLOOR DIAGONAL: 176'-1"

OCCUPANT LOAD - LEVEL 05					
NAME	NUMBER	OCCUPANCY CLASS	LOAD FACTOR	OCCUPANT LOAD	AREA
LEVEL 5					
MUSIC PRACTICE	0501	B	20	78	1567 SF
BAR	0503	B	100	2	185 SF
GREEN ROOM	0505	B	100	4	336 SF
LOUNGE	0505.B	B	15	7	98 SF
BUILDING MGMT	0506.B	B	100	2	148 SF
BLDG MGMT	0508	B	100	14	197 SF
MECHANICAL	0509	F-2	300	5	1132 SF
STORAGE	0532	B	300	1	237 SF
LEVEL 5					
				113	

STAIR LOAD - LEVEL 05

NAME	CAPACITY	USED
STAIR A	146	57
STAIR B	146	57
		114

LIFE SAFETY & PARTITION RATING LEGEND

- 3 HR RATED
- 2 HR RATED
- 1 HR RATED
- USE BOUNDARY
- EGRESS PATH PRIMARY
- FIRE EXTINGUISHER
- FIRE HYDRANT
- STAND PIPE
- EXIT SIGNAGE
- ILLUMINATED SURFACE DIRECTION
- ROOM OCCUPANCY TAG
- ROOM DESCRIPTION
- AREA
- OCCUPANT LOAD
- LOAD FACTOR
- OCCUPANT CLASSIFICATION
- AREA OCCUPANCY TAG
- AREA
- AREA NUMBER
- AREA DESCRIPTION
- OCCUPANT LOAD
- LOAD FACTOR
- OCCUPANT CLASSIFICATION
- DOOR OCCUPANCY TAG
- DOOR NUMBER
- EGRESS CAPACITY (# OF OCCUPANTS)
- EGRESS WIDTH (MIN. WIDTH INCHES)
- STAIR OCCUPANCY TAG
- STAIR NUMBER
- EGRESS CAPACITY (# OF OCCUPANTS)
- EGRESS WIDTH (MIN. WIDTH INCHES)

JDS DEVELOPMENT GROUP
 100 WEST 4TH STREET, 4TH FLOOR
 NEW YORK, NY 10014
 TEL: 646-833-3600

sh p

ARCHITECT
 SHP ARCHITECTS, P.C.
 233 BROADWAY, 11TH FLOOR
 NEW YORK, NY 10007
 TEL: 212-869-9336

STRUCTURAL ENGINEER
 YUSEF GANTOR BENJUMAR
 228 EAST 47TH STREET
 NEW YORK, NY 10017
 TEL: 212-867-5886

MEP ENGINEER
 JAMES BAIAM & BOLLER
 40 WINE STREET, 10TH FLOOR
 NEW YORK, NY 10003
 TEL: 212-869-8333

CIVIL ENGINEER
 ARIFF ENGINEERING, P.C.
 40 WINE STREET, 7TH FLOOR
 NEW YORK, NY 10003
 TEL: 646-288-8828

ACOUSTICIAN
 LONGMAN LINDSEY
 40 WEST 57TH STREET, 4TH FLOOR
 NEW YORK, NY 10019
 TEL: 917-288-3300

INTERIORS
 TUDOR JOSEFIELD
 300 WALKER STREET
 NEW YORK, NY 10002
 TEL: 212-475-3200

PROPERTY MARKETS GROUP
 150 WEST 57TH STREET, 12TH FLOOR
 NEW YORK, NY 10019
 TEL: 212-869-9336

CURRENT ISSUE

DOB PAA

APPROVED
 Under Directive 2 of 1975
 DATE: 08/28/2015
 NYC Development Hub

111 WEST 57TH STREET
 111 WEST 57TH STREET
 NEW YORK, NY 10019

Shauqat Shaikh
 Building
 APPROVED
 Under Directive 2 of 1975
 DATE: 08/28/2015
 NYC Development Hub

REVISIONS

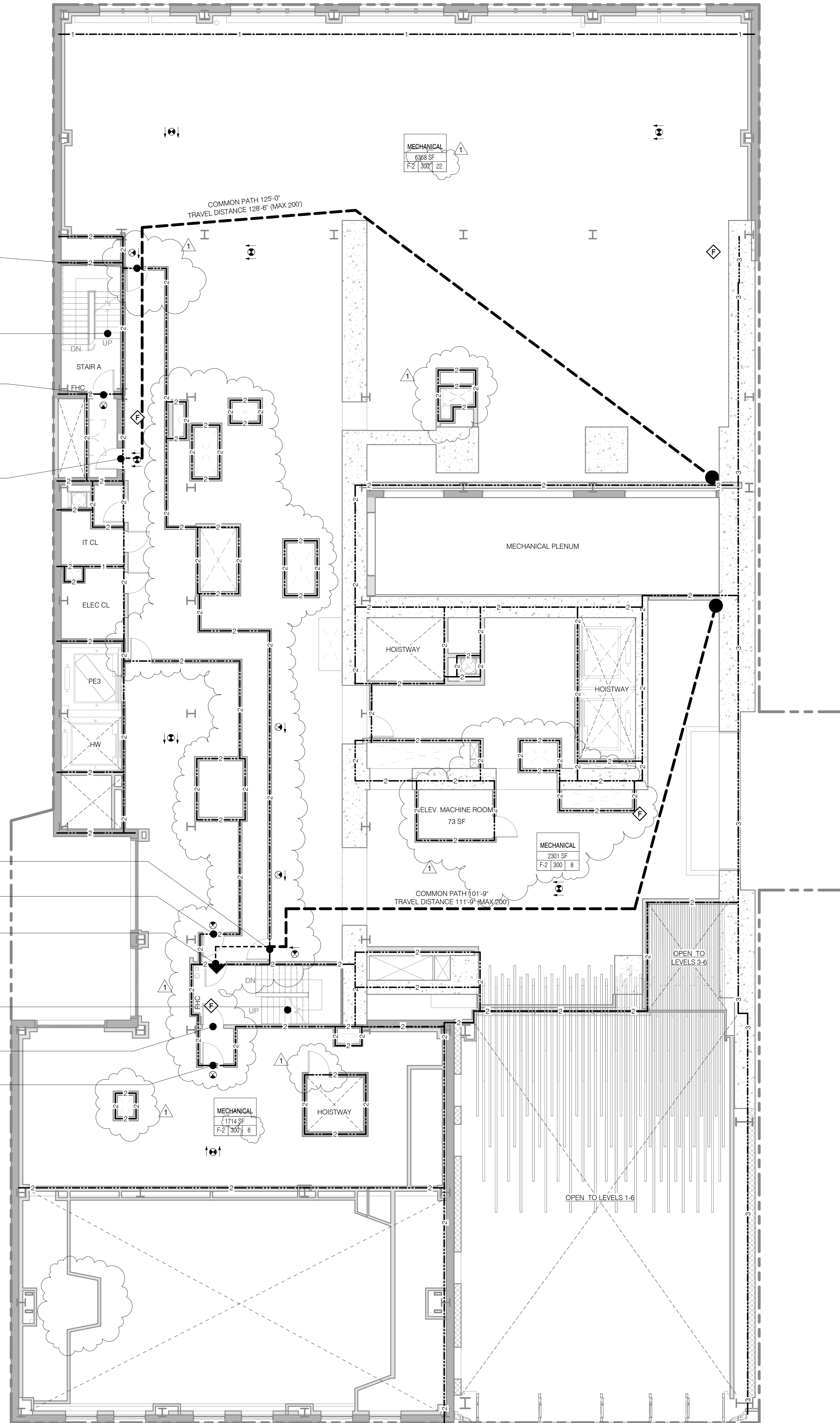
NO.	DATE	REVISION
1	3.27.15	DOB PAA
2	5.1.14	DOB PLING SET

DRAWING TITLE

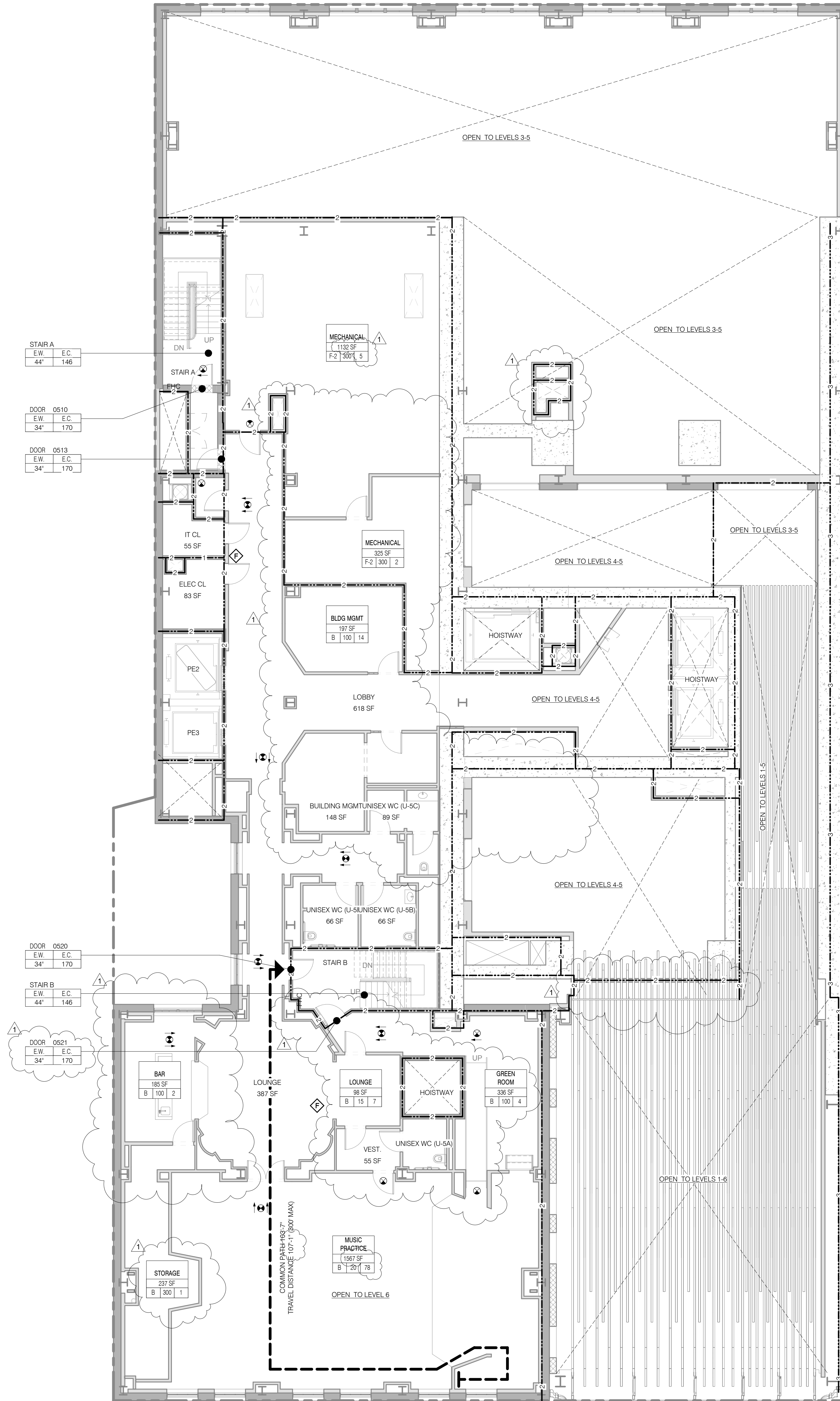
LIFE SAFETY PLANS LEVELS 5 + 6

SEAL & SIGNATURE

DATE: 3.27.15
 PROJECT NO: 130007
 DRAWN BY: SHP
 CHECKED BY: SHP
 DOB NO: 121332006
 DRAWING NUMBER: G-014.01



NOTE:
 PROPERTY WALLS 3 HR CONSTRUCTION,
 MIN RATING FOR ELEMENT INDICATED



NOTE:
 PROPERTY WALLS 3 HR CONSTRUCTION,
 MIN RATING FOR ELEMENT INDICATED

LEVEL 10

TOTAL OCCUPANT LOAD: 36
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 139'-9"
FLOOR DIAGONAL: 216'-4"

OCCUPANT LOAD - LEVEL 10						
NAME	NUMBER	OCCUPANCY CLASS	OCCUPANCY FACTOR	OCCUPANCY LOAD	AREA	
RESIDENTIAL UNIT	1001	R-2	200	18	3599 SF	
RESIDENTIAL UNIT	1002	R-2	200	18	3546 SF	
LEVEL 10						36

STAIR LOAD - LEVEL 10		
NAME	CAPACITY	USED
STAIR A	146	18
STAIR B	146	18
		36

LEVEL 09

TOTAL OCCUPANT LOAD: 38
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 126'-0"
FLOOR DIAGONAL: 222'-3"

OCCUPANT LOAD - LEVEL 09						
NAME	NUMBER	OCCUPANCY CLASS	OCCUPANCY FACTOR	OCCUPANCY LOAD	AREA	
RESIDENTIAL UNIT	0901	R-2	200	18	3599 SF	
RESIDENTIAL UNIT	0902	R-2	200	5	814 SF	
RESIDENTIAL UNIT	0903	R-2	200	3	564 SF	
RESIDENTIAL UNIT	0904	R-2	200	6	1083 SF	
RESIDENTIAL UNIT	0905	R-2	200	6	1076 SF	
LEVEL 09						38

STAIR LOAD - LEVEL 09		
NAME	CAPACITY	USED
STAIR A	146	19
STAIR B	146	19
		38

LIFE SAFETY & PARTITION RATING LEGEND

- 3 HR RATED
- 2 HR RATED
- 1 HR RATED
- EGRESS PATH PRIMARY
- USE BOUNDARY
- FIRE EXTINGUISHER
- FIRE HYDRANT
- STAND PIPE
- EXIT SIGNAGE
- ILLUMINATED SURFACE DIRECTION

ROOM OCCUPANCY TAG

ROOM DESCRIPTION
AREA
OCCUPANT LOAD
LOAD FACTOR
OCCUPANT CLASSIFICATION

AREA OCCUPANCY TAG

AREA
XXXX SF
XXX

DOOR OCCUPANCY TAG

DOOR NUMBER
E.W. E.C.
XX XXX

EGRESS CAPACITY (# OF OCCUPANTS)
EGRESS WIDTH (MIN. WIDTH INCHES)

STAIR OCCUPANCY TAG

STAIR NUMBER
E.W. E.C.
XX XXX

EGRESS CAPACITY (# OF OCCUPANTS)
EGRESS WIDTH (MIN. WIDTH INCHES)

JDS DEVELOPMENT GROUP

JDS DEVELOPMENT GROUP
100 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 646 632 3000

sh p

ARCHITECT
SHAP ARCHITECTS, P.C.
230 BROADWAY, 11TH FLOOR
NEW YORK, NY 10007
TEL: 212 869 9336

STRUCTURAL ENGINEER
YUSEF GANTOR BEKRAK
228 EAST 43RD STREET
NEW YORK, NY 10017
TEL: 212 697 2886

MEP ENGINEER
JORDIS, SALAM & BOLLER
80 WINE STREET, 10TH FLOOR
NEW YORK, NY 10038
TEL: 212 693 9333

CIVIL ENGINEER
AWRIF ENGINEERING, P.C.
80 WINE STREET, 7TH FLOOR
NEW YORK, NY 10038
TEL: 646 288 8828

ACOUSTICIAN
LONGMAN LINDSEY
40 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 917 238 3330

INTERIORS
STUDIO SCENEFIELD
300 WALKER STREET
NEW YORK, NY 10003
TEL: 212 475 3300

FAÇADE
BURRO WAPFIELD
100 BROADWAY
NEW YORK, NY 10003
TEL: 212 234 2025

VERTICAL TRANSPORTATION
VAN DEUSEN & ASSOCIATES
8 WINDMILL STREET, SUITE 204
LARKSPUR, NJ 07033
TEL: 973 288 8770

RESTORATION
JAN HROCKORYNY ASSOCIATES
80 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212 288 8828

GEOTECH
MICE
305 WEST 40TH STREET, 4TH FLOOR
NEW YORK, NY 10018
TEL: 917 238 4900

LIGHTING
CONSERVATIVE INTERNATIONAL
100 WALKER STREET, 7TH FLOOR EAST
NEW YORK, NY 10003
TEL: 212 252 4453



PROPERTY MARKETS GROUP
1140 FIRST STREET, 2ND FLOOR
NEW YORK, NY 10003
TEL: 212 693 9336

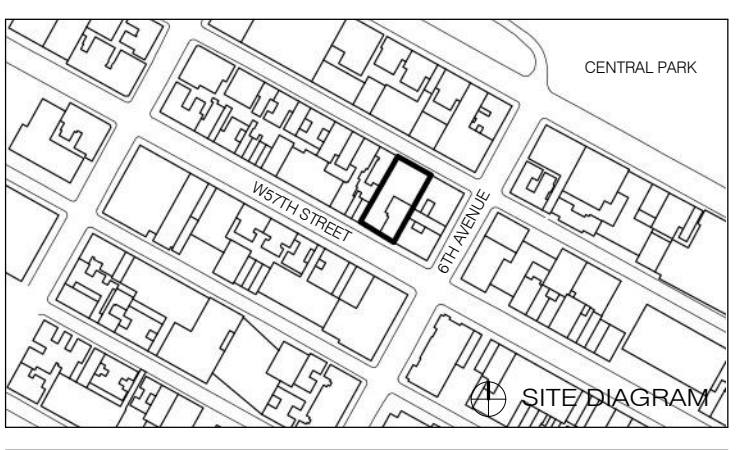
CURRENT ISSUE

DOB PAA

Shauqat Shaikh
Buildings & Water

APPROVED
Under Directive 2 of 1975
DATE: 08/28/2015
NYC Development Hub

111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019

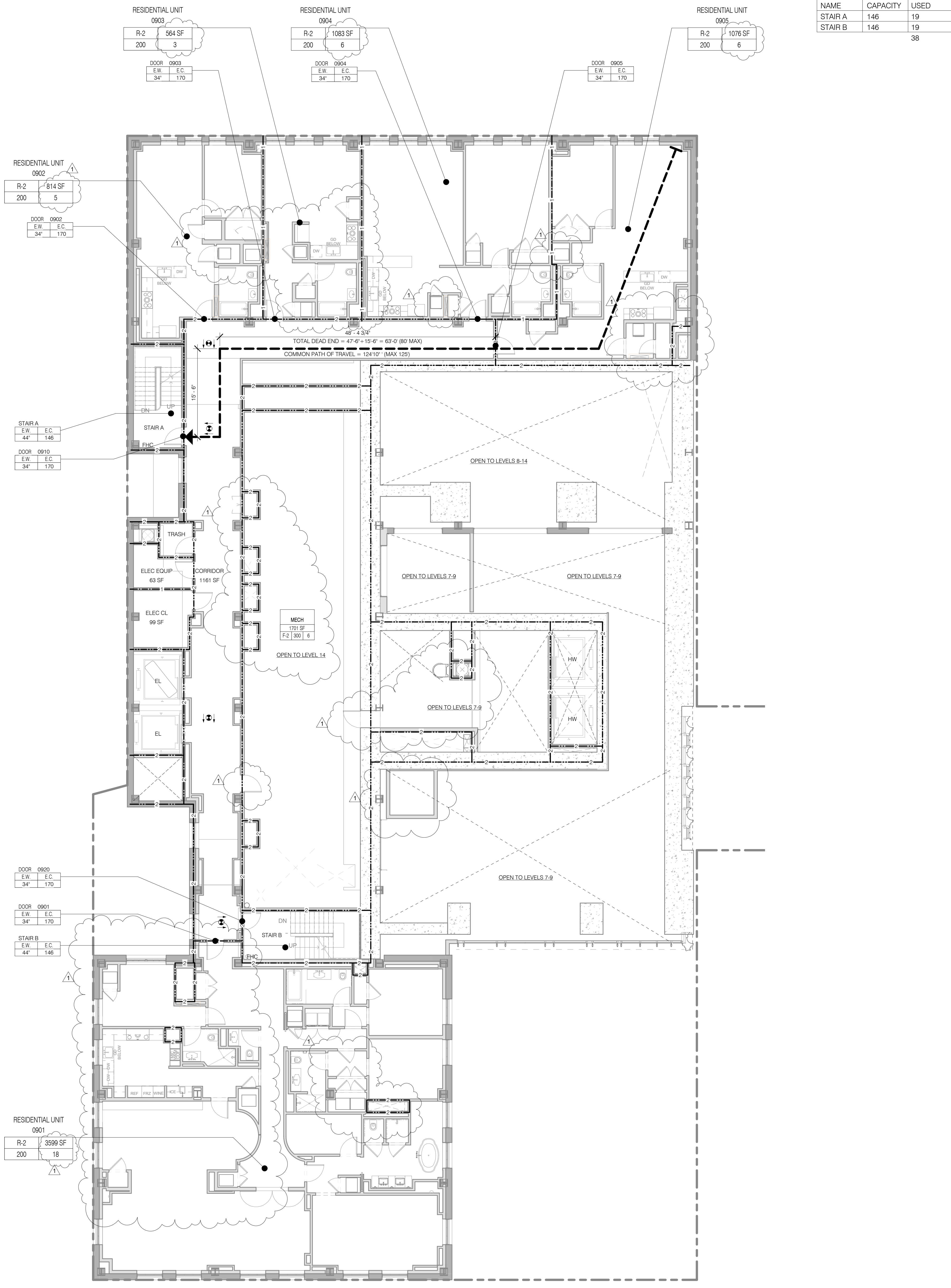
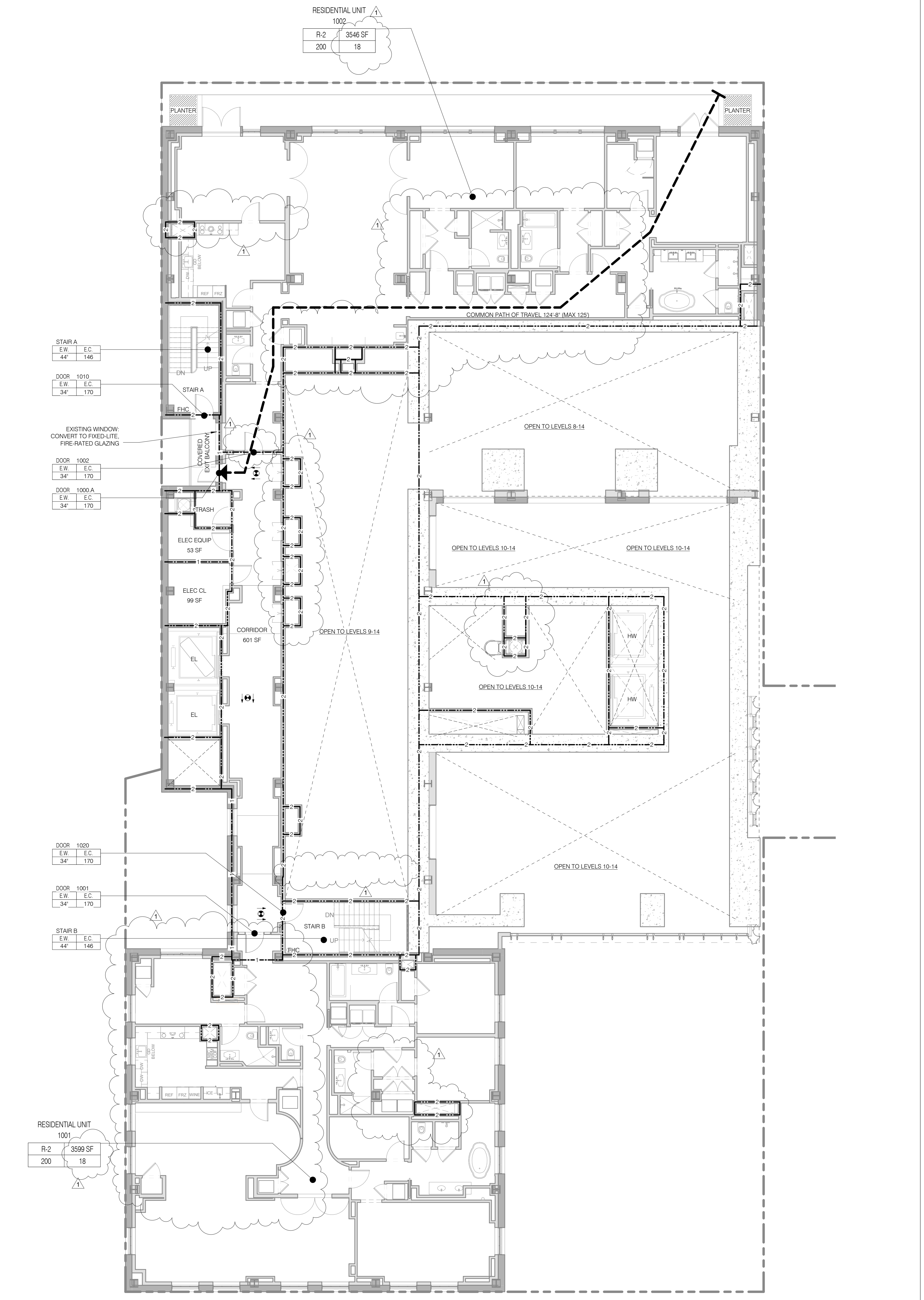


1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS, P.C. ALL RIGHTS RESERVED.

DRAWING TITLE
LIFE SAFETY PLANS LEVELS 9 + 10

SEAL & SIGNATURE
DATE: 3.27.15
PROJECT NO: 130607
DRAWN BY: SHAP
CHECKED BY: SHAP
DOB NO: 121330296
DRAWING NUMBER: G-016.01



NOTE:
CORRIDOR ON THIS LEVEL 2 HR RATED WITH 90-MINUTE SELF-CLOSING OPENING PROTECTIVES
PROPERTY WALLS 3 HR CONSTRUCTION, MIN RATING FOR ELEMENT INDICATED

NOTE:
PROPERTY WALLS 3 HR CONSTRUCTION, MIN RATING FOR ELEMENT INDICATED

LEVEL 12
 TOTAL OCCUPANT LOAD: 0
 EXIT CAPACITY PROVIDED: 292
 MAXIMUM TRAVEL DISTANCE: 0
 FLOOR DIAGONAL: 0
 NO OCCUPIABLE FLOOR THIS LEVEL

OCCUPANT LOAD - LEVEL 12					
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA
STAIR LOAD - LEVEL 12					
NAME	CAPACITY	USED			
STAIR A	146	0			
STAIR B	146	0			
		0			

LEVEL 11
 TOTAL OCCUPANT LOAD: 36
 EXIT CAPACITY PROVIDED: 292
 MAXIMUM TRAVEL DISTANCE: 120'-1"
 FLOOR DIAGONAL: 216'-4"

OCCUPANT LOAD - LEVEL 11					
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA
LEVEL 11					
RESIDENTIAL UNIT	1101	R-2	200	18	3599 SF
RESIDENTIAL UNIT	1102	R-2	200	18	3546 SF
LEVEL 12					
RESIDENTIAL MEZZANINE	1101.M	R-2	200	2	318 SF
RESIDENTIAL MEZZANINE	1102.M	R-2	200	1	171 SF
				3	
STAIR LOAD - LEVEL 11					
NAME	CAPACITY	USED			
STAIR A	146	18			
STAIR B	146	18			
		36			

LIFE SAFETY & PARTITION RATING LEGEND

- 3 HR RATED
- 2 HR RATED
- 1 HR RATED
- USE BOUNDARY
- EGRESS PATH PRIMARY
- EGRESS PATH SECONDARY
- FIRE EXTINGUISHER
- FIRE HYDRANT
- STAND PIPE
- EXIT SIGNAGE
- ILLUMINATED SURFACE DIRECTION
- ROOM OCCUPANCY TAG
- ROOM DESCRIPTION
- AREA
- AREA NUMBER
- AREA DESCRIPTION
- OCCUPANT LOAD
- LOAD FACTOR
- OCCUPANT CLASSIFICATION
- DOOR OCCUPANCY TAG
- DOOR NUMBER
- EGRESS CAPACITY (# OF OCCUPANTS)
- EGRESS WIDTH (MIN. WIDTH INCHES)
- STAIR OCCUPANCY TAG
- STAIR NUMBER
- EGRESS CAPACITY (# OF OCCUPANTS)
- EGRESS WIDTH (MIN. WIDTH INCHES)

JDS DEVELOPMENT GROUP
 100 WEST 57TH STREET, 8TH FLOOR
 NEW YORK, NY 10019
 TEL: 646 832 3600

sh p

ARCHITECT
 SHP ARCHITECTS, P.C.
 230 BROOKLYN AVENUE, 11TH FLOOR
 NEW YORK, NY 10002
 TEL: 212 869 9336

STRUCTURAL ENGINEER
 BURDETT GORDON
 220 EAST 43RD STREET
 NEW YORK, NY 10017
 TEL: 212 697 2886

MEP ENGINEER
 JACOBI, BAUM & BOLLER
 400 WEST STREET, 12TH FLOOR
 NEW YORK, NY 10014
 TEL: 212 693 6333

CIVIL ENGINEER
 AFRIF ENGINEERING, P.C.
 400 WEST 46TH STREET, 7TH FLOOR
 NEW YORK, NY 10018
 TEL: 646 288 8928

ACOUSTICIAN
 LONGMAN LINDSEY
 40 WEST 58TH STREET, 4TH FLOOR
 NEW YORK, NY 10019
 TEL: 917 288 8300

INTERIORS
 STUDIO SCHEFFEL
 300 WARE STREET
 NEW YORK, NY 10003
 TEL: 212 475 3300

FAÇADE
 BURDETT GORDON
 100 PROSPECT
 NEW YORK, NY 10022
 TEL: 212 241 2025

VERTICAL TRANSPORTATION
 VAN DEUSEN & ASSOCIATES
 100 WEST STREET, SUITE 2014
 NEW YORK, NY 10014
 TEL: 212 693 6333

RESTORATION
 JAN HIRSH FOKORNY ASSOCIATES
 30 WEST 57TH STREET, 11TH FLOOR
 NEW YORK, NY 10019
 TEL: 212 288 6800

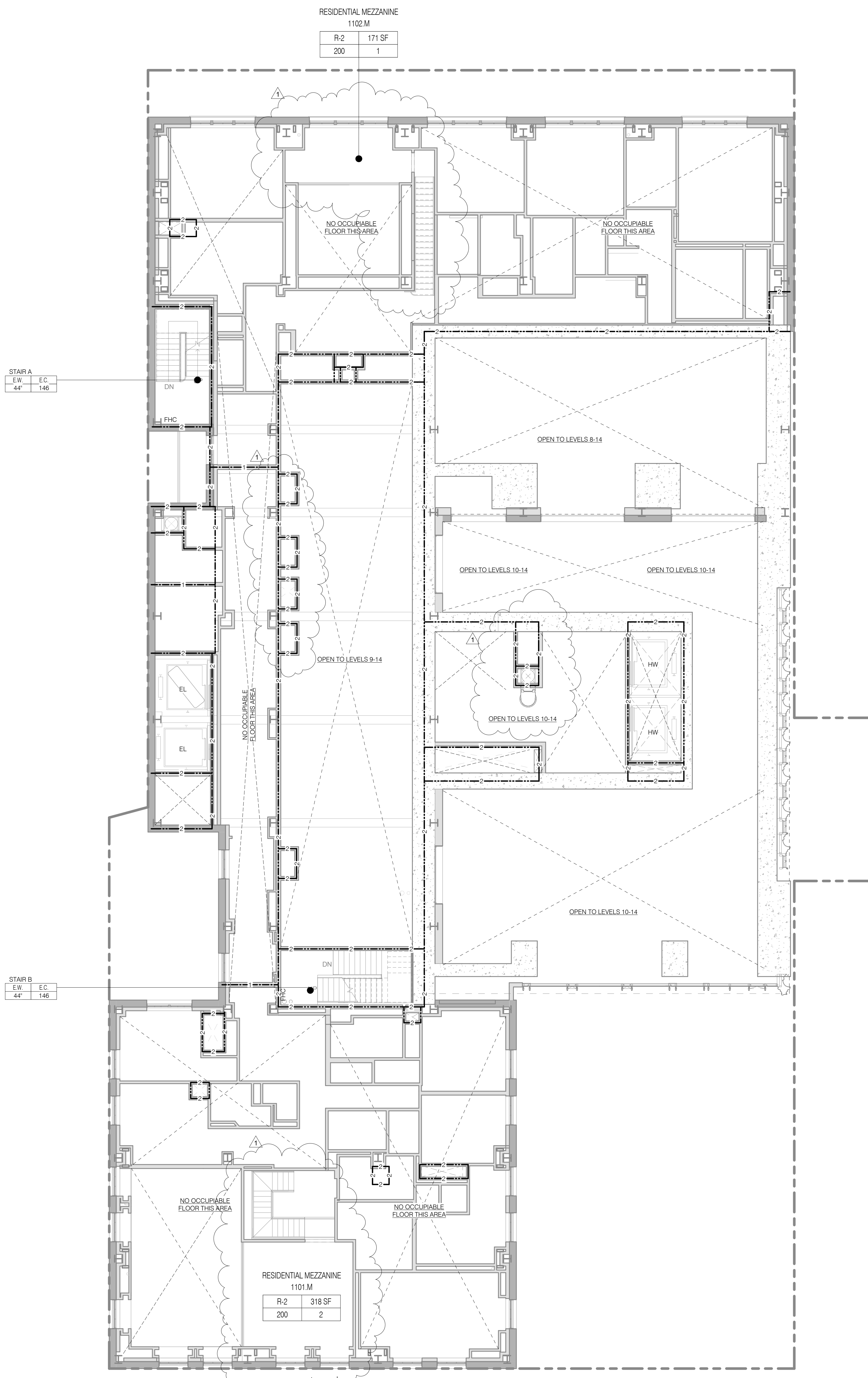
GEOTECH
 MICE
 305 WEST 40TH STREET, 4TH FLOOR
 NEW YORK, NY 10018
 TEL: 917 288 4900

LIGHTING
 OBSERVATIONS INTERNATIONAL
 100 WALKER STREET, 7TH FLOOR EAST
 NEW YORK, NY 10002
 TEL: 212 251 3300

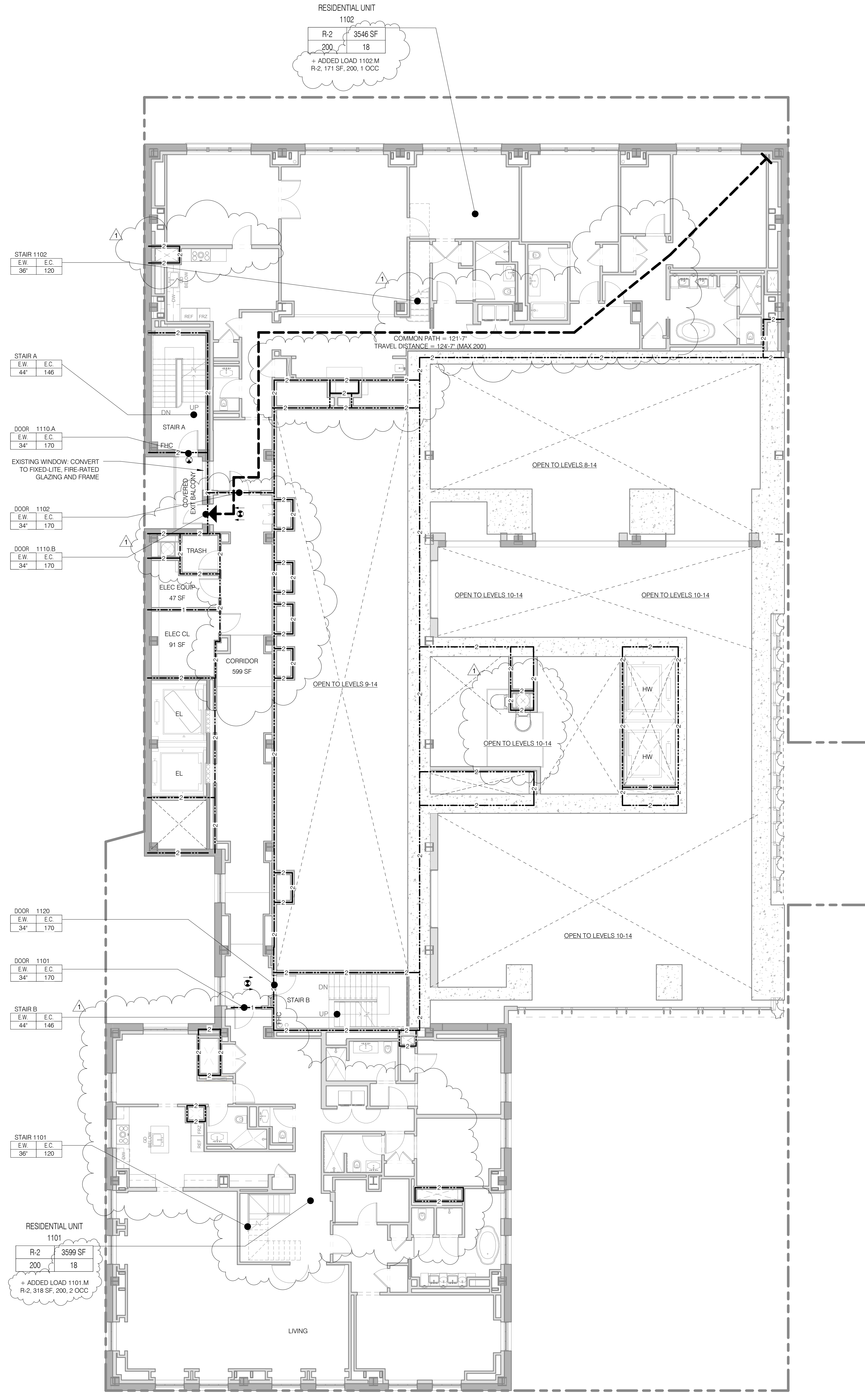
PROPERTY MARKETS GROUP
 300 WEST 57TH STREET, 2ND FLOOR
 NEW YORK, NY 10019
 TEL: 212 693 9300

CURRENT ISSUE

DOB PAA



NOTE:
 PROPERTY WALLS 3 HR CONSTRUCTION,
 MIN RATING FOR ELEMENT INDICATED



NOTE:
 PROPERTY WALLS 3 HR CONSTRUCTION,
 MIN RATING FOR ELEMENT INDICATED

LIFE SAFETY PLANS LEVELS 11 + 12

DATE: 3.27.15
 PROJECT NO: 130007
 DRAWN BY: SHP
 CHECKED BY: SHP
 DOOR NO: 121302068
 DRAWING NUMBER: G-017.01

SEAL & SIGNATURE

REGISTERED ARCHITECT
 STATE OF NEW YORK

LEVEL 14
TOTAL OCCUPANT LOAD: 27
EXIT CAPACITY PROVIDED: 292
MAXIMUM TRAVEL DISTANCE: 123'-6"
FLOOR DIAGONAL: 199'-5"

OCCUPANT LOAD - LEVEL 14						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
LEVEL 14 RESIDENTIAL UNIT	1401	R-2	200	15	2884 SF	
RESIDENTIAL UNIT	1402	R-2	200	13	2544 SF	
LEVEL 14				28		

STAIR LOAD - LEVEL 14		
NAME	CAPACITY	USED
STAIR A	146	14
STAIR B	146	14
		28

LEVEL 13
TOTAL OCCUPANT LOAD: 37
EXIT CAPACITY PROVIDED: 292
MAXIMUM TRAVEL DISTANCE: 122'-6"
FLOOR DIAGONAL: 199'-5"

OCCUPANT LOAD - LEVEL 13						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
LEVEL 13 TERRACE	1300.A	R-2	50	11	500 SF	
RESIDENTIAL UNIT	1301	R-2	200	14	2791 SF	
RESIDENTIAL UNIT	1302	R-2	200	13	2594 SF	
LEVEL 13				38		

STAIR LOAD - LEVEL 13		
NAME	CAPACITY	USED
STAIR A	146	19
STAIR B	146	19
		38

LIFE SAFETY & PARTITION RATING LEGEND

- 3 HR RATED
- 2 HR RATED
- 1 HR RATED
- EGRESS PATH PRIMARY
- USE BOUNDARY
- FIRE EXTINGUISHER
- FIRE HYDRANT
- STAND PIPE
- EXIT SIGNAGE
- ILLUMINATED SURFACE
- DIRECTION

ROOM OCCUPANCY TAG

ROOM: XXXX SF
AREA: XXXX SF
AREA DESCRIPTION: XXXX
OCCUPANT LOAD: XXX
LOAD FACTOR: XX
OCCUPANT CLASSIFICATION: XX

AREA OCCUPANCY TAG

AREA: XXXX SF
AREA DESCRIPTION: XXXX
OCCUPANT LOAD: XXX
LOAD FACTOR: XX
OCCUPANT CLASSIFICATION: XX

DOOR OCCUPANCY TAG

DOOR NUMBER: XX
EGRESS CAPACITY (# OF OCCUPANTS): XX
EGRESS WIDTH (MIN. WIDTH INCHES): XX

STAIR OCCUPANCY TAG

STAIR NUMBER: XX
EGRESS CAPACITY (# OF OCCUPANTS): XX
EGRESS WIDTH (MIN. WIDTH INCHES): XX

JDS DEVELOPMENT GROUP
104 WEST 57TH STREET, 8TH FLOOR
NEW YORK, NY 10019
TEL: 484.833.3600

sh p

ARCHITECT: SHP ARCHITECTS, P.C.
235 BROADWAY, 11TH FLOOR
NEW YORK, NY 10038
TEL: 212.869.9336

STRUCTURAL ENGINEER: BURROUGHS WELLS
228 EAST 43RD STREET
NEW YORK, NY 10017
TEL: 212.867.3886

MEP ENGINEER: JACOBS, BAKIN & BOLLER
40 WINE STREET, 10TH FLOOR
NEW YORK, NY 10038
TEL: 212.869.9336

CIVIL ENGINEER: AWR ENGINEERING, P.C.
340 WEST 44TH STREET, 7TH FLOOR
NEW YORK, NY 10018
TEL: 646.288.8928

ACOUSTIC: LONGMAN LINDSEY
41 WEST 58TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 917.288.8399

INTERIORS: TUDOR JOSEFIELD
300 WEST 43RD STREET
NEW YORK, NY 10018
TEL: 212.475.3300

FAÇADE: VAN DEUSEN & ASSOCIATES
8 WOOD STREET, SUITE 204
LARKSPER, NJ 07033
TEL: 201.261.2025

VERTICAL TRANSPORTATION: VANDERBEEK & ASSOCIATES
100 WEST STREET, SUITE 204
LARKSPER, NJ 07033
TEL: 201.261.2025

RESTORATION: JAN HED FORKORNY ASSOCIATES
30 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212.268.6482

GEOTECH: MICE
305 WEST 58TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 917.288.8399

LIGHTING: CONSERVATORIE INTERNATIONAL
105 WALKER STREET, 7TH FLOOR EAST
NEW YORK, NY 10013
TEL: 212.255.4453



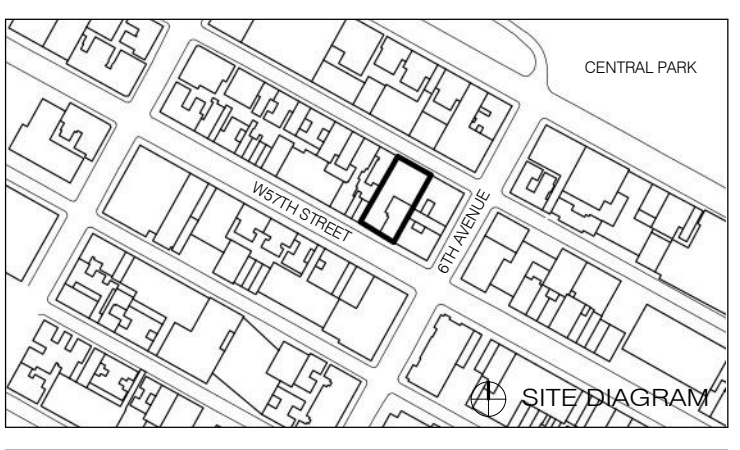
PROPERTY MARKETS GROUP
3 EAST 11TH STREET, 2ND FLOOR
NEW YORK, NY 10003
TEL: 212.869.9336

CURRENT ISSUE

DOB PAA

Shauqat Shaikh
Buildings Department
APPROVED
Under Directive 2 of 1975
DATE: 08/28/2015
NYC Development Hub

111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019

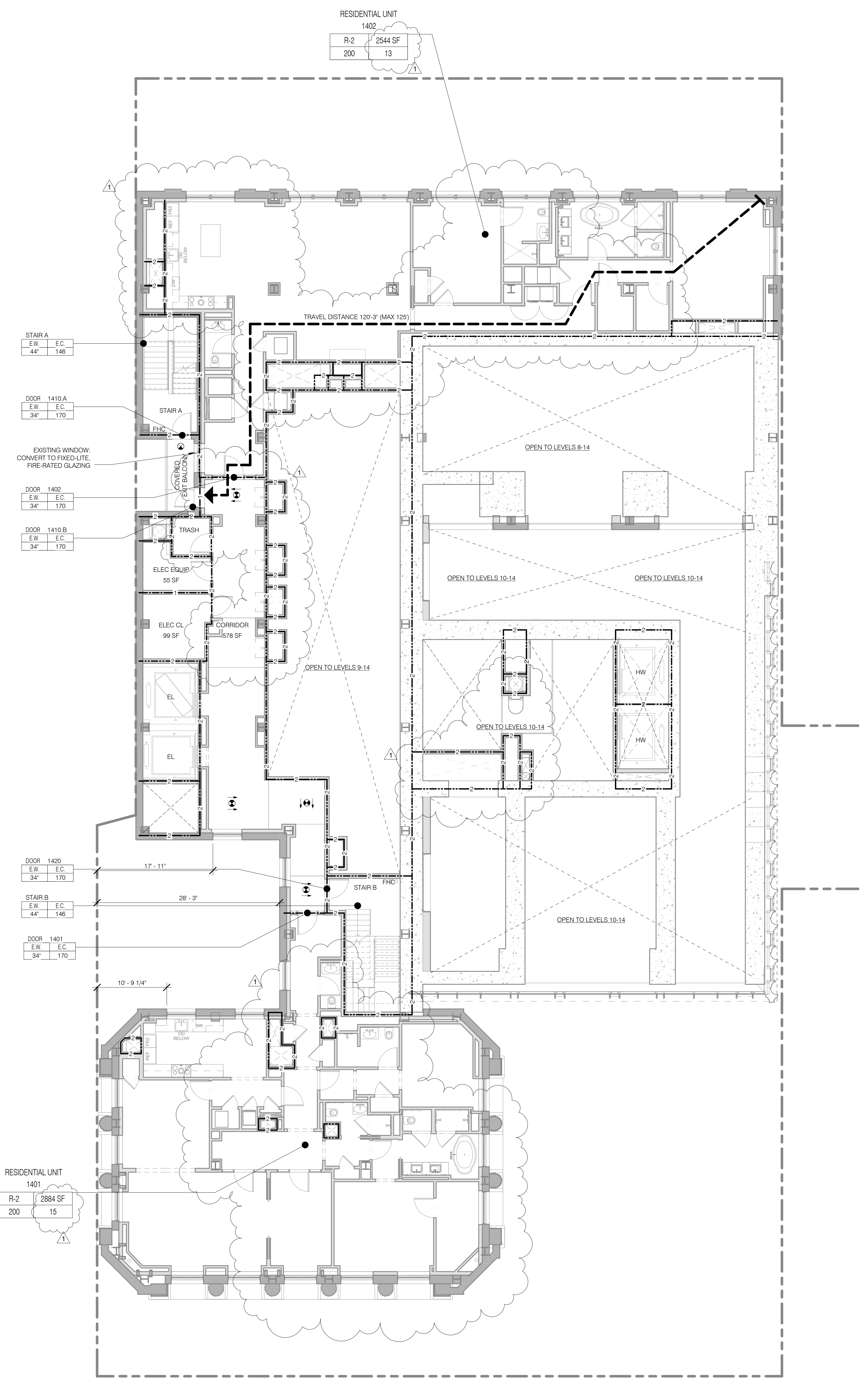


1	3.27.15	DOB PAA
	5.1.14	DOB FILING SET
NO.	DATE	REVISION

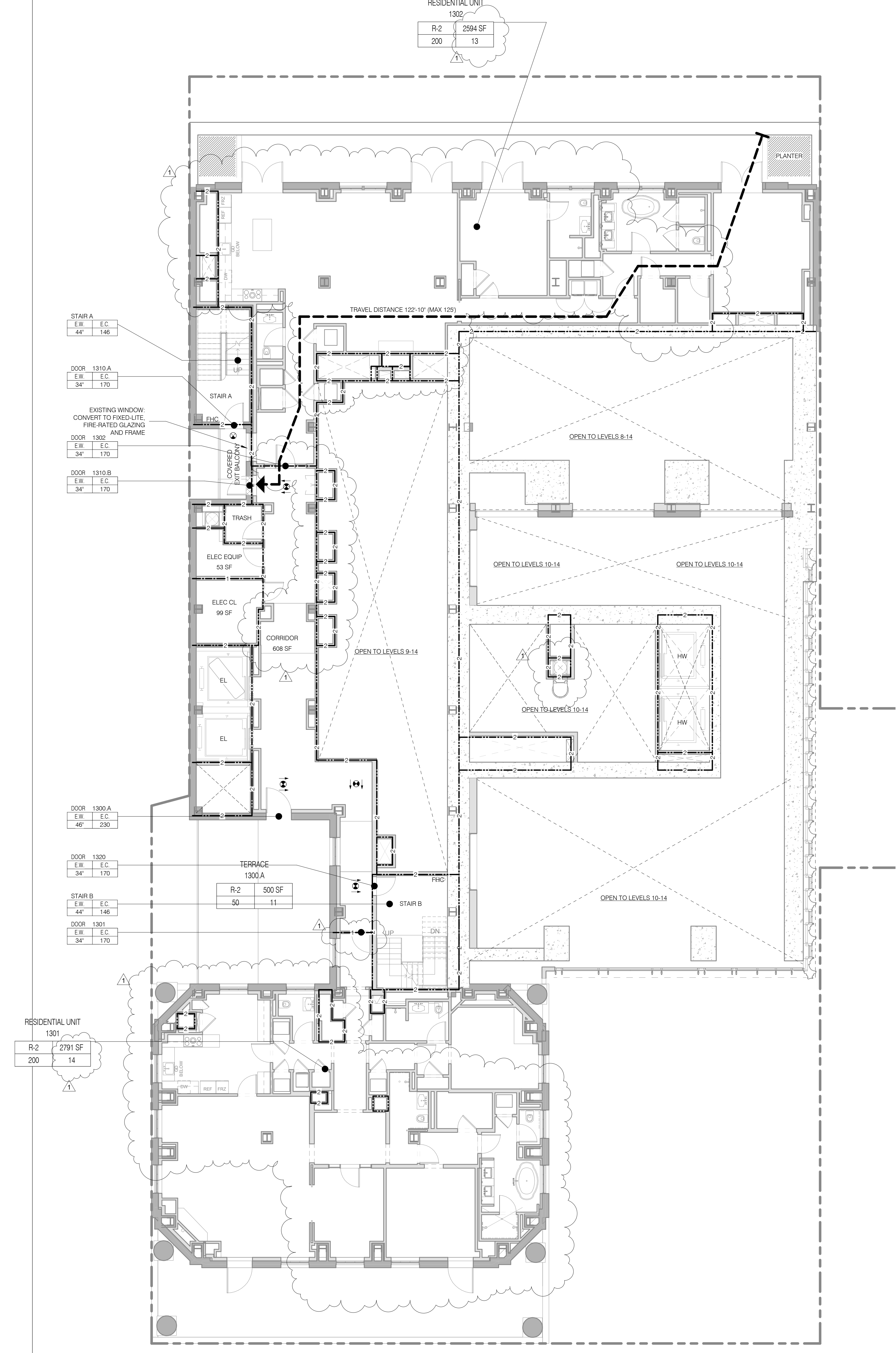
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHP ARCHITECTS, P.C. ALL RIGHTS RESERVED.

DRAWING TITLE
LIFE SAFETY PLANS LEVELS 13 + 14

SEAL & SIGNATURE: [Signature]
DATE: 3.27.15
PROJECT NO.: 130007
DRAWN BY: SHP
CHECKED BY: SHP
DOB NO.: 121332006
DRAWING NUMBER: G-018.01



NOTE:
PROPERTY WALLS 3 HR CONSTRUCTION.
MIN RATING FOR ELEMENT INDICATED



NOTE:
PROPERTY WALLS 3 HR CONSTRUCTION.
MIN RATING FOR ELEMENT INDICATED

LEVEL 16
 TOTAL OCCUPANT LOAD: 48
 EXIT CAPACITY PROVIDED: 282
 FLOOR DIAGONAL: 158'-7"
 MAXIMUM TRAVEL DISTANCE: 164'-3"
 LEVEL 17 EGRESS VIA LEVEL 16

OCCUPANT LOAD - LEVEL 16						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
LEVEL 16.0						
RESIDENTIAL UNIT	1601	R-2	200	20	3904 SF	
MECHANICAL ROOM	1602	F-2	300	14	4047 SF	
MECHANICAL ROOF	1602.A	F-2	300	10	2892 SF	
LEVEL 16.0				44		
LEVEL 17.0						
PRIVATE TERRACE	1700	R-2	200	12	2283 SF	
RESIDENTIAL UNIT	1701	R-2	200	6	1193 SF	
LEVEL 17.0				18		

STAIR LOAD - LEVEL 16		
NAME	CAPACITY	USED
STAIR A	146	31
STAIR B	146	31
		62

LEVEL 15
 TOTAL OCCUPANT LOAD: 21
 EXIT CAPACITY PROVIDED: 202
 MAXIMUM TRAVEL DISTANCE: 155'-9"
 FLOOR DIAGONAL: 145'-10"

OCCUPANT LOAD - LEVEL 15					
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA
LEVEL 15					
MECHANICAL ROOM	1501	F-2	300	24	7194 SF
LEVEL 15				24	

STAIR LOAD - LEVEL 15		
NAME	CAPACITY	USED
STAIR A	146	12
STAIR B	146	12
		24

LIFE SAFETY & PARTITION RATING LEGEND

- 3 HR RATED
- 2 HR RATED
- 1 HR RATED
- EGRESS PATH PRIMARY
- USE BOUNDARY
- FIRE EXTINGUISHER
- FIRE HYDRANT
- STAND PIPE
- EXIT SIGNAGE
- ILLUMINATED SURFACE DIRECTION

ROOM OCCUPANCY TAG

ROOM: XXXX SF
 OCC: 1 OF 1A
 AREA DESCRIPTION
 OCCUPANT LOAD
 LOAD FACTOR
 OCCUPANT CLASSIFICATION

AREA OCCUPANCY TAG

AREA: A
 AREA: XXXX SF
 AREA: XXX
 AREA: XX
 AREA NUMBER
 AREA DESCRIPTION
 OCCUPANT LOAD
 LOAD FACTOR
 OCCUPANT CLASSIFICATION

DOOR OCCUPANCY TAG

DOOR NUMBER: EW, EC, E, C, S, X, Y
 EGRESS CAPACITY (# OF OCCUPANTS)
 EGRESS WIDTH (MIN. WIDTH INCHES)

STAIR OCCUPANCY TAG

STAIR NUMBER: EW, EC, E, C, S, X, Y
 EGRESS CAPACITY (# OF OCCUPANTS)
 EGRESS WIDTH (MIN. WIDTH INCHES)

JDS DEVELOPMENT GROUP
 100 WEST 57TH STREET, 8TH FLOOR
 NEW YORK, NY 10019
 TEL: 646 832 3600

sh p

ARCHITECT
 SH&P ARCHITECTS, P.C.
 233 BROADWAY, 11TH FLOOR
 NEW YORK, NY 10038
 TEL: 212 869 9336

STRUCTURAL ENGINEER
 YUSEF GANTON BERKUP
 228 EAST 43RD STREET
 NEW YORK, NY 10017
 TEL: 212 867 5886

MEP ENGINEER
 JORDIS, BALM & BOLLER
 40 WINE STREET, 10TH FLOOR
 NEW YORK, NY 10038
 TEL: 212 693 8333

CIVIL ENGINEER
 ARIF ENGINEERING, P.C.
 40 WINE STREET, 10TH FLOOR
 NEW YORK, NY 10038
 TEL: 646 288 8928

ACOUSTIC
 LONGMAN LINDSEY
 40 WEST 57TH STREET, 4TH FLOOR
 NEW YORK, NY 10019
 TEL: 917 268 8389

INTERIORS
 TUDOR JOSEFIELD
 300 WALKER STREET, 7TH FLOOR EAST
 NEW YORK, NY 10002
 TEL: 212 475 3300

PAVING
 BURDICK HARRFIELD
 105 BROADWAY
 NEW YORK, NY 10002
 TEL: 212 254 2025

VERTICAL TRANSPORTATION
 VAN DEUSEN & ASSOCIATES
 3 HIGHT STREET, SUITE 204
 LARKSPUR, NJ 07033
 TEL: 973 946 5775

RESTORATION
 JAN HED POKORNY ASSOCIATES
 80 WEST 57TH STREET, 4TH FLOOR
 NEW YORK, NY 10019
 TEL: 212 288 6482

GEOTECH
 GEOTECH
 305 WEST 57TH STREET, 4TH FLOOR
 NEW YORK, NY 10019
 TEL: 917 268 4900

LIGHTING
 COOPERATIVE INTERNATIONAL
 105 WALKER STREET, 7TH FLOOR EAST
 NEW YORK, NY 10002
 TEL: 212 475 4453

PROPERTY MARKETS GROUP
 3 EAST 11TH STREET, 2ND FLOOR
 NEW YORK, NY 10003
 TEL: 212 693 9336

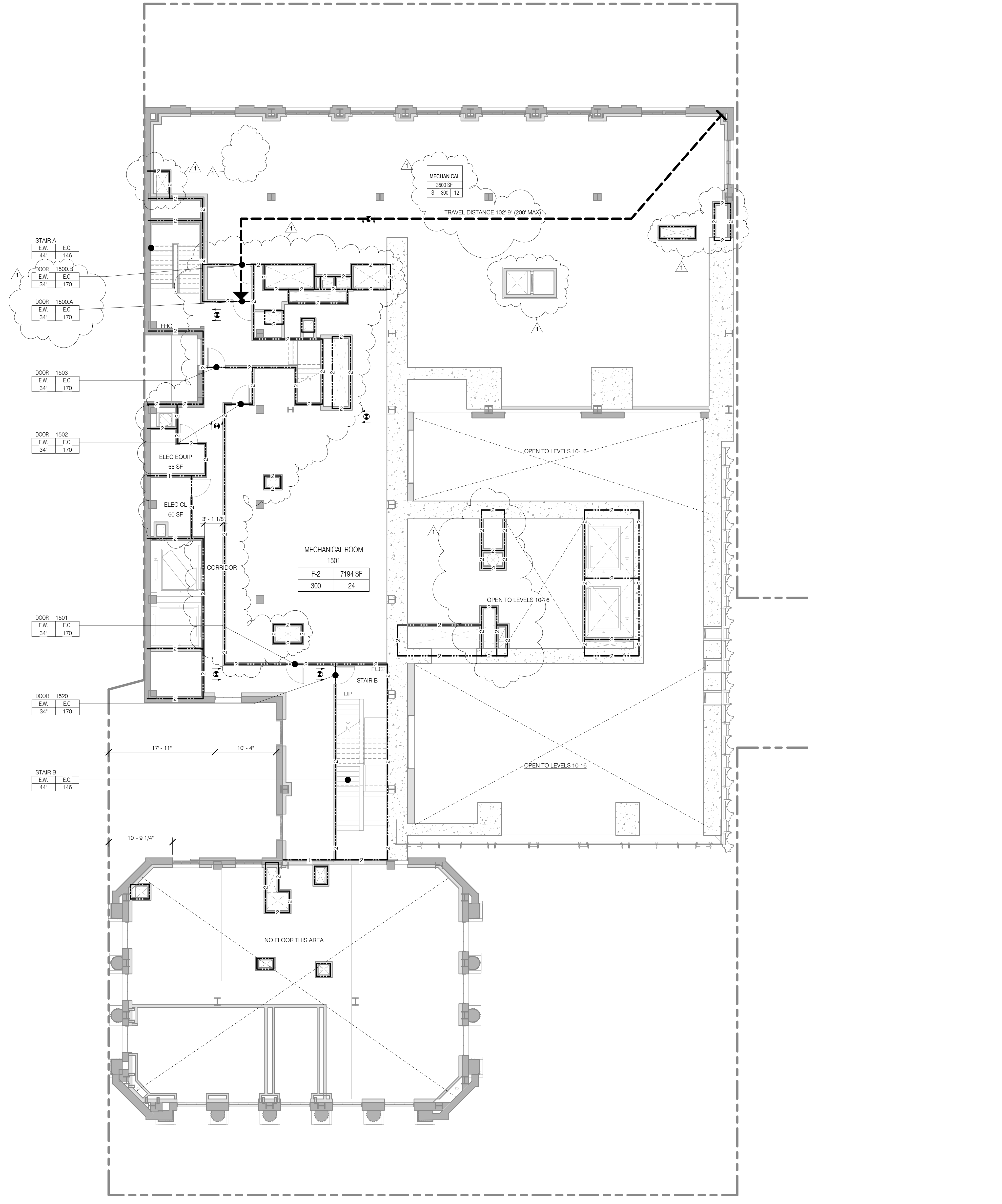
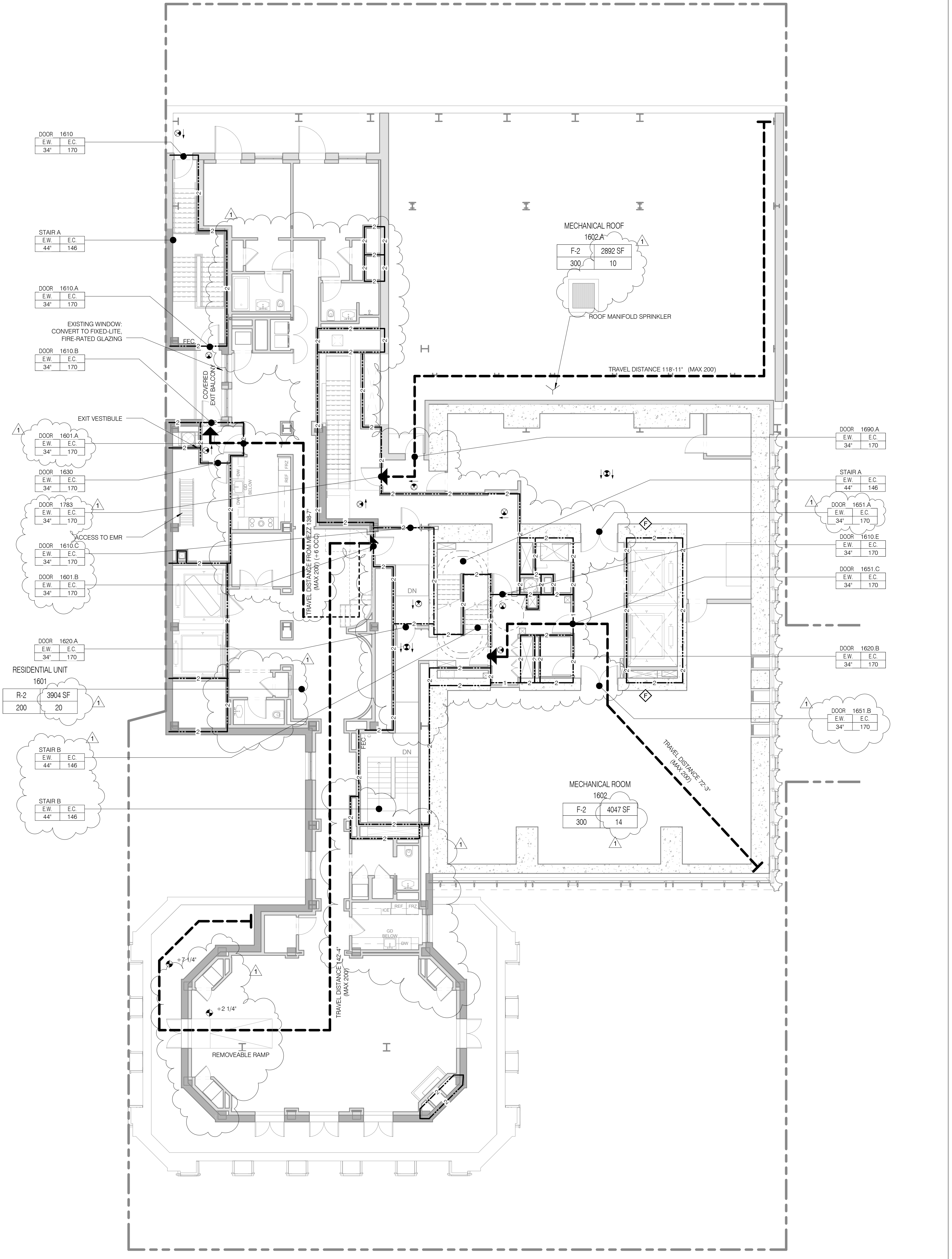
CURRENT ISSUE

DOB PAA

Shauqat Shaikh
 Building
 APPROVED
 Under Directive 2 of 1975
 DATED 05/03/2014
 DATE: 05/03/2014
 NYC Development Hub

111 WEST 57TH STREET
 111 WEST 57TH STREET
 NEW YORK, NY 10019

NO FLOOR THIS AREA



NOTE:
 PROPERTY WALLS 3 HR CONSTRUCTION.
 MIN RATINGS FOR ELEMENT INDICATED

NOTE:
 PROPERTY WALLS 3 HR CONSTRUCTION.
 MIN RATINGS FOR ELEMENT INDICATED

NO.	DATE	REVISION
1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET

LIFE SAFETY PLANS LEVELS 15 + 16

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130007	
DRAWN BY	SH&P	
CHECKED BY	SH&P	
DOB NO.	121302068	
DRAWING NUMBER		

G-019.01

LEVEL 18

TOTAL OCCUPANT LOAD: 17
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 53'-6"
FLOOR DIAGONAL: 99'-1"

OCCUPANT LOAD - LEVEL 18						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
LEVEL 18						
MECHANICAL ROOM	1750	F-2	300	12	3337 SF	
ELEVATOR MACHINE	1801	F-2	300	5	1213 SF	
LEVEL 18						
17						

STAIR LOAD - LEVEL 18		
NAME	CAPACITY	USED
STAIR A	146	9
STAIR B	146	9
18		

LEVEL 17

INTERIOR EGRESS VIA LEVEL 16

OCCUPANT LOAD - LEVEL 17						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
LEVEL 17.0						
PRIVATE TERRACE	1700	R-2	200	12	2283 SF	
LEVEL 17.0						
12						

STAIR LOAD - LEVEL 17		
NAME	CAPACITY	USED
STAIR A	146	6
STAIR B	146	6
18		

LIFE SAFETY & PARTITION RATING LEGEND

- 3 HR RATED
- 2 HR RATED
- 1 HR RATED
- EGRESS PATH PRIMARY
- EGRESS PATH SECONDARY
- USE BOUNDARY
- FIRE EXTINGUISHER
- FIRE HYDRANT
- STAND PIPE
- EXIT SIGNAGE
- ILLUMINATED SURFACE
- DIRECTION

ROOM OCCUPANCY TAG

ROOM / AREA
XXX / XXX SF
OCCUPANT LOAD
LOAD FACTOR
OCCUPANT CLASSIFICATION

AREA OCCUPANCY TAG

AREA / AREA
XXX / XXX SF
OCCUPANT LOAD
LOAD FACTOR
OCCUPANT CLASSIFICATION

DOOR OCCUPANCY TAG

DOOR NUMBER
E.W. / E.C.
34" / 170"

EGRESS CAPACITY (# OF OCCUPANTS)
EGRESS WIDTH (MIN. WIDTH INCHES)

STAIR OCCUPANCY TAG

STAIR NUMBER
E.W. / E.C.
34" / 170"

EGRESS CAPACITY (# OF OCCUPANTS)
EGRESS WIDTH (MIN. WIDTH INCHES)

JDS DEVELOPMENT GROUP

JDS DEVELOPMENT GROUP
30 WEST 47TH STREET, 11TH FLOOR
NEW YORK, NY 10019
TEL: 212.264.8000

sh p

ARCHITECT
SNIP ARCHITECTS, P.C.
20 WEST 30TH STREET, 11TH FLOOR
NEW YORK, NY 10019
TEL: 212.264.8000

STRUCTURAL ENGINEER
WSP CANON SENKUR
228 EAST 47TH STREET
NEW YORK, NY 10017
TEL: 212.264.8000

MEP ENGINEER
SINOR, SHAM & ROLLES
8 WINE STREET, 10TH FLOOR
NEW YORK, NY 10013
TEL: 212.264.8000

CIVIL ENGINEER
AKRF ENGINEERING, P.C.
400 NEW YORK STREET, 7TH FLOOR
NEW YORK, NY 10013
TEL: 212.264.8000

ACOUSTICS
LONGMAN LINDBLEY
40 WEST 30TH STREET, 6TH FLOOR
NEW YORK, NY 10018
TEL: 212.264.8000

INTERIORS
STUDIO SPINFIELD
100 WALKER STREET, 7TH FLOOR EAST
NEW YORK, NY 10013
TEL: 212.475.1866

RESTORATION
VAN DEUSEN & ASSOCIATES
150 WEST STREET, SUITE 604
LONGMEADOW, NY 10804
TEL: 212.264.8000

RESTORATION
JAN HRO POKORNY ASSOCIATES
30 WEST 30TH STREET, 6TH FLOOR
NEW YORK, NY 10018
TEL: 212.264.8000

GEOTECH
MPC
200 WEST 30TH STREET, 6TH FLOOR
NEW YORK, NY 10018
TEL: 212.264.8000



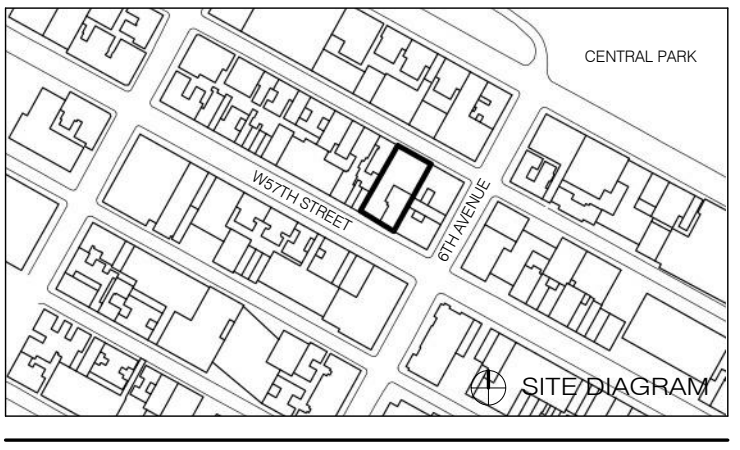
PROPERTY MARKETS GROUP
140 WEST 47TH STREET, 10TH FLOOR
NEW YORK, NY 10018
TEL: 212.264.8000

CURRENT ISSUE

DOB PAA

Shauqat Shaikh
Building Consultant
APPROVED
Under Directive 2 of 1975
DATE: 08/28/2015
NYC Development Hub

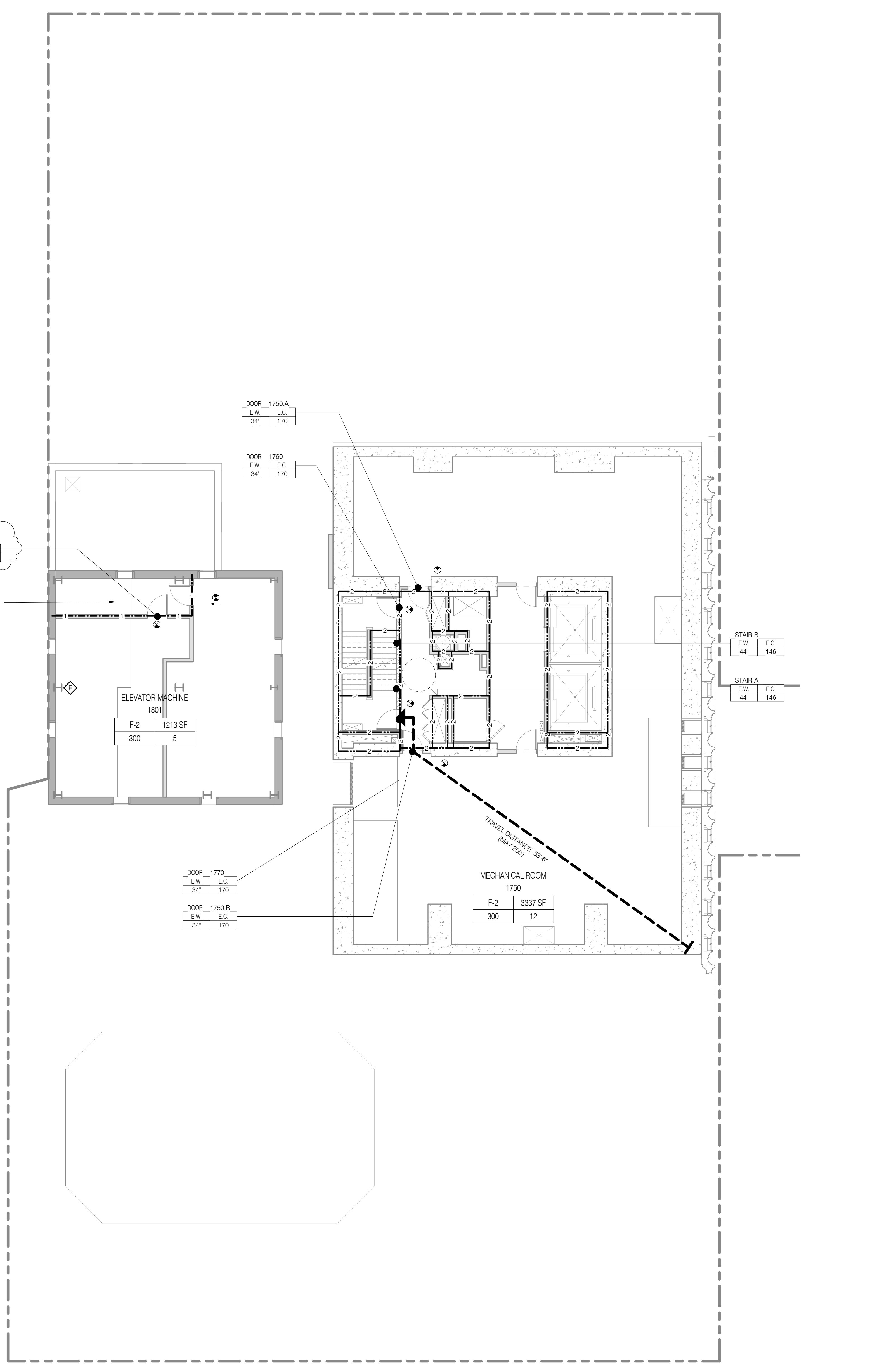
111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



1	3/27/15	DOB PAA
	5/1/14	DOB FILING SET
NO.	DATE	REVISION

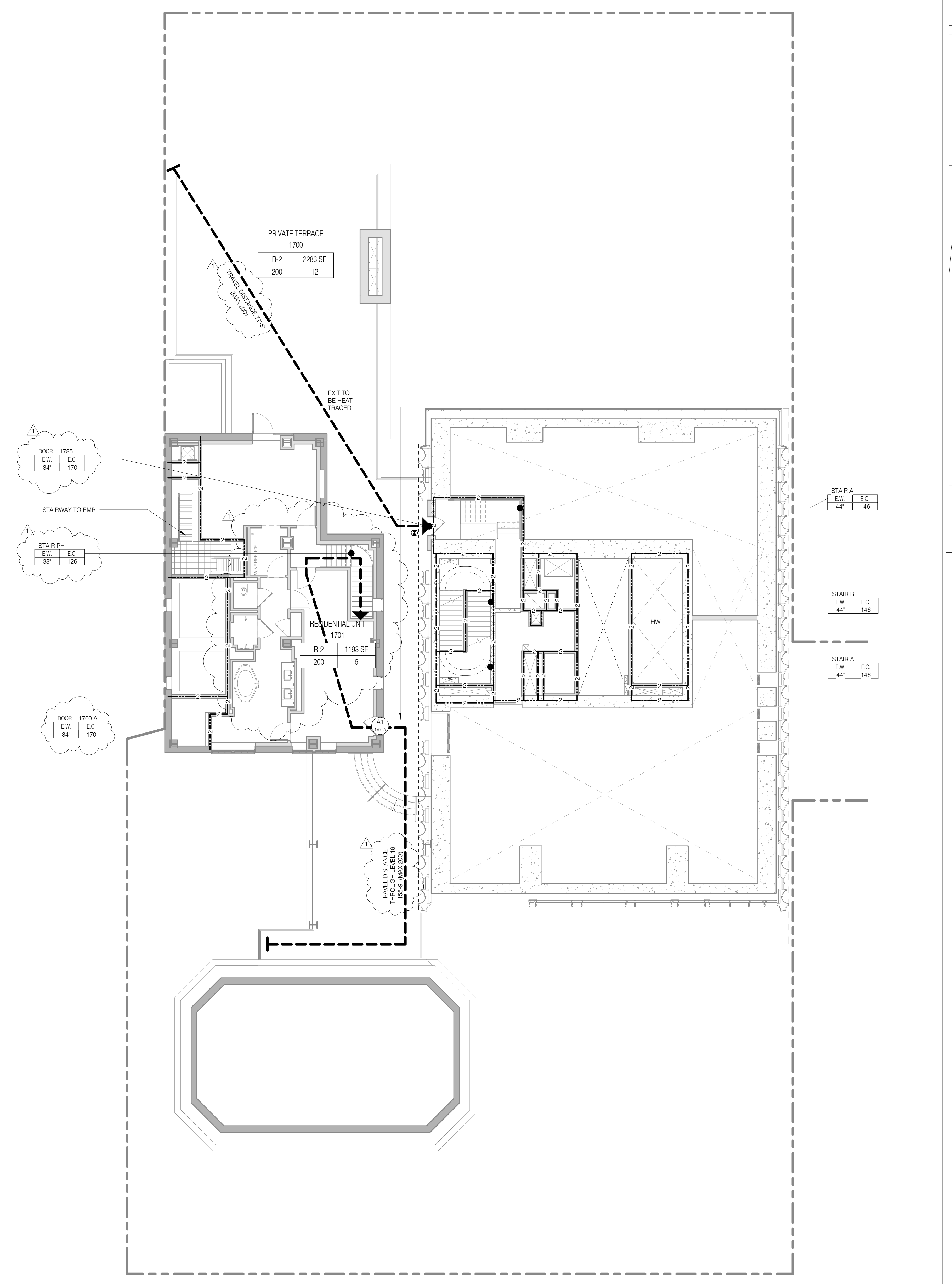
DRAWING TITLE
LIFE SAFETY PLANS LEVELS 17 + 18

SEAL & SIGNATURE
DATE: 3/27/15
PROJECT NO.: 130607
DRAWN BY: SHUP
CHECKED BY: SHUP
DATE: 3/27/15
DRAWING NUMBER: 1213332988
DRAWING NUMBER: G-020.01



NOTE:
PROPERTY WALLS 3 HR CONSTRUCTION.
MIN RATING FOR ELEMENT INDICATED

LEVEL 18	1/8" = 1'-0"	2	AD-101	0-0001
----------	--------------	---	--------	--------



NOTE:
PROPERTY WALLS 3 HR CONSTRUCTION.
MIN RATING FOR ELEMENT INDICATED

LEVEL 17.0	1/8" = 1'-0"	1	AD-101	0-0001
------------	--------------	---	--------	--------

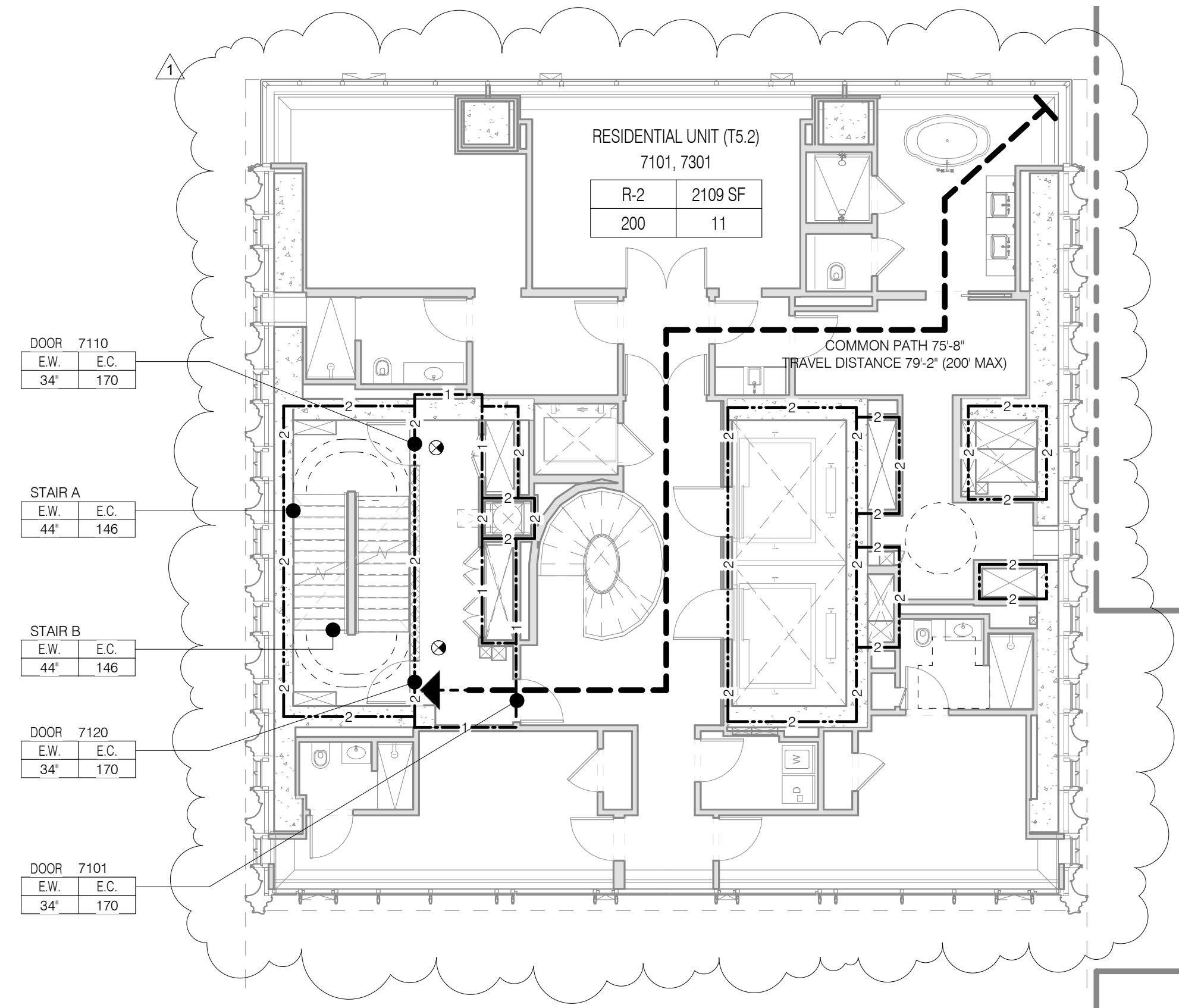
LEVELS 71, 73

TOTAL OCCUPANT LOAD: 11
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 79'-2"
FLOOR DIAGONAL: 75'-3"

NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA
LEVEL 71					
RESIDENTIAL UNIT (T5.2)	7101, 7301	R-2	200	11	2109 SF
LEVEL 73					
LEVEL 71					11

STAIR LOAD - LEVEL 71		
NAME	CAPACITY	USED
STAIR A	146	6
STAIR B	146	6
		12



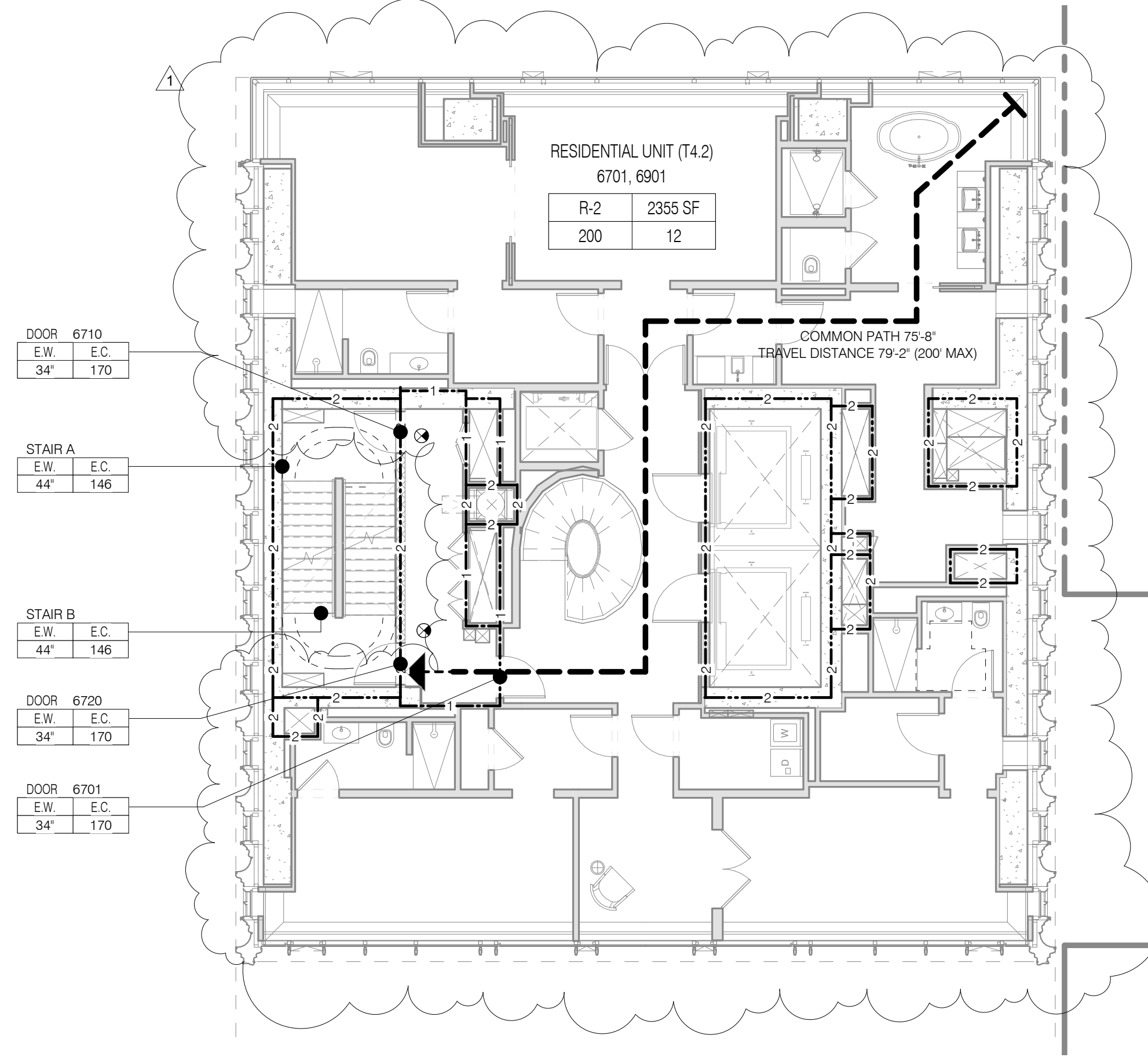
LEVEL 67, 69

TOTAL OCCUPANT LOAD: 12
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 79'-2"
FLOOR DIAGONAL: 78'-6"

NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA
LEVEL 67					
RESIDENTIAL UNIT (T4.2)	6701, 6901	R-2	200	12	2355 SF
LEVEL 69					
LEVEL 67					12

STAIR LOAD - LEVEL 67		
NAME	CAPACITY	USED
STAIR A	146	6
STAIR B	146	6
		12



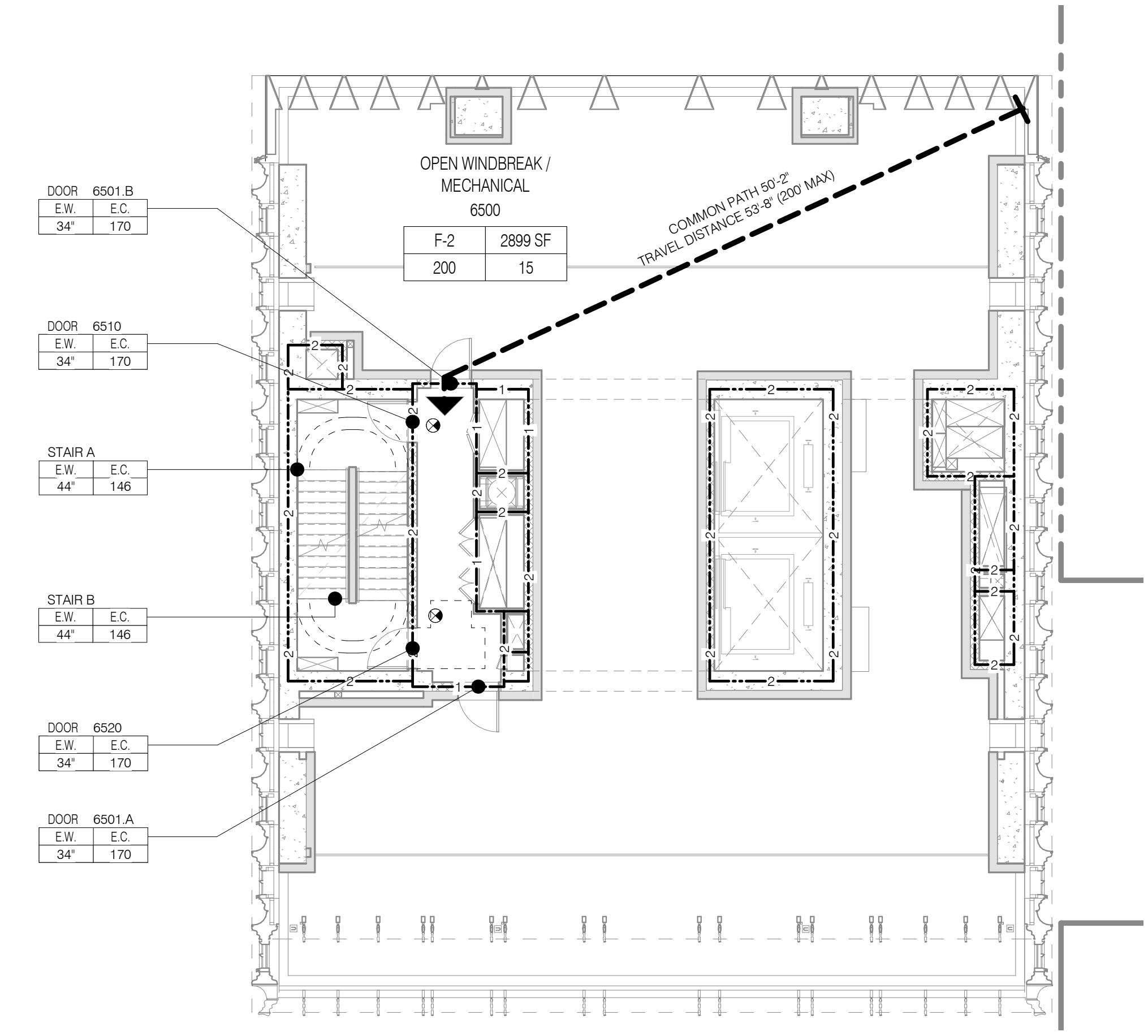
LEVEL 65

TOTAL OCCUPANT LOAD: 15
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 50'-3"
FLOOR DIAGONAL: 79'-4"

NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA
LEVEL 65					
OPEN WINDBREAK / MECHANICAL	6500	F-2	200	15	2899 SF
LEVEL 65					15

STAIR LOAD - LEVEL 65		
NAME	CAPACITY	USED
STAIR A	146	8
STAIR B	146	8
		16



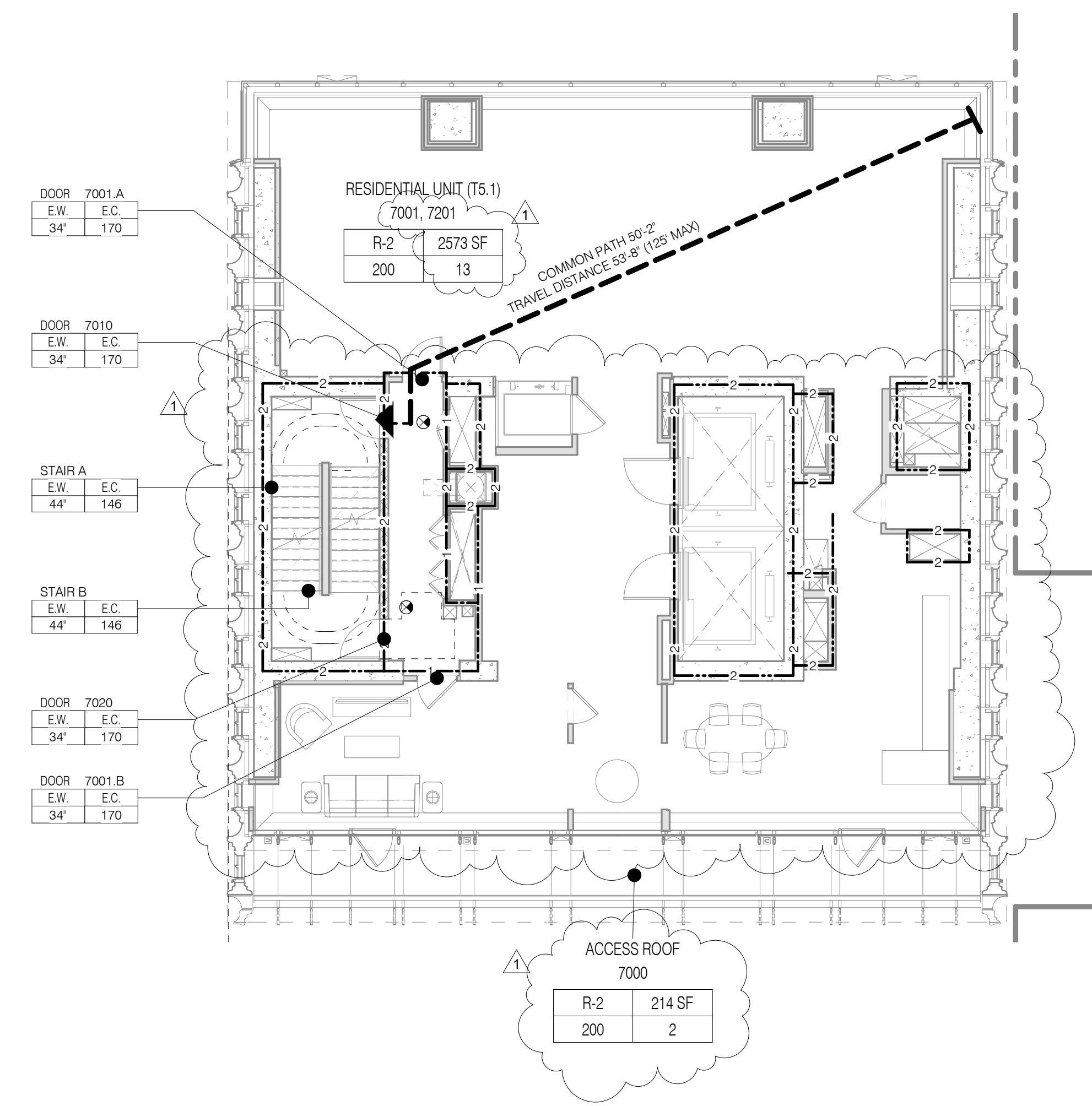
LEVELS 70, 72

TOTAL OCCUPANT LOAD: 13+2
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 50'-2"
FLOOR DIAGONAL: 75'-11"

NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA
LEVEL 70					
ACCESS ROOF	7000	R-2	200	2	214 SF
RESIDENTIAL UNIT (T5.1)	7001, 7201	R-2	200	13	2573 SF
LEVEL 70					15

STAIR LOAD - LEVEL 70		
NAME	CAPACITY	USED
STAIR A	146	8
STAIR B	146	8
		16



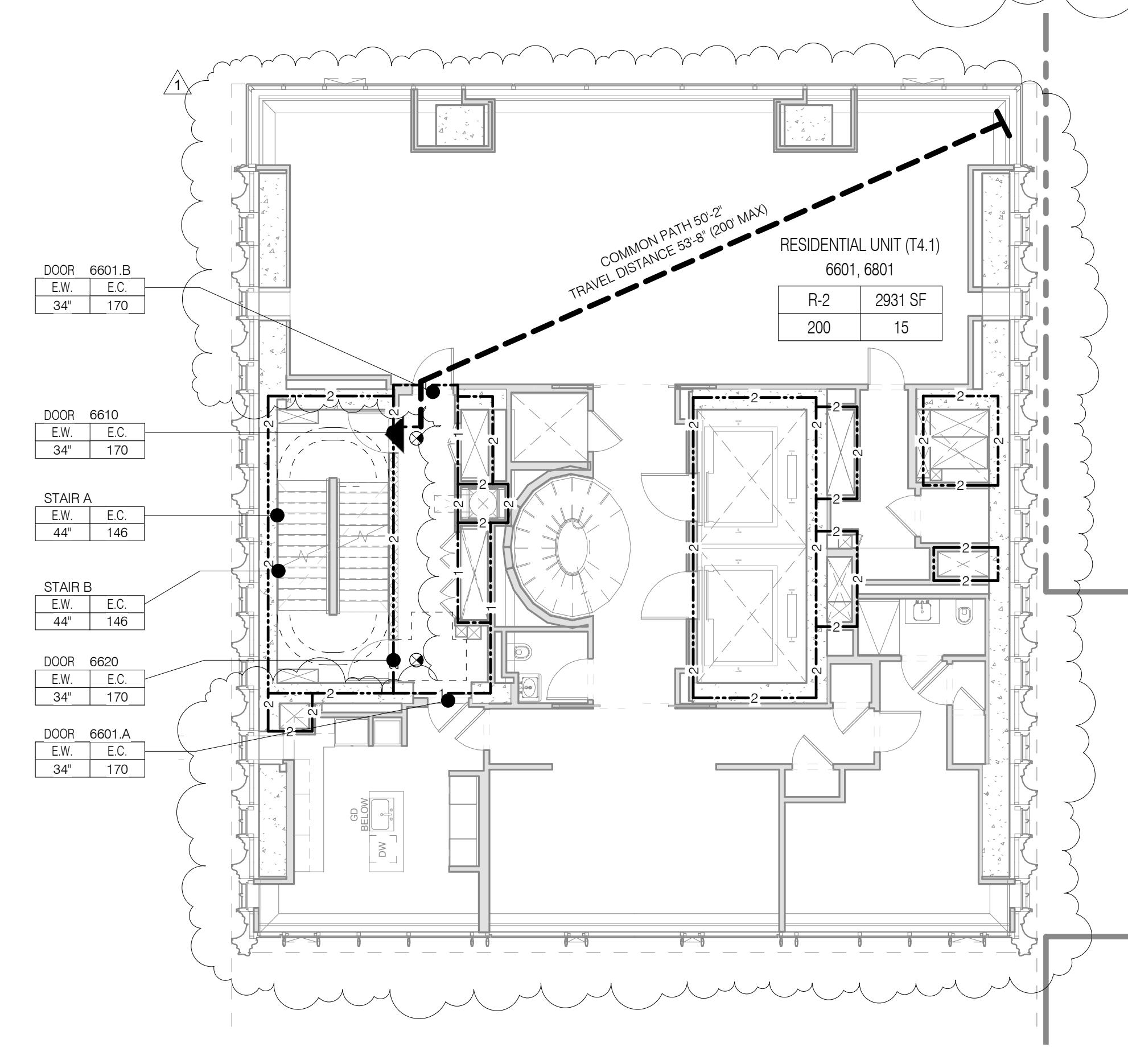
LEVELS 66, 68

TOTAL OCCUPANT LOAD: 15
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 50'-2"
FLOOR DIAGONAL: 79'-4"

NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA
LEVEL 66					
RESIDENTIAL UNIT (T4.1)	6601, 6801	R-2	200	15	2931 SF
LEVEL 66					15

STAIR LOAD - LEVEL 66		
NAME	CAPACITY	USED
STAIR A	146	8
STAIR B	146	8
		16



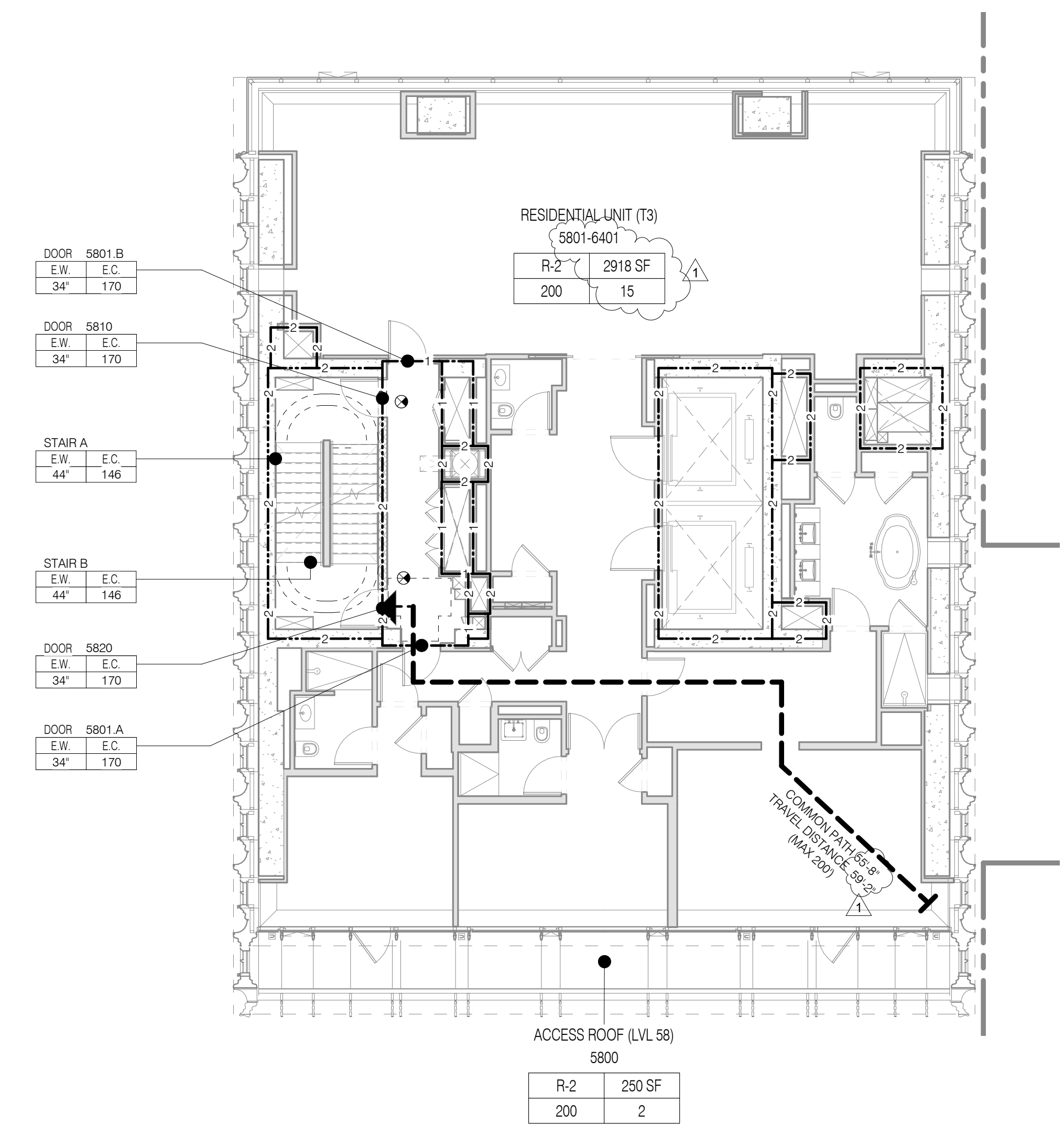
LEVELS 58-64

TOTAL OCCUPANT LOAD: 15+2
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 59'-2"
FLOOR DIAGONAL: 83'-4"

NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA
LEVEL 58					
ACCESS ROOF (LVL 58)	5800	R-2	200	2	250 SF
RESIDENTIAL UNIT (T3)	5801-6401	R-2	200	15	2918 SF
LEVEL 58					17

STAIR LOAD - LEVEL 58		
NAME	CAPACITY	USED
STAIR A	146	9
STAIR B	146	9
		18



LEVEL 70, 72

1/8" = 1'-0"

LEVEL 66, 68

1/8" = 1'-0"

LEVEL 58-64

1/8" = 1'-0"

- LIFE SAFETY & PARTITION**
- 3 HR RATED
 - 2 HR RATED
 - 1 HR RATED
 - EGRESS PATH - PRIMARY
 - USE BOUNDARY
 - FIRE EXTINGUISHER
 - FIRE HYDRANT
 - STAND PIPE
 - EXIT SIGNAGE
 - ILLUMINATED SURFACE DIRECTION
 - ROOM OCCUPANCY TAG
 - ROOM DESCRIPTION
 - AREA
 - OCCUPANT LOAD
 - LOAD FACTOR
 - OCCUPANT CLASSIFICATION
 - AREA OCCUPANCY TAG
 - AREA
 - AREA NUMBER
 - AREA DESCRIPTION
 - OCCUPANT LOAD
 - LOAD FACTOR
 - OCCUPANT CLASSIFICATION
 - DOOR OCCUPANCY TAG
 - DOOR NUMBER
 - EGRESS CAPACITY (# OF OCCUPANTS)
 - EGRESS WIDTH (MIN. WIDTH INCHES)
 - STAIR OCCUPANCY TAG
 - STAIR NUMBER
 - EGRESS CAPACITY (# OF OCCUPANTS)
 - EGRESS WIDTH (MIN. WIDTH INCHES)

JDS DEVELOPMENT GROUP

111 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 646.832.3600

sh p

ARCHITECT: SHP ARCHITECTS, P.C.
235 BROADWAY, 11TH FLOOR
NEW YORK, NY 10007
TEL: 212.869.9336

STRUCTURAL ENGINEER: FACADE
235 EAST 47TH STREET
NEW YORK, NY 10017
TEL: 212.869.9336

MEP ENGINEER: JORDIS, BAIAM & BOLLER
40 WINE STREET, 2ND FLOOR
LARKSPUR, NJ 07033
TEL: 201.983.9333

CIVIL ENGINEER: AVIR ENGINEERING, P.C.
40 WINE STREET, 2ND FLOOR
NEW YORK, NY 10013
TEL: 646.288.8828

ACoustIC: LONGMAN LINDSEY
41 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 917.238.3389

INTERIORS: TUDOR JENSEN
110 WALKER STREET
NEW YORK, NY 10002
TEL: 212.475.3300

PAINTING: BUREAU BROWNE
105 BROADWAY
NEW YORK, NY 10007
TEL: 212.243.2025

VERTICAL TRANSPORTATION: VAN DEUSEN & ASSOCIATES
8 WINE STREET, SUITE 200
LARKSPUR, NJ 07033
TEL: 201.983.9333

RESTORATION: JAN HIRSH FOKORNY ASSOCIATES
30 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212.268.8828

GEOTECH: MICE
305 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 917.238.4900

LIGHTING: OBSERVATIONS INTERNATIONAL
105 WALKER STREET, 7TH FLOOR EAST
NEW YORK, NY 10002
TEL: 212.251.4453

PROPERTY MARKETS GROUP
310 EAST 17TH STREET, 2ND FLOOR
NEW YORK, NY 10003
TEL: 212.869.9336

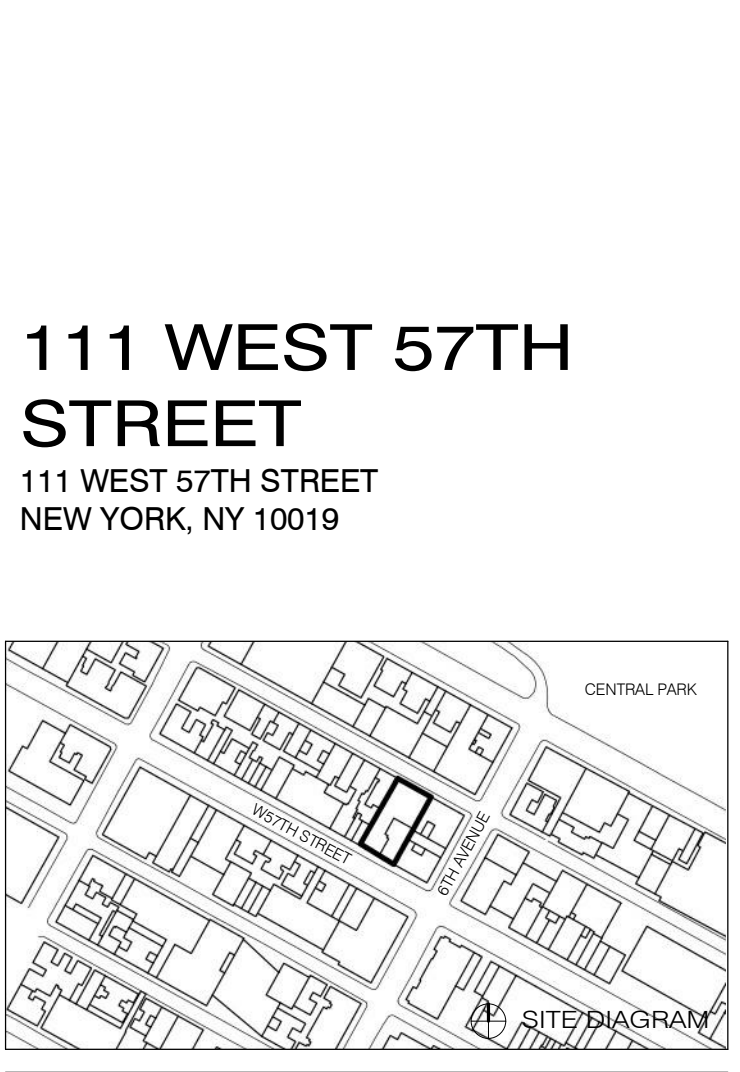
CURRENT ISSUE

DOB PAA

Shauqat Shaikh

Building + Market

APPROVED
Under Directive 2 of 1975
DATE: 08/28/2015
NYC Development Hub



NO.	DATE	REVISION
1	3.27.15	DOB PAA
2	5.1.14	DOB PLING SET

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHP ARCHITECTS, P.C. ALL RIGHTS RESERVED.

DRAWING TITLE: **LIFE SAFETY PLANS LEVELS 58-73**

DATE: 3.27.15

PROJECT NO: 130007

DRAWN BY: SHP/p

CHECKED BY: SHP/p

DOB NO: 121332006

DRAWING NUMBER: **G-022.01**

SEAL & SIGNATURE: [Professional Seal]

LEVEL 79

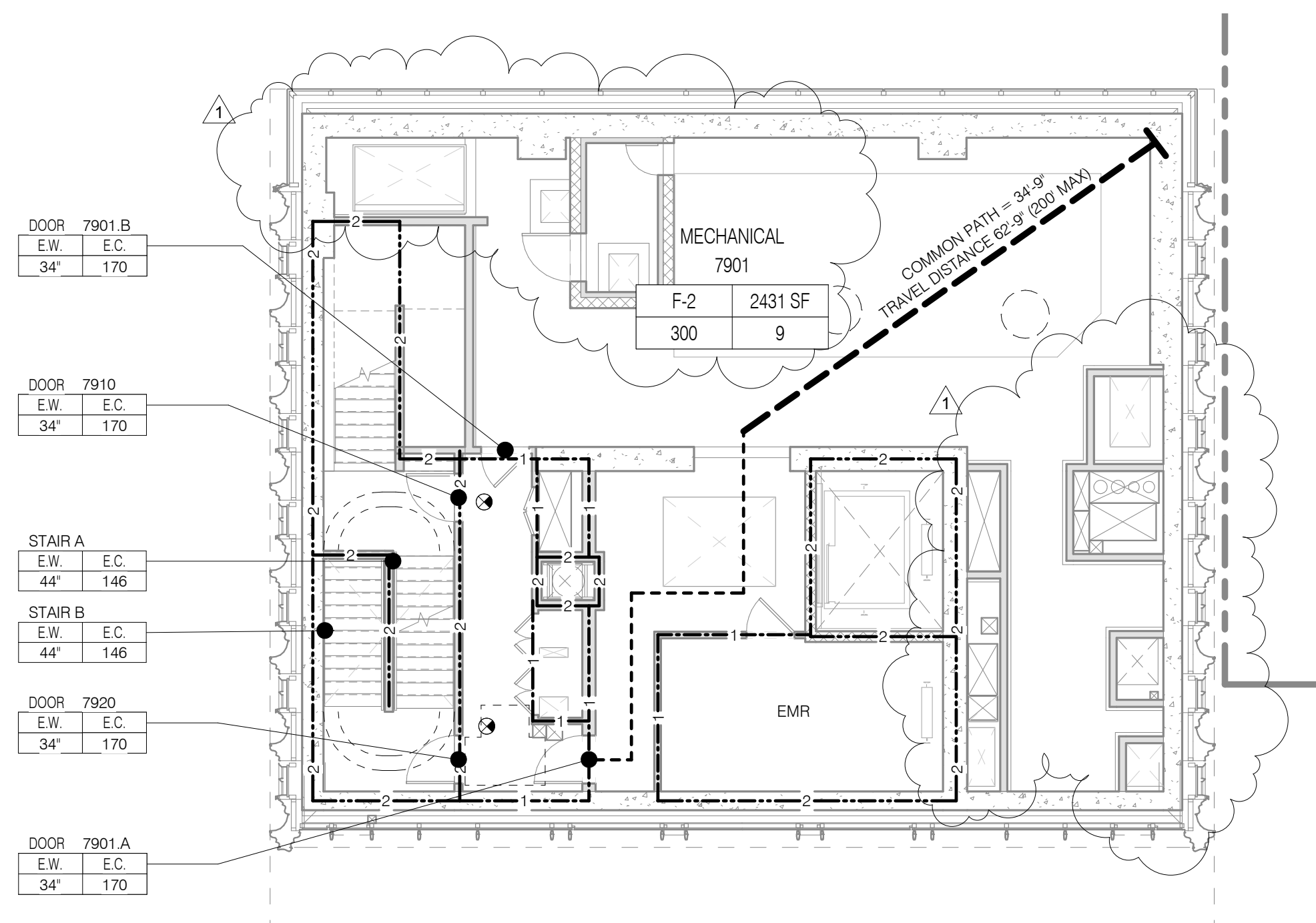
TOTAL OCCUPANT LOAD: 9
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 62'-9"

FLOOR DIAGONAL: 63'-3"

OCCUPANT LOAD - LEVEL 79						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
LEVEL 79 MECHANICAL	7901	F-2	300	9	2431 SF	
LEVEL 79				9		

STAIR LOAD - LEVEL 79		
NAME	CAPACITY	USED
STAIR A	146	5
STAIR B	146	5
		10



LEVEL 77

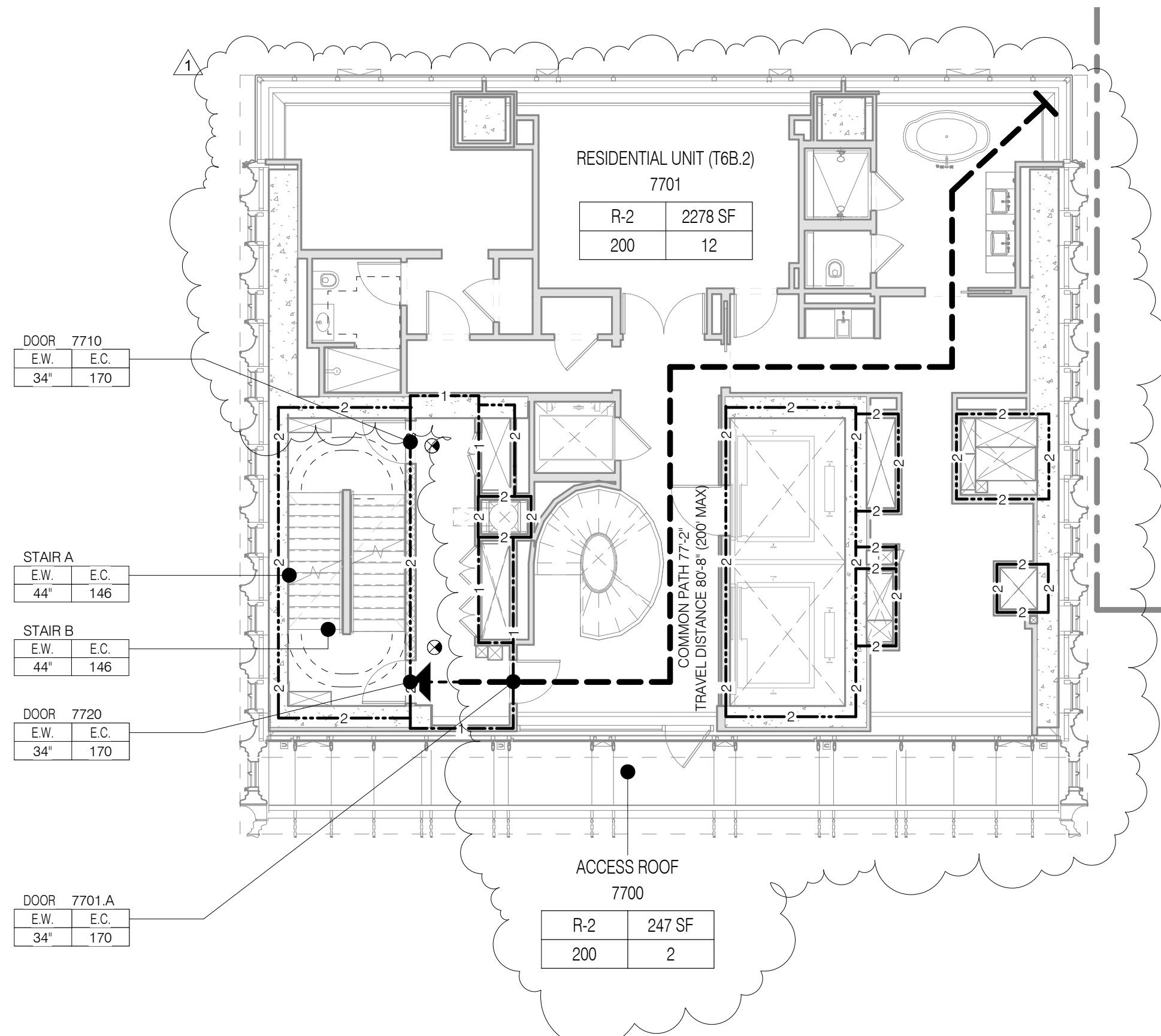
TOTAL OCCUPANT LOAD: 12+2
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 93'-4"

FLOOR DIAGONAL: 67'-3"

OCCUPANT LOAD - LEVEL 77						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
LEVEL 77 ACCESS ROOF	7700	R-2	200	2	247 SF	
RESIDENTIAL UNIT (T6B.2)	7701	R-2	200	12	2278 SF	
LEVEL 77				14		

STAIR LOAD - LEVEL 77		
NAME	CAPACITY	USED
STAIR A	146	7
STAIR B	146	7
		14



LEVEL 75

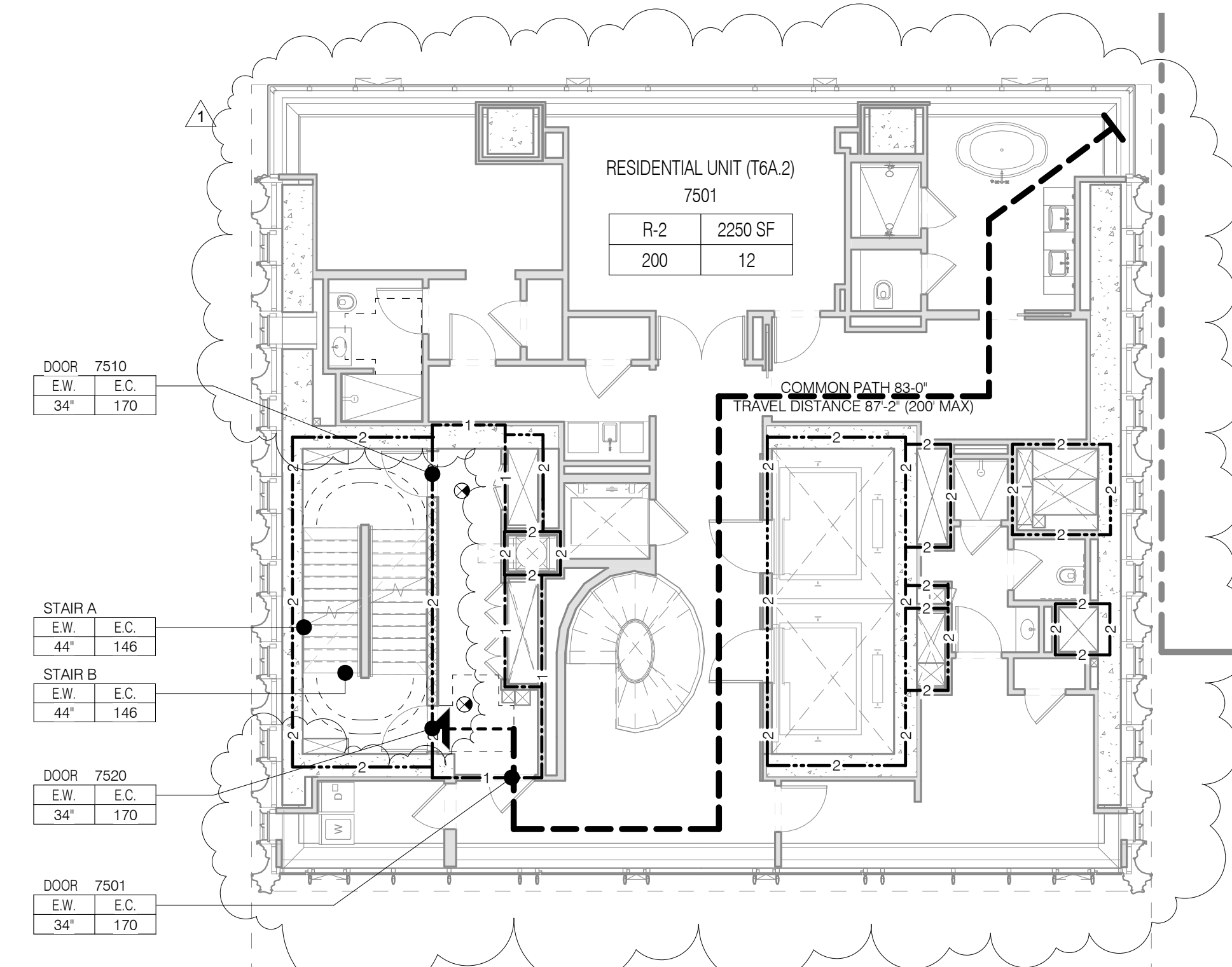
TOTAL OCCUPANT LOAD: 12
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 80'-8"

FLOOR DIAGONAL: 71'-3"

OCCUPANT LOAD - LEVEL 75						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
LEVEL 75 RESIDENTIAL UNIT (T6A.2)	7501	R-2	200	12	2250 SF	
LEVEL 75				12		

STAIR LOAD - LEVEL 75		
NAME	CAPACITY	USED
STAIR A	146	6
STAIR B	146	6
		12



LIFE SAFETY & PARTITION RATING LEGEND

- 3 - 3 HR RATED
- 2 - 2 HR RATED
- 1 - 1 HR RATED

EGRESS PATH (PRIMARY)

USE BOUNDARY

FIRE EXTINGUISHER

FIRE HYDRANT

STAND PIPE

EXIT SIGNAGE

ILLUMINATED SURFACE DIRECTION

ROOM OCCUPANCY TAG

ROOM DESCRIPTION

AREA

OCCUPANT LOAD

LOAD FACTOR

OCCUPANT CLASSIFICATION

AREA OCCUPANCY TAG

AREA

AREA NUMBER

AREA DESCRIPTION

OCCUPANT LOAD

LOAD FACTOR

OCCUPANT CLASSIFICATION

DOOR OCCUPANCY TAG

DOOR NUMBER

E.W. E.C.

XX

EGRESS CAPACITY (# OF OCCUPANTS)

EGRESS WIDTH (MIN. WIDTH INCHES)

STAIR OCCUPANCY TAG

STAIR NUMBER

E.W. E.C.

XX

EGRESS CAPACITY (# OF OCCUPANTS)

EGRESS WIDTH (MIN. WIDTH INCHES)

JDS DEVELOPMENT GROUP

111 WEST 57TH STREET, 4TH FLOOR, NEW YORK, NY 10019

484.632.3600

sh p

ARCHITECT: SHP ARCHITECTS, P.C.

STRUCTURAL ENGINEER: JORDI B. BAIAM & BOLLER

MEP ENGINEER: JAMES J. BOLLER

CIVIL ENGINEER: ARIF ENGINEERING, P.C.

ACOUSTICIST: LONGMAN LINSEY

INTERIORS: TUDOR JOSEFIELD

CONSERVATOR/INTERNATIONAL LIGHTING: US WALLACE STREET, 7TH FLOOR EAST

PROPERTY MARKETS GROUP: 314 EAST 17TH STREET, 2ND FLOOR, NEW YORK, NY 10003

CURRENT ISSUE: DOB PAA

LEVEL 78

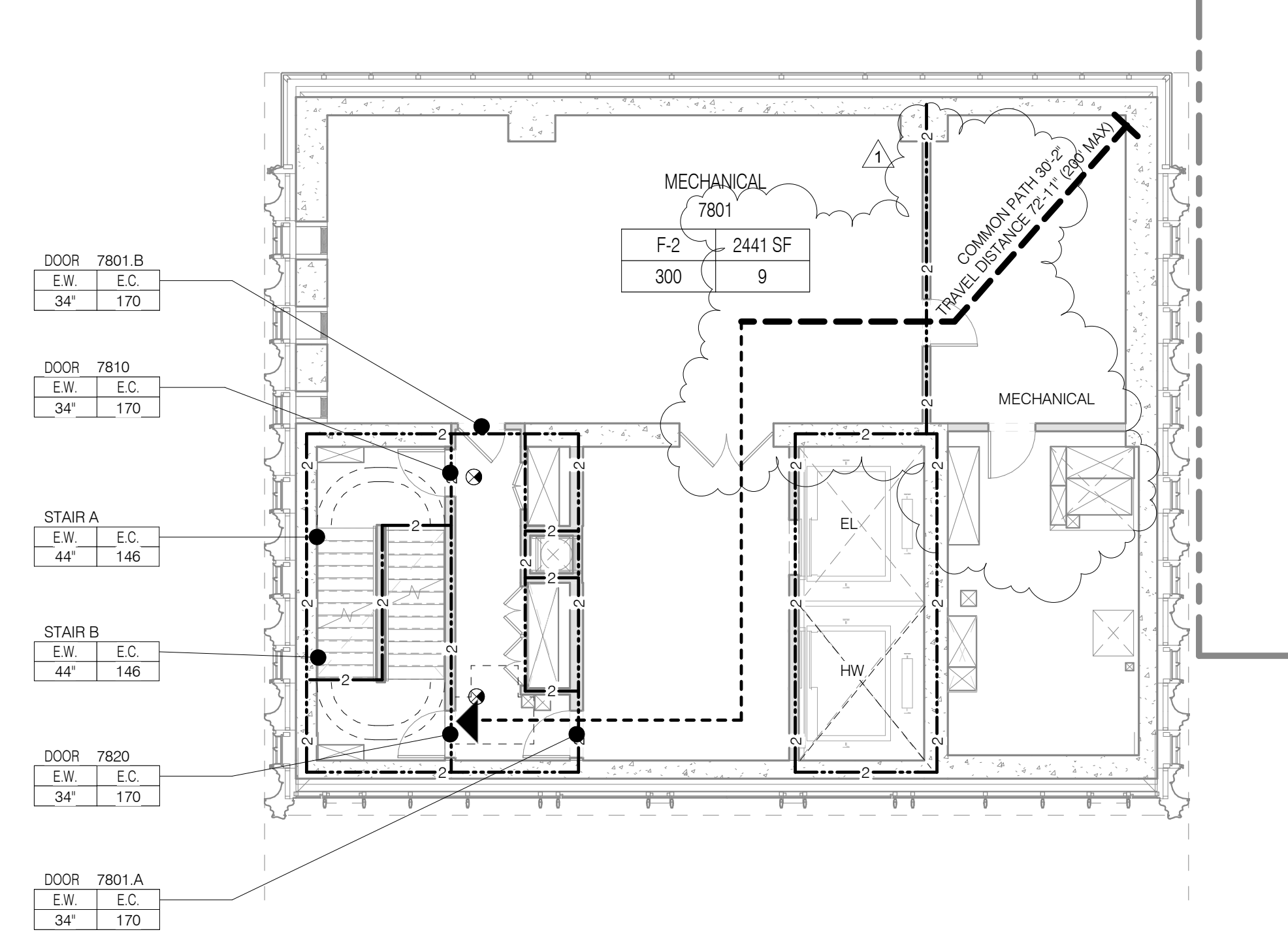
TOTAL OCCUPANT LOAD: 9
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 71'-7"

FLOOR DIAGONAL: 65'-10"

OCCUPANT LOAD - LEVEL 78						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
LEVEL 78 MECHANICAL	7801	F-2	300	9	2441 SF	
LEVEL 78				9		

STAIR LOAD - LEVEL 78		
NAME	CAPACITY	USED
STAIR A	146	5
STAIR B	146	5
		10



LEVEL 76

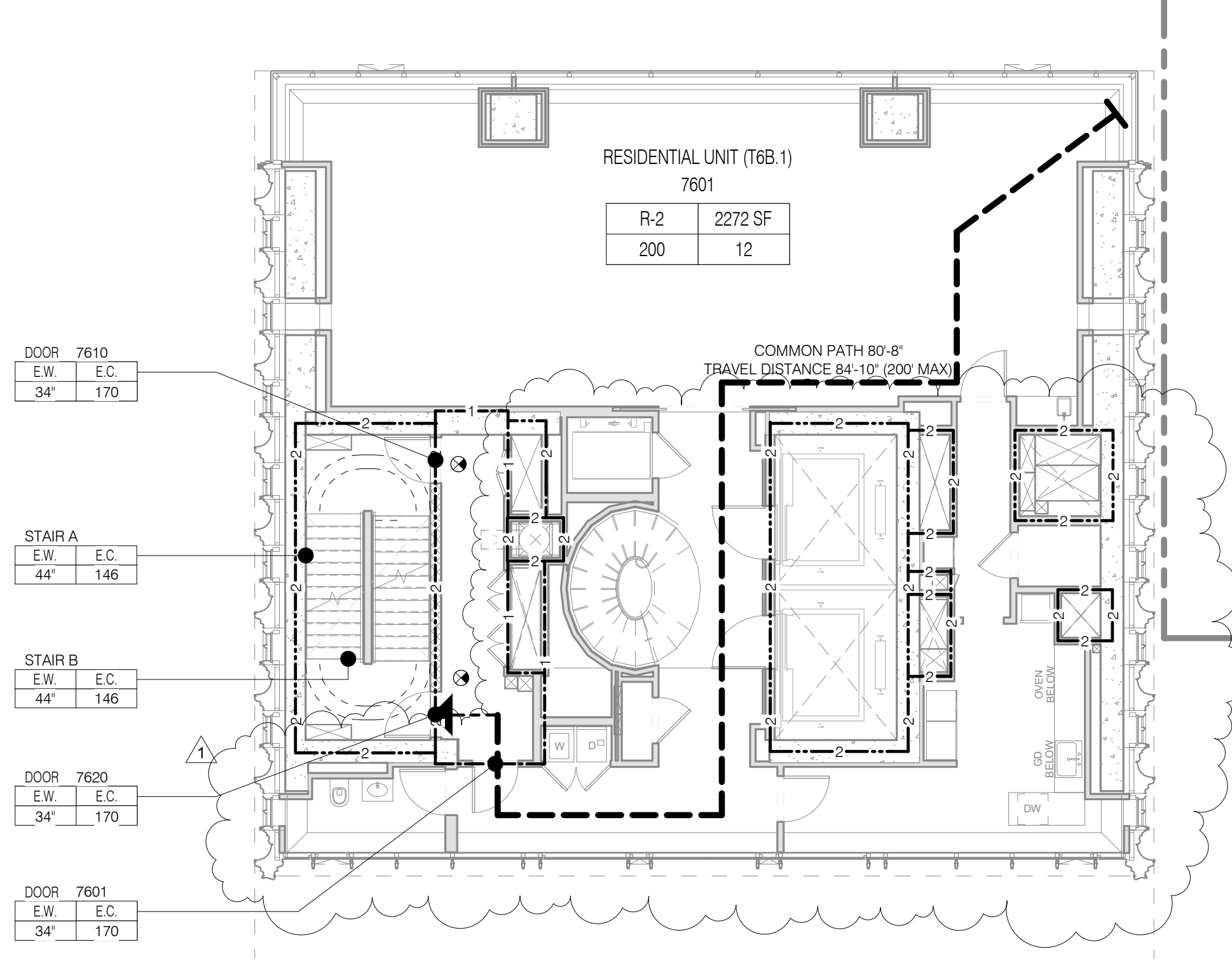
TOTAL OCCUPANT LOAD: 12
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 59'-6"

FLOOR DIAGONAL: 71'-6"

OCCUPANT LOAD - LEVEL 76						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
LEVEL 76 RESIDENTIAL UNIT (T6B.1)	7601	R-2	200	12	2272 SF	
LEVEL 76				12		

STAIR LOAD - LEVEL 76		
NAME	CAPACITY	USED
STAIR A	146	6
STAIR B	146	6
		12



LEVEL 74

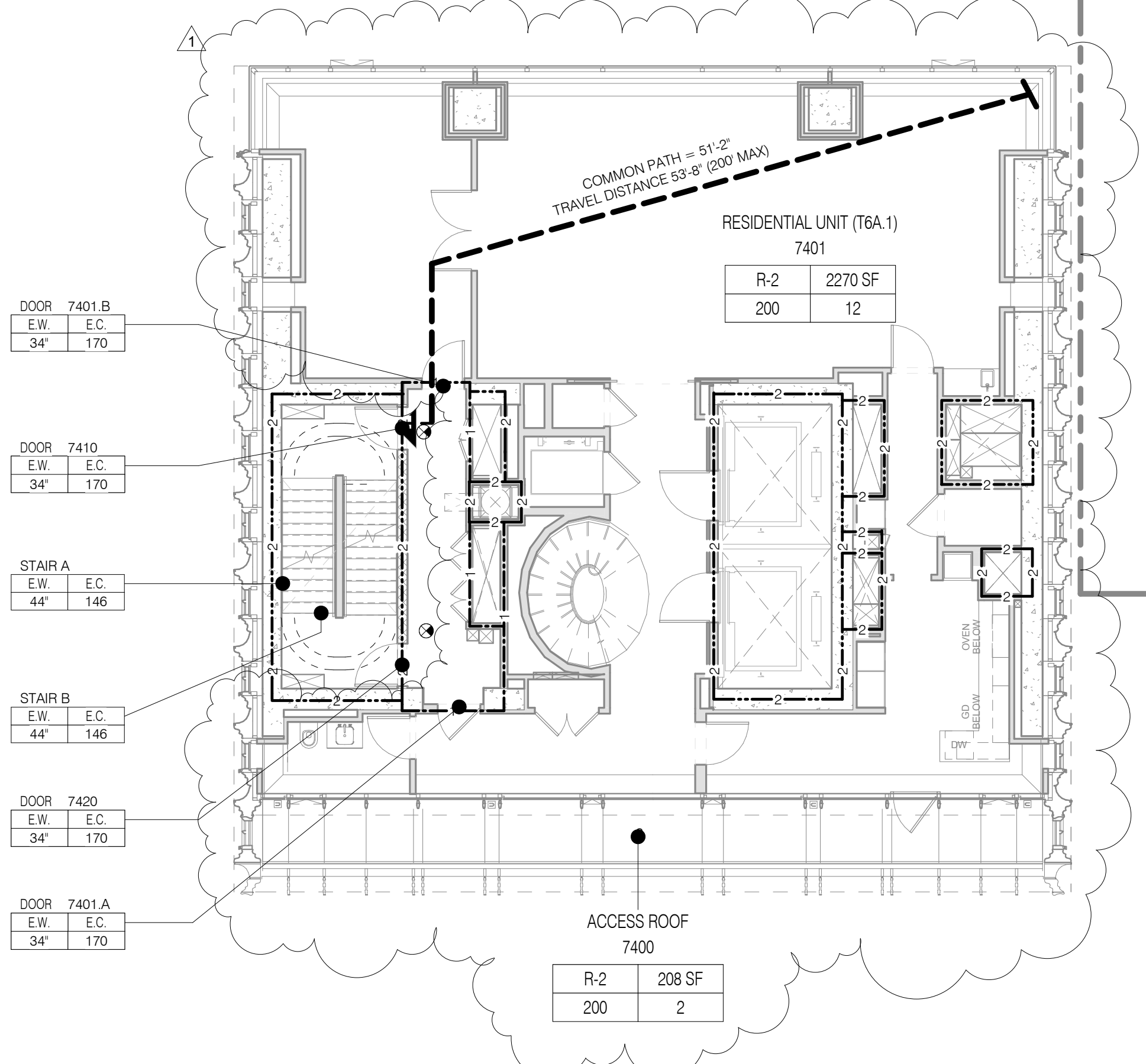
TOTAL OCCUPANT LOAD: 12+2
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 53'-8"

FLOOR DIAGONAL: 71'-6"

OCCUPANT LOAD - LEVEL 74						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
LEVEL 74 ACCESS ROOF	7400	R-2	200	2	208 SF	
RESIDENTIAL UNIT (T6A.1)	7401	R-2	200	12	2270 SF	
LEVEL 74				14		

STAIR LOAD - LEVEL 74		
NAME	CAPACITY	USED
STAIR A	146	7
STAIR B	146	7
		14



LEVEL 78

TOTAL OCCUPANT LOAD: 9
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 71'-7"

FLOOR DIAGONAL: 65'-10"

LEVEL 76

TOTAL OCCUPANT LOAD: 12
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 59'-6"

FLOOR DIAGONAL: 71'-6"

LEVEL 74

TOTAL OCCUPANT LOAD: 12+2
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 53'-8"

FLOOR DIAGONAL: 71'-6"

111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019

Shauqat Shaikh
Building
APPROVED
Under Directive 2 of 1975
DATE: 08/28/2015
NYC Development Hub

NO.	DATE	REVISION
1	3.27.15	DOB PAA
2	5.1.14	DOB PLUMB SET

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR COPIED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE PROJECT ARCHITECTS P.C. ALL RIGHTS RESERVED.

DRAWING TITLE: LIFE SAFETY PLANS LEVELS 74-79

SEAL & SIGNATURE: [Signature]

DATE: 3.27.15

PROJECT NO: 130007

DRAWN BY: SHP

CHECKED BY: SHP

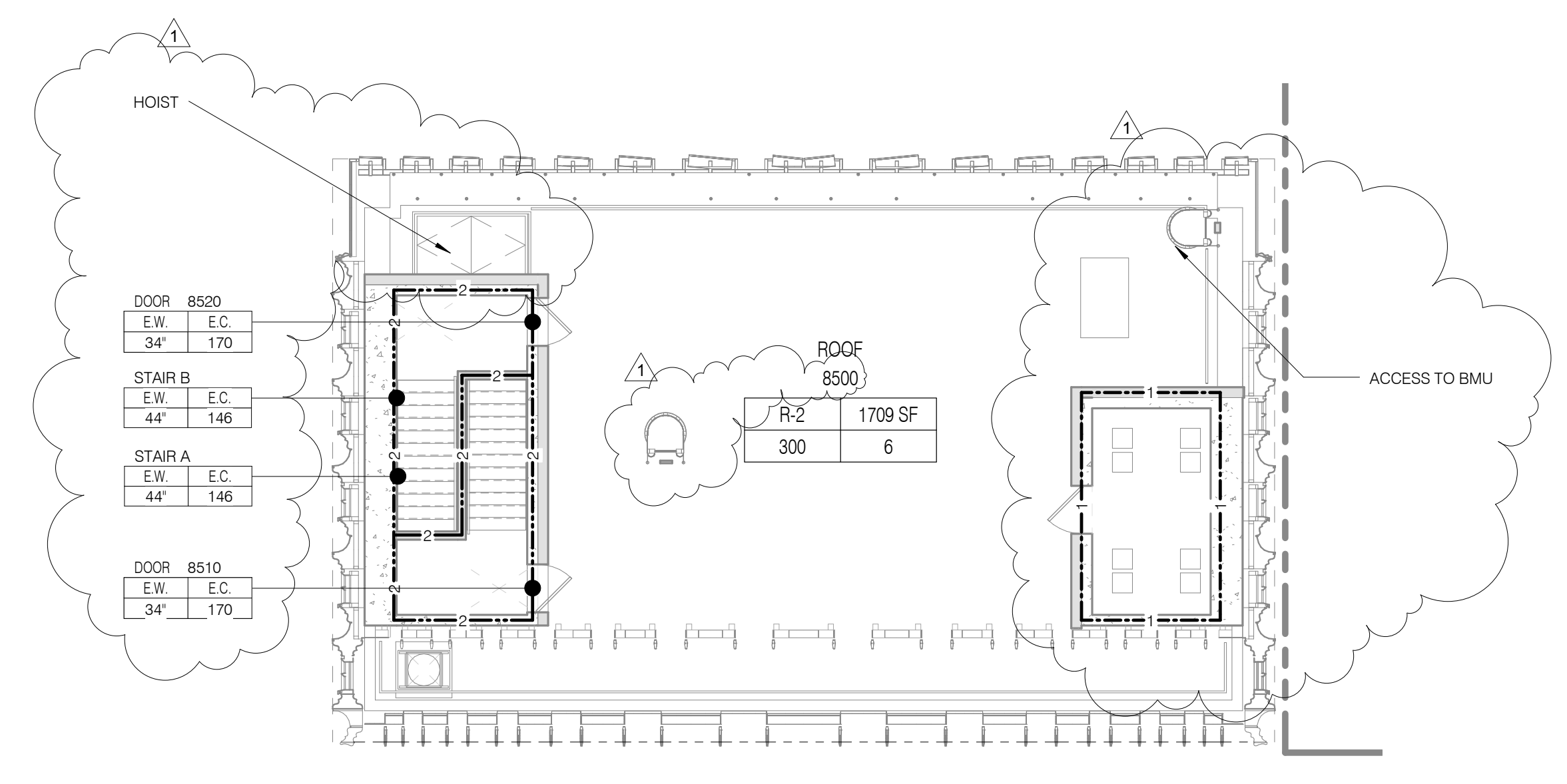
DOB NO: 121332068

DRAWING NUMBER: G-023A.01

LEVEL 85/ROOF
 TOTAL OCCUPANT LOAD: 6
 EXIT CAPACITY PROVIDED: 292
 FLOOR DIAGONAL: 64'-2"

OCCUPANT LOAD - ROOF						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
MECHANICAL	8000	R-2	300	7	1700 SF	

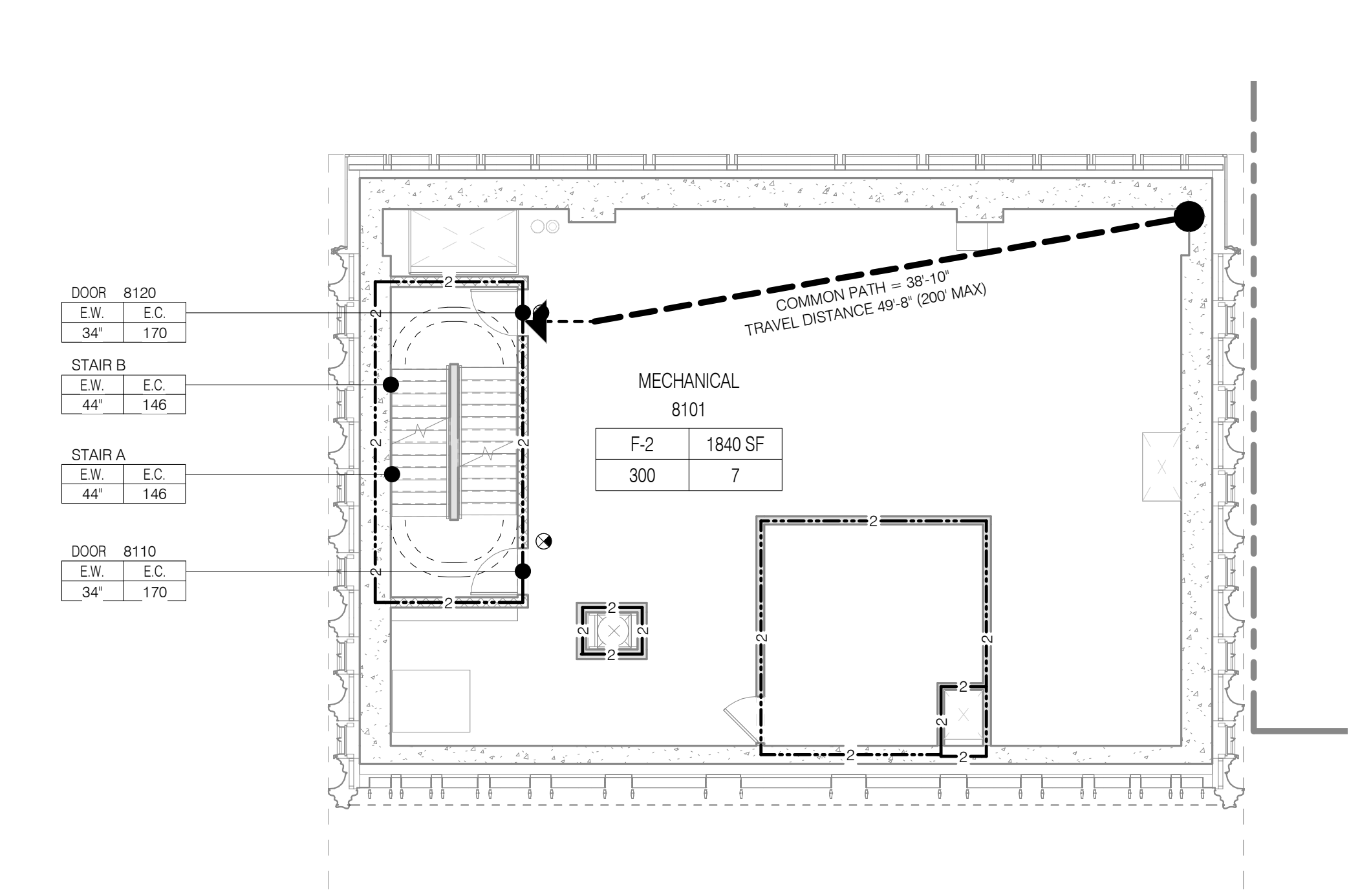
STAIR LOAD - LEVEL 85/ROOF		
NAME	CAPACITY	USED
STAIR A	146	3
STAIR B	146	3
		6



LEVEL 81
 TOTAL OCCUPANT LOAD: 7
 EXIT CAPACITY PROVIDED: 292
 MAXIMUM TRAVEL DISTANCE: 49'-8"
 FLOOR DIAGONAL: 63'-3"

OCCUPANT LOAD - LEVEL 81						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
MECHANICAL	8101	F-2	300	7	1840 SF	

STAIR LOAD - LEVEL 81		
NAME	CAPACITY	USED
STAIR A	146	4
STAIR B	146	4
		8



LIFE SAFETY & PARTITION MARKING LEGEND

- 3 HR RATED
- 2 HR RATED
- 1 HR RATED
- EGRESS PATH PRIMARY
- EGRESS PATH SECONDARY
- USE BOUNDARY
- FIRE EXTINGUISHER
- FIRE HYDRANT
- STAND PIPE
- EXIT SIGNAGE
- ILLUMINATED SURFACE DIRECTION

ROOM OCCUPANCY TAG

ROOM: XXXX SF
 AREA: XXXX SF
 OCCUPANT LOAD: XXX
 LOAD FACTOR: XXX
 OCCUPANT CLASSIFICATION: XXX

AREA OCCUPANCY TAG

AREA: XXXX SF
 AREA DESCRIPTION: XXXX
 OCCUPANT LOAD: XXX
 LOAD FACTOR: XXX
 OCCUPANT CLASSIFICATION: XXX

DOOR OCCUPANCY TAG

DOOR NUMBER: XXX
 E.W. E.C. XXX
 MIN. WIDTH: XXX

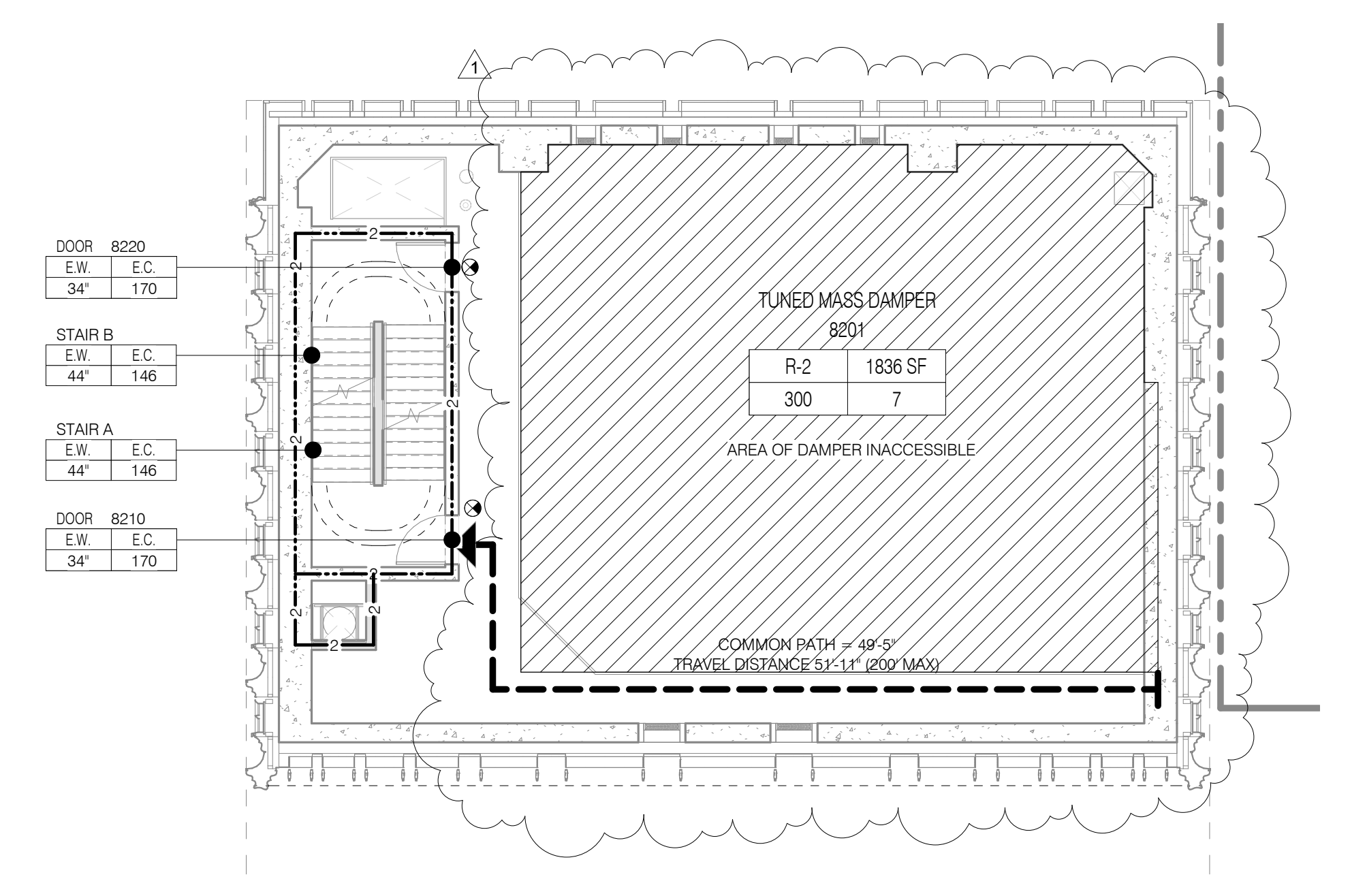
STAIR OCCUPANCY TAG

STAIR NUMBER: XXX
 E.W. E.C. XXX
 MIN. WIDTH: XXX

LEVEL 82
 TOTAL OCCUPANT LOAD: 7
 EXIT CAPACITY PROVIDED: 292
 FLOOR DIAGONAL: 51'-11"

OCCUPANT LOAD - LEVEL 82						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
TUNED MASS DAMPER	8201	R-2	300	7	1836 SF	

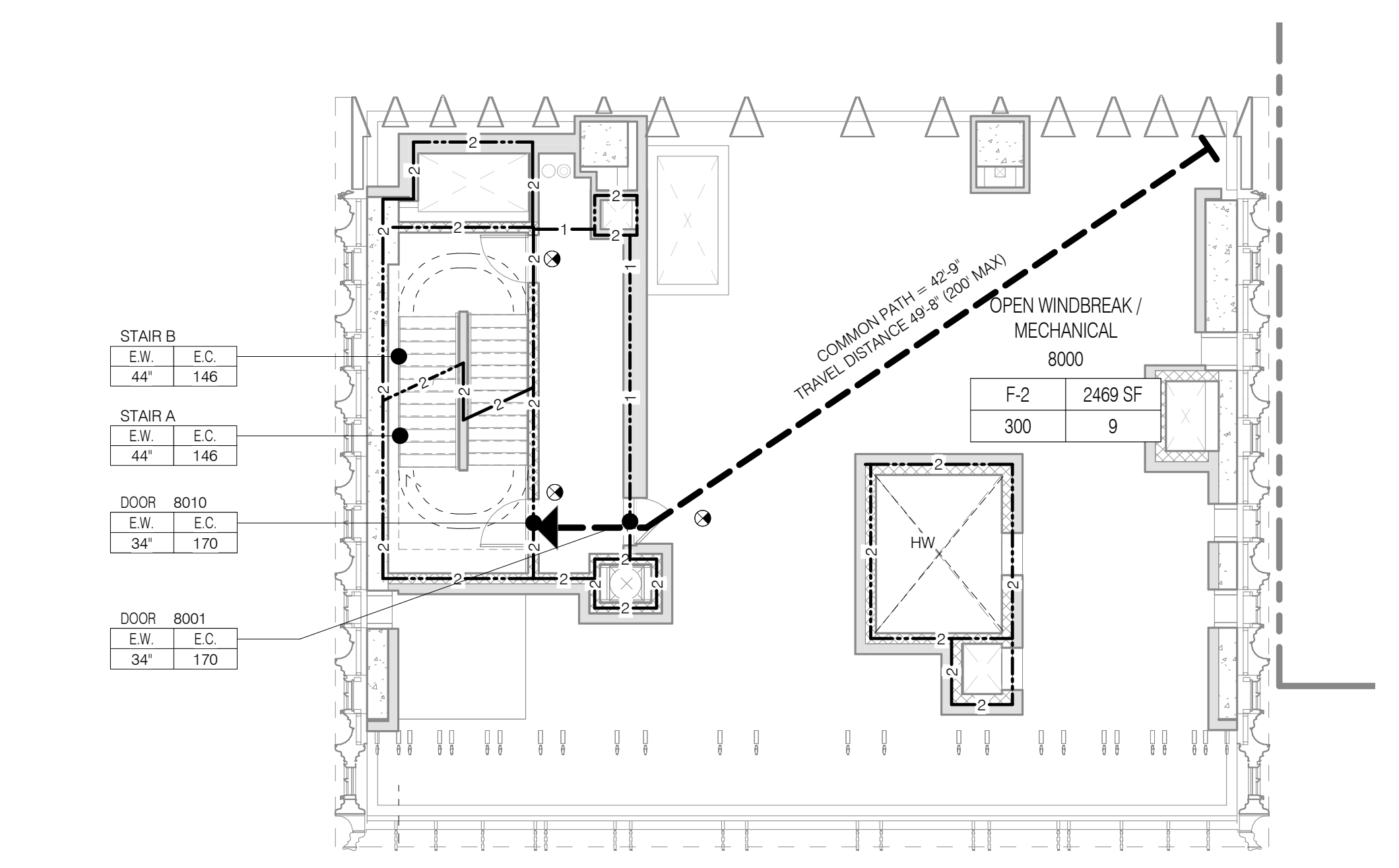
STAIR LOAD - LEVEL 82		
NAME	CAPACITY	USED
STAIR A	146	4
STAIR B	146	4
		8



LEVEL 80
 TOTAL OCCUPANT LOAD: 8
 EXIT CAPACITY PROVIDED: 292
 MAXIMUM TRAVEL DISTANCE: 51'-4"
 FLOOR DIAGONAL: 63'-3"

OCCUPANT LOAD - LEVEL 80						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
OPEN WINDBREAK / MECHANICAL	8000	F-2	300	9	2469 SF	

STAIR LOAD - LEVEL 80		
NAME	CAPACITY	USED
STAIR A	146	4
STAIR B	146	4
		8



JDS DEVELOPMENT GROUP
 100 WEST 57TH STREET, 8TH FLOOR
 NEW YORK, NY 10019
 TEL: 484.833.3600

sh p

ARCHITECT
 SHIP ARCHITECTS, P.C.
 230 BROADWAY, 11TH FLOOR
 NEW YORK, NY 10007
 TEL: 212.869.9300

STRUCTURAL ENGINEER
 YUSEF GANTOR BEBOK
 220 EAST 47TH STREET
 NEW YORK, NY 10017
 TEL: 212.897.5886

MEP ENGINEER
 JAROSLAW BALM & BOLLER
 40 WINE STREET, 12TH FLOOR
 NEW YORK, NY 10003
 TEL: 212.869.8333

CIVIL ENGINEER
 ARIF ENGINEERING, P.C.
 40 WINE STREET, 12TH FLOOR
 NEW YORK, NY 10003
 TEL: 212.869.8333

ACOUSTICIST
 LONGMAN LINDSEY
 40 WEST 57TH STREET, 4TH FLOOR
 NEW YORK, NY 10019
 TEL: 917.288.4900

INTERIORS
 STUDIO SCENFIELD
 300 WALKER STREET
 NEW YORK, NY 10001
 TEL: 212.475.3300

PROPERTY MARKETS GROUP
 300 WEST 57TH STREET, 2ND FLOOR
 NEW YORK, NY 10019
 TEL: 212.869.9300

CURRENT ISSUE

DOB PAA

PMG

Shauqat Shaikh
 Building a Better World

APPROVED
 Under Directive 2 of 1975
 DATED 08/28/2015
 NYC Development Hub

111 WEST 57TH STREET
 111 WEST 57TH STREET
 NEW YORK, NY 10019

SITE DIAGRAM

NO.	DATE	REVISION
1	3/27/15	DOB PAA

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHIP ARCHITECTS, P.C. ALL RIGHTS RESERVED.

LIFE SAFETY PLANS LEVELS 80-85 (ROOF)

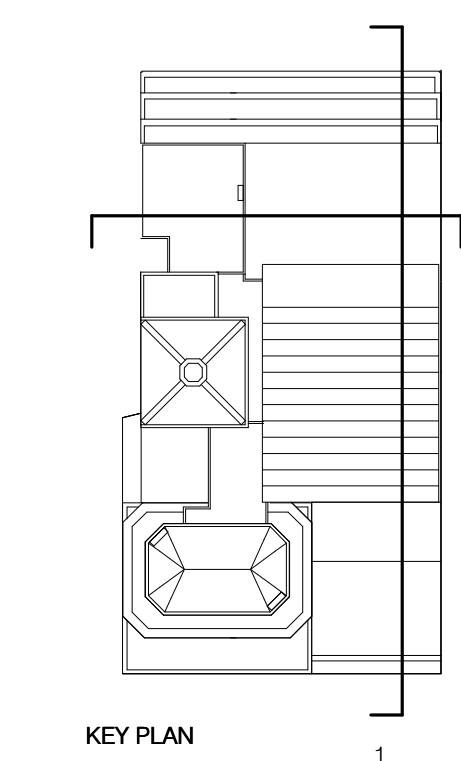
SEAL & SIGNATURE: [Signature] DATE: 3/27/15
 PROJECT NO: 130007
 DRAWN BY: SHIP
 CHECKED BY: SHIP
 DOOR NO: 121330206
 DRAWING NUMBER: G-023B.01

LEVEL 82 1/8" = 1'-0" 3

LEVEL 80 1/8" = 1'-0" 1

LIFE SAFETY & PARTITION RATING LEGEND

---	3 HR RATED
---	2 HR RATED
---	1 HR RATED



JDS DEVELOPMENT GROUP

JDS DEVELOPMENT GROUP
104 WEST 47TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 646 832 3600

sh p

ARCHITECT
SH&P ARCHITECTS, P.C.
230 BROADWAY, 11TH FLOOR
NEW YORK, NY 10007
TEL: 212 869 8336

STRUCTURAL ENGINEER
YUSEF GANTOUZ BERKUP
228 EAST 47TH STREET
NEW YORK, NY 10017
TEL: 212 867 5886

MEP ENGINEER
JORDIS, BALAM & BOLLES
40 WINE STREET, 10TH FLOOR
NEW YORK, NY 10003
TEL: 212 869 8333

CIVIL ENGINEER
ARIF ENGINEERING, P.C.
40 WINE AND SOUTH 7TH FLOOR
NEW YORK, NY 10003
TEL: 646 288 8828

ACOUSTIC
LONGMAN LINDSEY
40 WEST 40TH STREET, 4TH FLOOR
NEW YORK, NY 10018
TEL: 917 238 3389

INTERIORS
STUDIOS 250 FIELD
30 WALKER STREET, 7TH FLOOR EAST
NEW YORK, NY 10002
TEL: 212 475 3300

FAÇADE
BURROUGHS WERFIELD
100 BROADWAY
NEW YORK, NY 10002
TEL: 212 254 2025

VERTICAL TRANSPORTATION
VAN DEUSEN & ASSOCIATES
100 WEST STREET, SUITE 2014
LARKSPUR, NJ 07033
TEL: 973 984 5775

RESTORATION
JAN HRO POKORNY ASSOCIATES
30 WEST 40TH STREET, 4TH FLOOR
NEW YORK, NY 10018
TEL: 212 268 6482

GEO TECH
MICE
305 WEST 40TH STREET, 4TH FLOOR
NEW YORK, NY 10018
TEL: 917 238 4300

LIGHTING
CONSERVATORIE INTERNATIONAL
100 WALKER STREET, 7TH FLOOR EAST
NEW YORK, NY 10002
TEL: 212 254 4462



PROPERTY MARKETS GROUP
30 EAST 17TH STREET, 2ND FLOOR
NEW YORK, NY 10003
TEL: 212 869 8336

CURRENT ISSUE

DOB PAA

Shauqat Shaikh
Building
APPROVED
Under Directive 2 of 1975
DATE: 08/28/2015
NYC Development Hub

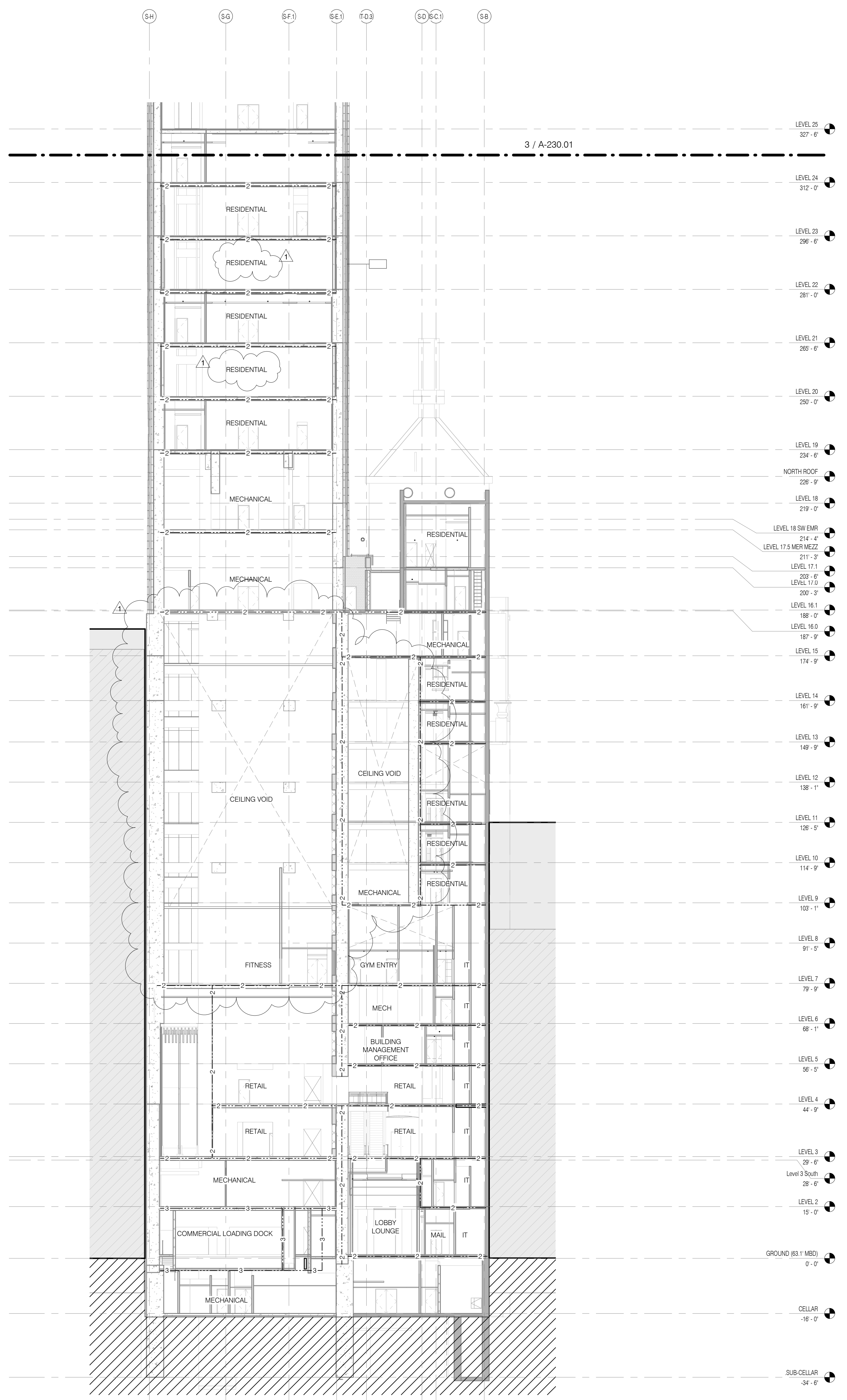
111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



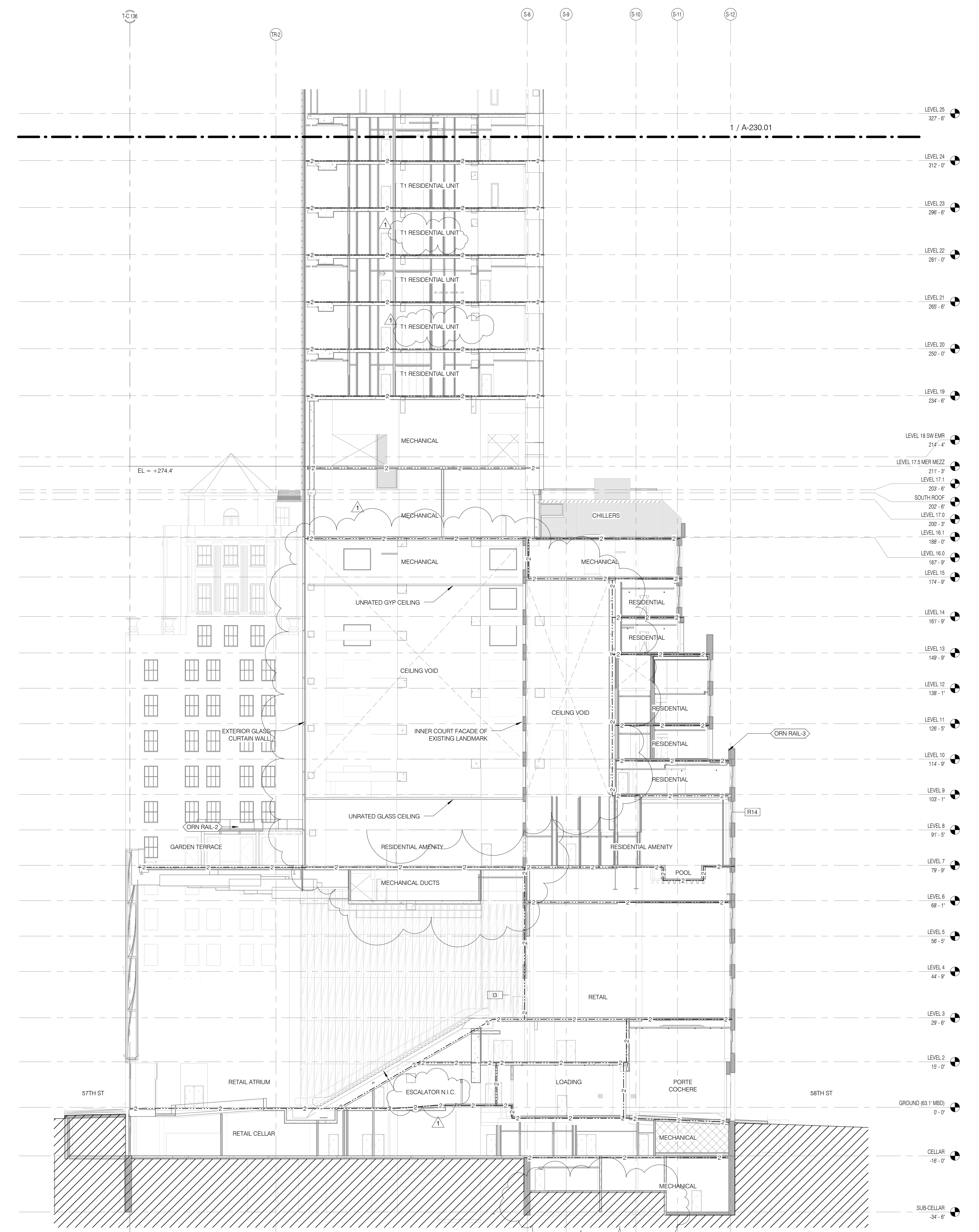
1	3.27.15	DOB PAA
	5.1.14	DOB FILING SET
NO.	DATE	REVISION
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SH&P ARCHITECTS P.C. ALL RIGHTS RESERVED.		

DRAWING TITLE
LIFE SAFETY DIAGRAMS

SEAL & SIGNATURE DATE: 3.27.15
PROJECT NO: 130007
DRAWN BY: SH&P
CHECKED BY: SH&P
DOB NO: 121330206
DRAWING NUMBER: G-024.01



BUILDING SECTION STEINWAY BUILDING 1/16" = 1'-0" 2



LIFE SAFETY SECTION - STEINWAY & TOWER BASE 1/16" = 1'-0" 1

LIFE SAFETY & PARTITION RATING
LEGEND
 --- 3 HR RATED
 --- 2 HR RATED
 --- 1 HR RATED

KEY PLAN 1

JDS DEVELOPMENT GROUP

JDS DEVELOPMENT GROUP
 104 FIFTH AVENUE, 8TH FLOOR
 NEW YORK, NY 10011
 TEL: 646 632 3600

sh p

ARCHITECT
 SH&P ARCHITECTS, P.C.
 230 BROADWAY, 11TH FLOOR
 NEW YORK, NY 10005
 TEL: 212 693 9336

STRUCTURAL ENGINEER
 YUSEF GANTON BERKUP
 220 EAST 43RD STREET
 NEW YORK, NY 10017
 TEL: 212 697 2886

MEP ENGINEER
 JORDIS, BAJAM & BOLLER
 80 WEST STREET, 12TH FLOOR
 NEW YORK, NY 10005
 TEL: 212 693 9336

CIVIL ENGINEER
 AWRIF ENGINEERING, P.C.
 40 FIFTH AVE, 20TH FLOOR, 7TH FLOOR
 NEW YORK, NY 10005
 TEL: 646 288 8028

ACOUSTICIST
 LONGMAN LINDSEY
 40 WEST 58TH STREET, 4TH FLOOR
 NEW YORK, NY 10019
 TEL: 917 288 3389

INTERIORS
 STUDIO SCHEFFEL
 30 LAURENCE STREET
 NEW YORK, NY 10002
 TEL: 212 475 3300

FAÇADE
 BURTON HARRPOLD
 105 BROADWAY
 NEW YORK, NY 10005
 TEL: 212 254 2025

VERTICAL TRANSPORTATION
 VAN DEUSEN & ASSOCIATES
 100 WEST STREET, SUITE 2014
 LARKSPRING, NJ 07033
 TEL: 973 984 8775

RESTORATION
 JAN HIND FOKORNY ASSOCIATES
 30 WEST 57TH STREET, 4TH FLOOR
 NEW YORK, NY 10019
 TEL: 212 288 6482

GEOTECH
 MICE
 305 WEST 45TH STREET, 4TH FLOOR
 NEW YORK, NY 10018
 TEL: 917 288 4300

LIGHTING
 COSSERONATORE INTERNATIONAL
 105 WALKER STREET, 7TH FLOOR EAST
 NEW YORK, NY 10002
 TEL: 212 255 4463



PROPERTY MARKETS GROUP
 30 EAST 17TH STREET, 2ND FLOOR
 NEW YORK, NY 10003
 TEL: 212 693 9336

CURRENT ISSUE
 DOB PAA

Shauqat Shaikh
 Building
 APPROVED
 Under Directive 2 of 1975
 DATED 05/03/2019
 DATE: 05/03/2019
 NYC Development Hub

111 WEST 57TH STREET
 111 WEST 57TH STREET
 NEW YORK, NY 10019



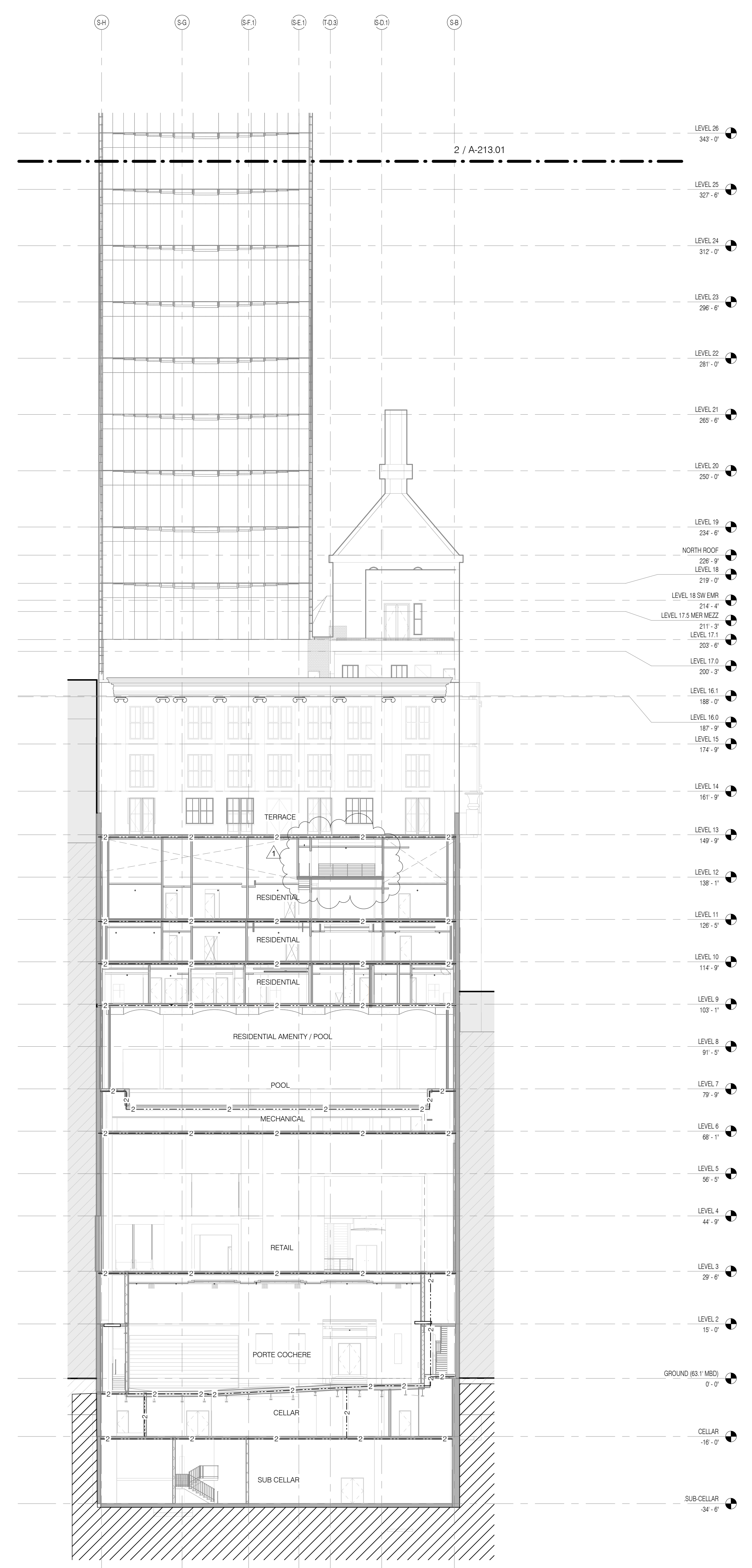
1	3.27.15	DOB PAA
	5.1.14	DOB PLUMB SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SH&P ARCHITECTS P.C. ALL RIGHTS RESERVED.

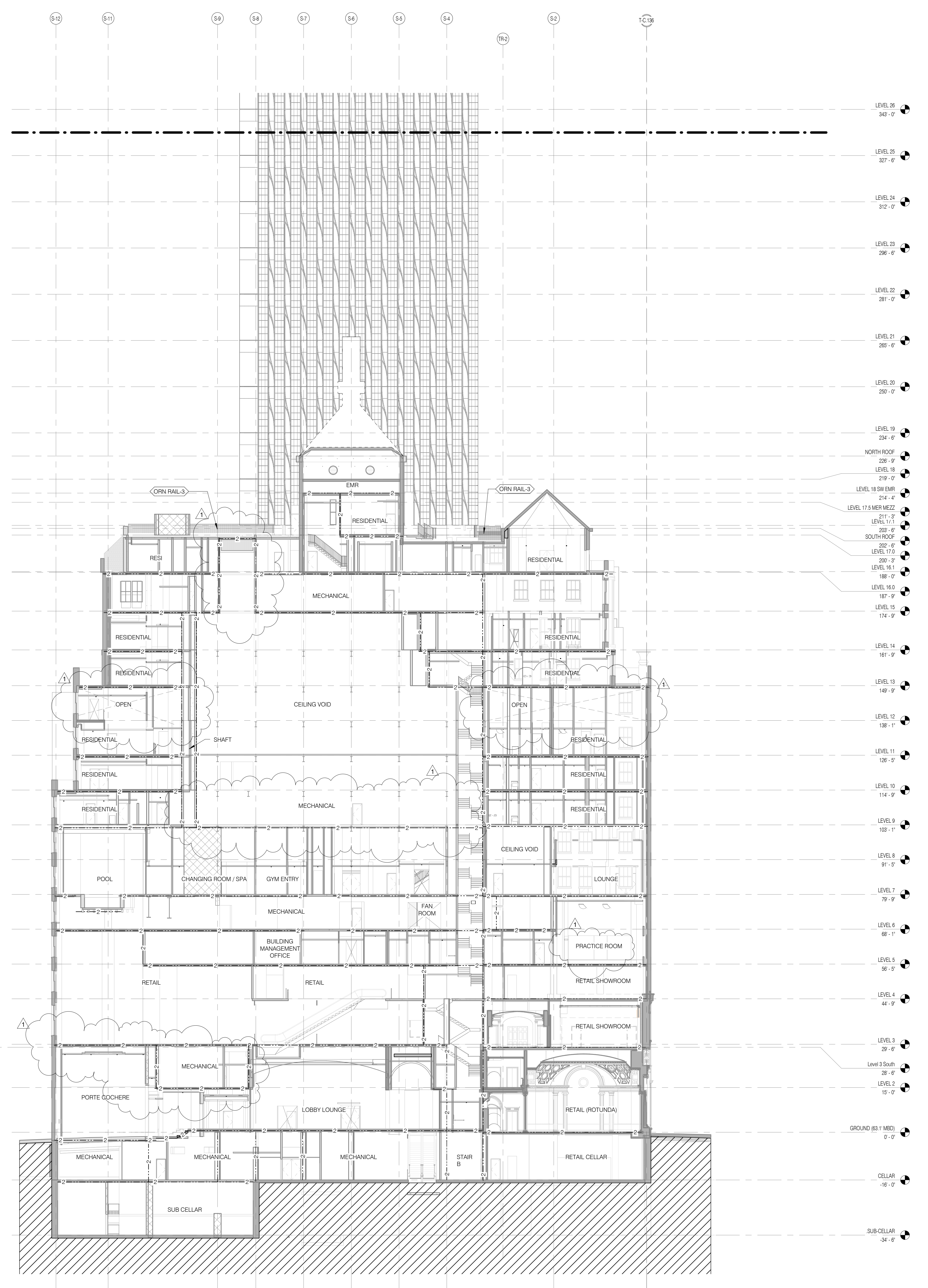
DRAWING TITLE
LIFE SAFETY DIAGRAMS

SEAL & SIGNATURE

 DATE: 3.27.15
 PROJECT NO: 130907
 DRAWN BY: SH&P
 CHECKED BY: SH&P
 DOB NO: 121330296
 DRAWING NUMBER: G-025.01



LIFE SAFETY SECTION - STEINWAY & TOWER BASE 1/16" = 1'-0" 2 A-1000 G-025



LIFE SAFETY SECTION - STEINWAY & TOWER BASE 1/16" = 1'-0" 1 A-1000 G-025

DEPT OF BUILDINGS 21332968 Job Number
E021148849 Job Code

LIFE SAFETY & PARTITION RATING LEGEND

— 3 HR RATED
- - - 2 HR RATED
- · - · 1 HR RATED

KEY PLAN

JDS DEVELOPMENT GROUP

JDS DEVELOPMENT GROUP
104 FIFTH AVENUE, 8TH FLOOR
NEW YORK, NY 10011
NY 646 833 3600

sh p

ARCHITECT
SH&P ARCHITECTS, P.C.
230 BROADWAY, 11TH FLOOR
NEW YORK, NY 10007
NY 212 869 8336

STRUCTURAL ENGINEER
YUSEF GANTOR BERKUP
228 EAST 43RD STREET
NEW YORK, NY 10017
NY 212 897 3886

MEP ENGINEER
JAVROS, BAIAM & BOLLES
89 WINE STREET, 12TH FLOOR
NEW YORK, NY 10003
NY 212 859 8333

CIVIL ENGINEER
ARUP ENGINEERING, P.C.
40 FIFTH AVE, 26TH FLOOR
NEW YORK, NY 10003
NY 800 388 8828

ACOUSTIC
LONGMAN LINDSEY
40 WEST 58TH STREET, 4TH FLOOR
NEW YORK, NY 10019
NY 917 338 3300

INTERIORS
STUDIO SCHEFFEL
30 WALKER STREET
NEW YORK, NY 10003
NY 212 475 3300

FAÇADE
BURROUGHS WELFORD
105 BROADWAY
NEW YORK, NY 10003
NY 212 234 2025

VERTICAL TRANSPORTATION
VAN DEUSEN & ASSOCIATES
8 WOOD STREET, SUITE 204
LARKSPRING, NJ 07033
NJ 973 984 8770

RESTORATION
JAN HEDRICK ASSOCIATES
30 WEST 57TH STREET, 4TH FLR
NEW YORK, NY 10019
NY 212 268 6462

GEOTECH
MICE
305 WEST 58TH STREET, 4TH FLOOR
NEW YORK, NY 10019
NY 917 338 4300

LIGHTING
CONSERVATORIE INTERNATIONAL
105 WALKER STREET, 7TH FLOOR EAST
NEW YORK, NY 10003
NY 212 255 4463



PROPERTY MARKETS GROUP
3140 7TH STREET, 2ND FLOOR
NEW YORK, NY 10003
NY 212 899 8336

CURRENT ISSUE

DOB PAA

Shauqat Shaikh
Building + Water

APPROVED
Under Directive 2 of 1975
DATE: 08/28/2015
NYC Development Hub

111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

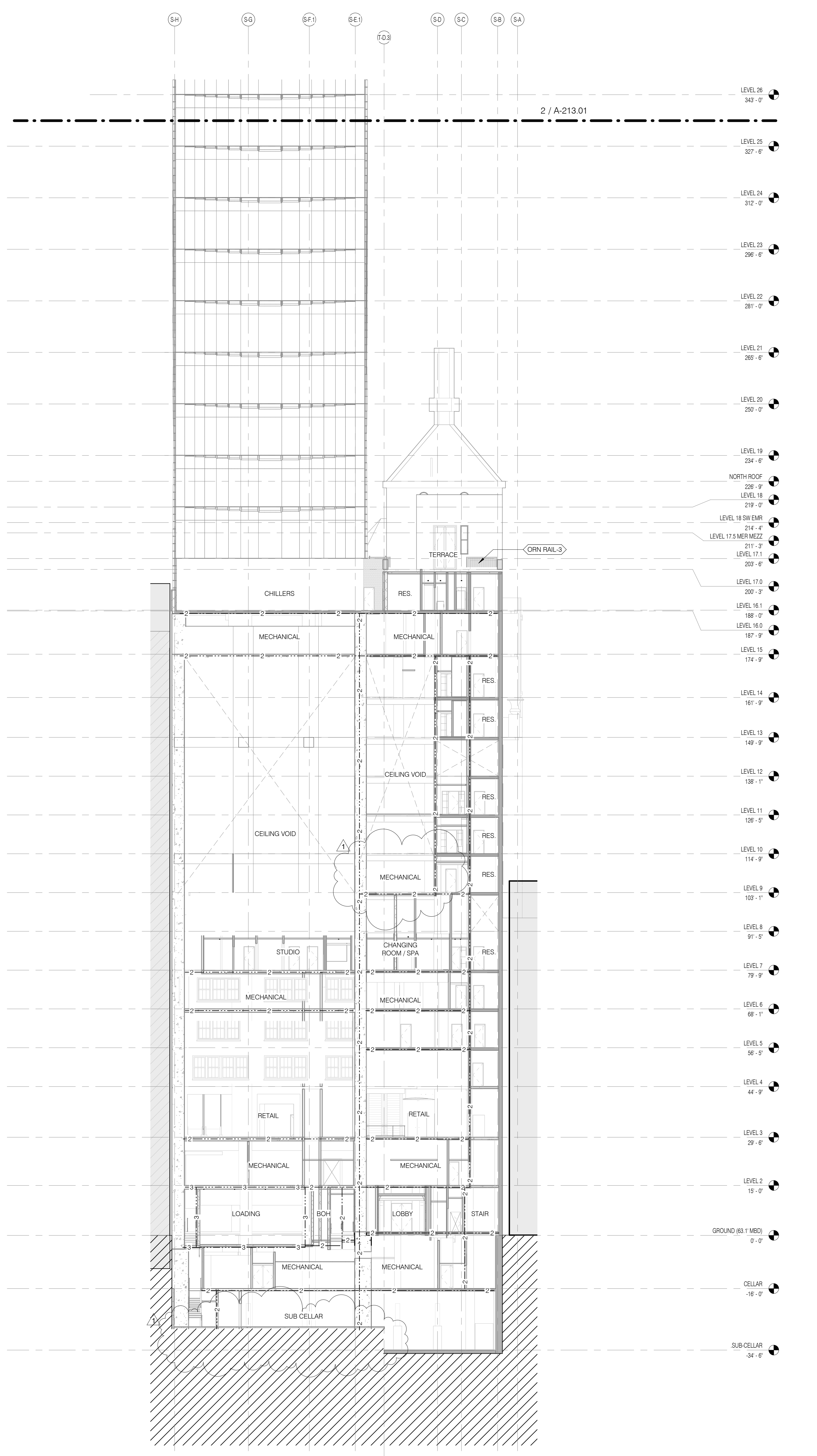
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SH&P ARCHITECTS, P.C. ALL RIGHTS RESERVED.

DRAWING TITLE

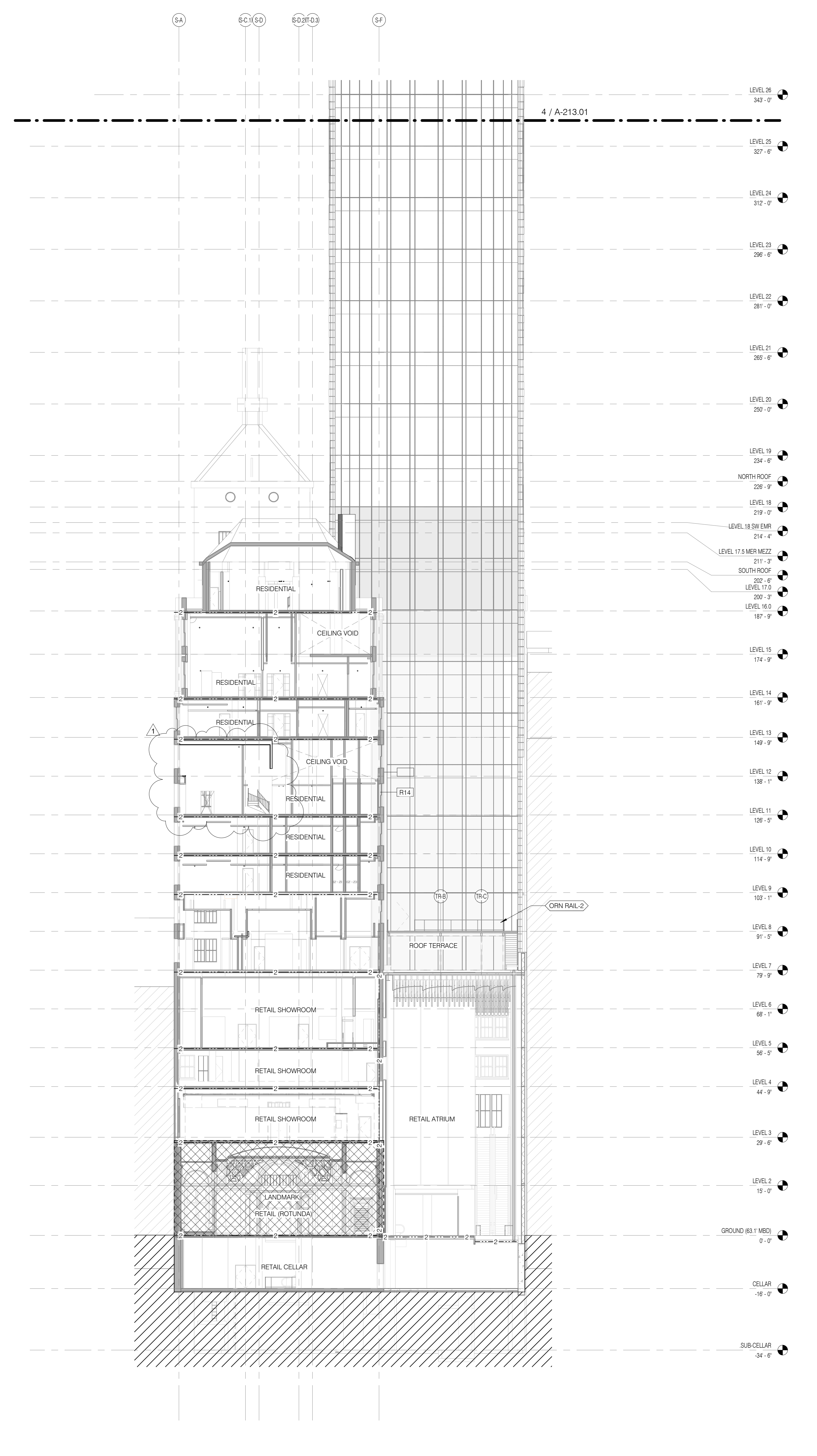
LIFE SAFETY DIAGRAMS

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130007	
DRAWN BY	SH&P	
CHECKED BY	SH&P	
DOB NO.	121332968	
DRAWING NUMBER		

G-026.01



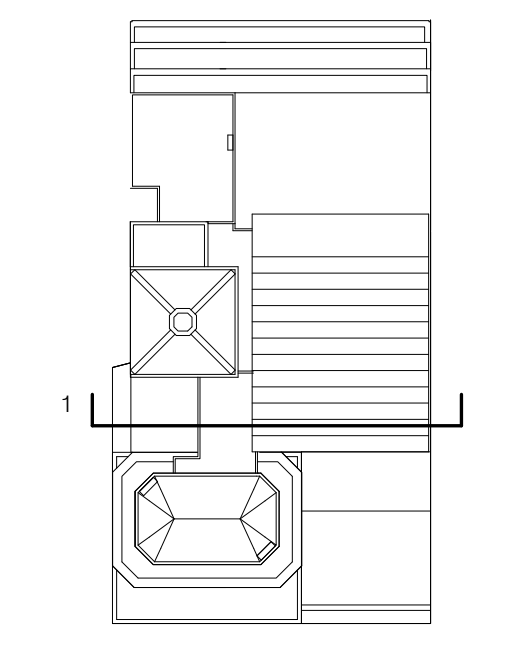
LIFE SAFETY SECTION - STEINWAY & TOWER BASE 1/16" = 1'-0" 2 A-1026 G-026.01



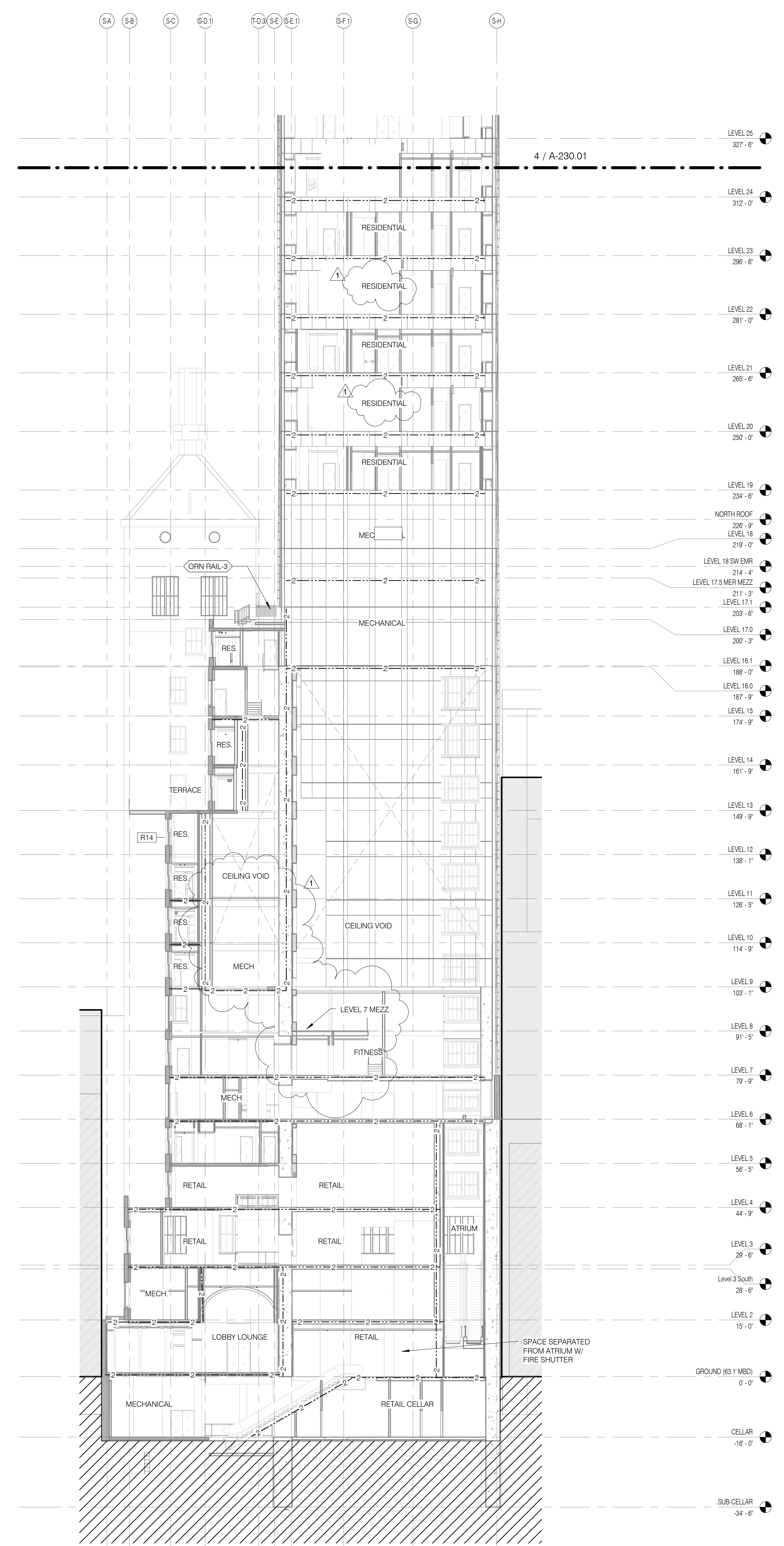
LIFE SAFETY SECTION - STEINWAY & TOWER BASE 1/16" = 1'-0" 1 A-1026 G-026.01

LIFE SAFETY & PARTITION RATING LEGEND

---	3 HR RATED
---	2 HR RATED
---	1 HR RATED



KEY PLAN



ARCHITECT
SH&P ARCHITECTS, P.C.
230 BROADWAY, 11TH FLOOR
NEW YORK, NY 10007
TEL: 212 693 9336

STRUCTURAL ENGINEER
YUSEF GHAFFAR HEBBAR
228 EAST 43RD STREET
NEW YORK, NY 10017
TEL: 212 697 5866

MEP ENGINEER
JANUS BALK & BOLLER
40 WING STREET, 12TH FLOOR
NEW YORK, NY 10003
TEL: 212 693 8233

CIVIL ENGINEER
AARIF ENGINEERING, P.C.
40 WING AND SOUTH 7TH FLOOR
NEW YORK, NY 10013
TEL: 646 288 8928

ACOUSTICS
LONGMAN LINDSEY
41 WEST 58TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 917 238 2800

INTERIORS
STUDIO SCENFIELD
30 LAURETTE STREET
NEW YORK, NY 10001
TEL: 212 475 3300

FACADE
BURROUGHS WELLS
105 BROADWAY
NEW YORK, NY 10005
TEL: 212 254 2025

VERTICAL TRANSPORTATION
VAN DEUSEN & ASSOCIATES
1 BROADWAY, SUITE 2014
LARKSPER, NJ 07033
TEL: 973 984 8775

RESTORATION
JAN HRO POKORNY ASSOCIATES
30 WEST 57TH STREET, 1 FLOOR, 2A
NEW YORK, NY 10019
TEL: 212 238 6462

GEOTECH
MICE
205 WEST 45TH STREET, 4TH FLOOR
NEW YORK, NY 10018
TEL: 917 238 4900

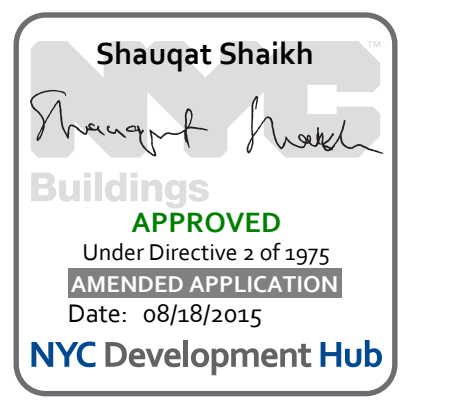
LIGHTING
CONSERVATORIE INTERNATIONAL
105 WALKER STREET, 7TH FLOOR EAST
NEW YORK, NY 10001
TEL: 212 252 4463



PROPERTY MARKETS GROUP
10 EAST 17TH STREET, 2ND FLOOR
NEW YORK, NY 10003
TEL: 212 693 9336

CURRENT ISSUE

DOB PAA



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET

NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SH&P ARCHITECTS P.C. ALL RIGHTS RESERVED.

DRAWING TITLE

LIFE SAFETY DIAGRAMS

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130607	
DRAWN BY	SH&P	
CHECKED BY	SH&P	
DOB NO.	121332968	
DRAWING NUMBER		G-027.01

ARCHITECT
SHAP ARCHITECTS, P.C.
230 BROADWAY, 11TH FLOOR
NEW YORK, NY 10007
TEL: 212 869 9300

STRUCTURAL ENGINEER
YUSEF GHAFFAR HEBBAR
228 EAST 43RD STREET
NEW YORK, NY 10017
TEL: 212 697 5866

MEP ENGINEER
JAMES BALM & BOLLER
80 WEST STREET, 12TH FLOOR
NEW YORK, NY 10006
TEL: 212 693 8933

CIVIL ENGINEER
ARIF EGGENRATH, P.C.
40 FIFTH AVE, 20TH FLOOR
NEW YORK, NY 10003
TEL: 212 260 8828

ACOUSTICIAN
LONGMAN LINDSEY
4 WEST 58TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 917 538 3389

INTERIORS
STUDIO SCENEFIELD
80 LAURETTTE STREET
NEW YORK, NY 10001
TEL: 212 475 1300

FAÇADE
BURROUGHS WAREFIELD
100 BROADWAY
NEW YORK, NY 10005
TEL: 212 254 2025

VERTICAL TRANSPORTATION
VAN DEUSEN & ASSOCIATES
2 BROADWAY STREET, SUITE 2014
LARKSPER, NJ 07033
TEL: 973 948 4770

RESTORATION
JAN HRO POKORNY ASSOCIATES
30 WEST 57TH STREET, 1 FLOOR, 2A
NEW YORK, NY 10019
TEL: 212 268 6462

GEOTECH
MICE
208 WEST 4TH STREET, 4TH FLOOR
NEW YORK, NY 10003
TEL: 917 388 4900

LIGHTING
CONSERVATORIE INTERNATIONAL
100 WALL STREET, 7TH FLOOR, EAST
NEW YORK, NY 10005
TEL: 212 255 4463

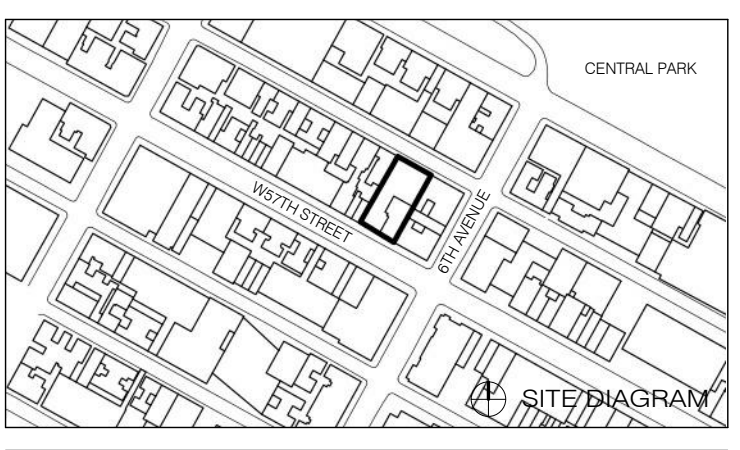


PROPERTY MARKETS GROUP
100 WEST 57TH STREET, 2ND FLOOR
NEW YORK, NY 10019
TEL: 212 899 9900

CURRENT ISSUE
DOB PAA



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



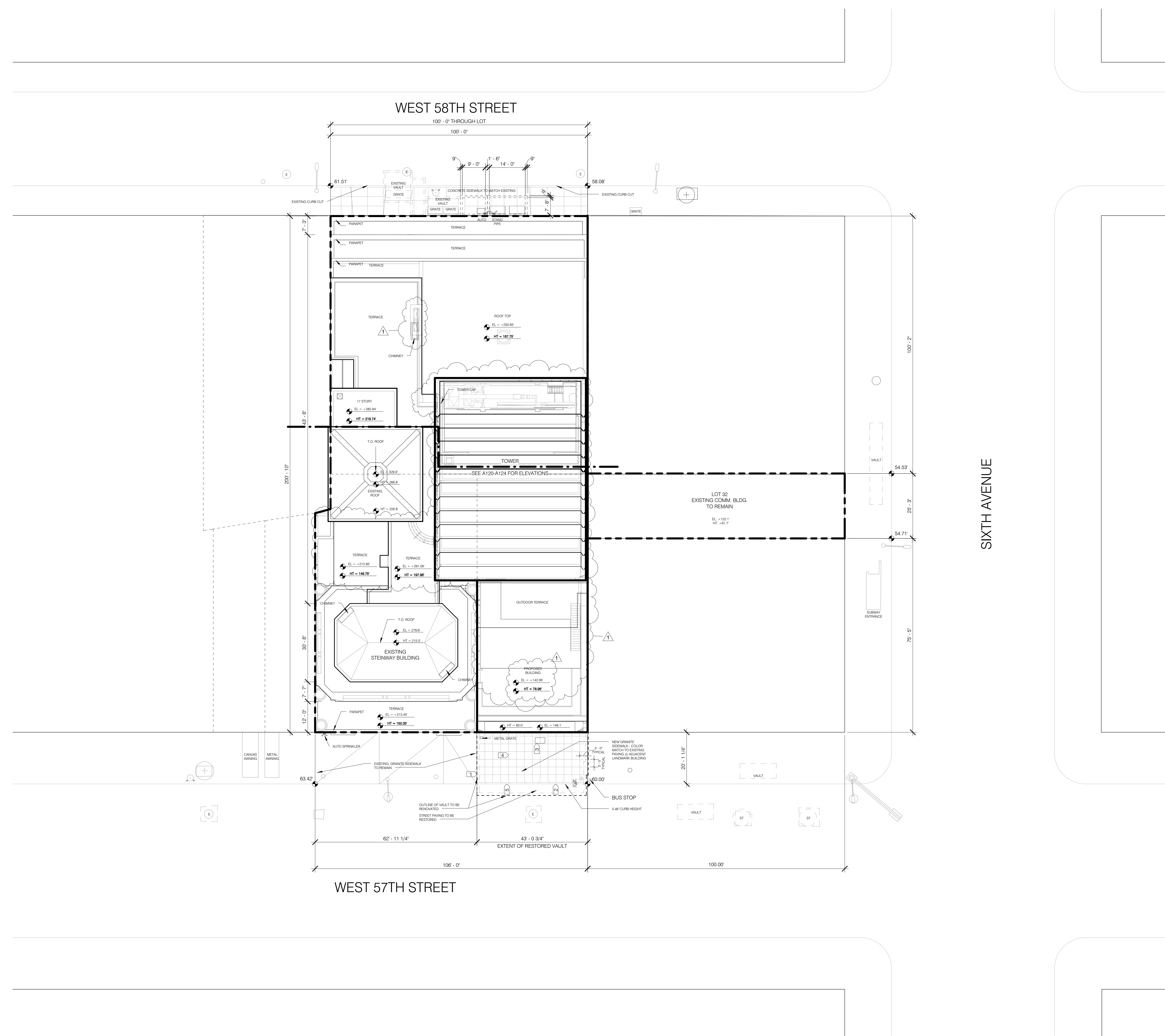
1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.

DRAWING TITLE
ARCHITECTURAL SITE PLAN

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130607	
DRAWN BY	SHAP	
CHECKED BY	SHAP	
DOB NO.	121332968	
DRAWING NUMBER		

G-030.01

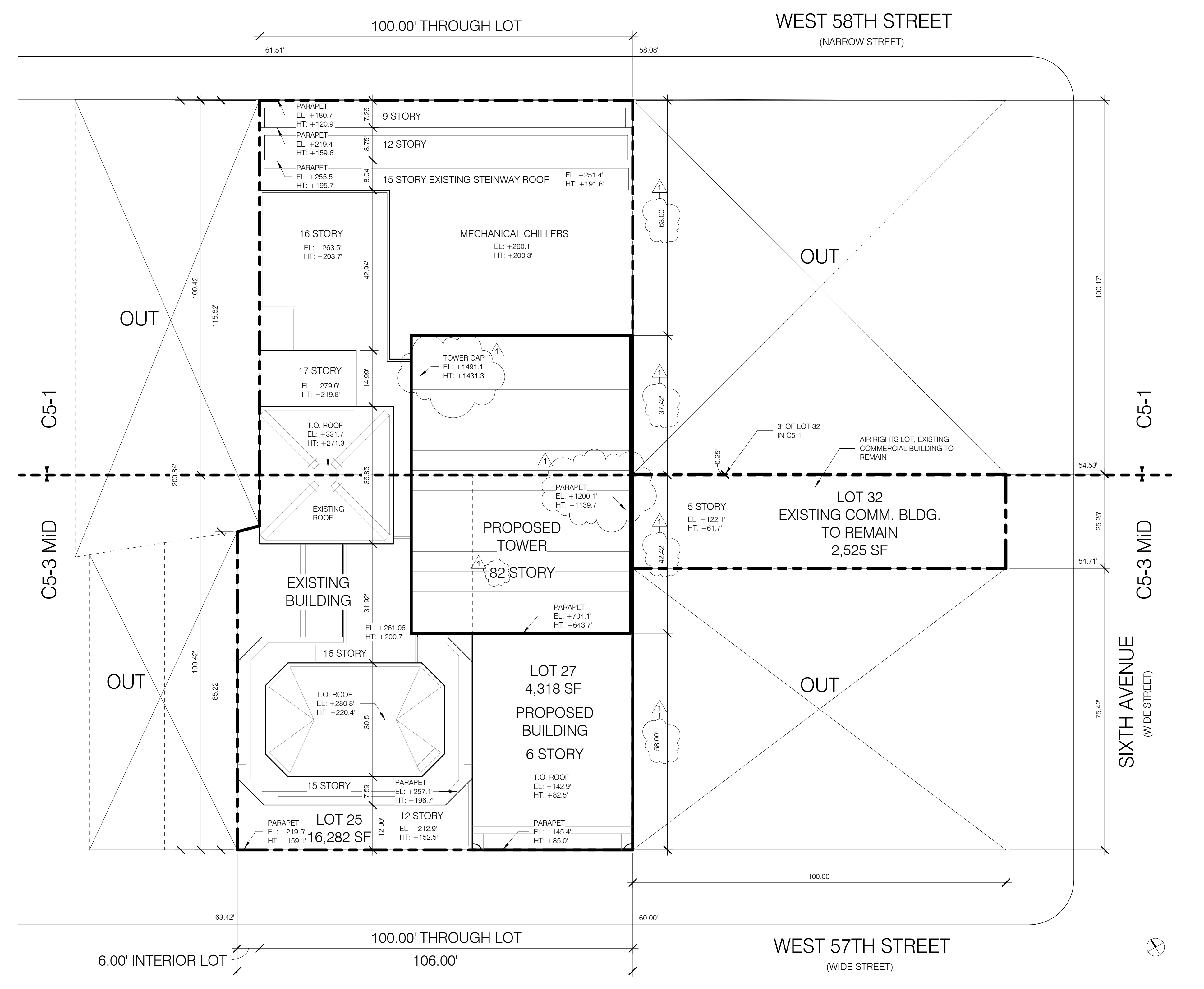


GENERAL NOTES

- PROJECT 0-0 = 63.1' MBD
- ELEVATION DATA FROM SURVEY (LANGAN 08.08.13)

KEYNOTES

- EXISTING GRANITE PAVING TO BE PROTECTED AND RETAINED
- CURB TO BE RESTORED
- METAL HATCH TO BE REMOVED
- EXISTING GRANITE PAVING TO BE PROTECTED AND RETAINED

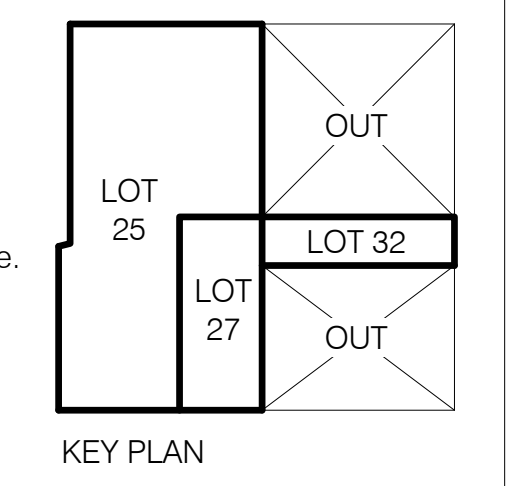


ZONING CALCULATIONS

- Applicable Section Map No. 101032, 25 and 27
1. Zoning Districts CS-1, CS-3 MID, CS-3 MIM
2. Lot Area 10,667 SF
3. Uses Permitted CS-1 and CS-3
4. Existing Building Existing To Remain UG-6
5. Floor Area Permitted A. FAR permitted 1) CS-1

Note: The proposed construction consists of:

- 1. An Article I Chapter 5 conversion of part of the building on current Tax Lot 25, which is 111 W. 57th Street, "The Steinway Building, a designated landmark."
2. Change of use to the remainder of 111 W. 57th St. to retail use.
3. Enlargement of 111 W. 57th Street with residential and retail uses.
4. Existing building on Tax Lot 32 remains unchanged.



PROPOSED BUILDING FLOOR AREAS - BUILDING ON LOTS 25 & 27

Table with columns: FLOOR, SUB-CELLAR, USE, GROSS FLOOR AREA, DEDUCTIONS, ZFA, TOTAL. Rows include COMMERCIAL, RESIDENTIAL, MECHANICAL, and various levels from 1 to 82.

NOTE: RESIDENTIAL USE UP TO 10 FAR MAY BE LOCATED IN ANY ZONE.

EXISTING BUILDING FLOOR AREAS - LOT 32

Table with columns: FLOOR, USE, GROSS FLOOR AREA, DEDUCTIONS, ZFA, TOTAL. Rows include COMMERCIAL, RESIDENTIAL, MECHANICAL, and levels 1 to 5.

ART 1 CHAPTER 5 FLOOR AREA SCHEDULE...

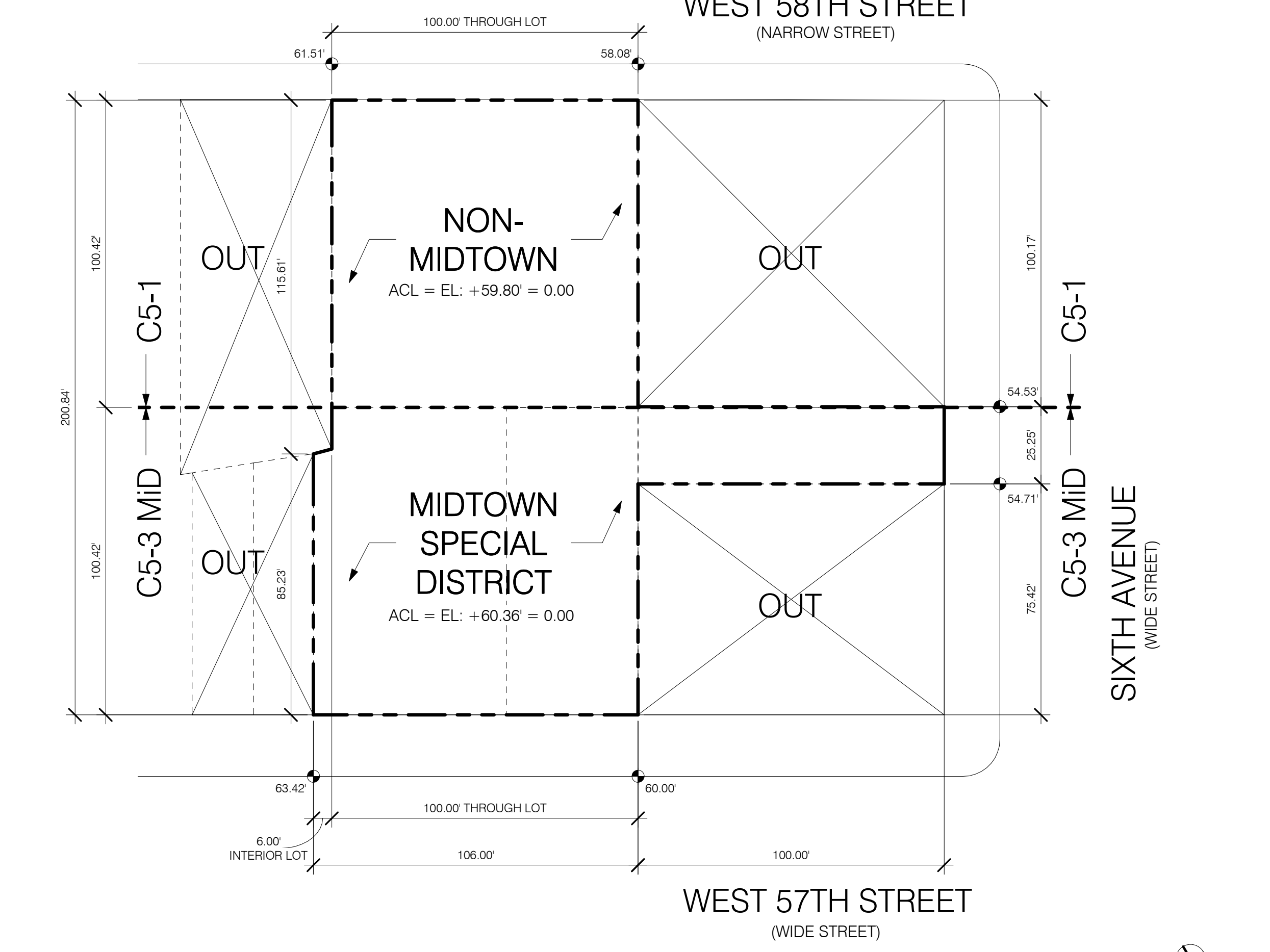
Table with columns: Level, EXISTING COMMERCIAL TO REMAIN, PROPOSED CONVERTED RESIDENTIAL, TOTAL. Rows include SUB-CELLAR, CELLAR, GROUND (63.1 MBD), and levels 1 through 17.

Special Midtown Regulations Mandatory District Plan Elements Sec 81-40

- 81-42 1. Retail Continuity
81-43 2. Street Wall Continuity Along Designated Streets
81-44 3. Curb Cut Restrictions
81-45 4. Pedestrian Circulations Space
81-46 5. Off-street Subway stair
81-47 6. Major Building Entrances
81-48 7. Rail Mass Transit

AVERAGE CURB LEVEL CALCULATIONS

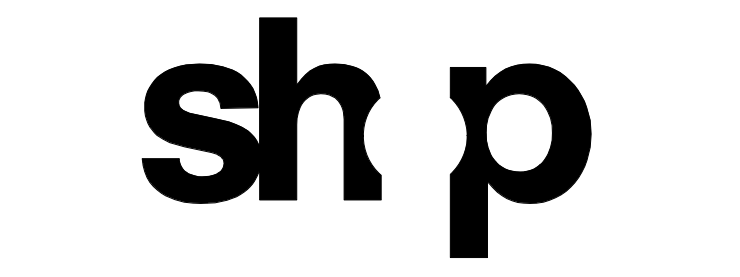
A. CS-3/MID ZONE ACL (W. 57TH STREET)
W 57th 63.42 + 60 = 61.71'
6th Ave 54.53 + 54.71 = 54.62'
WEIGHTED AVERAGE
(61.71 x 1.06) + (54.62 x 25.00) = 6541.26 + 1365.5 = 7906.76 = 60.36'



AVERAGE CURB LEVEL CALCULATIONS AND PLAN DIAGRAM 1/32" = 1'-0" 2



JDS DEVELOPMENT GROUP
100 FIFTH AVENUE, 8TH FLOOR
NEW YORK, NY 10003
TEL: 212.685.3800



- ARCHITECT SHP ARCHITECTS P.C.
STRUCTURAL ENGINEER JORDS, BAHM & BOLLER
MEP ENGINEER JAMES STREET DEVELOPMENT
CIVIL ENGINEER ANR GENERAL P.C.
ACoustiCS LONGMAN LINSEY
INTERIORS TUDOR SHIELD

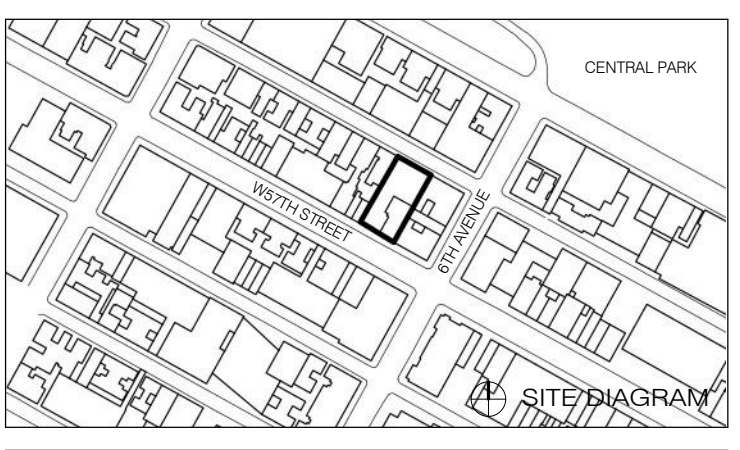


PROPERTY MARKETS GROUP
1100 5TH AVE 10TH FLOOR
NEW YORK, NY 10003

CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



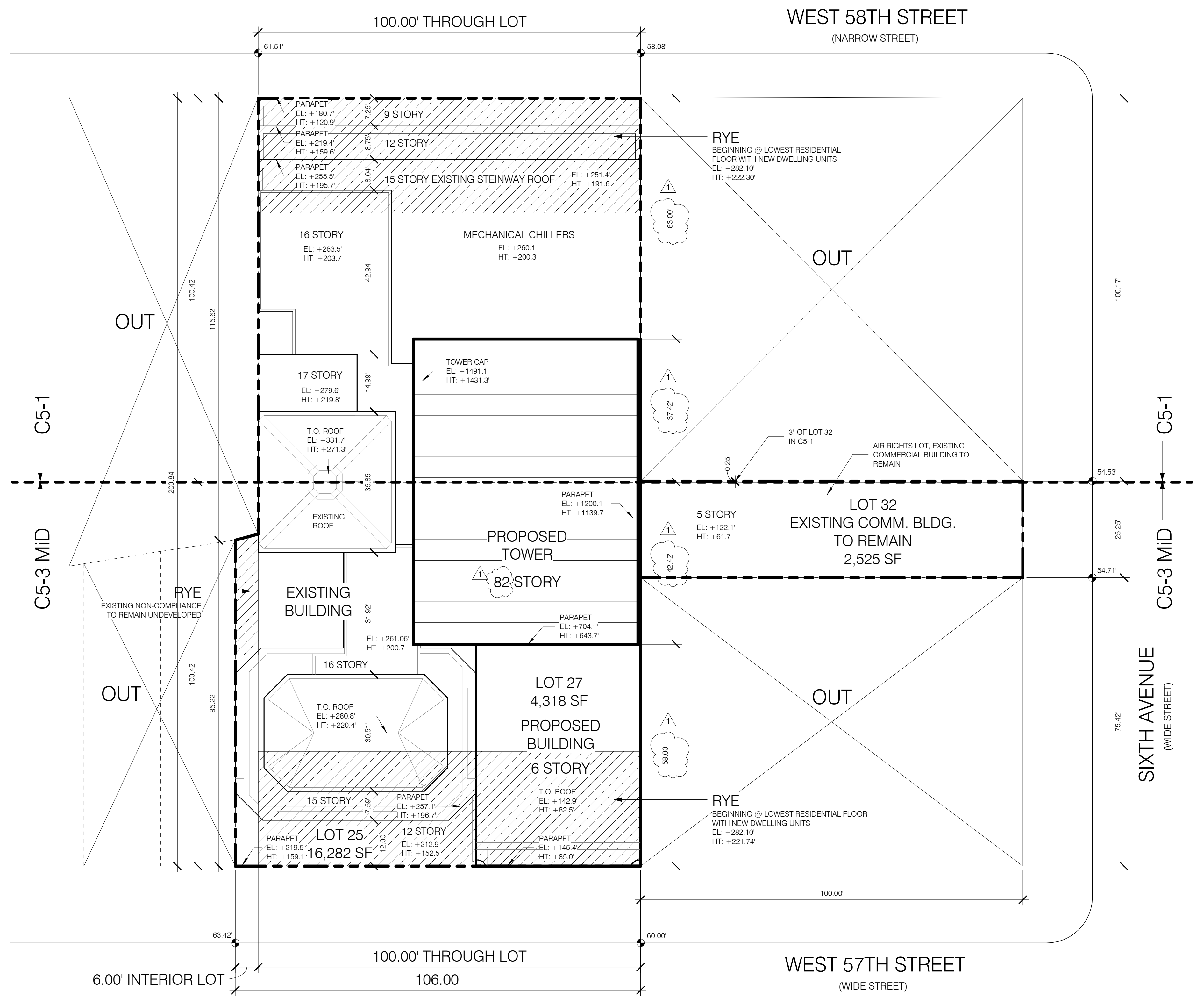
SEE Z-110 - Z-112 FOR ADDITIONAL ART I CHAPTER 5 INFORMATION

Table with columns: NO., DATE, REVISION. Row 1: 1.01, 08/15/24, DOB PAA.

Professional seals and signatures for Shauqat Shaikh and other project members.

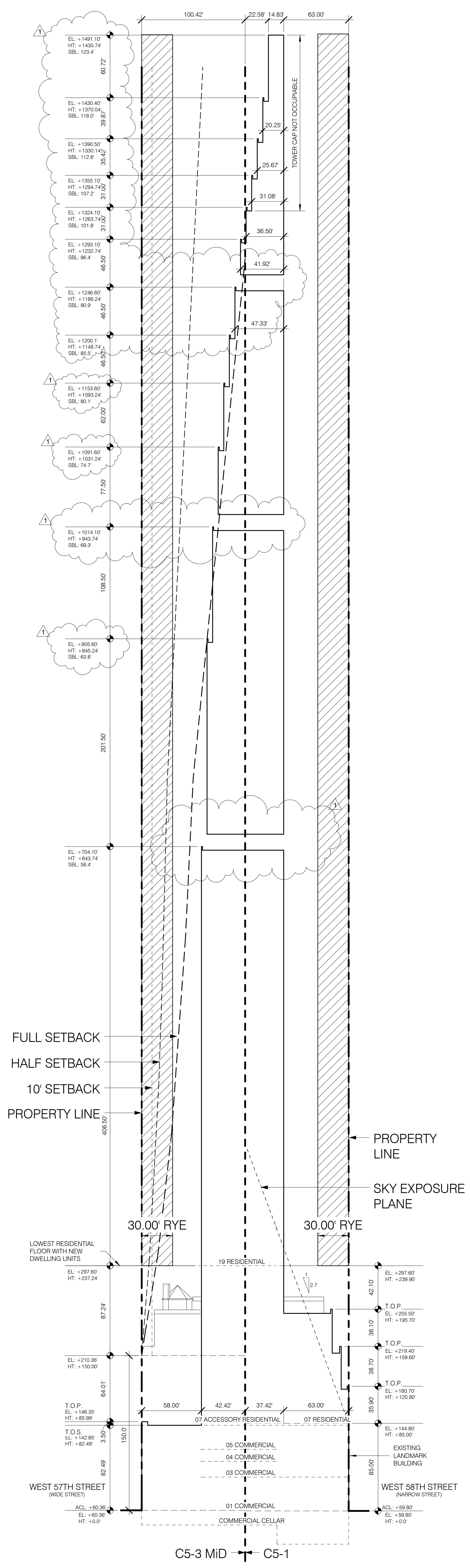


1	3.27.15	DOB PAA
	5.1.14	DOB FILING SET
NO.	DATE	REVISION
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SH&P ARCHITECTS P.C. ALL RIGHTS RESERVED.		



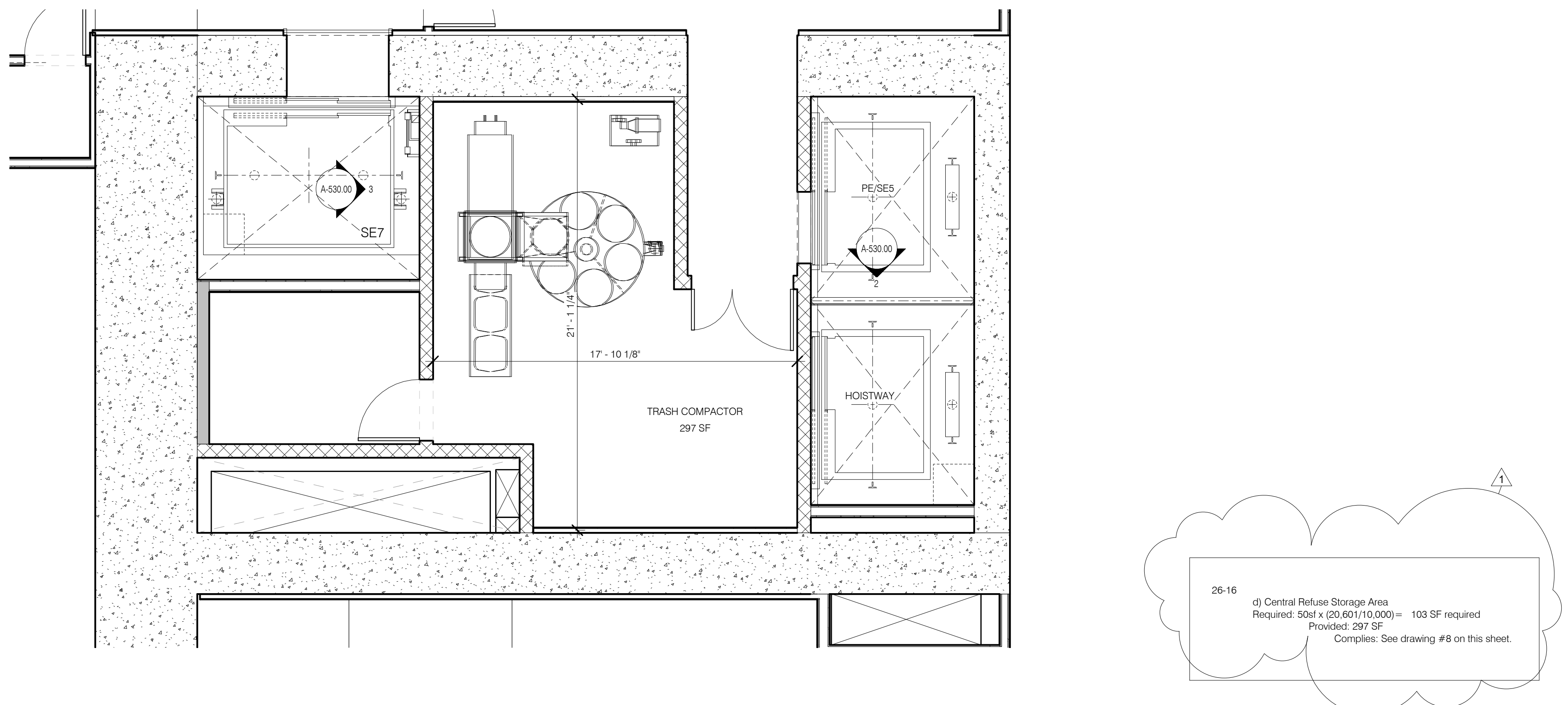
REAR YARD EQUIVALENT BEGINS AT EL: +141.9', LOWEST RESIDENTIAL FLOOR WITH DWELLING UNITS

REAR YARDS	1/16" = 1'-0"	2
		2,000.00



Rear Yard Regulations

- 33-26 A. Commercial Use
- 33-261 1. Rear Yard of 50' required for interior lot, except within 100' of corner and along short dimension of a block.
- 33-300 Existing non-compliance to remain undeveloped.
- 33-281 2 Commercial Use: No Rear yard equivalent regulations applies to through lots in C5 and C6 zones.
- 23-532 B. Residential Use
Required Rear Yard Equivalent
60' Rear yard equivalent required
Provided as per Sec. 23-532(b)
- Open area provided for New Residential Use as lowest level of new dwelling units, 11' 23.28' above A.C.L.
- Depth of required open area, West 57th Street is 30' and a corresponding open area along West 58th Street is 30'
- Provided 60' Rear yard equivalent "B"
- 15-11 C. Residential Use in Art I Chapter 5 position
None required



26-16 (i) Central Refuse Storage Area
Required: 5504 x (20.60/10,000) = 103 SF required
Provided: 297 SF
Complies: See drawing #8 on this sheet.

C5-3 STREETScape ZONING CALCULATIONS

81-43 Street Wall Continuity

Code	Description	Permitted	Provided	Complies
1.	Length subject to Setback Regulation	80% x 106.0' = 84.8'	84.8'	Complies
3.	Permitted Street Wall Setback	75% x 84.8' = 63.6'	63.6'	Complies
II.	No Setback Permitted	75% x 84.8' = 63.6'	100'	Complies
II.	Up to 10' Setback Permitted	75% x 84.8' = 63.6'	21.2'	Complies
II.	Up to 10' Deep	30% x 106.0' x 85.0' = 2703'	21'	Complies
II.	Up to 2' Deep	20% x 106.0' x 85.0' = 1802'	1802'	Complies
II.	Up to 1' Deep	Unlimited	774'	Complies

81-42 Retail Continuity

Code	Description	Permitted	Provided	Complies
1.	Retail Use Requirement on Designated Streets	80% x 106.0' = 84.8'	84.8'	UG 6 Complies
Proposed:	Ground Floor Retail			Complies
Provided:	100% Street Frontage is Retail Use or Residential Lobby Entrance			Complies
Maximum Allowable Length of Street Frontage occupied by Lobby or Entrance Space	25% x 106.0' = 26.5'	19'	19'	Complies

81-42 Glazing Requirements

Code	Description	Permitted	Provided	Complies
1.	Along W57th Street 50% of Ground Floor to be Glazed up to 14'			
Provided:	New Building Frontage Required*	50% of (14 x 43') = 301'	544'	Complies
Existing Landmark Frontage Required	50% of (14 x 63') = 441'	441'	441'	Complies
Provided:	TOTAL REQUIRED	742'	113'	Existing non-compliance. Landmarked Building.*
TOTAL PROVIDED			657'	Existing non-compliance. Landmarked Building.*

81-44 Curb Cut Restrictions
There are no curb cuts on West 57th street, a restricted street.
Complies

81-45 Pedestrian Circulation Space
Not required

C5-1 STREETScape ZONING CALCULATIONS

37-35

Code	Description	Permitted	Provided	Complies
1.	Special Urban Design Guidelines - Streetscape as per Sec. 37-30			
a)	Retail Continuity			
50%	of front building wall of development fronting of a wide street to contain commercial uses			
n.a.	development not on wide street in C5-1. Complies			

37-36

Code	Description	Permitted	Provided	Complies
b)	Sign Regulations			
Signs	to be provided in horizontal band. Not Higher than 17' from curb level and no taller than 3'			
Will comply:	See drawing #3 on this sheet.			

37-37

Code	Description	Permitted	Provided	Complies
c)	Streetwall Articulation			
On all streets,	50% of ground floor to 14' in height to be transparent.			
Existing Landmark Building	does not comply with glazing requirement. New building does not increase degree of non-compliance. (See diagram #2 on this sheet)			

26-00

Code	Description	Permitted	Provided	Complies
1.	Special Urban Design Guidelines- Streetscape as per Sec. 26-00			
a)	Streetwall Articulation			
Superseded by	greater requirements of Sec. 37-37			

26-15

Code	Description	Permitted	Provided	Complies
c)	Curb Cuts			
Permitted:	No curb cut on wide street			
Up to one curb cut	on narrow street			
Provided:	Existing Landmark Building does not comply with curb cut requirement. Existing curb cuts to remain. New building does not increase degree of non-compliance. (See diagram #1 on this sheet)			

26-16

Code	Description	Permitted	Provided	Complies
(i)	Central Refuse Storage Area			
Required:	5004 x (20.60/10,000) = 103 SF required			
Provided:	297 SF			
Complies:	See drawing #8 on this sheet.			

36-70

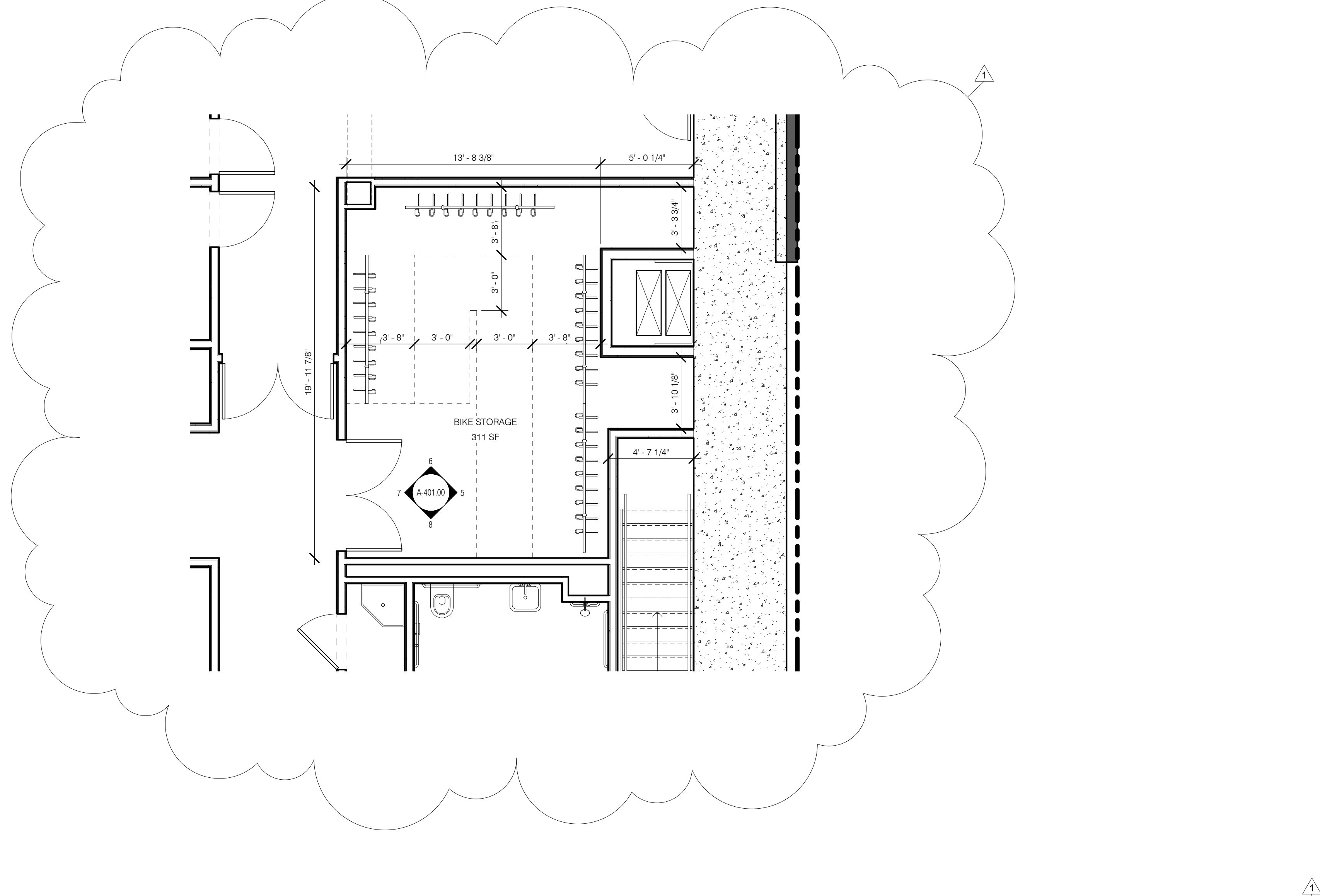
Code	Description	Permitted	Provided	Complies
1.	Bicycle Parking			
Required:	Bicycle Parking (15 SF / Bicycle)			
Residential:	1 Bicycle per 2 Dwelling Units			
Retail:	1 Bicycle / 10,000 SF			
Total Bicycle required:	60 DU / 2 = 30			
43,424/10,000 = 5				
Total = 35				
Total Bicycle Parking Space required:	35 x 15 = 525 SF			
Permission requested to provide:	6 SF per Bicycle			
Total Bicycle Parking Space required:	35 x 6 = 210 SF			
Bicycle Parking Space Provided =	311 SF			
Complies:	See drawing #7 on this sheet.			

Additional Requirements (C5-1 zone only - not applicable in Midtown District)

CENTRAL REFUSE STORAGE AREA - CELLAR LEVEL 1/4" = 1'-0" 8 2/1600

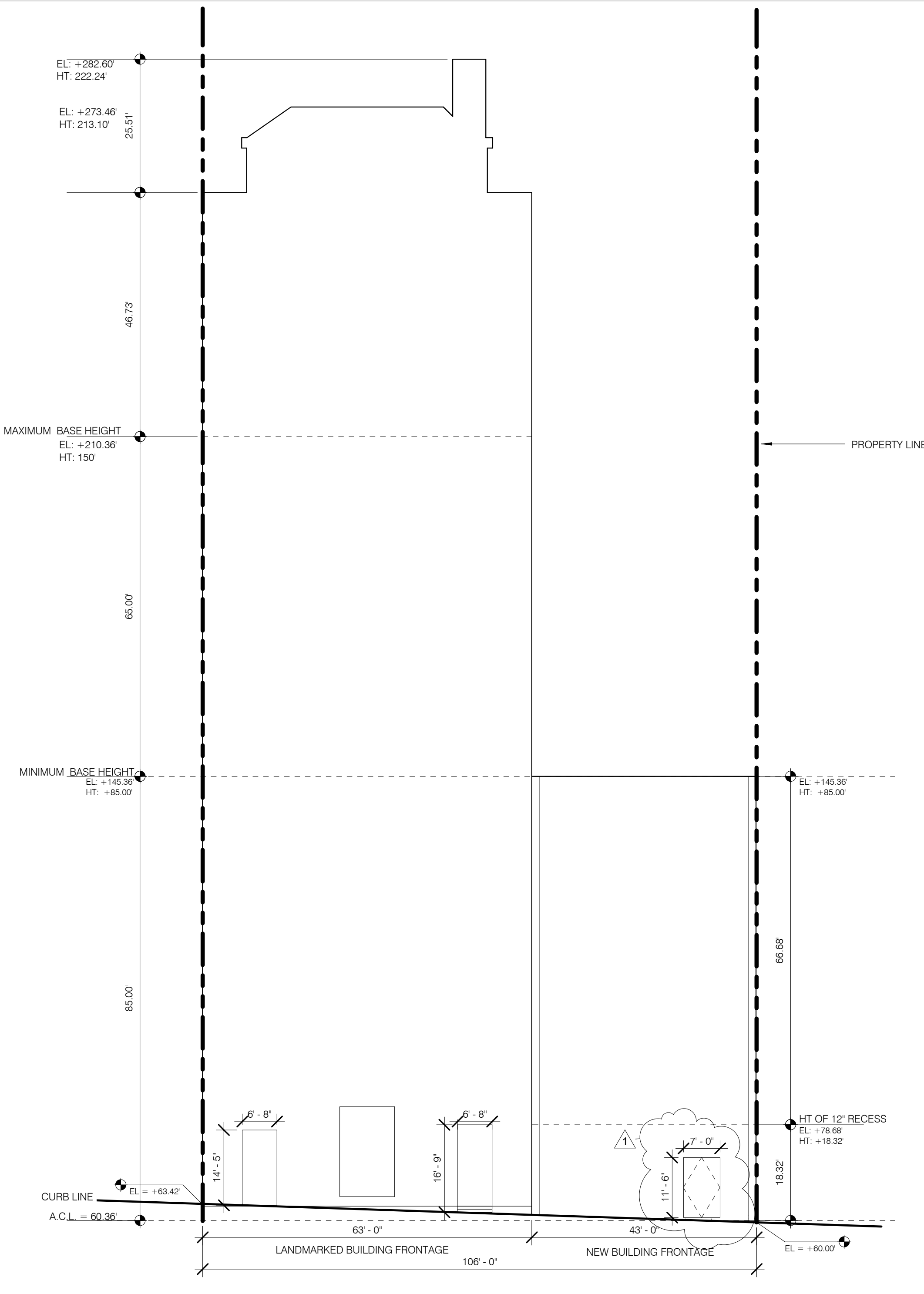
C5-3 STREETScape ZONING CALCULATIONS

C5-1 STREETScape ZONING CALCULATIONS

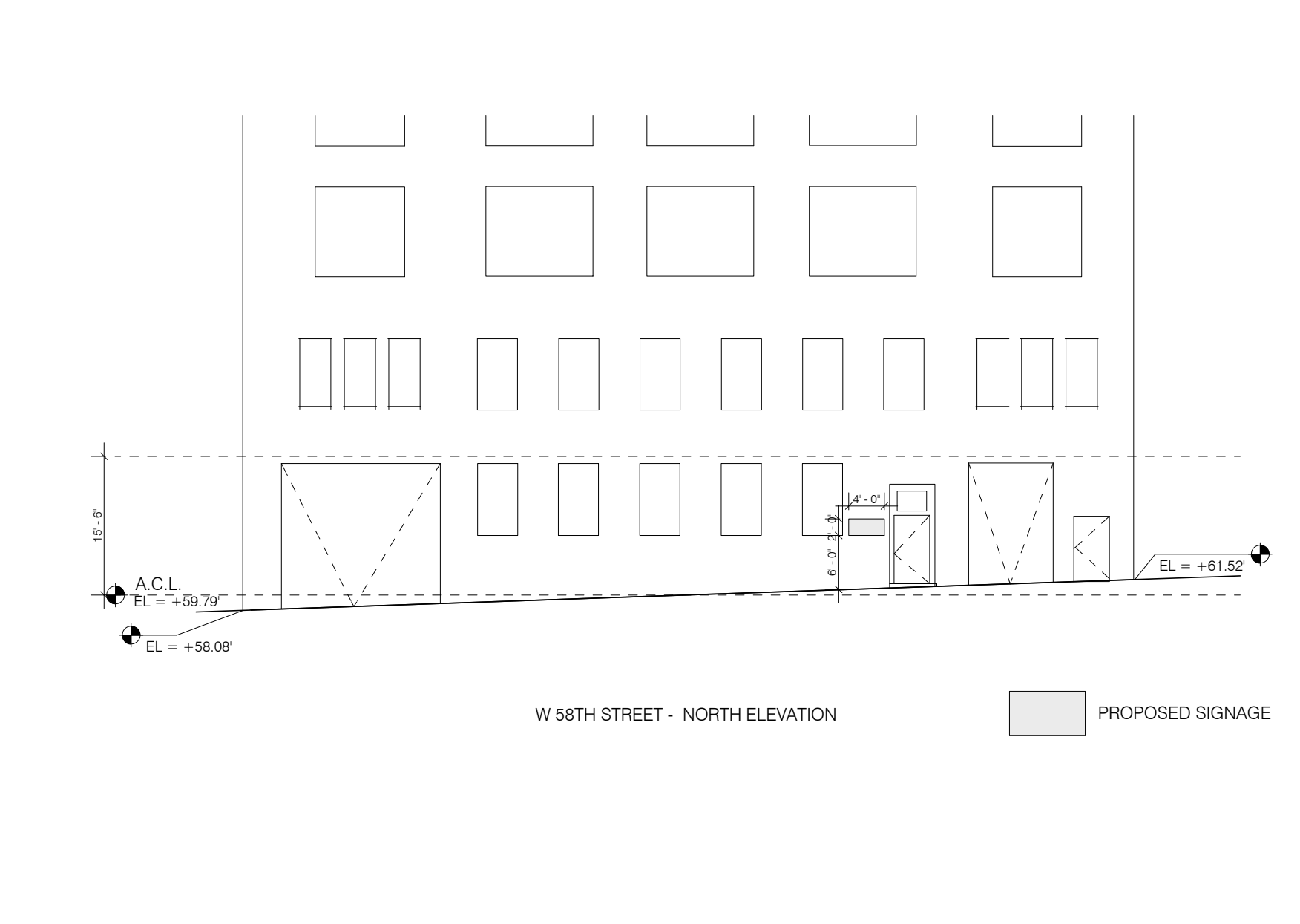


36-70 3 Bicycle Parking
Required Bicycle Parking (15 SF / Bicycle)
Residential: 1 Bicycle per 2 Dwelling Units
Retail: 1 Bicycle / 10,000 SF
Total Bicycle required: 60 DU / 2 = 30
43,424/10,000 = 5
Total = 35
Total Bicycle Parking Space required: 35 x 15 = 525 SF
Permission requested to provide: 6 SF per Bicycle
Total Bicycle Parking Space required: 35 x 6 = 210 SF
Bicycle Parking Space Provided = 311 SF
Complies: See drawing #7 on this sheet.

BIKE ROOM - CELLAR LEVEL 1/4" = 1'-0" 7 2/1600

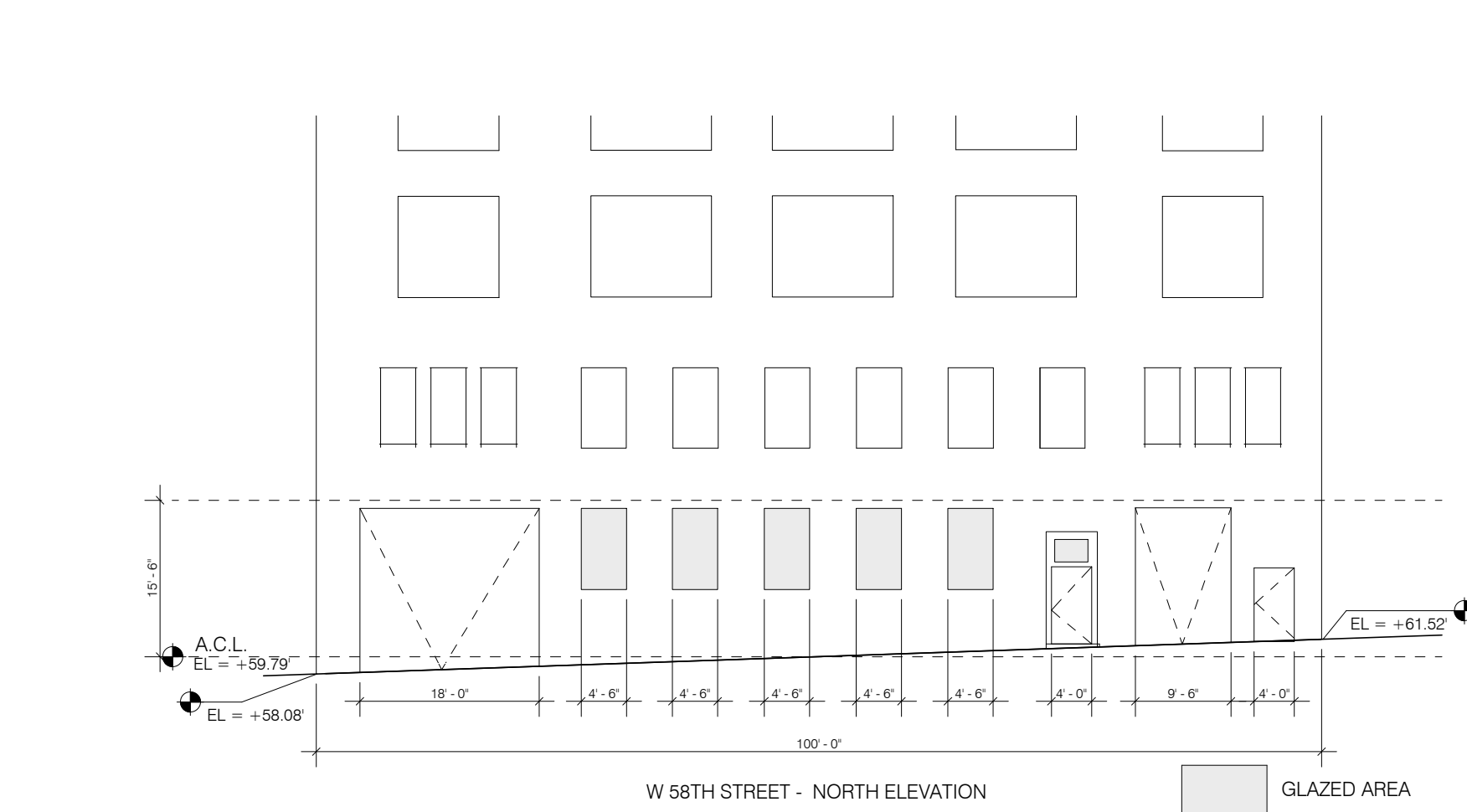


WEST 57TH STREET ELEVATION - DOORS 1/16" = 1'-0" 5 2/1600



STREETWALL AND SIGNAGE 2 1/16" = 1'-0" 3 2/1600

NOTE: EXISTING TRANSPARENCY % TO REMAIN UNCHANGED.

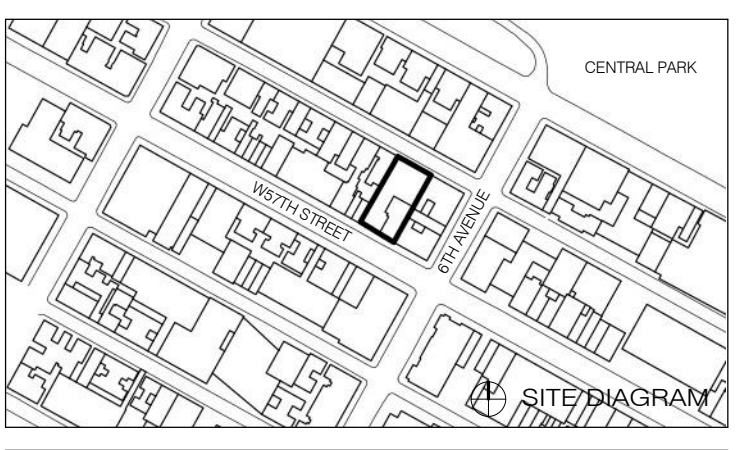


West 58th Street	EXISTING SF	PROVIDED SF	% EXISTING NON-COMPLIANCE
A	12x100	1200	
B	TRANSPARENCY	180	
14' x 8' x 5		180	
11' x 2' x 7		77	
2' x 3' x 10		93	
TOTAL TRANSPARENCY PROVIDED	186	186	0%

*EXISTING LANDMARKED BUILDING DOES NOT COMPLY. NEW CONSTRUCTION DOES NOT INCREASE DEGREE OF NON-COMPLIANCE.

WEST 58TH STREET ELEVATION - TRANSPARENCY 1/16" = 1'-0" 2 2/1600

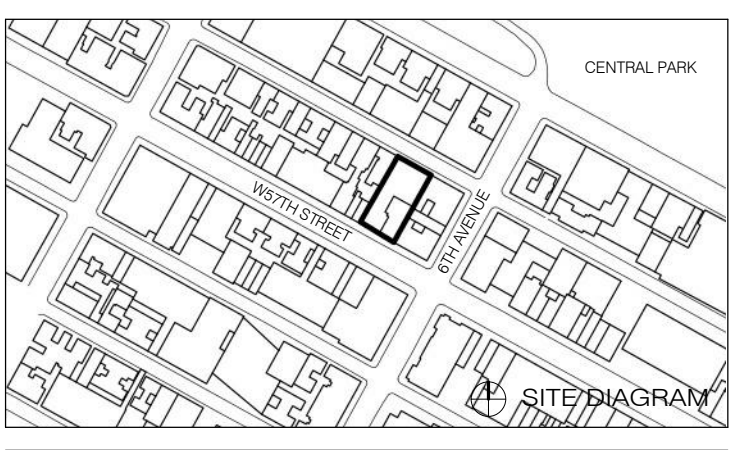
111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



NO.	DATE	REVISION
1	3.27.15	DOB PAA
2	5.1.14	DOB PLING SET

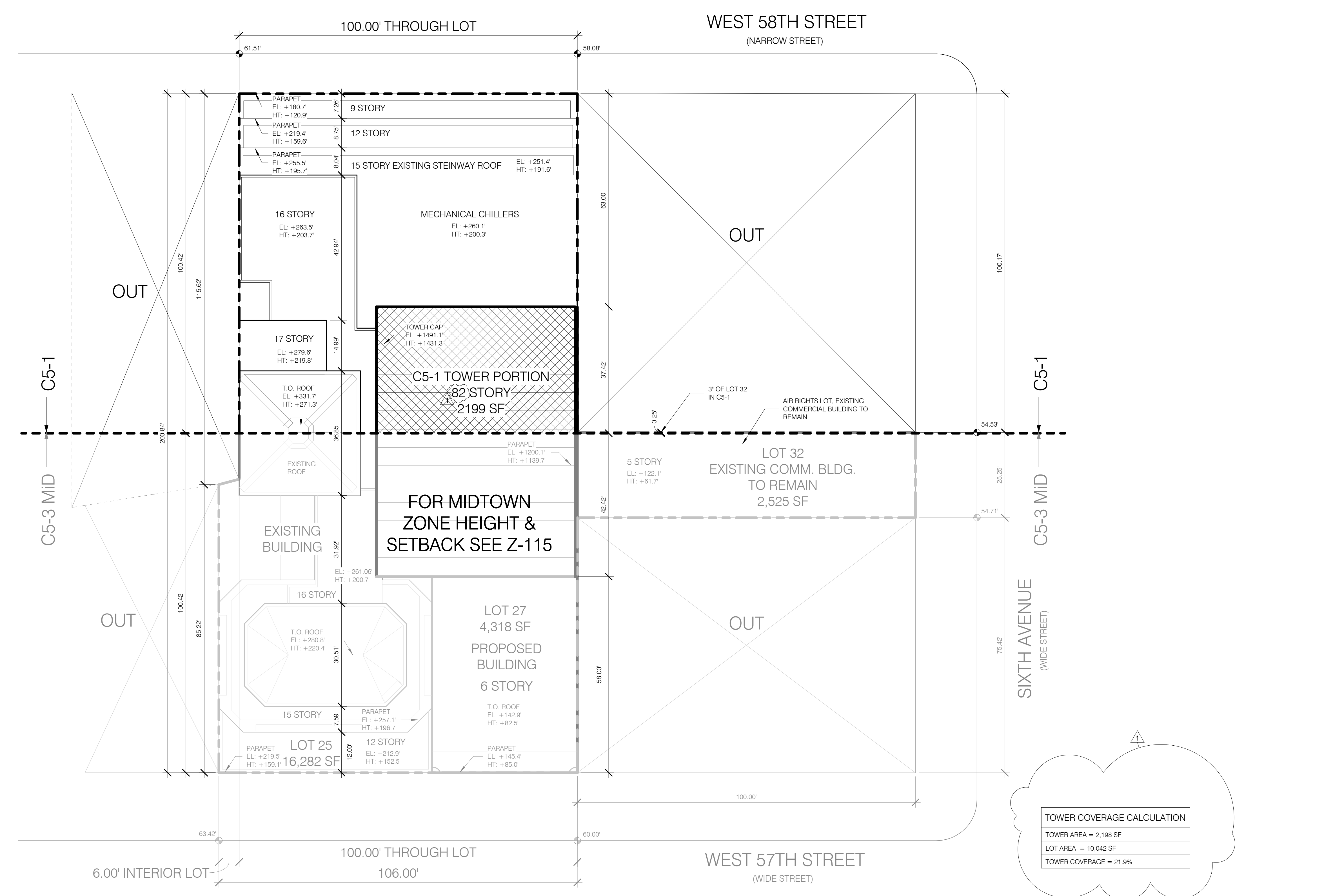
STREETSCAPE C5-3 & C5-1

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130007	
DRAWN BY	SH/p	
CHECKED BY	DLG	
DOB NO.	12130206	
DRAWING NUMBER	Z-102.01	



NO.	DATE	REVISION
1	3.27.15	DOB PAA
2	5.1.14	DOB PLING SET

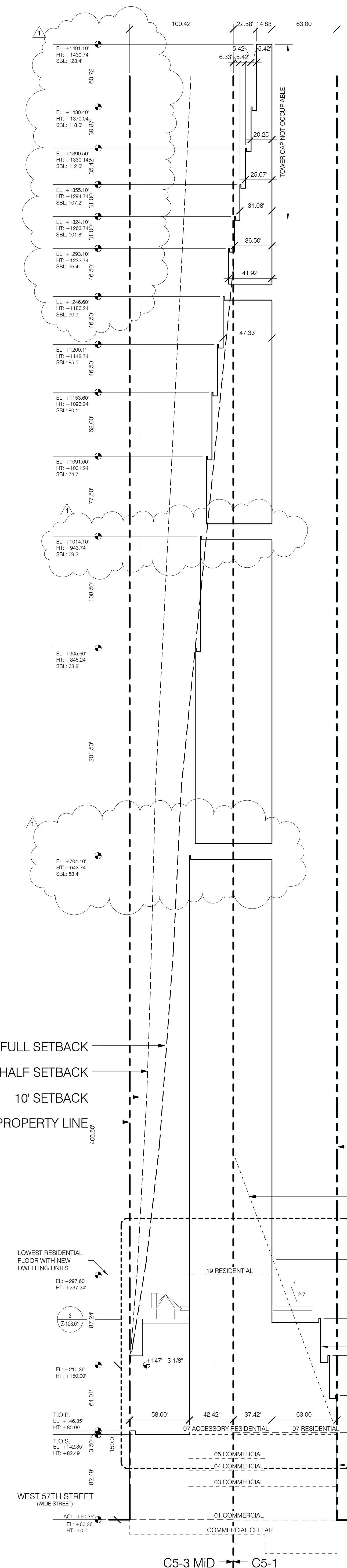
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ALL RIGHTS RESERVED.



TOWER COVERAGE CALCULATION

TOWER AREA	= 2,198 SF
LOT AREA	= 10,042 SF
TOWER COVERAGE	= 21.9%

C5-1 TOWER COVERAGE CALCULATION 1/16" = 1'-0" 2



Zoning Calculations

Height and Setback C5-1 Only

23-65 TOWER REGULATIONS
23-65(b) Residential portion of a mixed building not exceeding 40% Lot coverage, or, for Zoning Lots less than 20,000 SF, the percent set forth in 23-65, may be constructed in conformance with Residential Tower Regulations provided:

a) At least 65% of total allowable FA on zoning lot in C5-1 is occupied by Residential Use Complies: of 100,670 SF permitted at 10 FAR, 32,595 SF of residential floor area was "transferred" from the C5-3 zone (there is no prohibition of movement of floor area for a use between zones with the same FAR) leaving permitted floor area in the C5-1 at 138,611 SF, and the overall floor area at 153,399 SF. There are two ways to calculate the 65% compliance based upon this:

1. Calculate residential floor area in C5-1 as % of total allowable after transfer, so C5-1 is a "stand-alone" zone Required: 153,399 SF x .65 = 99,709 SF Provided as residential: 138,611 SF (89.6%) Complies OR
2. Use the total allowable floor area before "transfer" from C5-3 and calculate if amount of non-residential is less than 35%, meaning that the remainder of allowable floor area as residential is more than 65%. 100,670 SF - 15,311 SF (non-res provided) = 85,883 SF (residential remaining)

Provided:
Non Res: 14,787 SF / 100,670 SF = 14.6%
Residential: 85,883 SF / 100,670 SF = 85.4% (Complies)

b) All Non-Residential Use complies with ZR32-42 COMPLIES, SEE SECTION

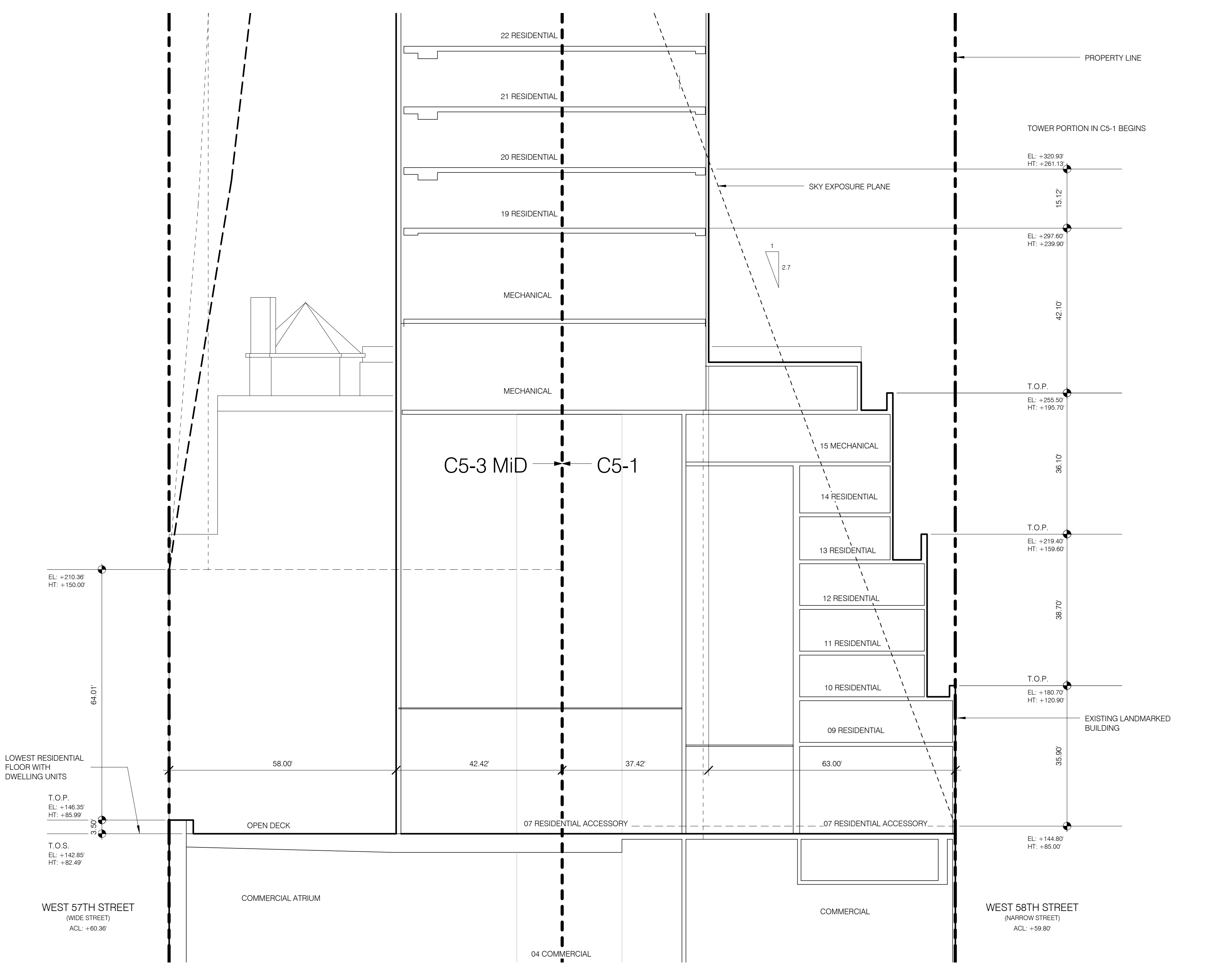
c) No Non Residential Use penetrates Sky Exposure Plane COMPLIES, SEE SECTION

23-65 MAXIMUM TOWER COVERAGE
50% maximum Tower Coverage on lot 10,500 SF or less
C5-1 Zoning Lot area = 10,042 SF
Tower coverage = 2,199SF (21.9% < 50%) Complies

23-652 MAXIMUM HEIGHT OF WALLS AND REQUIRED SETBACKS
1) Basic Regulations for Residential Portion
15' minimum setback (6' 8" above Narrow Street
2.7' to 1 Sky Exposure Plane
(See Sheet Z-103)

For Midtown Zone Height and Setback See Z-115

ZONING - SECTION NON-MIDTOWN ENLARGED 1/16" = 1'-0" 3



ZONING - SECTION NON-MIDTOWN ENLARGED 1/16" = 1'-0" 3

BUILDING SECTION 1" = 50'-0" 1

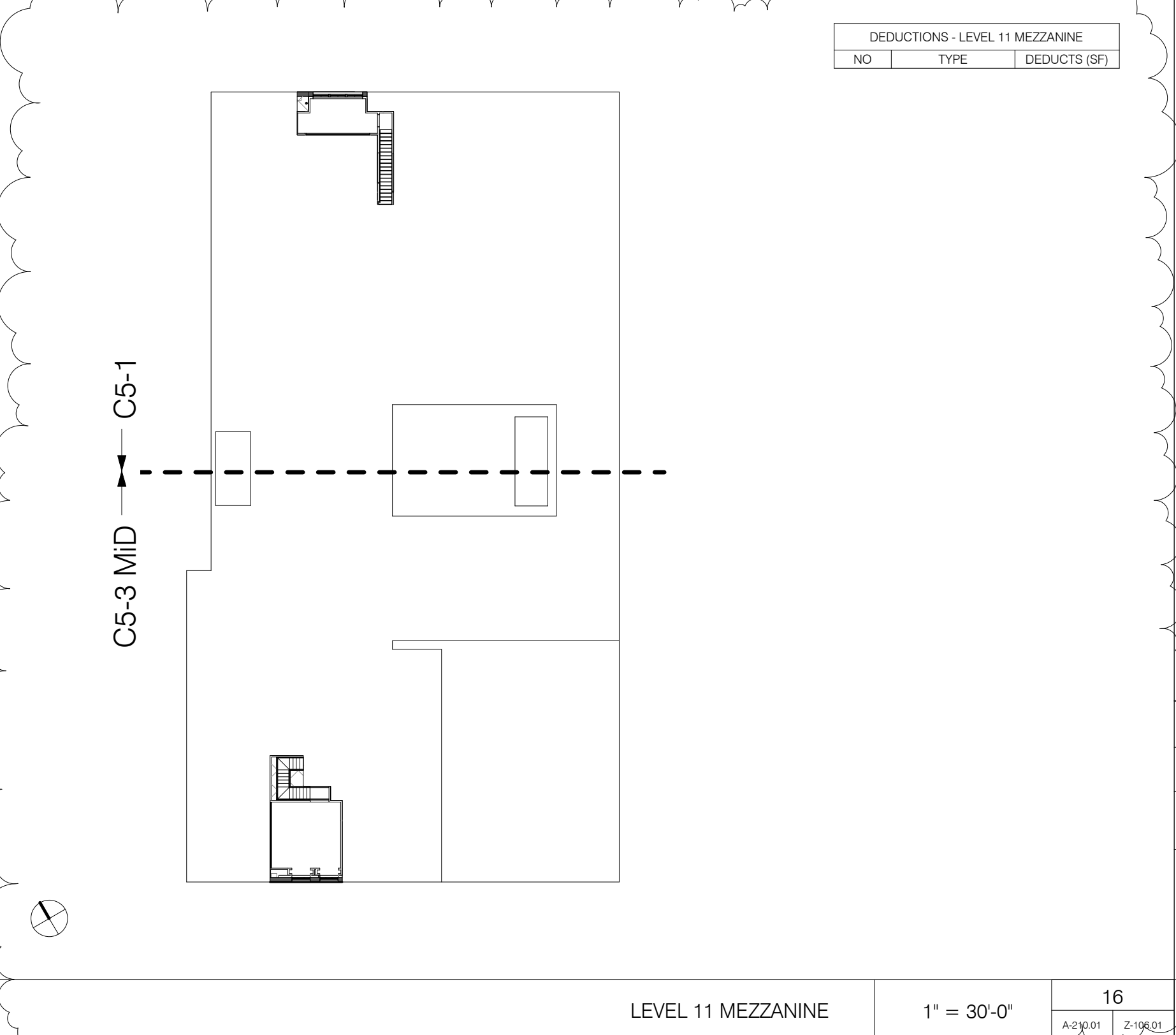
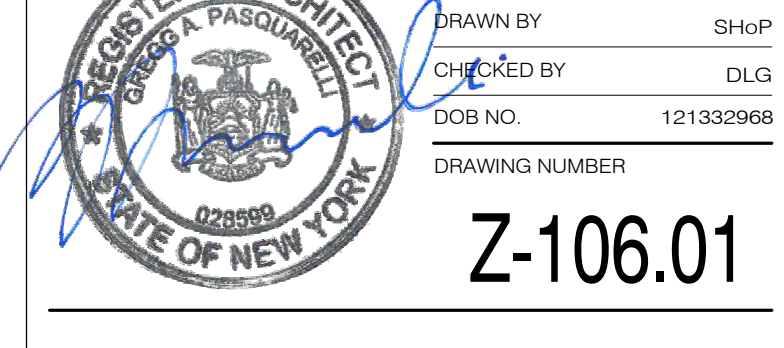


Table with 3 columns: NO., DATE, REVISION. Row 1: 1, 3.27.15, DOB PAA. Row 2: 5.1.14, DOB PLUNG SET.

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR USED FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF SHAP ARCHITECTS, P.C. ALL RIGHTS RESERVED.

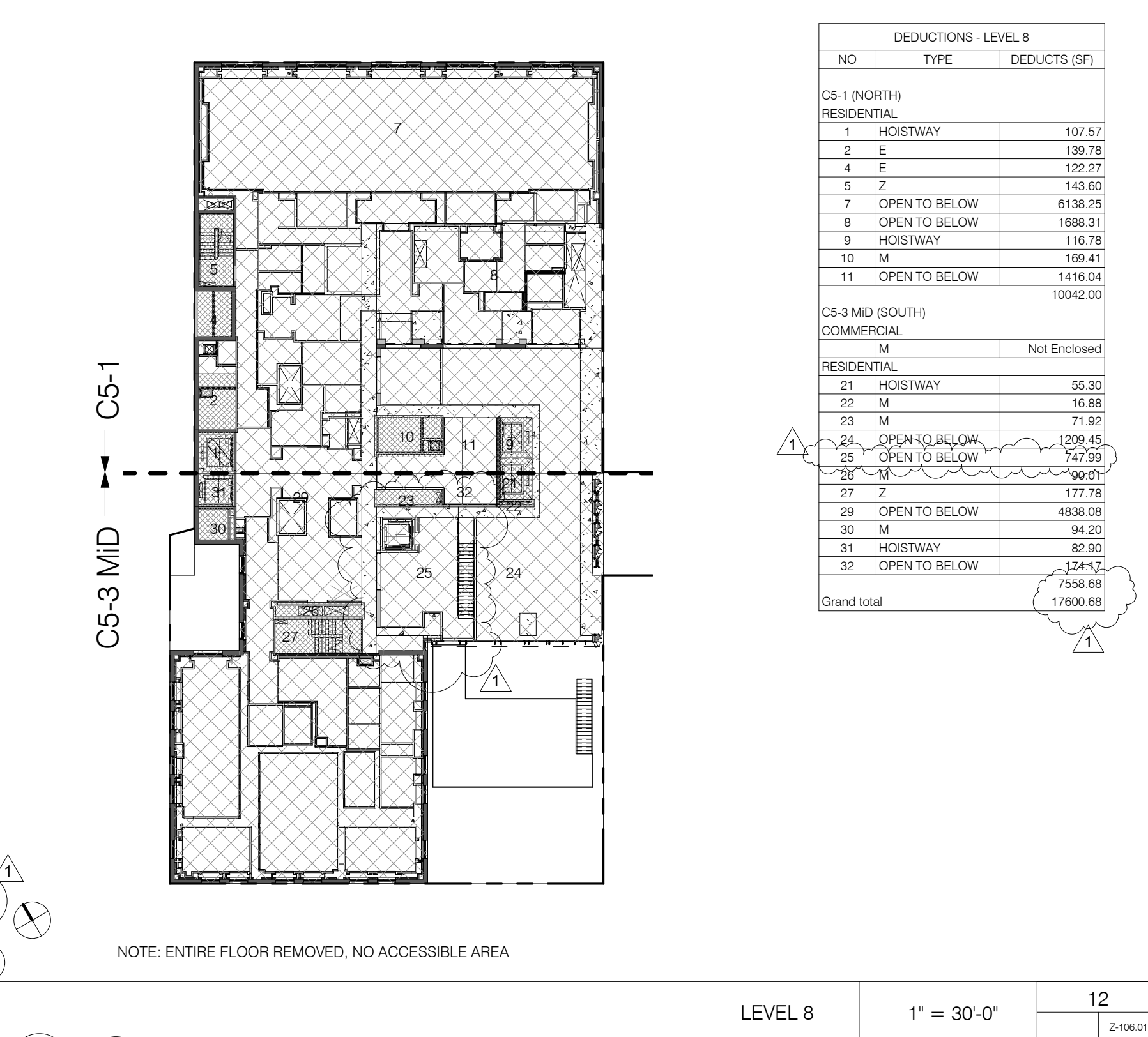
DRAWING TITLE
DEDUCTIONS

SEAL & SIGNATURE DATE 3.27.15
PROJECT NO. 130007
DRAWN BY SHAP
CHECKED BY DLG
DOB NO. 121302068
DRAWING NUMBER Z-106.01



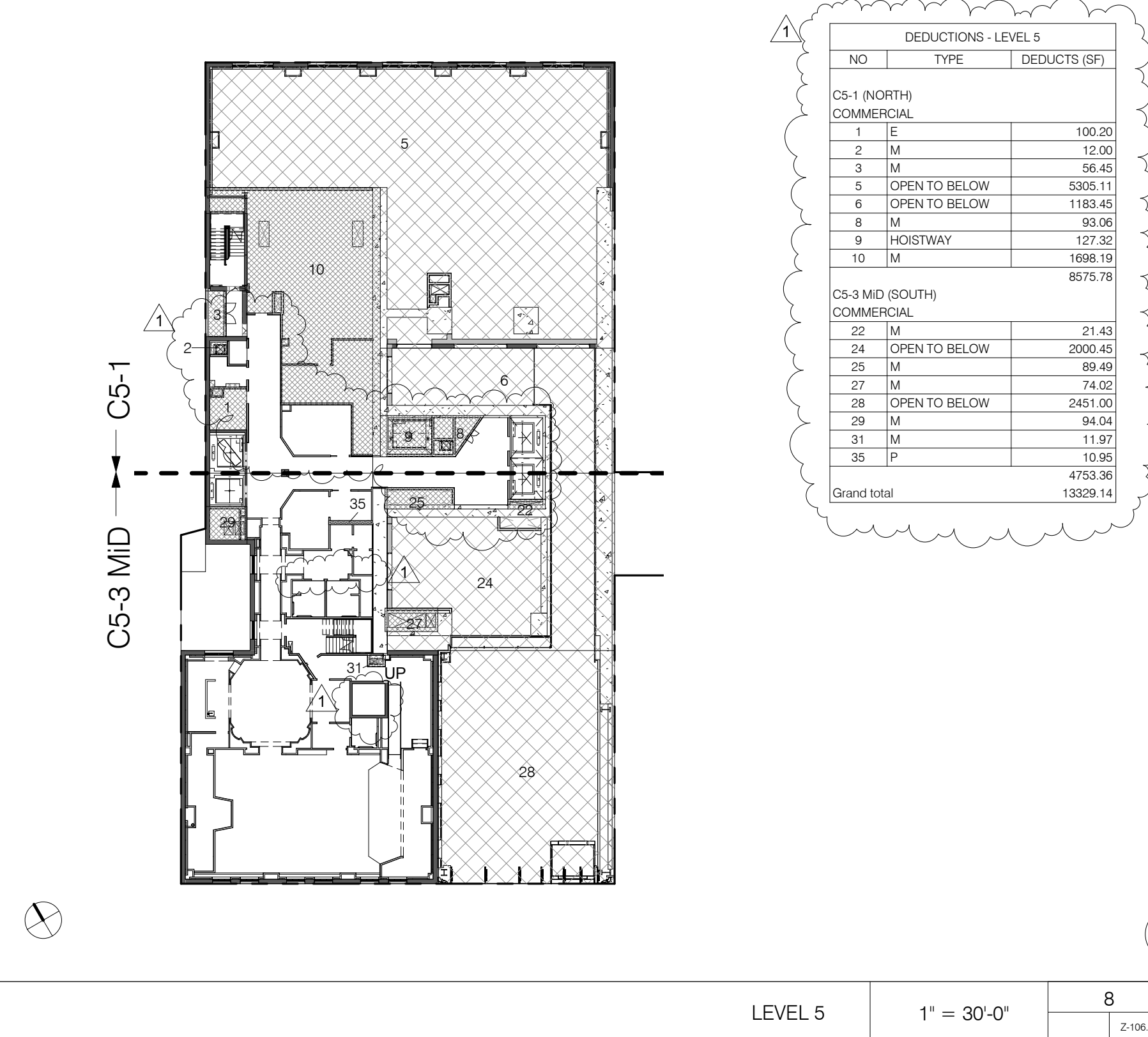
DEDUCTIONS - LEVEL 11 MEZZANINE table with columns: NO., TYPE, DEDUCTS (SQ FT).

LEVEL 11 MEZZANINE 1" = 30'-0" 16



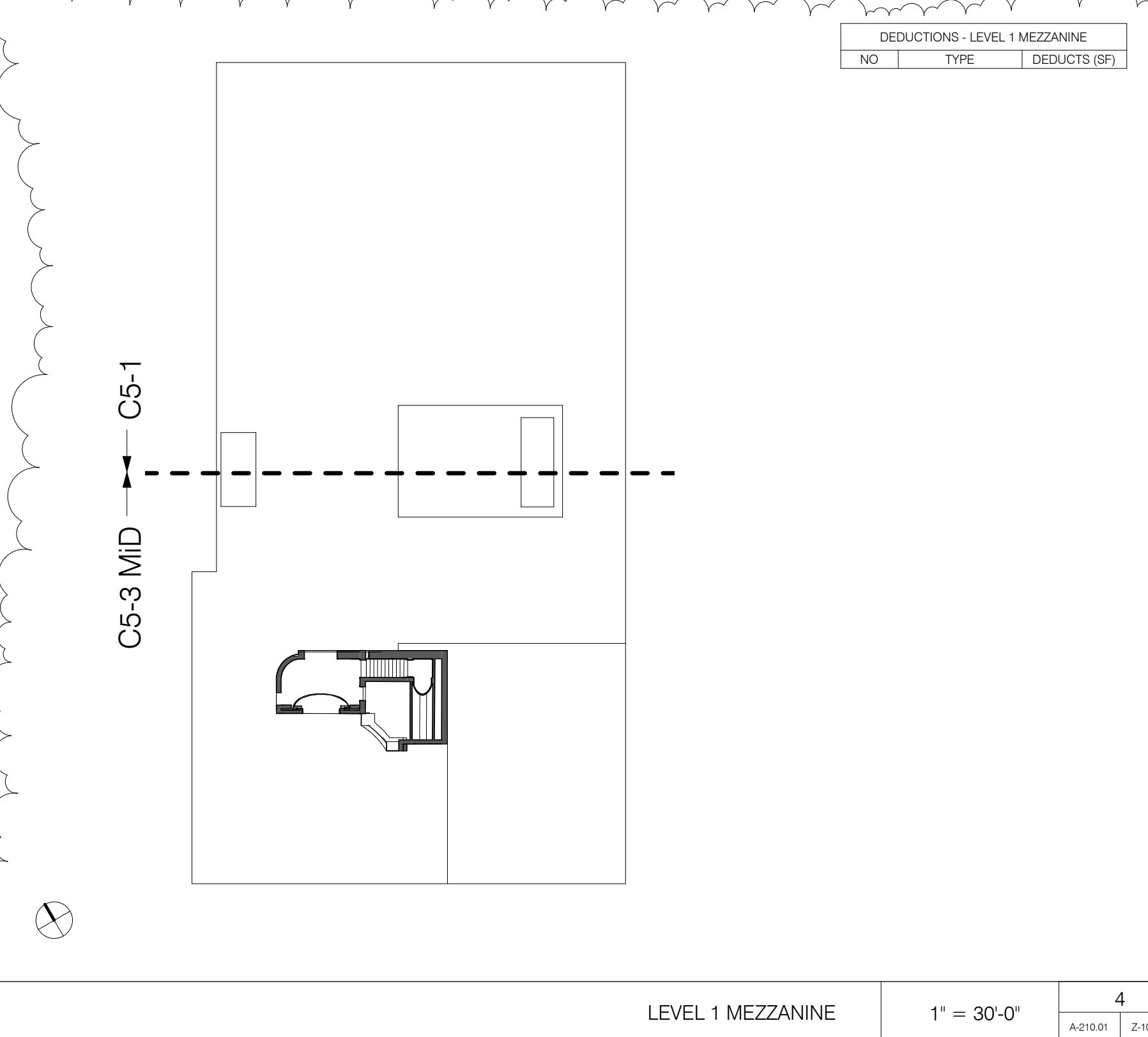
DEDUCTIONS - LEVEL 8 table with columns: NO., TYPE, DEDUCTS (SQ FT).

LEVEL 8 1" = 30'-0" 12



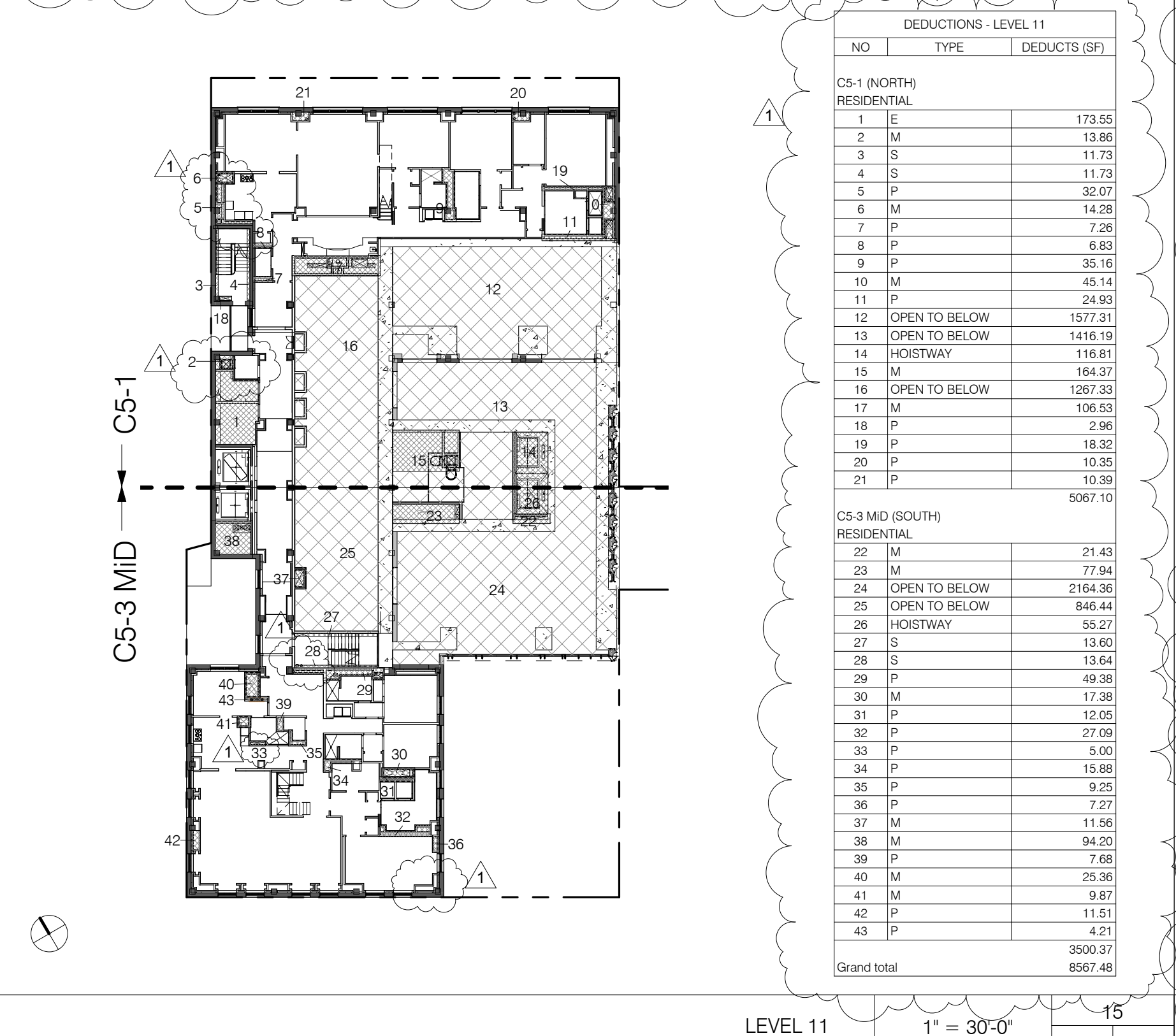
DEDUCTIONS - LEVEL 5 table with columns: NO., TYPE, DEDUCTS (SQ FT).

LEVEL 5 1" = 30'-0" 8



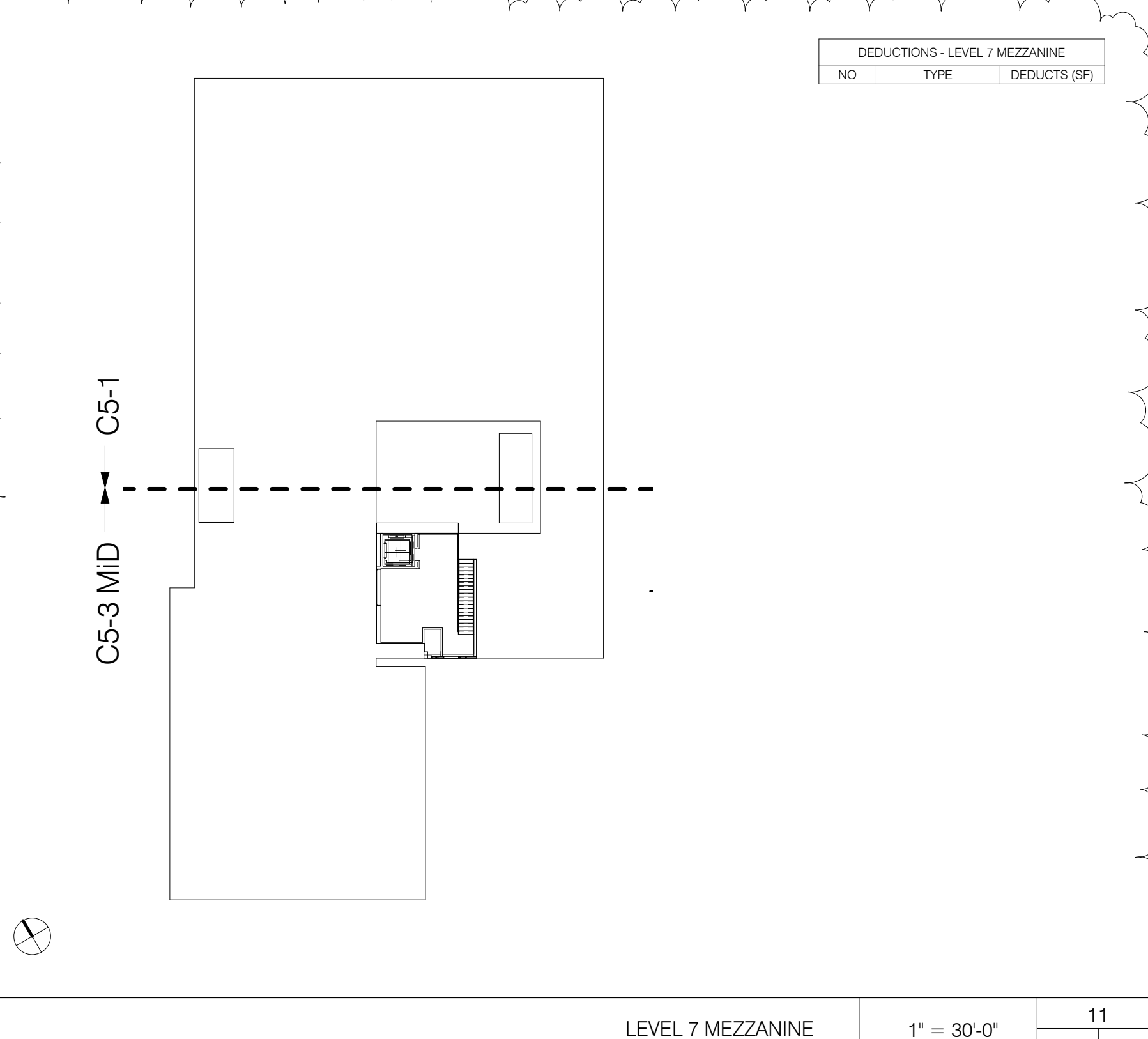
DEDUCTIONS - LEVEL 1 MEZZANINE table with columns: NO., TYPE, DEDUCTS (SQ FT).

LEVEL 1 MEZZANINE 1" = 30'-0" 4



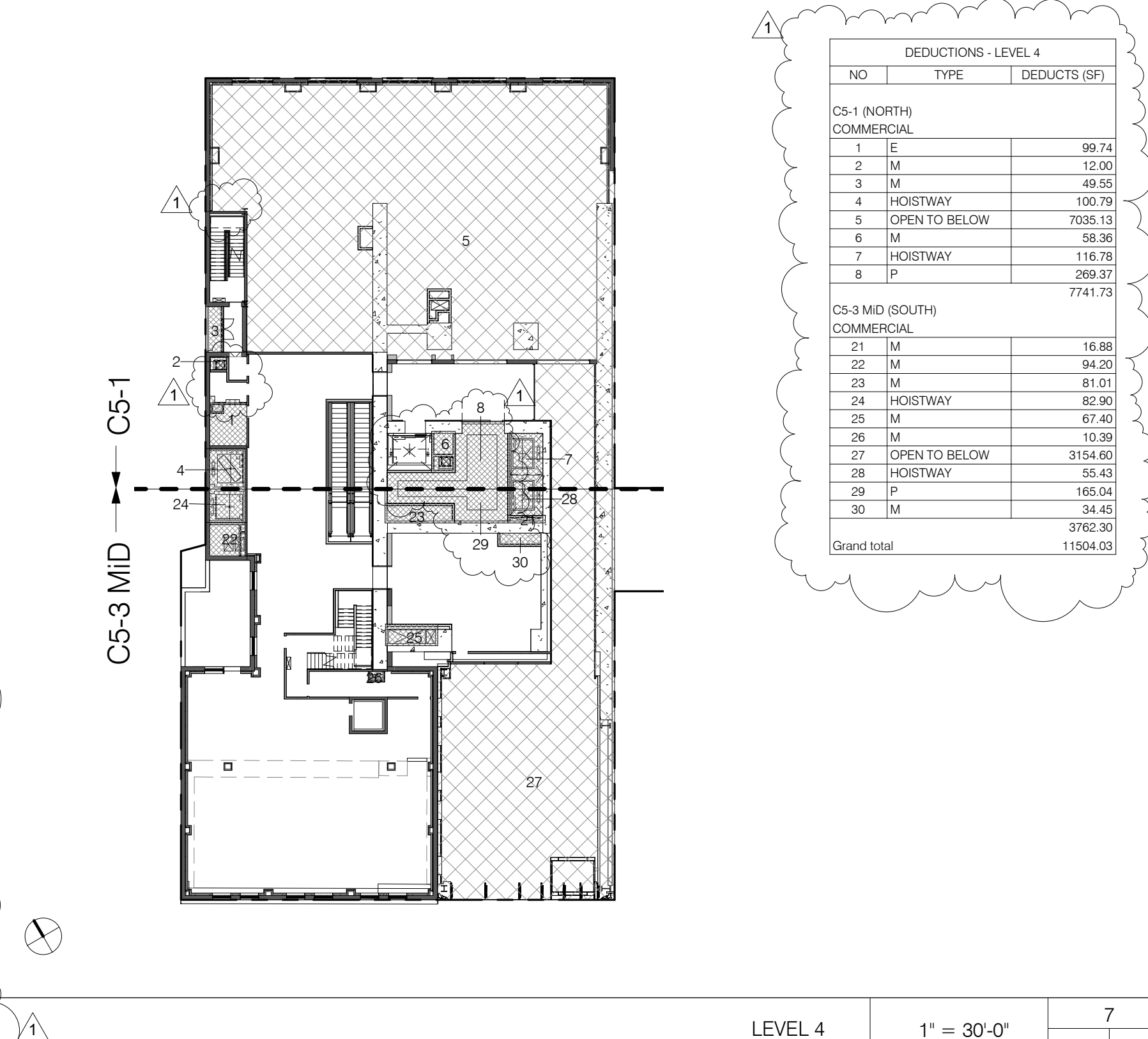
DEDUCTIONS - LEVEL 11 table with columns: NO., TYPE, DEDUCTS (SQ FT).

LEVEL 11 1" = 30'-0" 15



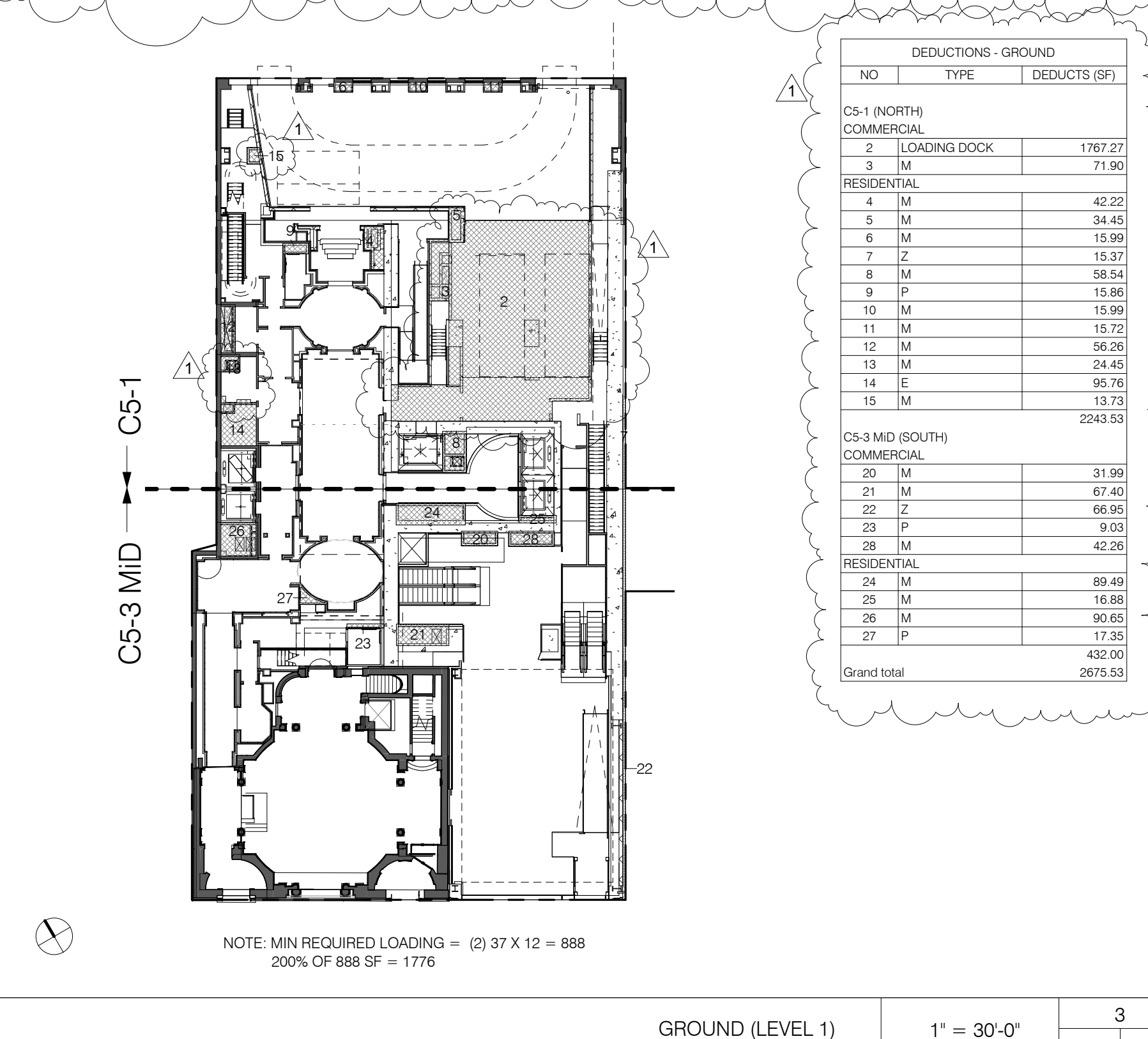
DEDUCTIONS - LEVEL 7 MEZZANINE table with columns: NO., TYPE, DEDUCTS (SQ FT).

LEVEL 7 MEZZANINE 1" = 30'-0" 11



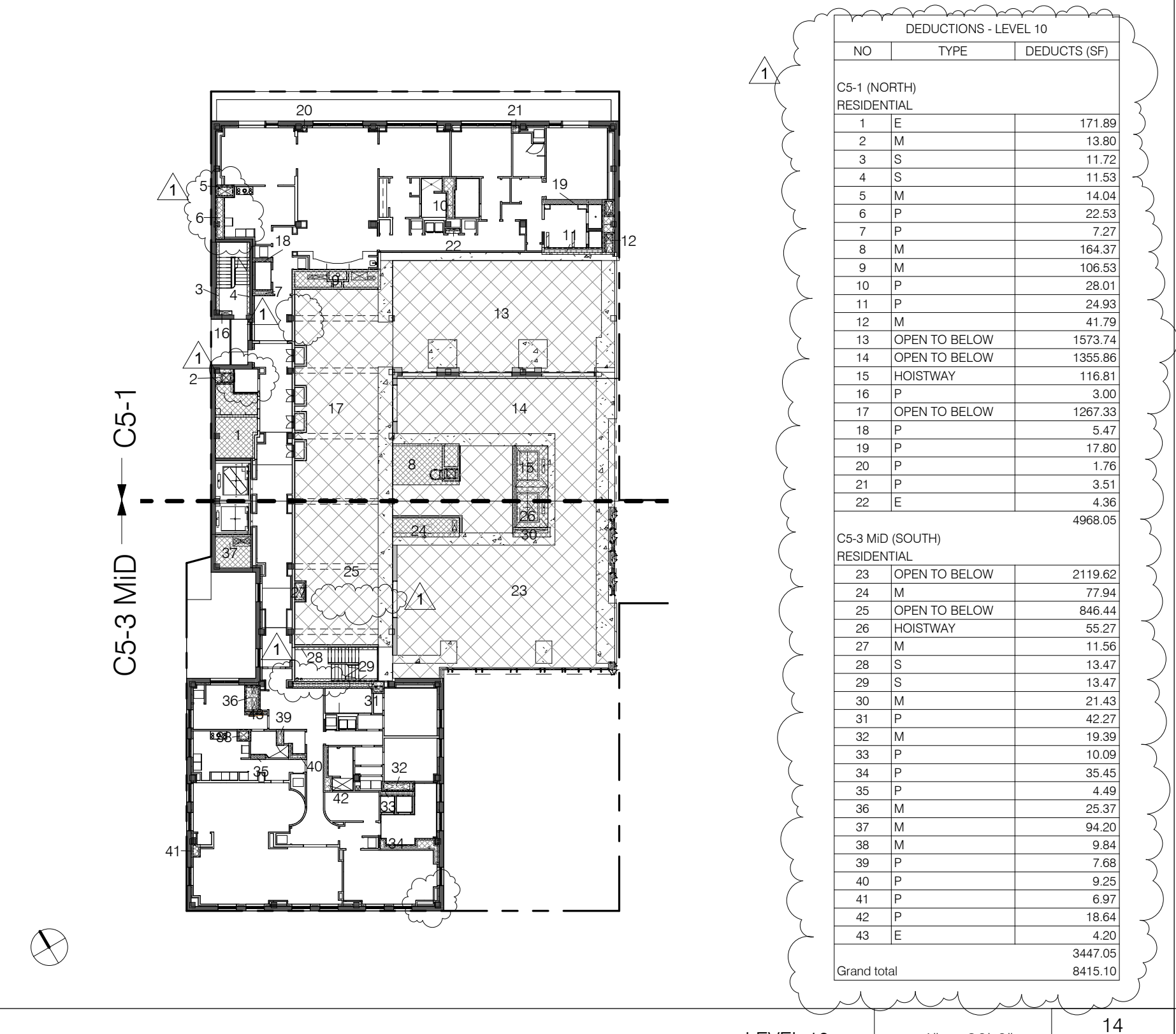
DEDUCTIONS - LEVEL 4 table with columns: NO., TYPE, DEDUCTS (SQ FT).

LEVEL 4 1" = 30'-0" 7



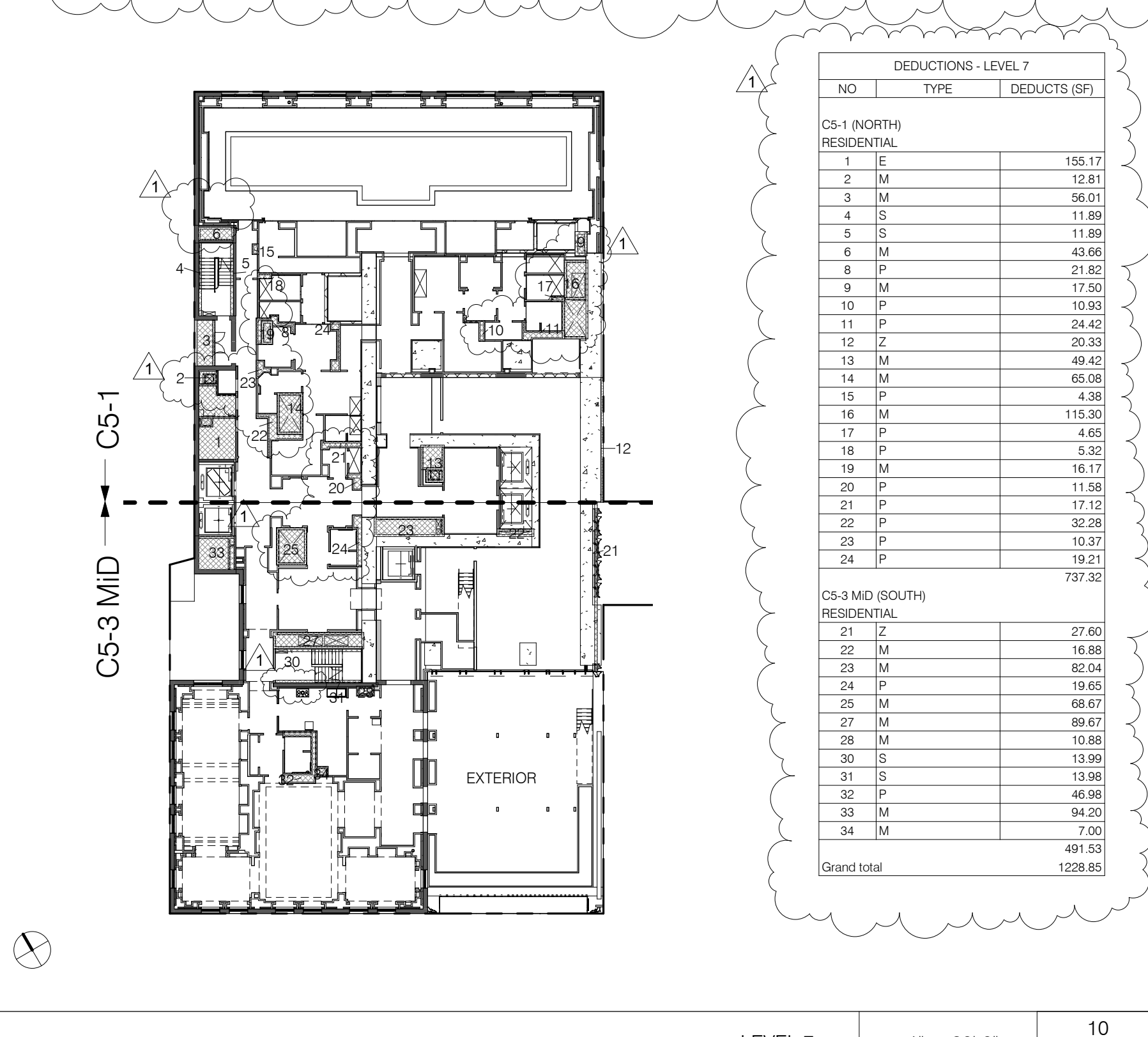
DEDUCTIONS - GROUND table with columns: NO., TYPE, DEDUCTS (SQ FT).

GROUND (LEVEL 1) 1" = 30'-0" 3



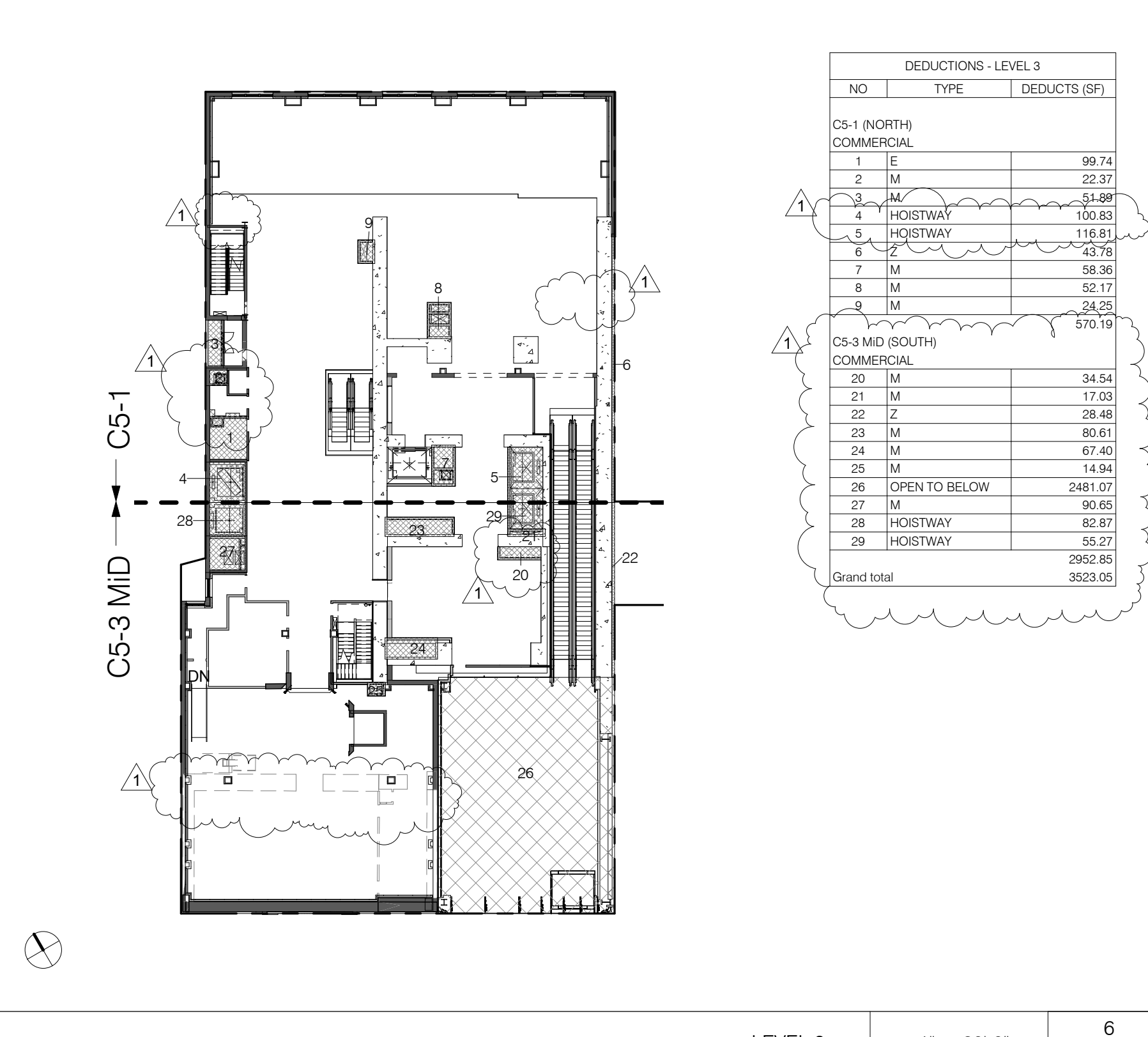
DEDUCTIONS - LEVEL 11 table with columns: NO., TYPE, DEDUCTS (SQ FT).

LEVEL 11 1" = 30'-0" 15



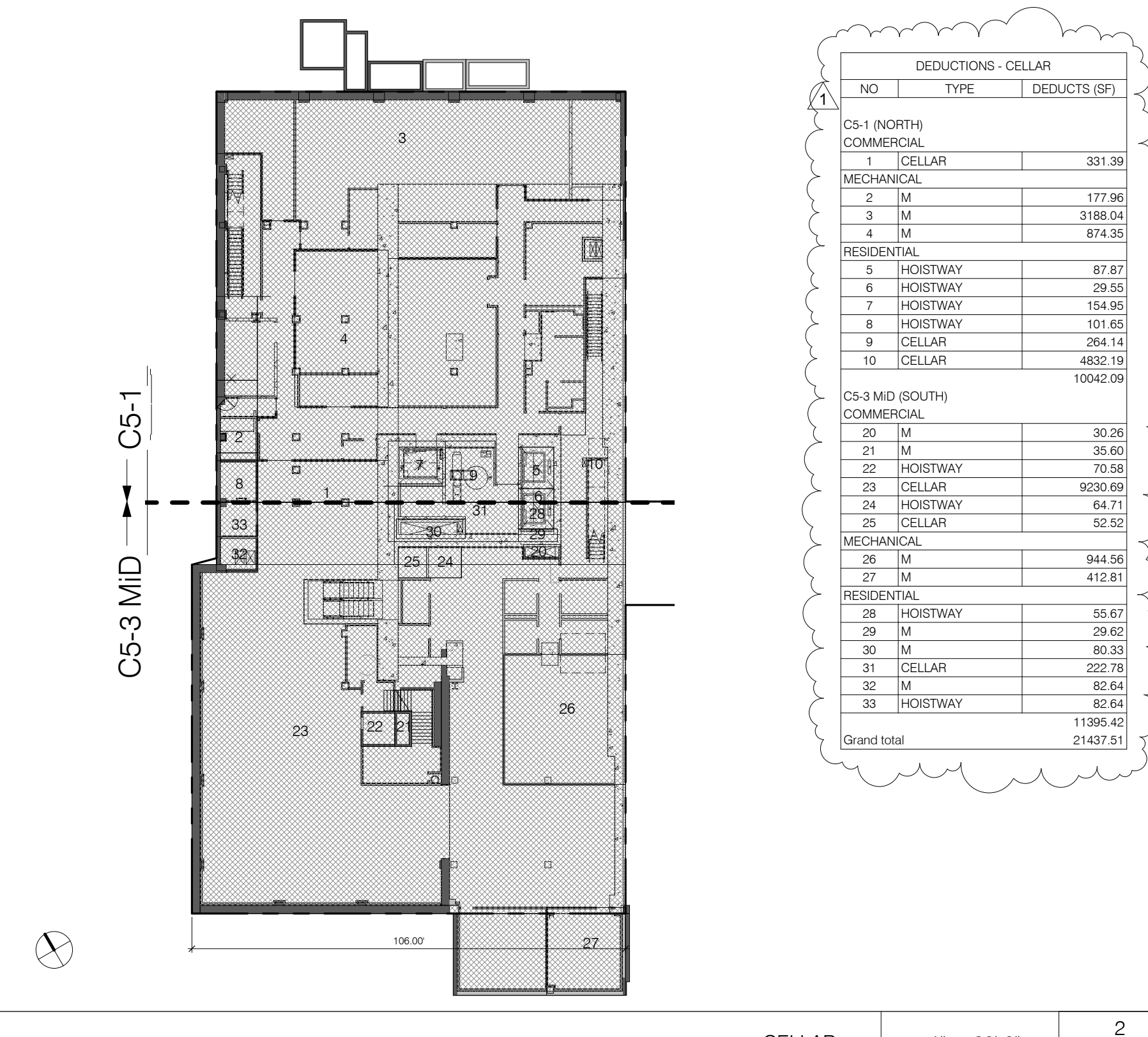
DEDUCTIONS - LEVEL 7 table with columns: NO., TYPE, DEDUCTS (SQ FT).

LEVEL 7 1" = 30'-0" 11



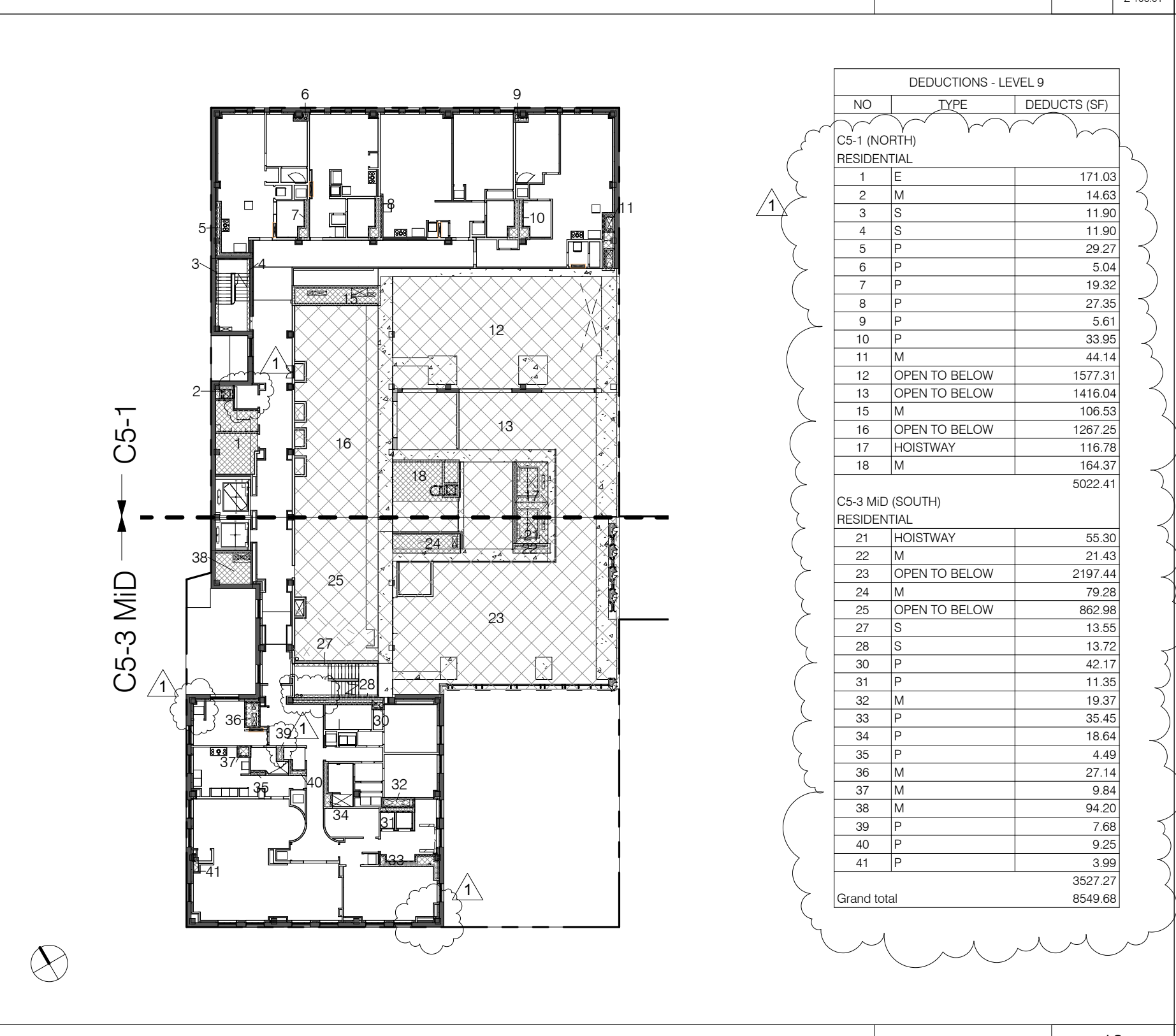
DEDUCTIONS - LEVEL 3 table with columns: NO., TYPE, DEDUCTS (SQ FT).

LEVEL 3 1" = 30'-0" 6



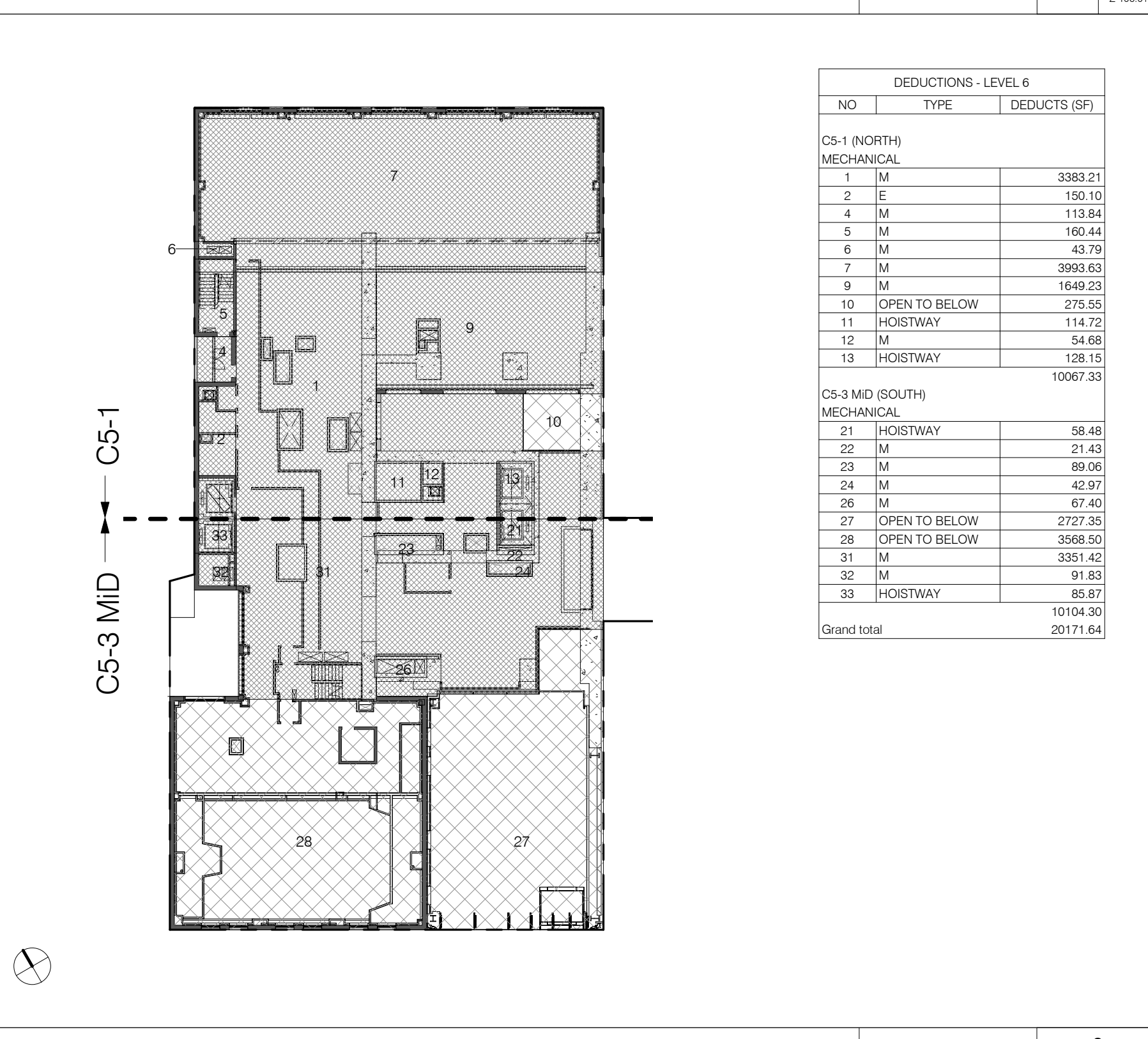
DEDUCTIONS - CELLAR table with columns: NO., TYPE, DEDUCTS (SQ FT).

CELLAR 1" = 30'-0" 2



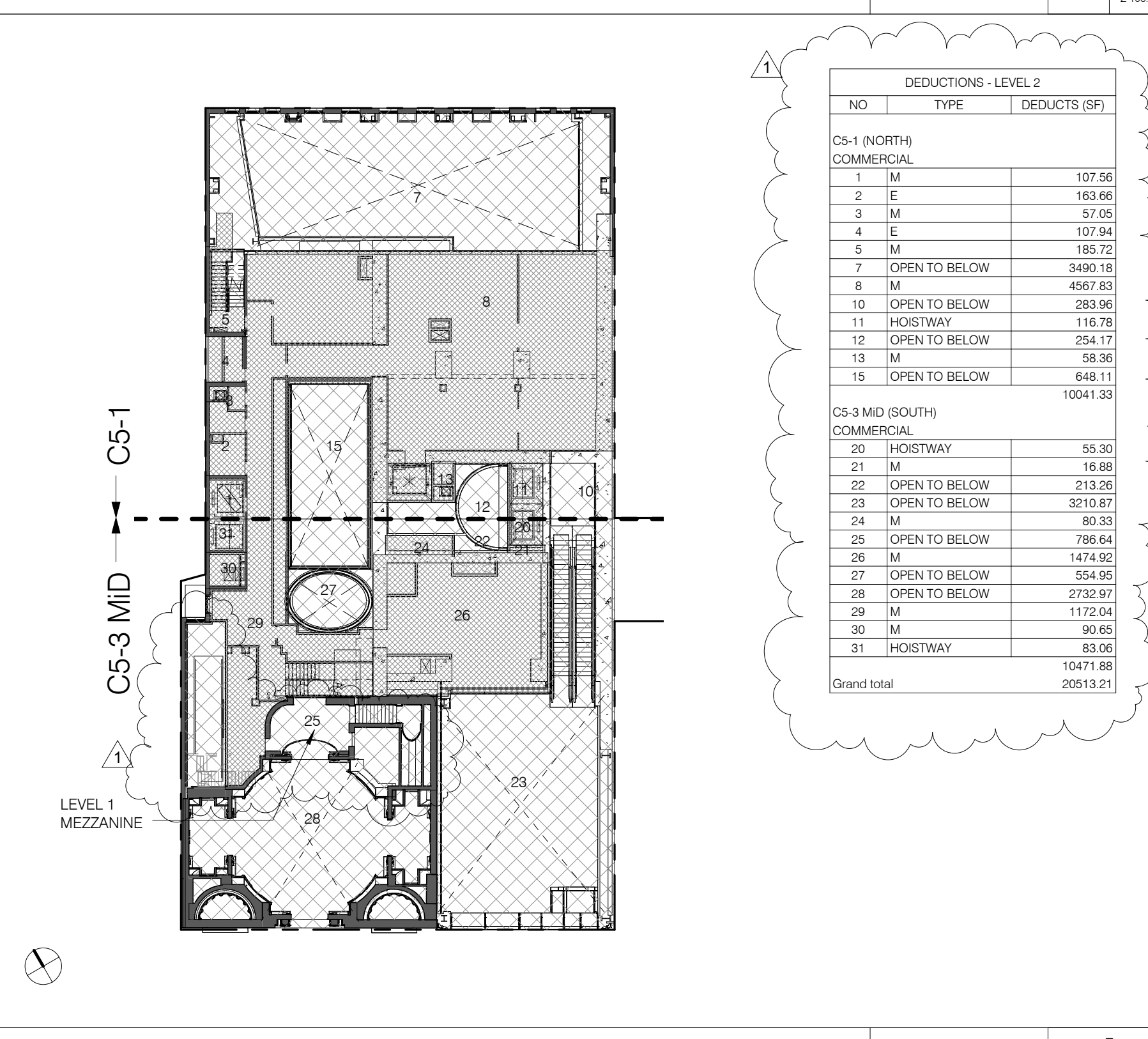
DEDUCTIONS - LEVEL 10 table with columns: NO., TYPE, DEDUCTS (SQ FT).

LEVEL 10 1" = 30'-0" 14



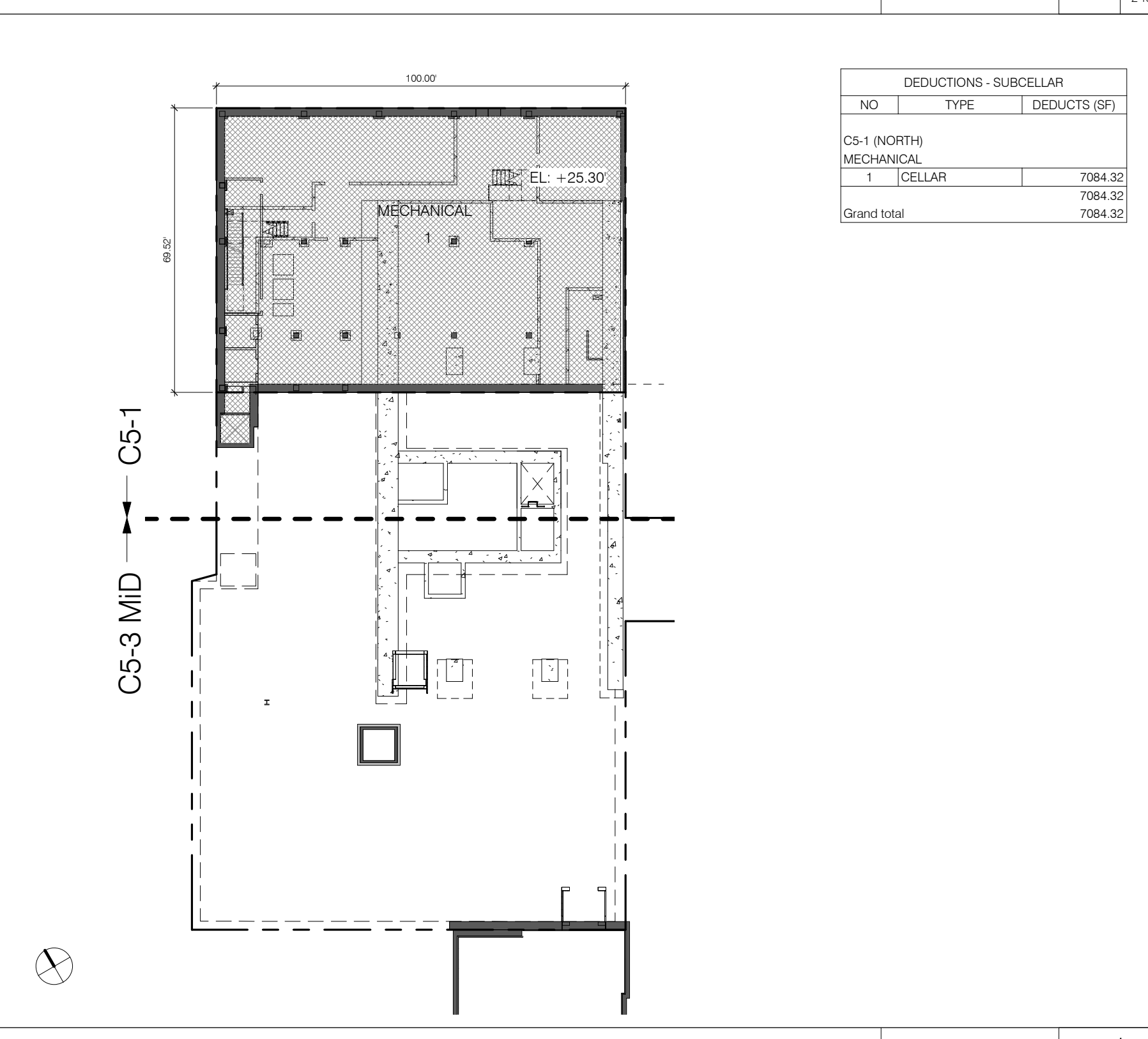
DEDUCTIONS - LEVEL 7 table with columns: NO., TYPE, DEDUCTS (SQ FT).

LEVEL 7 1" = 30'-0" 11



DEDUCTIONS - LEVEL 3 table with columns: NO., TYPE, DEDUCTS (SQ FT).

LEVEL 3 1" = 30'-0" 6



DEDUCTIONS - SUBCELLAR table with columns: NO., TYPE, DEDUCTS (SQ FT).

SUB-CELLAR 1" = 30'-0" 1

LEVEL 9 1" = 30'-0" 13

LEVEL 6 1" = 30'-0" 9

LEVEL 2 1" = 30'-0" 5

SUB-CELLAR 1" = 30'-0" 1

KEY
ZONING FLOOR AREA
FLOOR AREA DEDUCTION
OPEN TO BELOW

NOTE: FOR GROSS FLOOR AREA SEE PROPOSED BUILDING FLOOR AREAS SCHEDULE ON Z-100.00

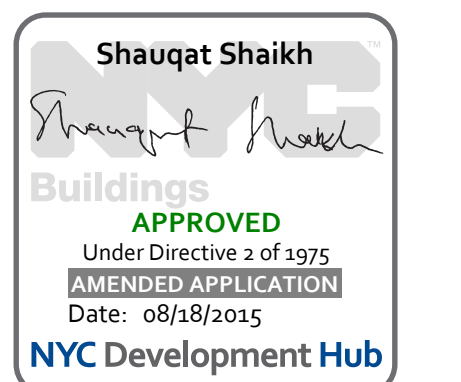


Table with columns: NO., DATE, DOB PAA, REVISION. Row 1: 1, 3.27.15, DOB PAA, DOB PLUNG SET.

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE VALID ONLY IF THEY ARE USED IN CONNECTION WITH THE PROJECT FOR WHICH THEY WERE PREPARED. NO PART OF THESE DRAWINGS IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SH P ARCHITECTS, P.C. ALL RIGHTS RESERVED.

DRAWING TITLE
DEDUCTIONS

SEAL & SIGNATURE DATE 3.27.15
PROJECT NO. 130007
DRAWN BY SH p
CHECKED BY DLG
DOB NO. 12130206
DRAWING NUMBER

Z-107.01

LEVEL 54 (T2B.1) 16 2' x 10' 0" 1/8" = 1" scale. Includes floor plan, deduction table, and section line C5-1.

LEVEL 35 (MECHANICAL FLOOR) 12 2' x 10' 0" 1/8" = 1" scale. Includes floor plan, deduction table, and section line C5-1.

LEVEL 18 (MECHANICAL FLOOR) 8 2' x 10' 0" 1/8" = 1" scale. Includes floor plan, deduction table, and section line C5-1.

LEVEL 17 7 2' x 10' 0" 1/8" = 1" scale. Includes floor plan, deduction table, and section line C5-1.

LEVEL 14 3 2' x 10' 0" 1/8" = 1" scale. Includes floor plan, deduction table, and section line C5-1.

LEVEL 46 (T2A TYP 46-53) 15 2' x 10' 0" 1/8" = 1" scale. Includes floor plan, deduction table, and section line C5-1.

LEVEL 34 (MECHANICAL FLOOR) 11 2' x 10' 0" 1/8" = 1" scale. Includes floor plan, deduction table, and section line C5-1.

LEVEL 17.0 7 2' x 10' 0" 1/8" = 1" scale. Includes floor plan, deduction table, and section line C5-1.

LEVEL 14 3 2' x 10' 0" 1/8" = 1" scale. Includes floor plan, deduction table, and section line C5-1.

LEVEL 13 2 2' x 10' 0" 1/8" = 1" scale. Includes floor plan, deduction table, and section line C5-1.

LEVEL 45 14 2' x 10' 0" 1/8" = 1" scale. Includes floor plan, deduction table, and section line C5-1.

LEVEL 29 (T1.B TYPICAL 29-33) 10 2' x 10' 0" 1/8" = 1" scale. Includes floor plan, deduction table, and section line C5-1.

LEVEL 16.0 6 2' x 10' 0" 1/8" = 1" scale. Includes floor plan, deduction table, and section line C5-1.

LEVEL 13 2 2' x 10' 0" 1/8" = 1" scale. Includes floor plan, deduction table, and section line C5-1.

LEVEL 12 1 2' x 10' 0" 1/8" = 1" scale. Includes floor plan, deduction table, and section line C5-1.

LEVEL 36 (T1.C TYPICAL 36-44) 13 2' x 10' 0" 1/8" = 1" scale. Includes floor plan, deduction table, and section line C5-1.

LEVEL 24 (T1.A TYP 19-28) 9 2' x 10' 0" 1/8" = 1" scale. Includes floor plan, deduction table, and section line C5-1.

LEVEL 15 5 2' x 10' 0" 1/8" = 1" scale. Includes floor plan, deduction table, and section line C5-1.

LEVEL 12 1 2' x 10' 0" 1/8" = 1" scale. Includes floor plan, deduction table, and section line C5-1.

LEVEL 12 1 2' x 10' 0" 1/8" = 1" scale. Includes floor plan, deduction table, and section line C5-1.

NOTE: ALL FLOOR REMOVED. NO ACCESSIBLE AREAS THIS LEVEL

JDS DEVELOPMENT GROUP
 104 WEST 57TH STREET, 6TH FLOOR
 NEW YORK, NY 10019
 TEL: 486-833-3600

ARCHITECT
 SH&P ARCHITECTS, P.C.
 233 BROOKLYN AVENUE, 11TH FLOOR
 NEW YORK, NY 10002
 TEL: 212-583-8300

STRUCTURAL ENGINEER
 YUSUF GAWRONSKI
 225 EAST 47TH STREET, 10th FLOOR
 NEW YORK, NY 10017
 TEL: 212-697-5886

MEP ENGINEER
 JORDAN BALM & BOLLES
 40 WINE STREET, 2ND FLOOR
 NEW YORK, NY 10038
 TEL: 212-685-9322

CIVIL ENGINEER
 ARIF GENERAL P.C.
 40 WEST 57TH STREET, 7TH FLOOR
 NEW YORK, NY 10019
 TEL: 800-388-8628

INTERIORS
 TUDOR SCHEFFIELD
 30 WALKER STREET, 7TH FLOOR EAST
 NEW YORK, NY 10002
 TEL: 212-275-3300

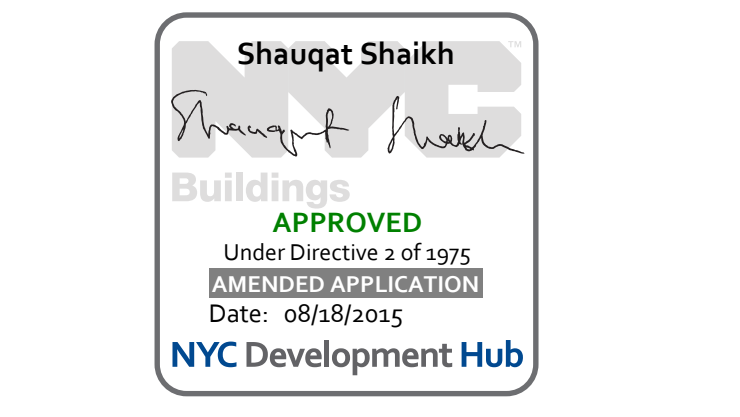
ACQUISITION
 LONGMAN LINDSEY
 40 WEST 57TH STREET, 6TH FLOOR
 NEW YORK, NY 10019
 TEL: 917-308-8300

RESTORATION
 JAN HED FORKORNY ASSOCIATES
 3 WEST STREET, SUITE 204
 NEW YORK, NY 10003
 TEL: 212-284-8800

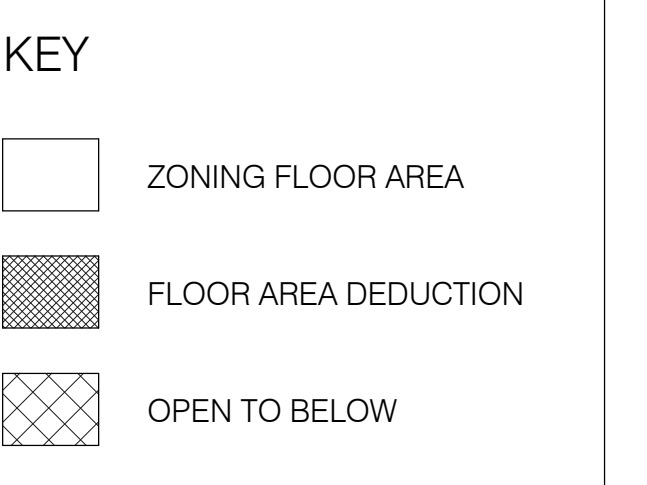
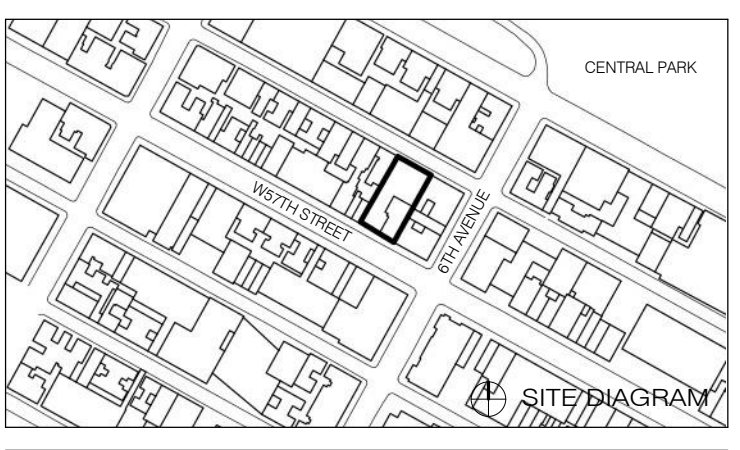


PROPERTY MARKETS GROUP
 1 EAST 19TH STREET, 2ND FLOOR
 NEW YORK, NY 10003
 TEL: 212-689-8900

CURRENT ISSUE
DOB PAA



111 WEST 57TH STREET
 111 WEST 57TH STREET
 NEW YORK, NY 10019



NOTE: FOR GROSS FLOOR AREA SEE PROPOSED BUILDING FLOOR AREAS SCHEDULE ON Z-100.00

DEDUCTIONS - LEVEL 80		
NO.	TYPE	DEDUCTS (SQ.FT.)
CS-1 (NORTH)		
1	M	1580.11
3	ROOF	543.84
CS-3 (MID (SOUTH))		
2	M	189.22
4	ROOF	318.73
Grand total		
		2639.90

50% OPEN ROOF NO ACCESS

OPEN WINDBREAK / MECHANICAL

50% OPEN ROOF NO ACCESS

CS-5-1

CS-5-3 MID

OPEN WINDBREAK / MECHANICAL AT LEVEL 80

1" = 30'-0"

16

2/18/21

CS-1 (NORTH) RESIDENTIAL

1	S	9.05
2	Z	20.75
3	Z	12.62
4	E	14.77
5	E	8.41
6	S	9.05
7	MEP	29.96
8	P	15.03
9	P	13.92
10	M	12.73
11	M	41.38
12	M	13.80
13	Z	12.62
14	Z	20.75
15	M	20.93
16	M	20.93
17	P	206.69

CS-3 (MID (SOUTH)) RESIDENTIAL

21	Z	8.82
22	Z	4.15
23	M	7.13
24	P	13.40
25	E	4.21
26	E	6.80
27	P	9.13
28	S	4.28
29	Z	4.15
30	S	4.28
31	Z	6.89
32	Z	78.79
33	S	78.41
Grand total		
		291.41

CS-5-1 (NORTH) RESIDENTIAL

1	S	9.05
2	Z	20.75
3	Z	12.62
4	E	14.77
5	E	8.41
6	S	9.05
7	MEP	29.96
8	P	15.03
9	P	13.92
10	M	12.73
11	M	41.38
12	M	13.80
13	Z	12.62
14	Z	20.75
15	M	20.93
16	M	20.93
17	P	206.69

CS-3 (MID (SOUTH)) RESIDENTIAL

21	Z	8.82
22	Z	4.15
23	M	7.13
24	P	13.40
25	E	4.21
26	E	6.80
27	P	9.13
28	S	4.28
29	Z	4.15
30	S	4.28
31	Z	6.89
32	Z	78.79
33	S	78.41
Grand total		
		291.41

LEVEL 76 - T6B.1

1" = 30'-0"

12

2/18/21

CS-1 (NORTH) RESIDENTIAL

1	S	9.05
2	Z	20.75
3	Z	12.62
4	E	14.77
5	E	8.41
6	S	9.05
7	MEP	29.96
8	P	15.03
9	P	13.92
10	M	12.73
11	M	41.38
12	M	13.80
13	Z	12.62
14	Z	20.75
15	M	20.93
16	M	20.93
17	P	206.69

CS-3 (MID (SOUTH)) RESIDENTIAL

21	Z	8.82
22	Z	4.15
23	M	7.13
24	P	13.40
25	E	4.21
26	E	6.80
27	P	9.13
28	S	4.28
29	Z	4.15
30	S	4.28
31	Z	6.89
32	Z	78.79
33	S	78.41
Grand total		
		291.41

CS-5-1 (NORTH) RESIDENTIAL

1	S	9.05
2	Z	20.75
3	Z	12.62
4	E	14.77
5	E	8.41
6	S	9.05
7	MEP	29.96
8	P	15.03
9	P	13.92
10	M	12.73
11	M	41.38
12	M	13.80
13	Z	12.62
14	Z	20.75
15	M	20.93
16	M	20.93
17	P	206.69

CS-3 (MID (SOUTH)) RESIDENTIAL

21	Z	8.82
22	Z	4.15
23	M	7.13
24	P	13.40
25	E	4.21
26	E	6.80
27	P	9.13
28	S	4.28
29	Z	4.15
30	S	4.28
31	Z	6.89
32	Z	78.79
33	S	78.41
Grand total		
		291.41

LEVEL 71 (T5.2 TYPICAL)

1" = 30'-0"

8

2/18/21

CS-1 (NORTH) RESIDENTIAL

1	S	9.05
2	Z	20.75
3	Z	12.62
4	E	14.77
5	E	8.41
6	S	9.05
7	MEP	29.96
8	P	15.03
9	P	13.92
10	M	12.73
11	M	41.38
12	M	13.80
13	Z	12.62
14	Z	20.75
15	M	20.93
16	M	20.93
17	P	206.69

CS-3 (MID (SOUTH)) RESIDENTIAL

21	Z	8.82
22	Z	4.15
23	M	7.13
24	P	13.40
25	E	4.21
26	E	6.80
27	P	9.13
28	S	4.28
29	Z	4.15
30	S	4.28
31	Z	6.89
32	Z	78.79
33	S	78.41
Grand total		
		291.41

CS-5-1 (NORTH) RESIDENTIAL

1	S	9.05
2	Z	20.75
3	Z	12.62
4	E	14.77
5	E	8.41
6	S	9.05
7	MEP	29.96
8	P	15.03
9	P	13.92
10	M	12.73
11	M	41.38
12	M	13.80
13	Z	12.62
14	Z	20.75
15	M	20.93
16	M	20.93
17	P	206.69

CS-3 (MID (SOUTH)) RESIDENTIAL

21	Z	8.82
22	Z	4.15
23	M	7.13
24	P	13.40
25	E	4.21
26	E	6.80
27	P	9.13
28	S	4.28
29	Z	4.15
30	S	4.28
31	Z	6.89
32	Z	78.79
33	S	78.41
Grand total		
		291.41

LEVEL 59 (T3 TYP 58-64)

1" = 30'-0"

4

2/18/21

CS-1 (NORTH) RESIDENTIAL

1	S	9.05
2	Z	20.75
3	Z	12.62
4	E	14.77
5	E	8.41
6	S	9.05
7	MEP	29.96
8	P	15.03
9	P	13.92
10	M	12.73
11	M	41.38
12	M	13.80
13	Z	12.62
14	Z	20.75
15	M	20.93
16	M	20.93
17	P	206.69

CS-3 (MID (SOUTH)) RESIDENTIAL

21	Z	8.82
22	Z	4.15
23	M	7.13
24	P	13.40
25	E	4.21
26	E	6.80
27	P	9.13
28	S	4.28
29	Z	4.15
30	S	4.28
31	Z	6.89
32	Z	78.79
33	S	78.41
Grand total		
		291.41

CS-5-1 (NORTH) RESIDENTIAL

1	S	9.05
2	Z	20.75
3	Z	12.62
4	E	14.77
5	E	8.41
6	S	9.05
7	MEP	29.96
8	P	15.03
9	P	13.92
10	M	12.73
11	M	41.38
12	M	13.80
13	Z	12.62
14	Z	20.75
15	M	20.93
16	M	20.93
17	P	206.69

CS-3 (MID (SOUTH)) RESIDENTIAL

21	Z	8.82
22	Z	4.15
23	M	7.13
24	P	13.40
25	E	4.21
26	E	6.80
27	P	9.13
28	S	4.28
29	Z	4.15
30	S	4.28
31	Z	6.89
32	Z	78.79
33	S	78.41
Grand total		
		291.41

LEVEL 77 (T6B.2)

1" = 30'-0"

13

2/18/21

CS-1 (NORTH) RESIDENTIAL

1	S	9.05
2	Z	20.75
3	Z	12.62
4	E	14.77
5	E	8.41
6	S	9.05
7	MEP	29.96
8	P	15.03
9	P	13.92
10	M	12.73
11	M	41.38
12	M	13.80
13	Z	12.62
14	Z	20.75
15	M	20.93
16	M	20.93
17	P	206.69

CS-3 (MID (SOUTH)) RESIDENTIAL

21	Z	8.82
22	Z	4.15
23	M	7.13
24	P	13.40
25	E	4.21
26	E	6.80
27	P	9.13
28	S	4.28
29	Z	4.15
30	S	4.28
31	Z	6.89
32	Z	78.79
33	S	78.41
Grand total		
		291.41

CS-5-1 (NORTH) RESIDENTIAL

1	S	9.05
2	Z	20.75
3	Z	12.62
4	E	14.77
5	E	8.41
6	S	9.05
7	MEP	29.96
8	P	15.03
9	P	13.92
10	M	12.73
11	M	41.38
12	M	13.80
13	Z	12.62
14	Z	20.75
15	M	20.93
16	M	20.93
17	P	206.69

CS-3 (MID (SOUTH)) RESIDENTIAL

21	Z	8.82
22	Z	4.15
23	M	7.13
24	P	13.40
25	E	4.21
26	E	6.80
27	P	9.13
28	S	4.28
29	Z	4.15
30	S	4.28
31	Z	6.89
32	Z	78.79
33	S	78.41
Grand total		
		291.41

LEVEL 75 (ELEVATOR MACHINE ROOM)

1" = 30'-0"

15

2/18/21

CS-1 (NORTH) RESIDENTIAL

1	S	9.05
2	Z	20.75
3	Z	12.62
4	E	14.77
5	E	8.41
6	S	9.05
7	MEP	29.96
8	P	15.03
9	P	13.92
10	M	12.73
11	M	41.38
12	M	13.80
13	Z	12.62
14	Z	20.75
15	M	20.93
16	M	20.93
17	P	206.69

CS-3 (MID (SOUTH)) RESIDENTIAL

21	Z	8.82
22	Z	4.15
23	M	7.13
24	P	13.40
25	E	4.21
26	E	6.80
27	P	9.13
28	S	4.28
29	Z	4.15
30	S	4.28
31	Z	6.89
32	Z	78.79
33	S	78.41
Grand total		
		291.41

CS-5-1 (NORTH) RESIDENTIAL

1	S	9.05
2	Z	20.75
3	Z	12.62
4	E	14.77
5	E	8.41
6	S	9.05
7	MEP	29.96



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



Table with 3 columns: NO., DATE, REVISION. Row 1: 1, 3.27.15, DOB PAA. Row 2: 2, 5.1.14, DOB PLING SET.

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.

DRAWING TITLE
DEDUCTIONS

Table with 2 columns: SEAL & SIGNATURE, DATE. Includes project number 130007, drawing number Z-109.01, and a professional seal for Shauqat Shaikh, Registered Architect, State of New York.

Table: DEDUCTIONS - LEVEL 85 (ROOF). Columns: NO., TYPE, DEDUCTS (SQF). Rows: C5-1 (NORTH) MECHANICAL (179.20), MECHANICAL (184.90), 2 ROOF (2021.10), Grand Total (2021.10).

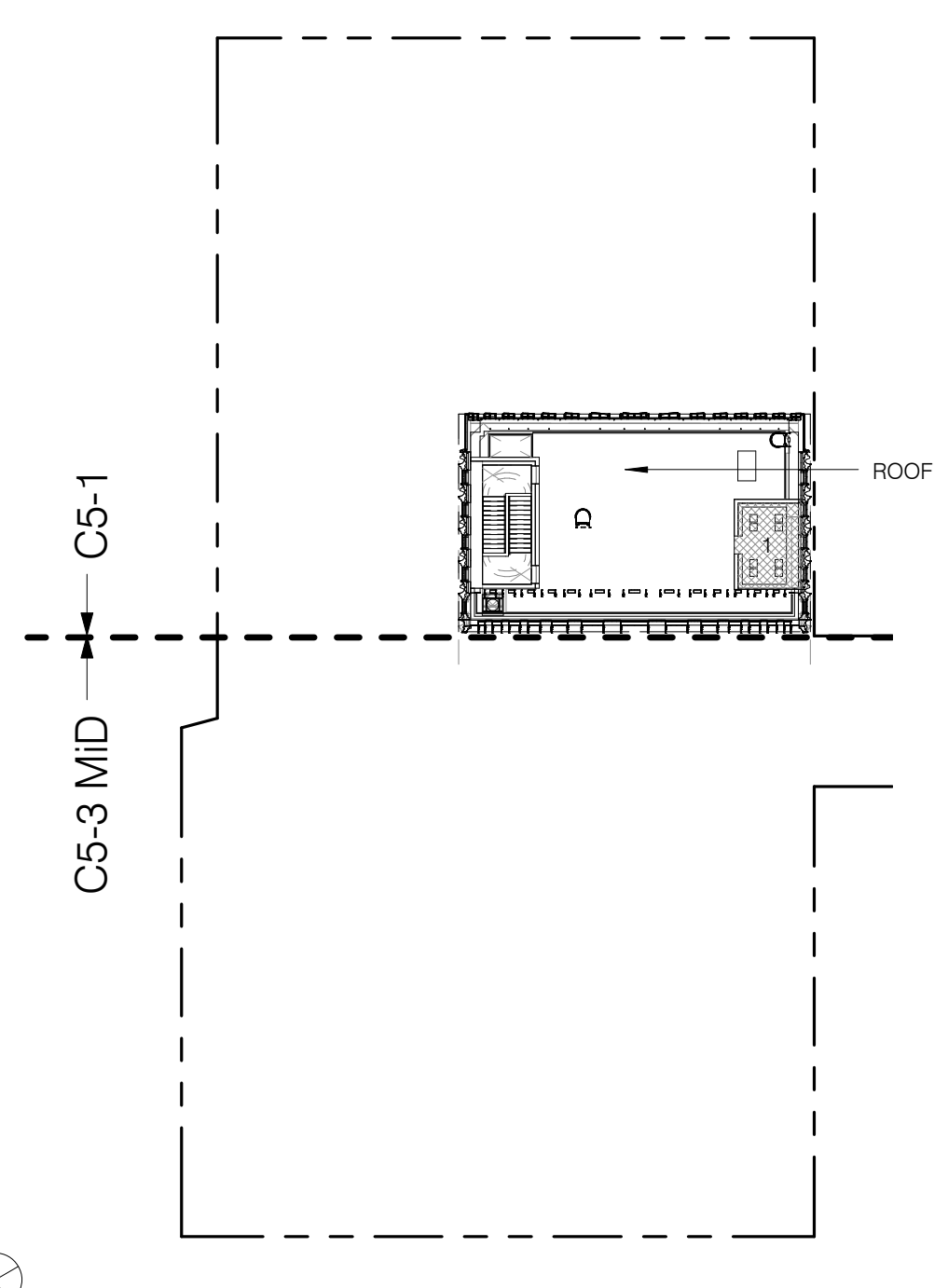


Table: DEDUCTIONS - LEVEL 84M. Columns: NO., TYPE, DEDUCTS (SQF). Rows: C5-1 (NORTH) MECHANICAL (2019.23), OPEN TO BELOW (2019.23), Grand Total (2019.23).

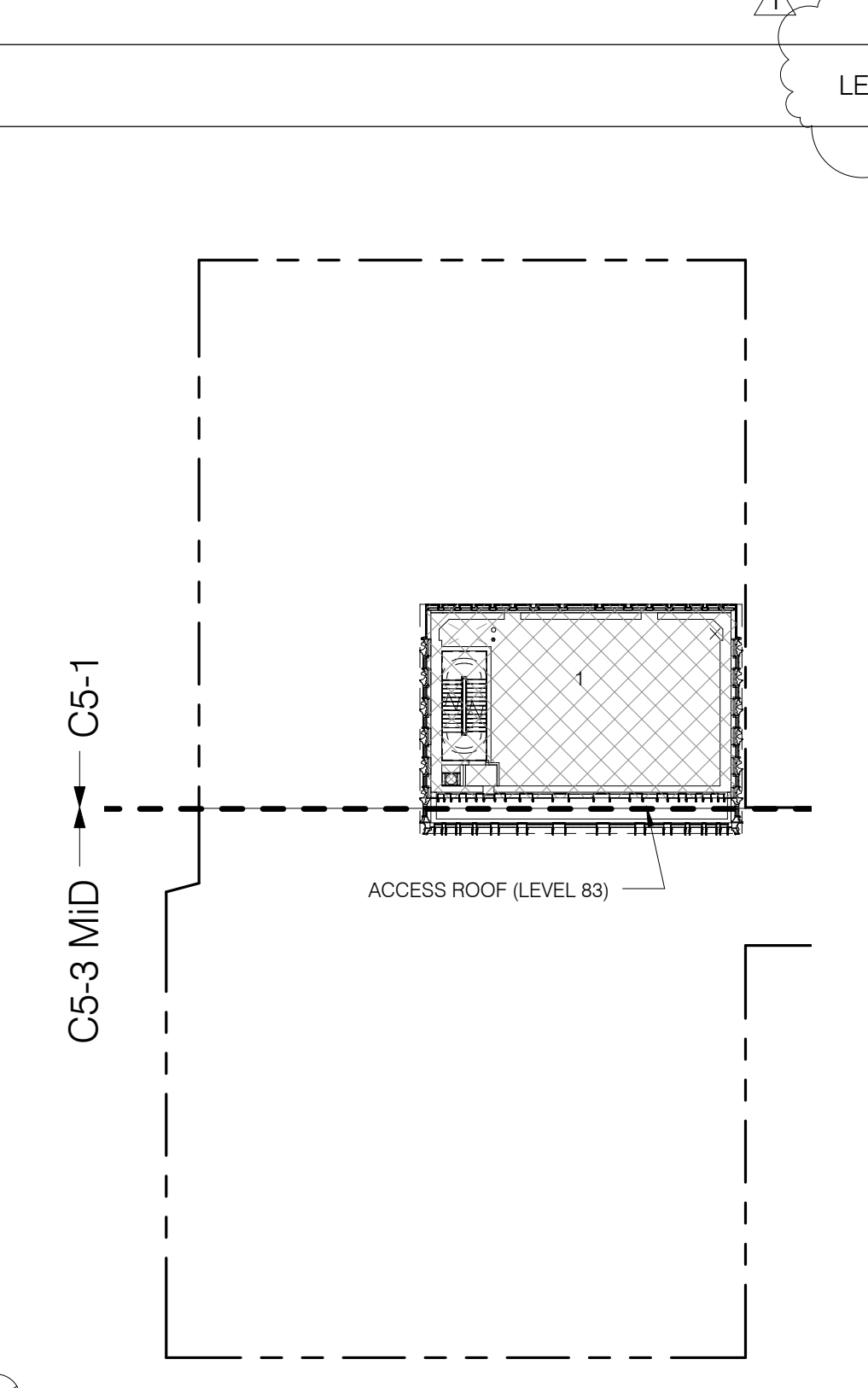


Table: LEVEL 85/ ROOF. Scale: 1" = 30'-0". A-100.00, 2-10000.

Table: DEDUCTIONS - LEVEL 83M. Columns: NO., TYPE, DEDUCTS (SQF). Rows: C5-1 (NORTH) MECHANICAL (2134.08), OPEN TO BELOW (2134.08), Grand Total (2134.08).

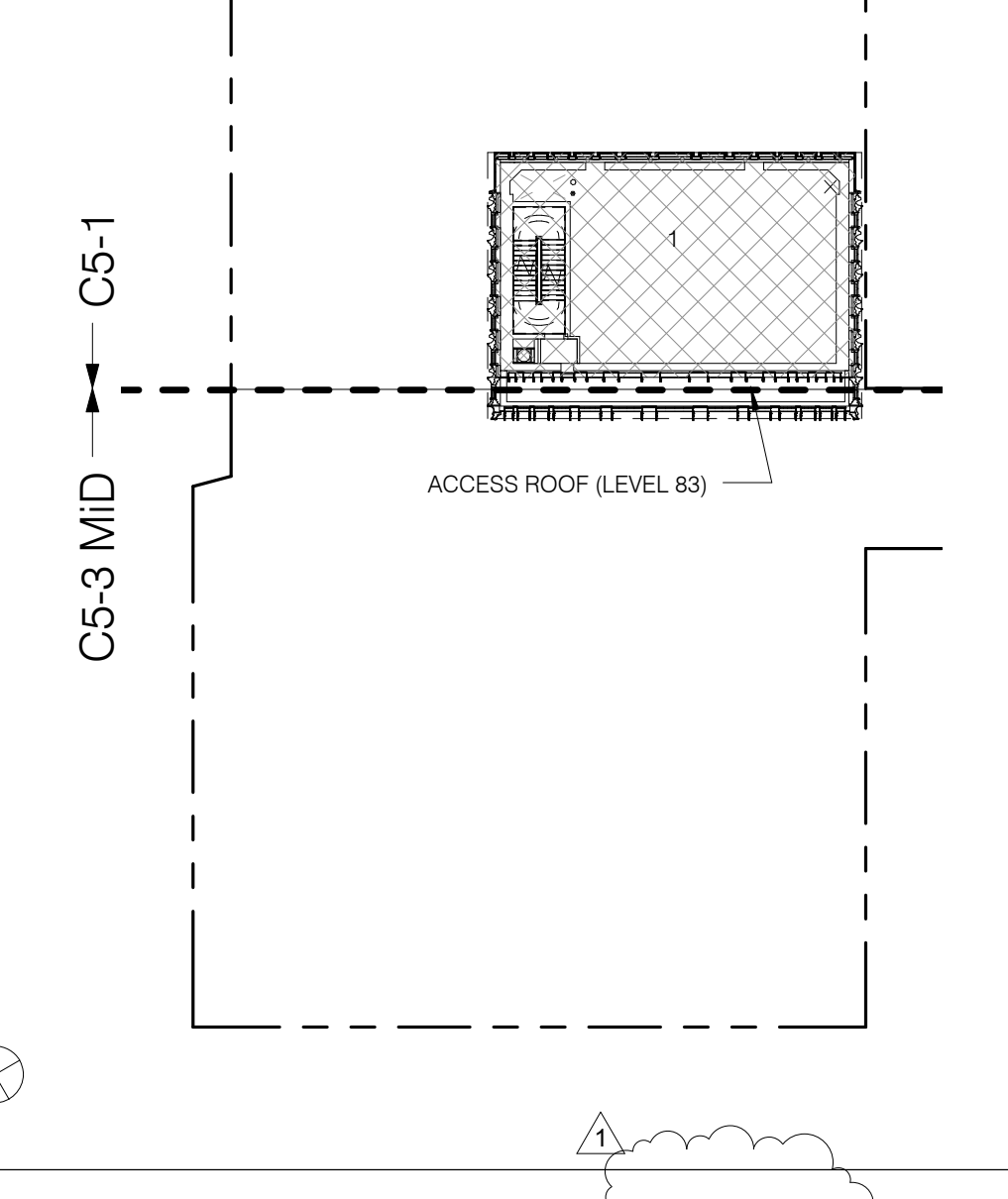


Table: LEVELS 83-84 (TUNED MASS DAMPER). Scale: 1" = 30'-0". A-100.00, 2-10000.

Table: DEDUCTIONS - LEVEL 82. Columns: NO., TYPE, DEDUCTS (SQF). Rows: C5-1 (NORTH) MECHANICAL (2134.08), MECHANICAL (2134.08), C5-3 MID (SOUTH) MECHANICAL (195.99), MECHANICAL (195.99), Grand Total (2330.07).

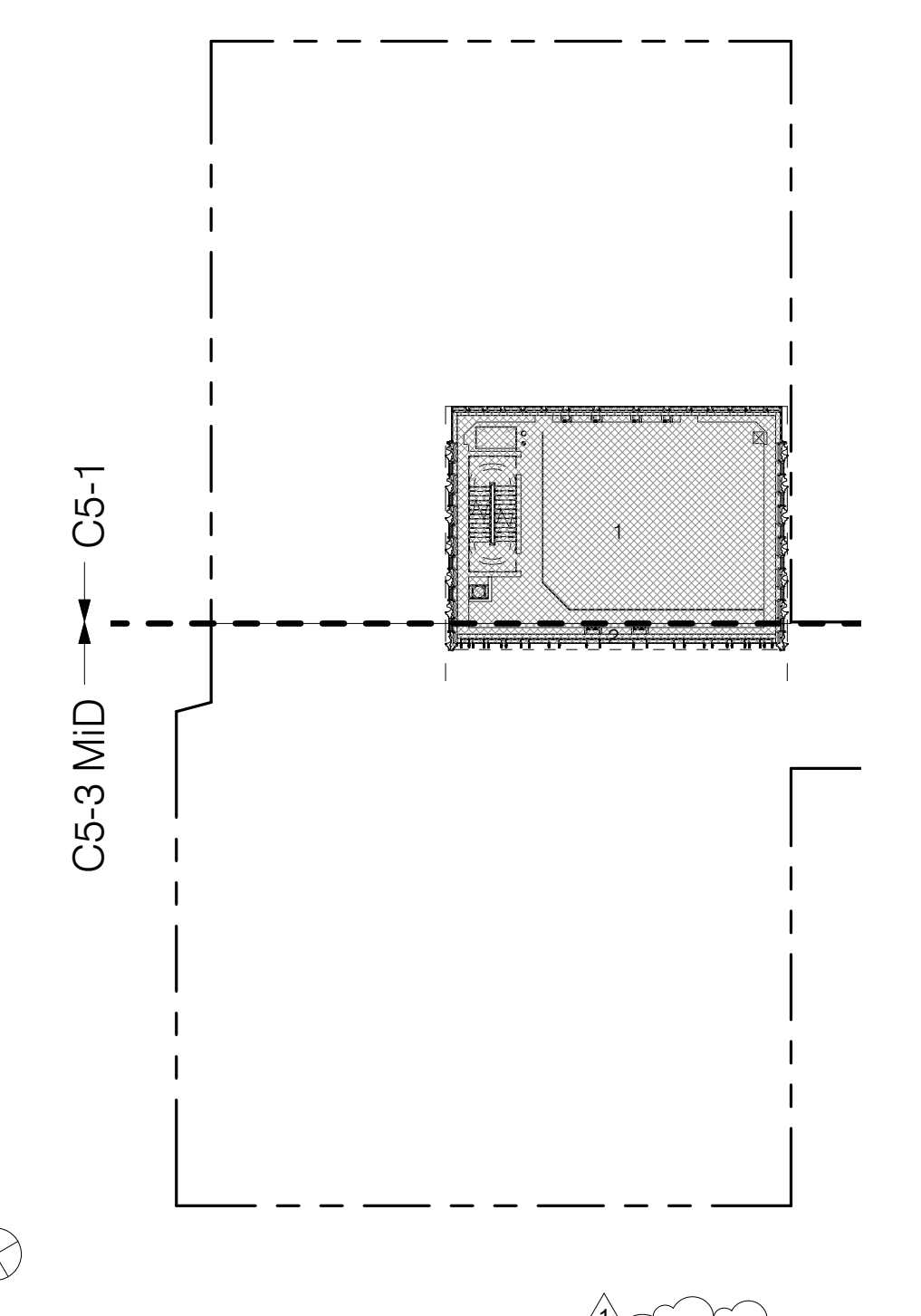


Table: LEVEL 82 (TUNED MASS DAMPER). Scale: 1" = 30'-0". A-100.00, 2-10000.

Table: DEDUCTIONS - LEVEL 81. Columns: NO., TYPE, DEDUCTS (SQF). Rows: C5-1 (NORTH) MECHANICAL (2134.08), MECHANICAL (2134.08), C5-3 MID (SOUTH) MECHANICAL (195.99), MECHANICAL (195.99), Grand Total (2330.07).

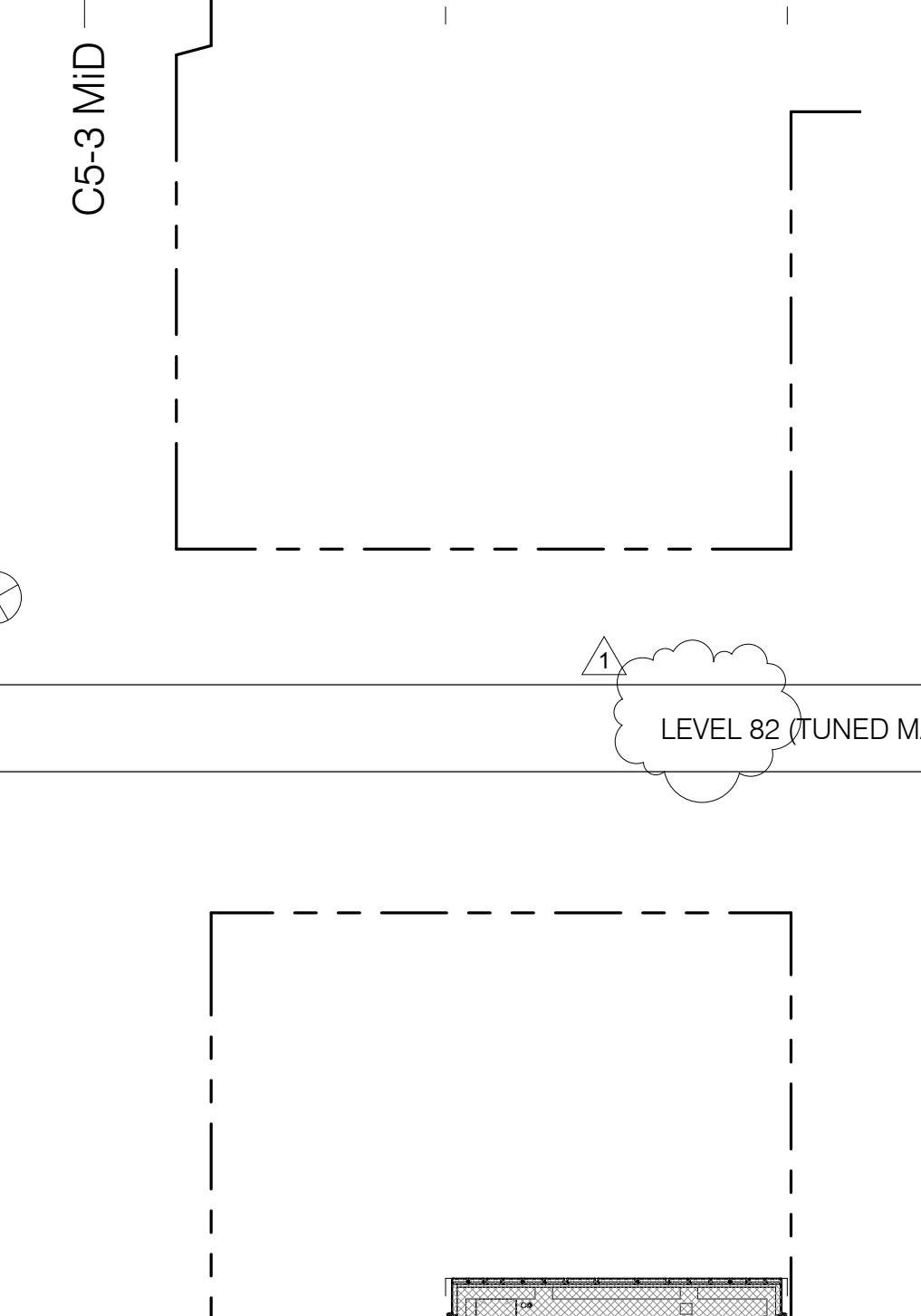


Table: LEVEL 81 (ROOF MECHANICAL). Scale: 1" = 30'-0". A-100.00, 2-10000.

KEY
ZONING FLOOR AREA (dashed line)
FLOOR AREA DEDUCTION (hatched area)
OPEN TO BELOW (cross-hatched area)

NOTE: FOR GROSS FLOOR AREA SEE PROPOSED BUILDING FLOOR AREAS SCHEDULE ON Z-100.00

JDS DEVELOPMENT GROUP
 104 WEST 47TH STREET, 4TH FLOOR
 NEW YORK, NY 10019
 TEL: 212 869 3000

ARCHITECT
 SHP ARCHITECTS, P.C.
 230 BROADWAY, 11TH FLOOR
 NEW YORK, NY 10005
 TEL: 212 869 3000

STRUCTURAL ENGINEER
 YSFP GROUP INCORPORATED
 228 EAST 43RD STREET
 NEW YORK, NY 10017
 TEL: 212 697 2886

MEP ENGINEER
 JARVIS, BALM & BOLLER
 80 WING STREET, 12TH FLOOR
 NEW YORK, NY 10003
 TEL: 212 693 8333

CIVIL ENGINEER
 ARIFF ENGINEERING, P.C.
 40 WEST 46TH STREET, 7TH FLOOR
 NEW YORK, NY 10018
 TEL: 212 268 2828

ACOUSTICIAN
 LONGMAN LINDSEY
 40 WEST 46TH STREET, 4TH FLOOR
 NEW YORK, NY 10018
 TEL: 917 238 2330

INTERIORS
 STUDIO SCENEFIELD
 80 LAURETTE STREET
 NEW YORK, NY 10001
 TEL: 212 475 3300

PROPERTY MARKETS GROUP
 1345 WEST 4TH STREET, 2ND FLOOR
 NEW YORK, NY 10014
 TEL: 212 869 8900



CURRENT ISSUE

DOB PAA



111 WEST 57TH STREET
 111 WEST 57TH STREET
 NEW YORK, NY 10019



1	3.27.15	DOB PAA
2	5.1.14	DOB FILING SET
NO.	DATE	REVISION

DRAWING TITLE

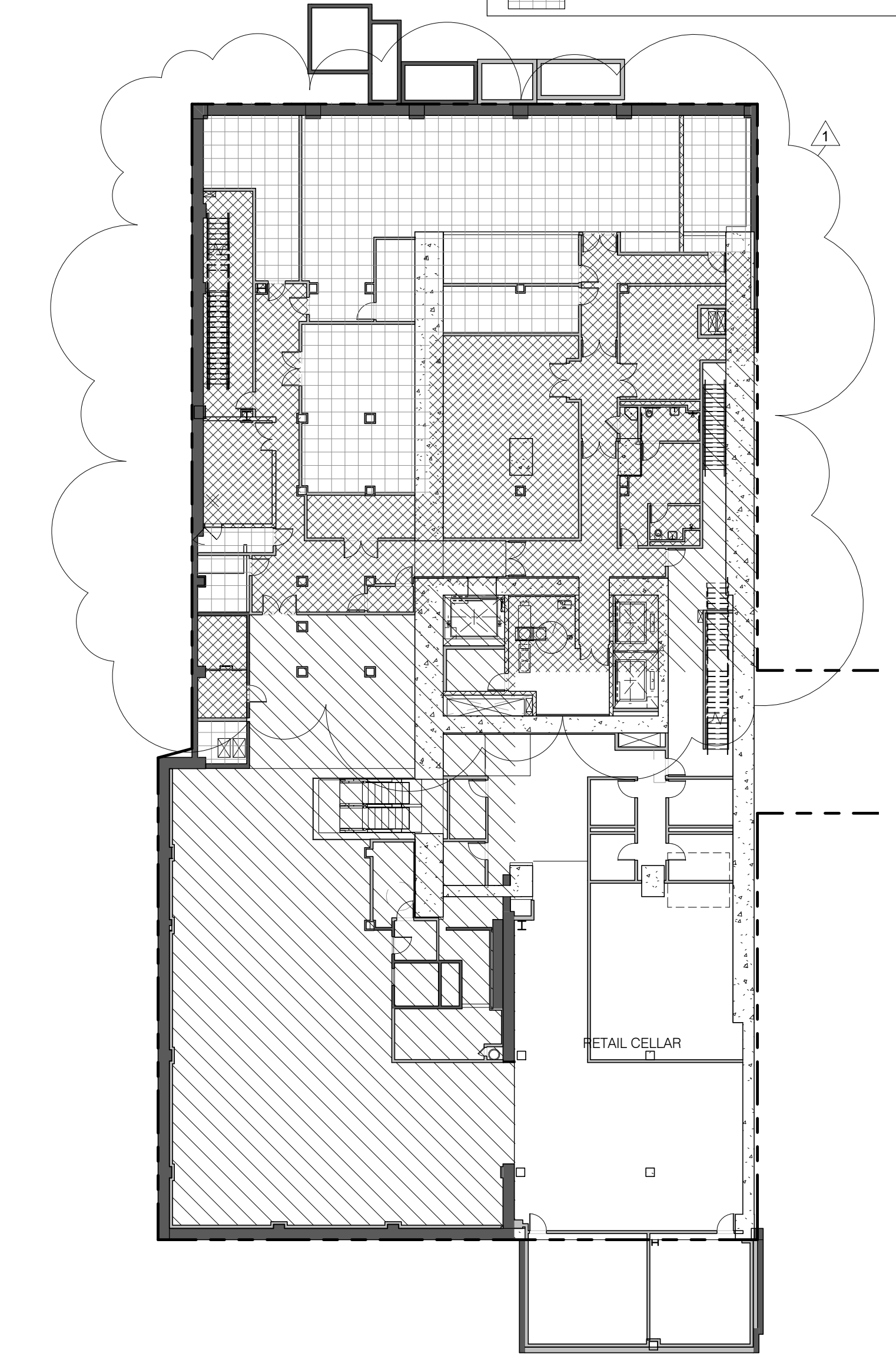
ART. 1 CH. 5 CALCULATIONS

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130907	
DRAWN BY	SH-P	
CHECKED BY	DLG	
DOB NO.	121332968	
DRAWING NUMBER		

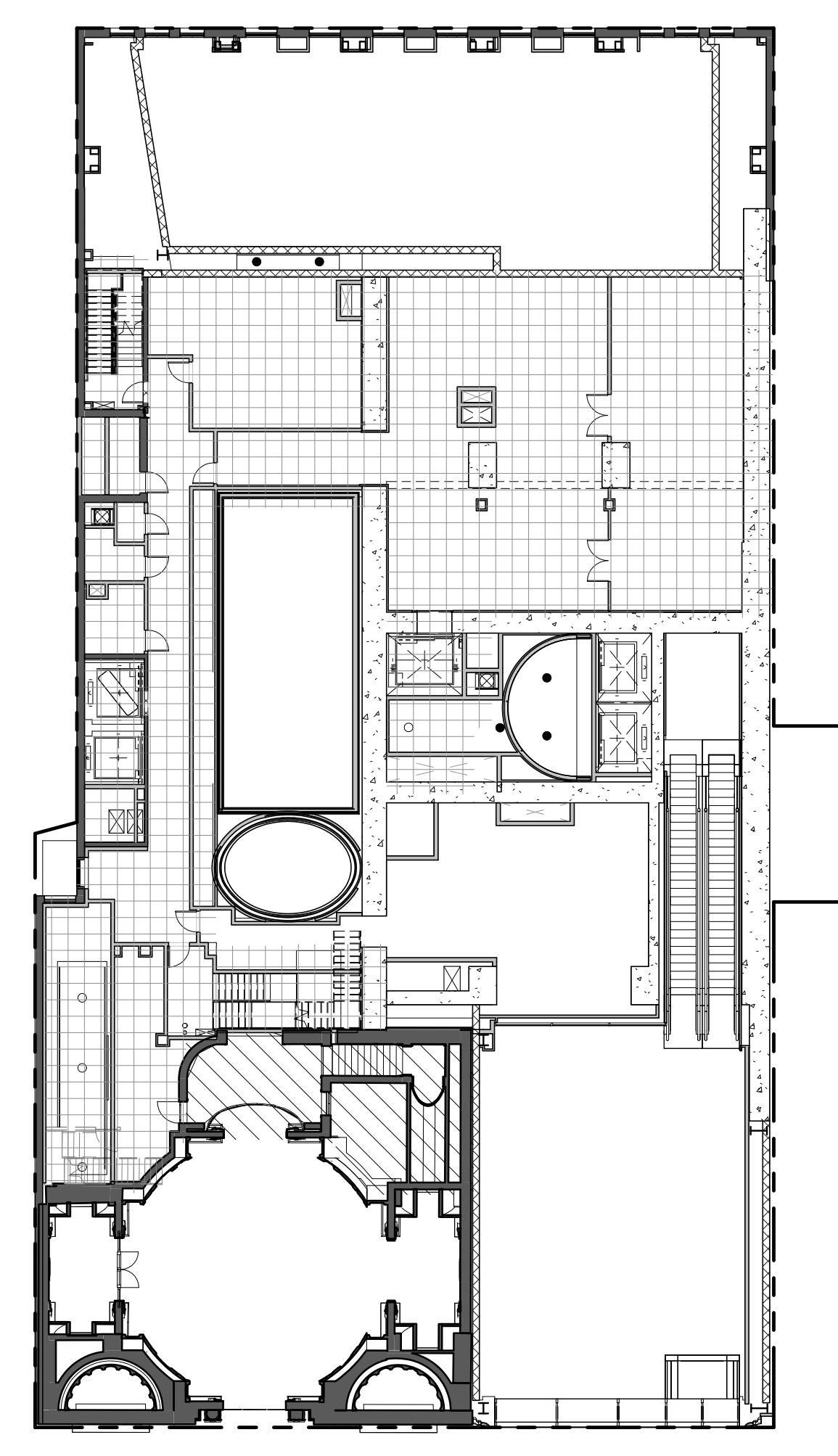
Z-110.01

KEY

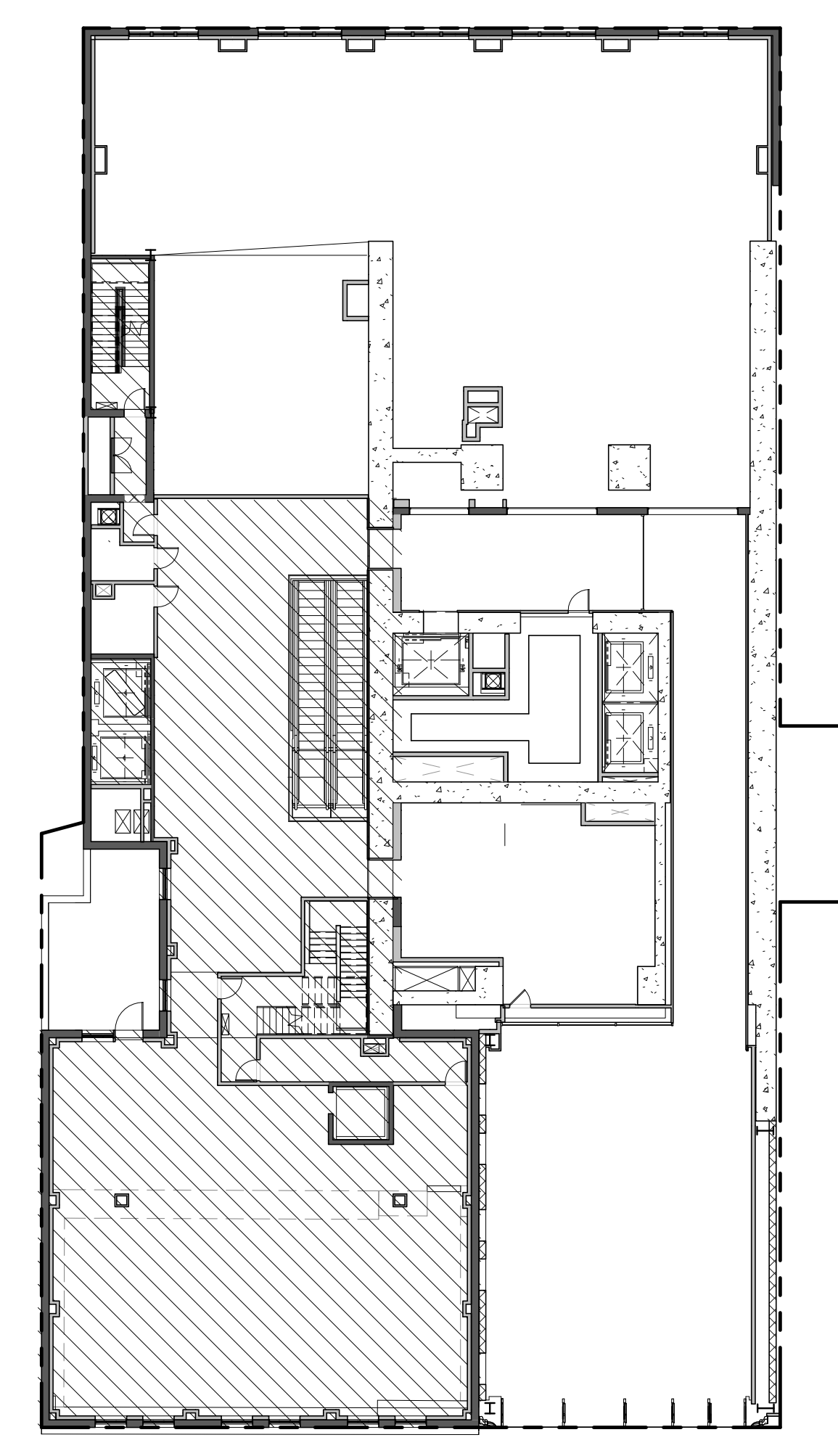
	EXISTING COMMERCIAL TO REMAIN
	PROPOSED CONVERTED RESIDENTIAL
	MECHANICAL



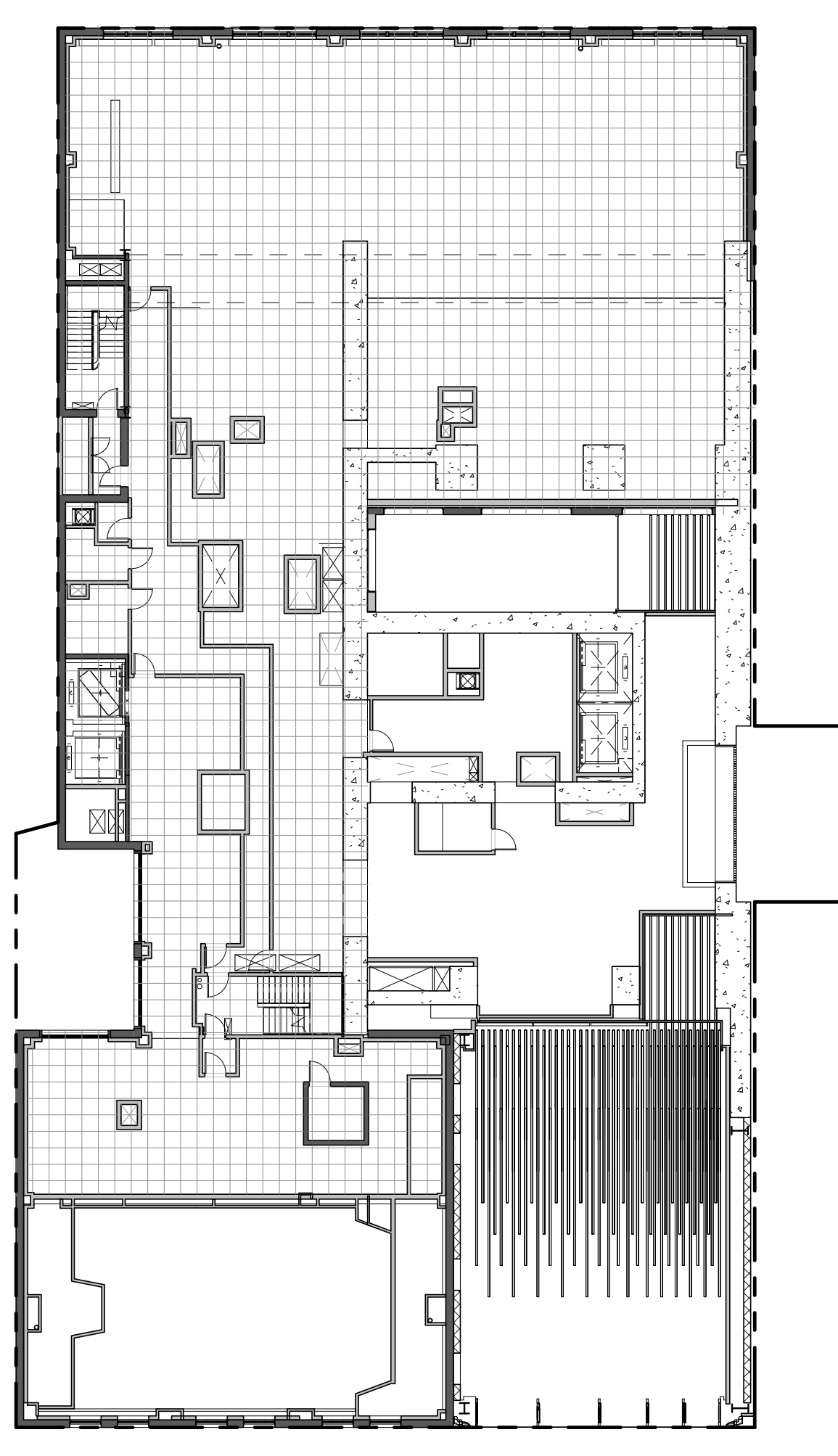
USE	AREA (sqft)
EXISTING COMMERCIAL TO REMAIN	7298 SF
PROPOSED CONVERTED RESIDENTIAL	4848 SF
Grand total	12146 SF



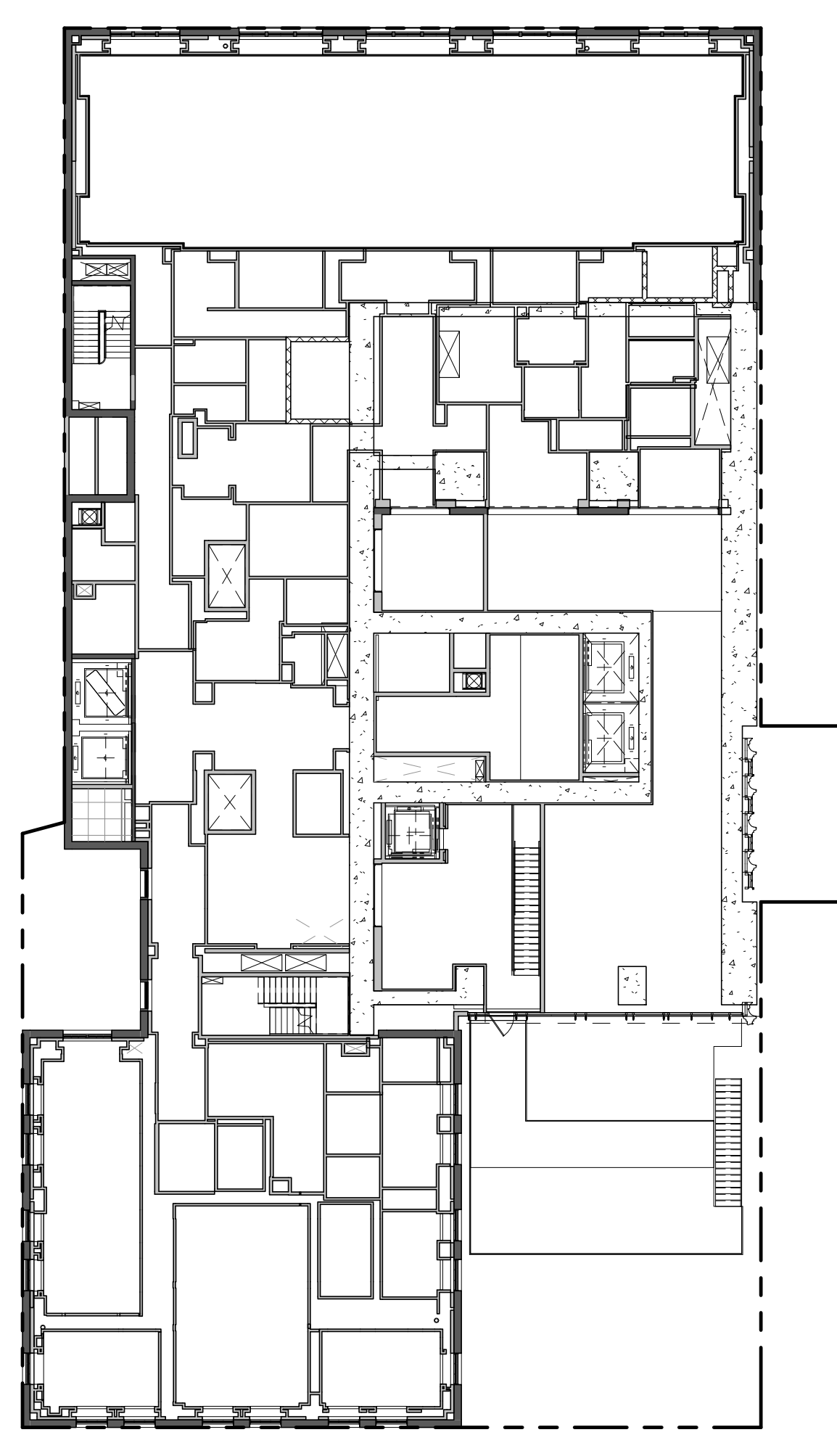
USE	AREA (sqft)
EXISTING COMMERCIAL TO REMAIN	775 SF
Grand total	775 SF



USE	AREA (sqft)
EXISTING COMMERCIAL TO REMAIN	6839 SF

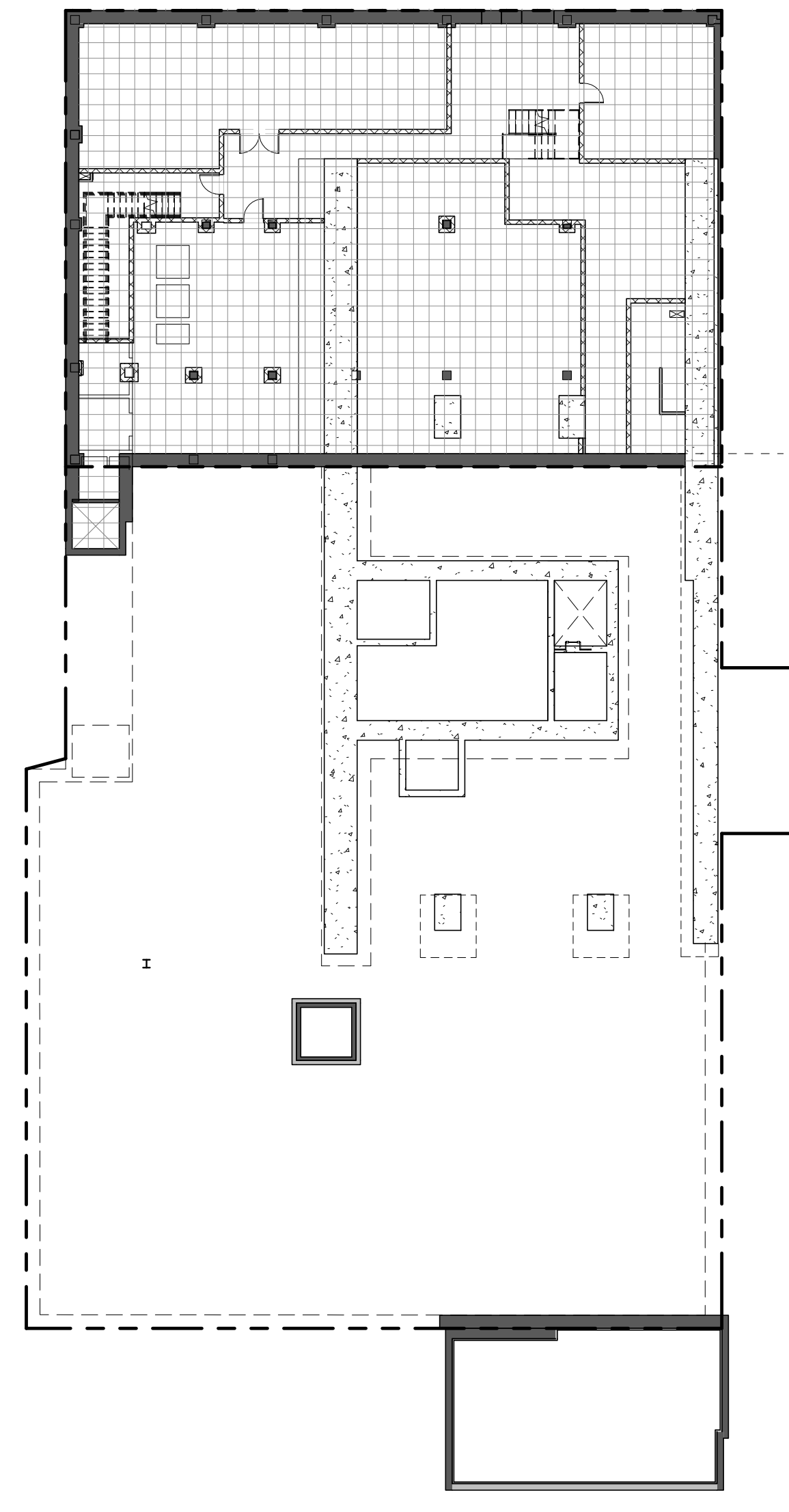


NOTE: ALL MECHANICAL LEVEL

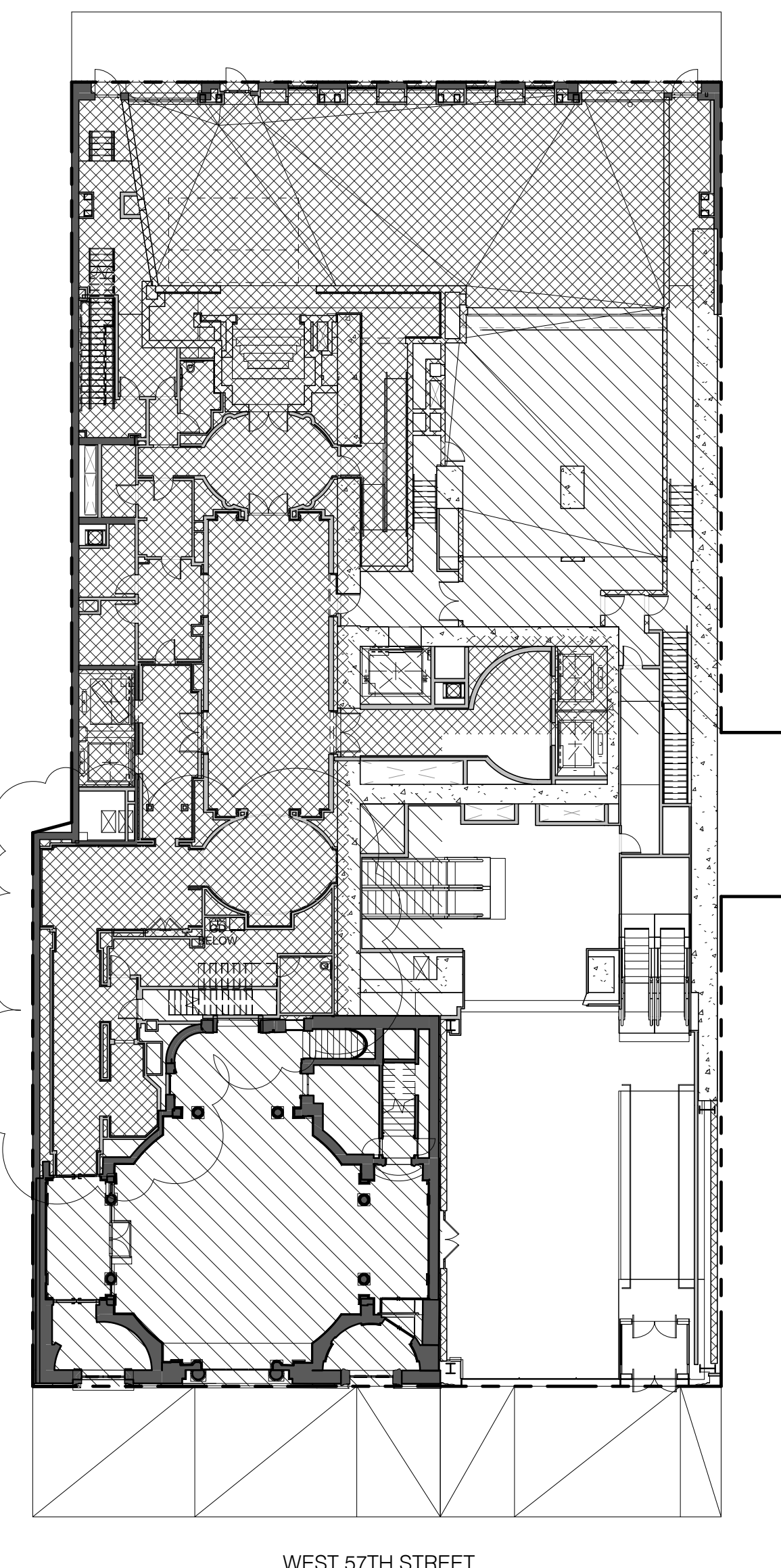


NOTE: ALL FLOORS REMOVED

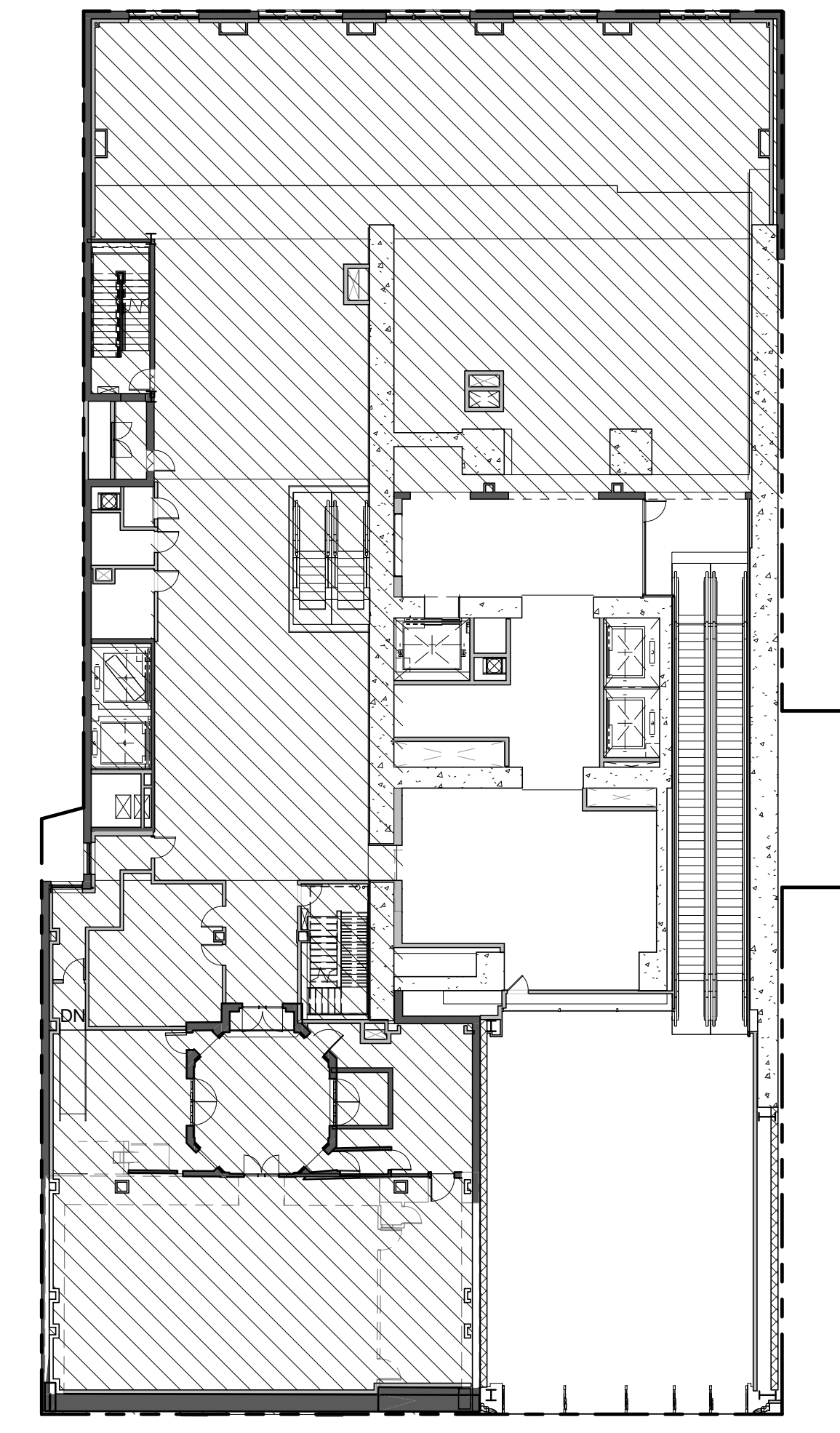
CELLAR - SLAB EDGE UNDERLAY 1" = 20'-0" 2/16/15



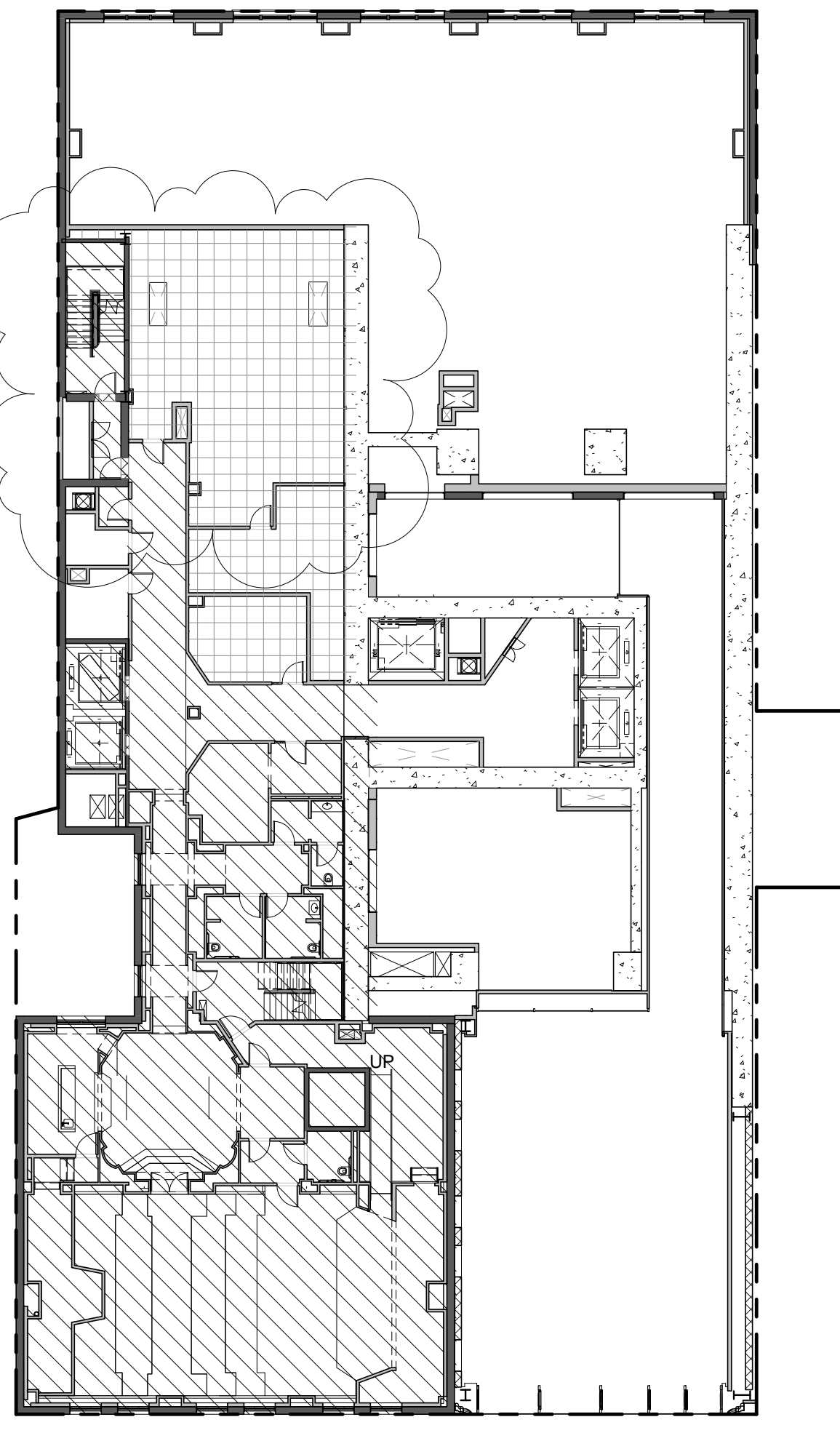
USE	AREA (sqft)
MEP	7109 SF



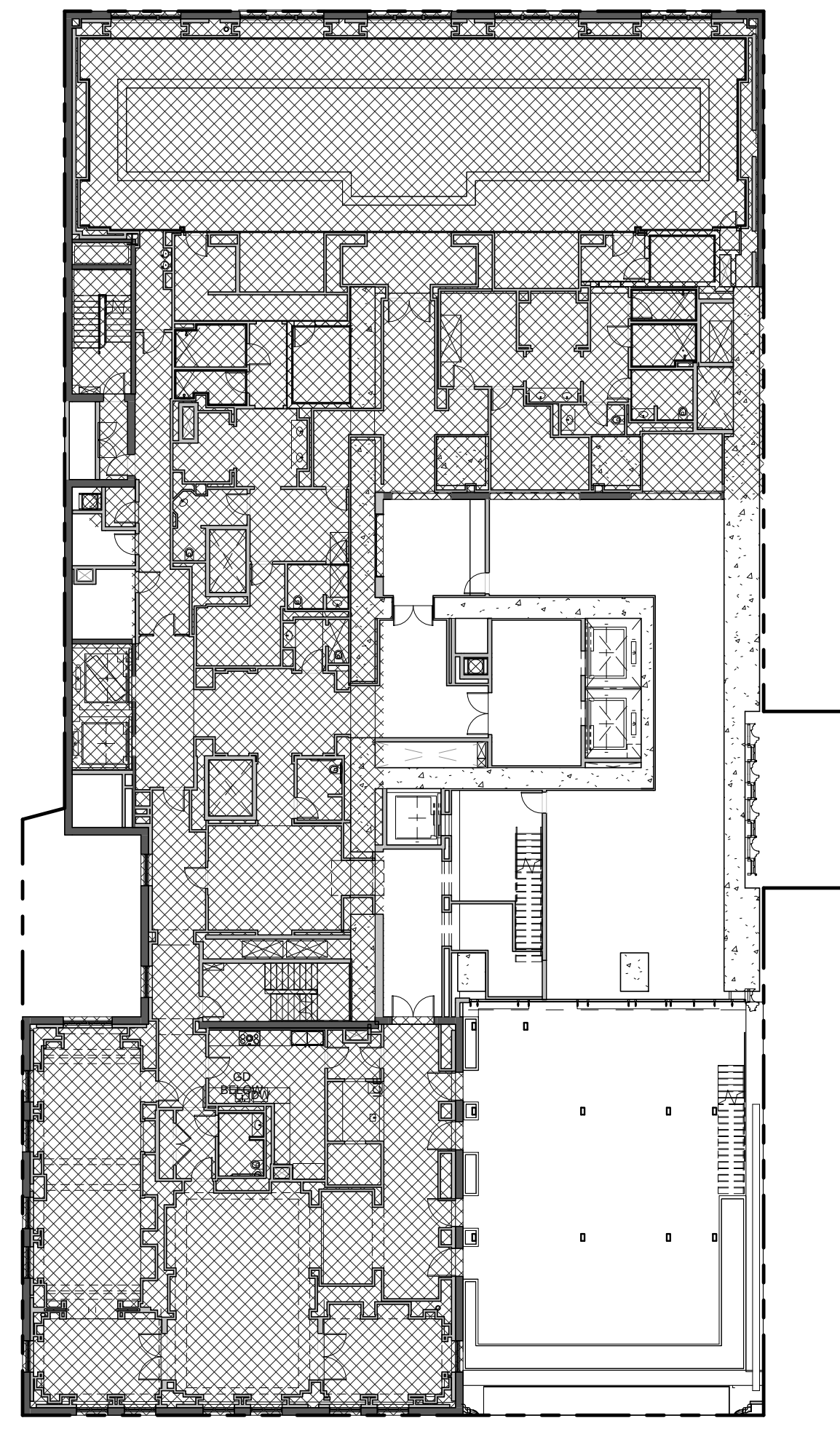
USE	AREA (sqft)
EXISTING COMMERCIAL TO REMAIN	6677 SF
PROPOSED CONVERTED RESIDENTIAL	9342 SF
Grand total	16019 SF



USE	AREA (sqft)
EXISTING COMMERCIAL TO REMAIN	13752 SF



USE	AREA (sqft)
EXISTING COMMERCIAL TO REMAIN	6090 SF
Grand total	6090 SF



USE	AREA (sqft)
PROPOSED CONVERTED RESIDENTIAL	13349 SF

LEVEL 8 1" = 20'-0" 10/2/15/15

LEVEL 6 1" = 20'-0" 8/2/15/15

LEVEL 4 1" = 20'-0" 6/2/15/15

LEVEL 2 1" = 20'-0" 4/2/15/15

LEVEL 7 1" = 20'-0" 9/2/15/15

LEVEL 5 1" = 20'-0" 7/2/15/15

LEVEL 3 1" = 20'-0" 5/2/15/15

GROUND 1" = 20'-0" 3/2/15/15

SUB-CELLAR 1" = 20'-0" 1/2/15/15



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



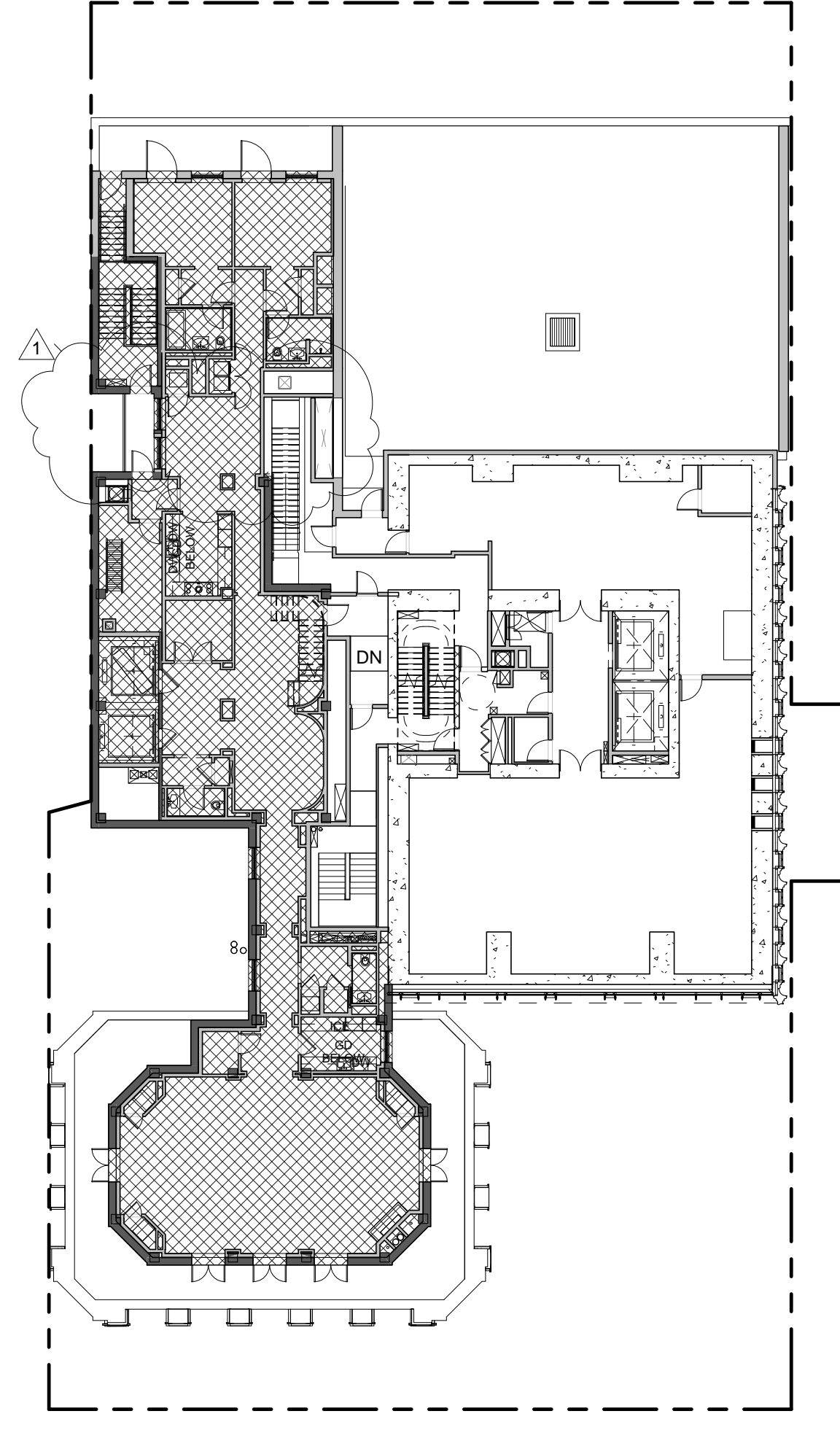
1	3.27.15	DOB PAA
	5.1.14	DOB PLUNG SET
NO.	DATE	REVISION
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.		

DRAWING TITLE
ART. 1 CH. 5 CALCULATIONS

SEAL & SIGNATURE DATE 3.27.15
PROJECT NO. 130007
DRAWN BY SHAP
CHECKED BY DLG
DOB NO. 121332068
DRAWING NUMBER
Z-111.01

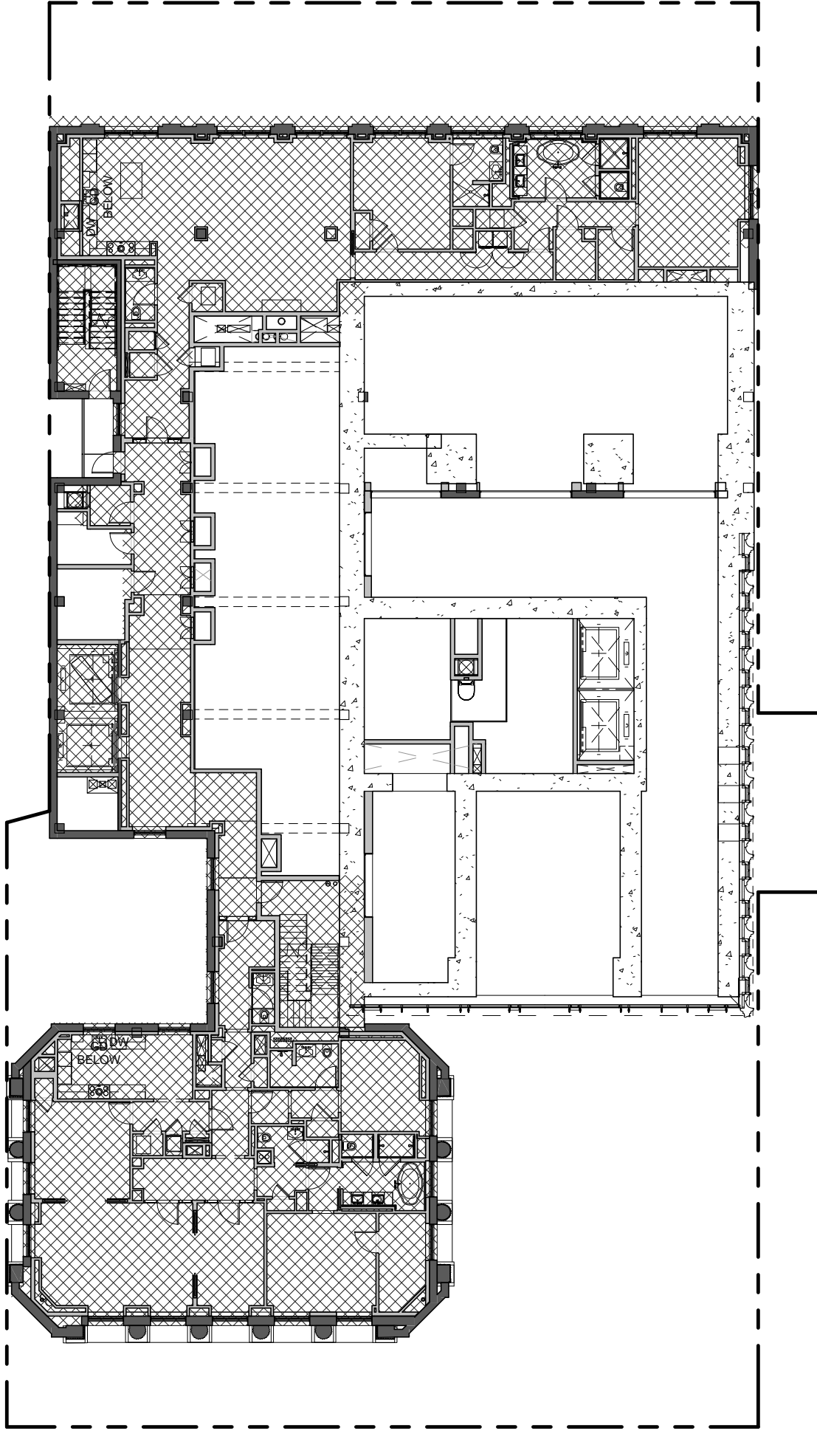
KEY

	EXISTING COMMERCIAL TO REMAIN
	PROPOSED CONVERTED RESIDENTIAL
	MECHANICAL



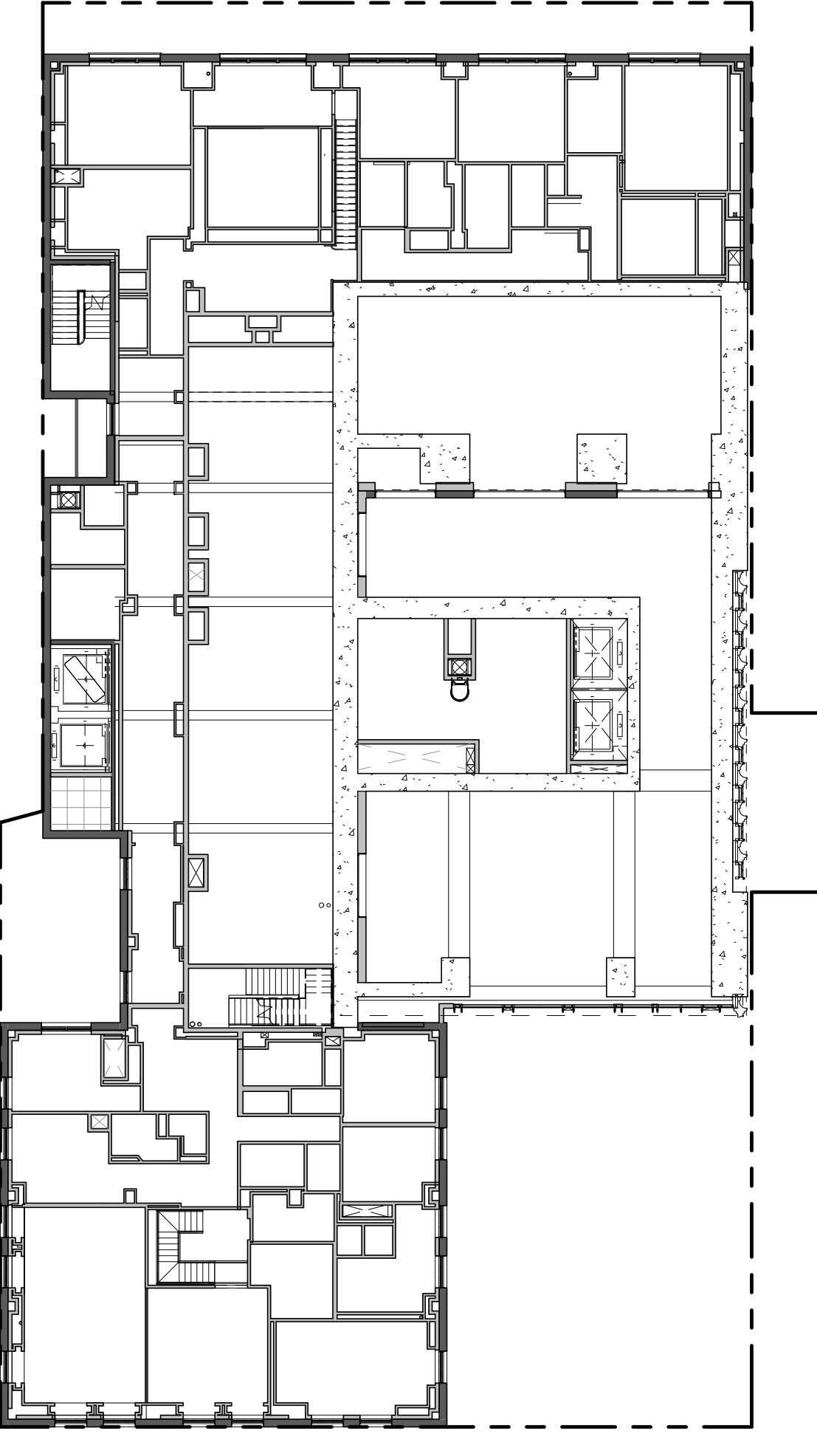
USE	AREA (sqft)
PROPOSED CONVERTED RESIDENTIAL	4536 SF

LEVEL 16.0 1" = 20'-0" 8 2/11/15



USE	AREA (sqft)
PROPOSED CONVERTED RESIDENTIAL	6748 SF

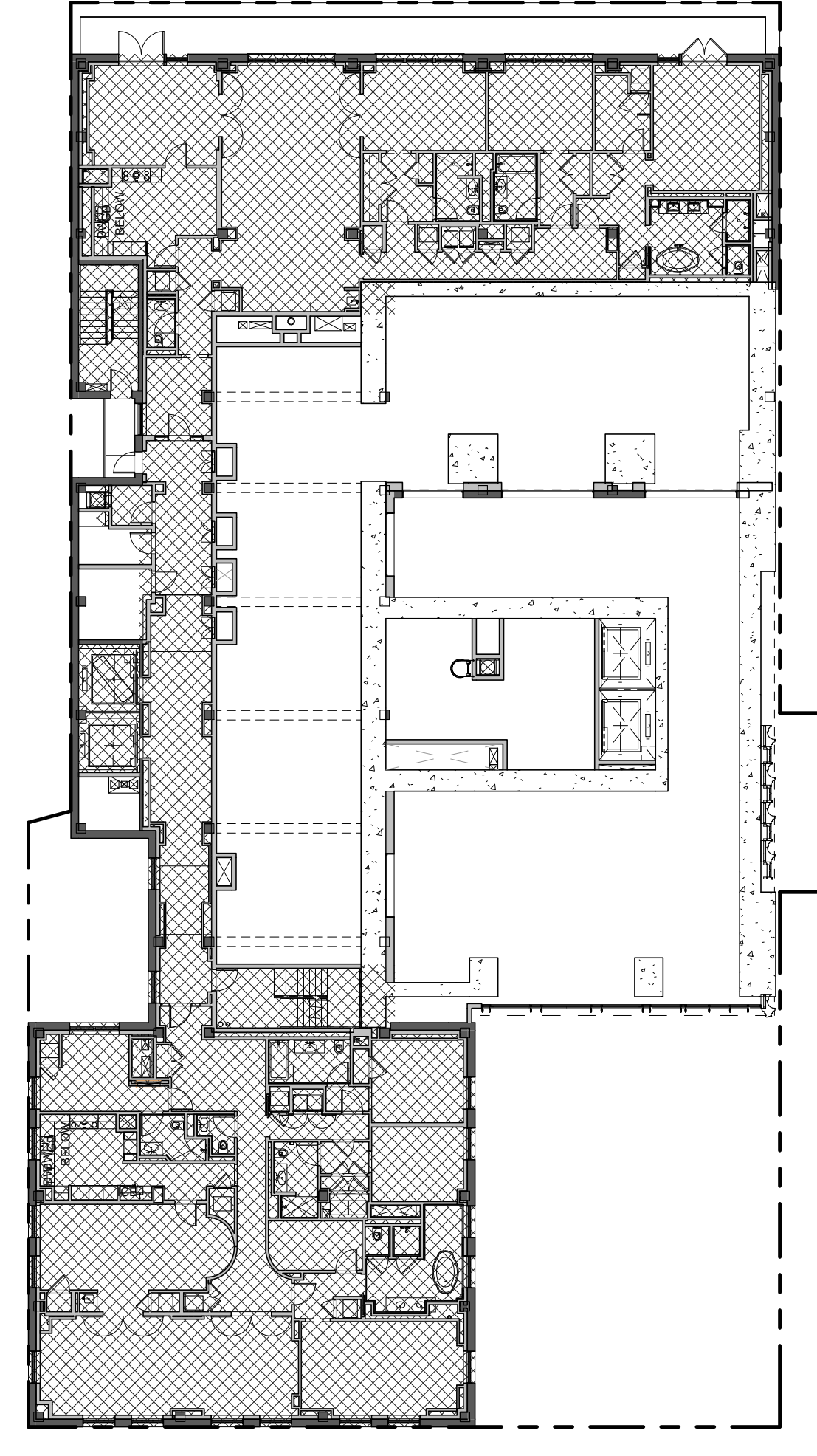
LEVEL 14 1" = 20'-0" 6 2/11/15



NOTE: ALL FLOORS REMOVED

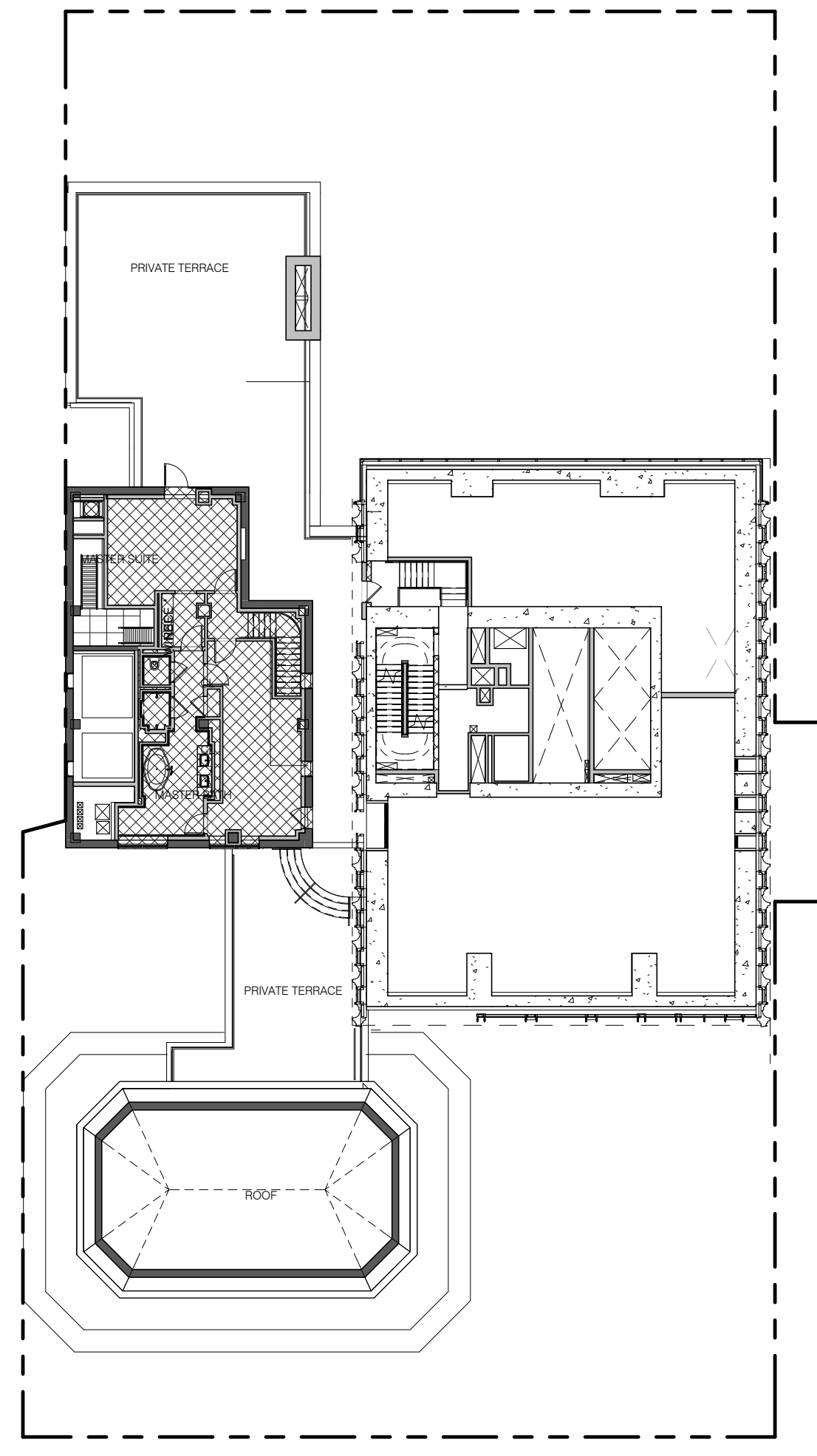
USE	AREA (sqft)
PROPOSED CONVERTED RESIDENTIAL	8552 SF

LEVEL 12 1" = 20'-0" 4 2/11/15



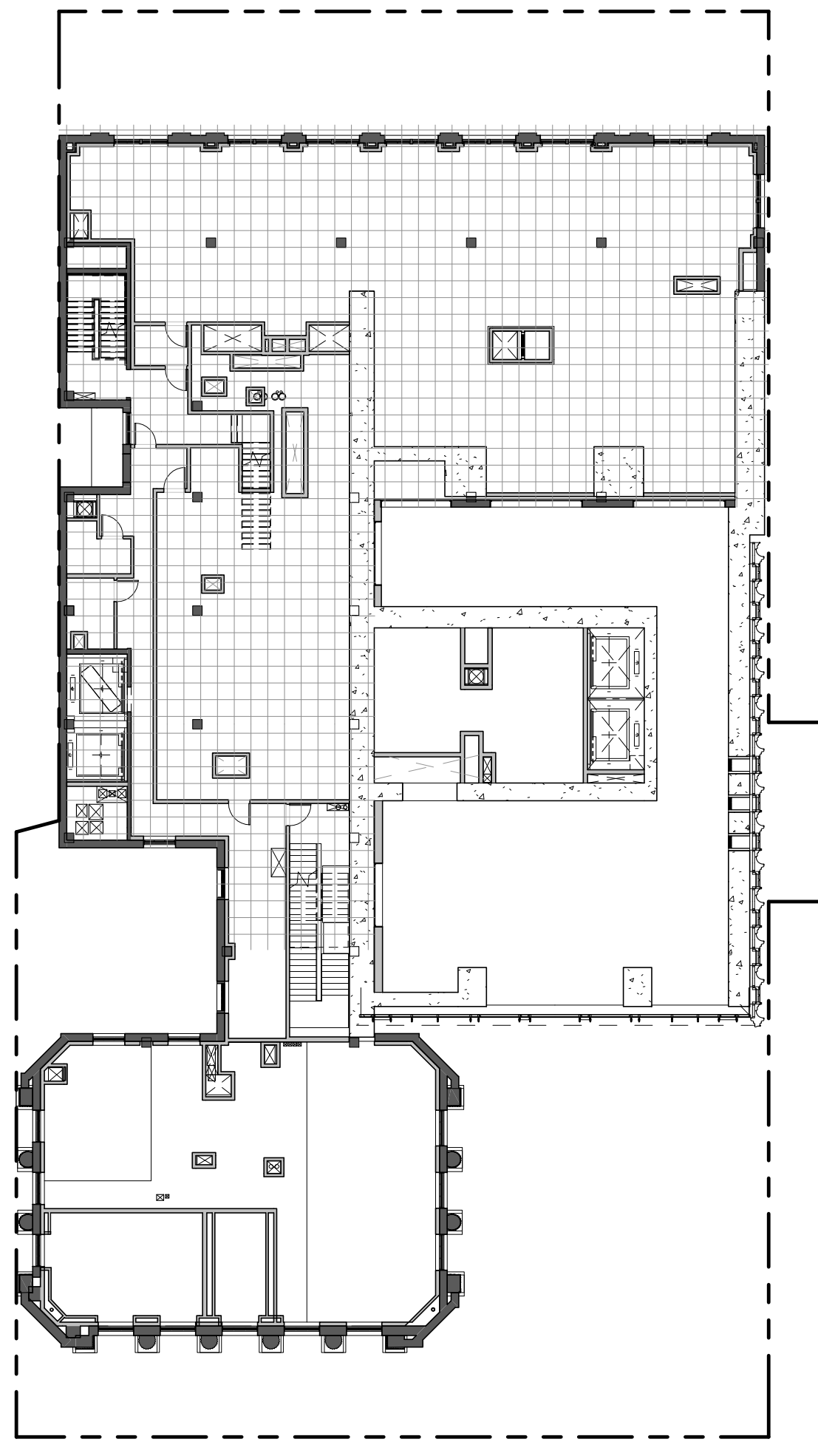
USE	AREA (sqft)
PROPOSED CONVERTED RESIDENTIAL	8552 SF

LEVEL 10 1" = 20'-0" 2 2/11/15



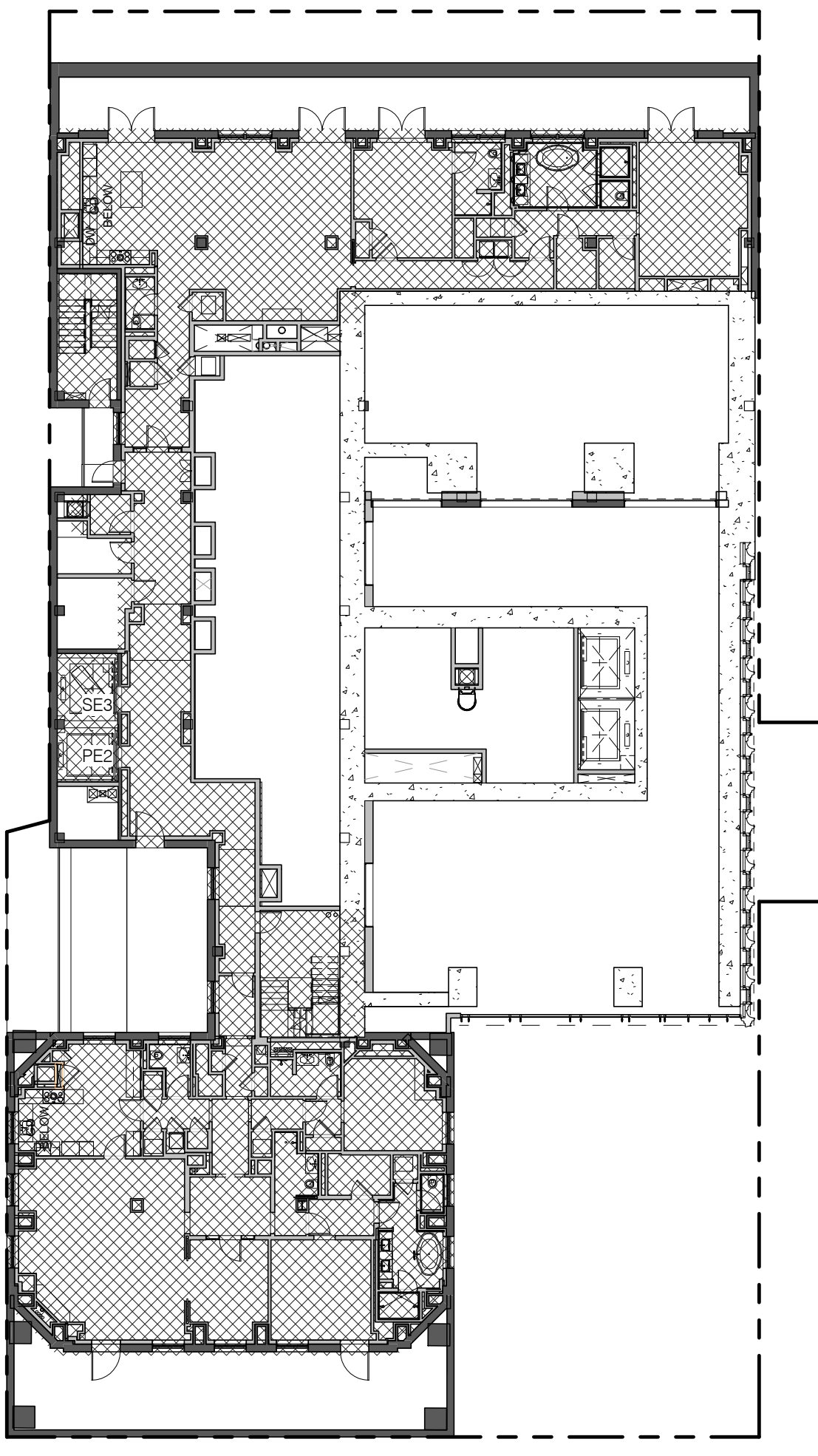
USE	AREA (sqft)
PROPOSED CONVERTED RESIDENTIAL	1187 SF

LEVEL 17.0 1" = 20'-0" 9 2/11/15



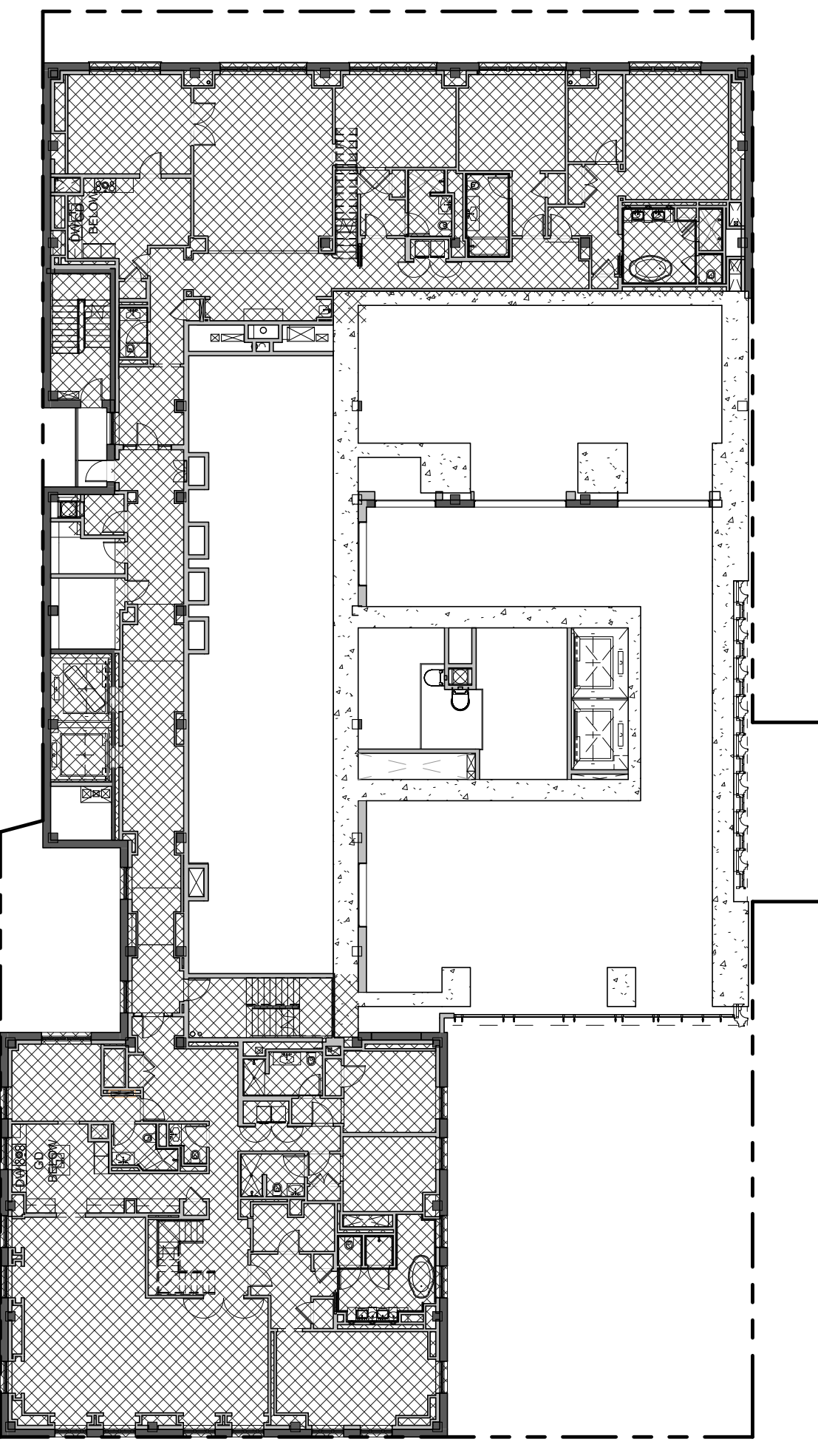
NOTE: ALL MECHANICAL LEVEL

LEVEL 15 1" = 20'-0" 7 2/11/15



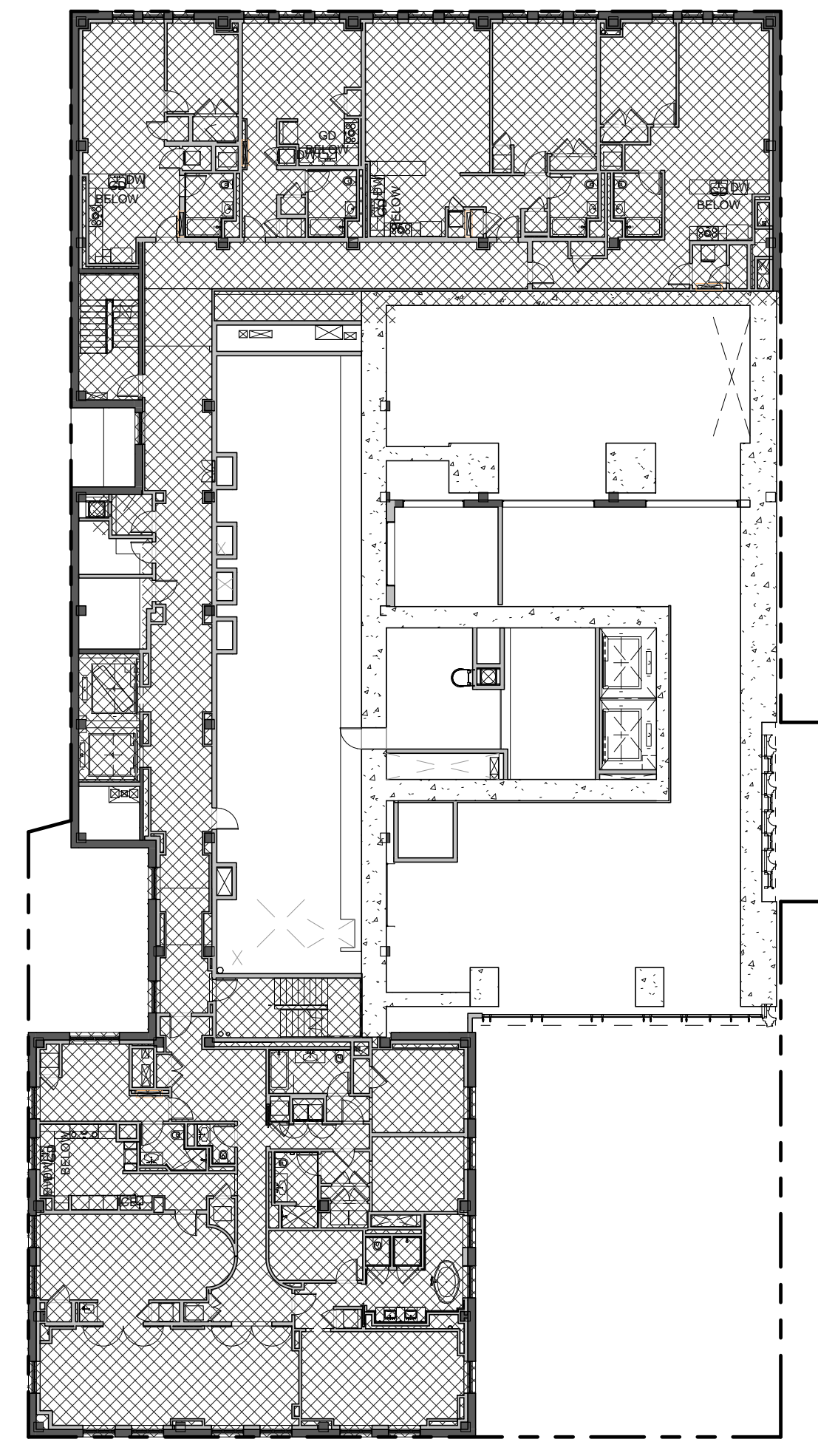
USE	AREA (sqft)
PROPOSED CONVERTED RESIDENTIAL	6894 SF

AREA BOUNDARY EXAMPLE - STEINWAY UNITS 1" = 20'-0" 5 2/11/15



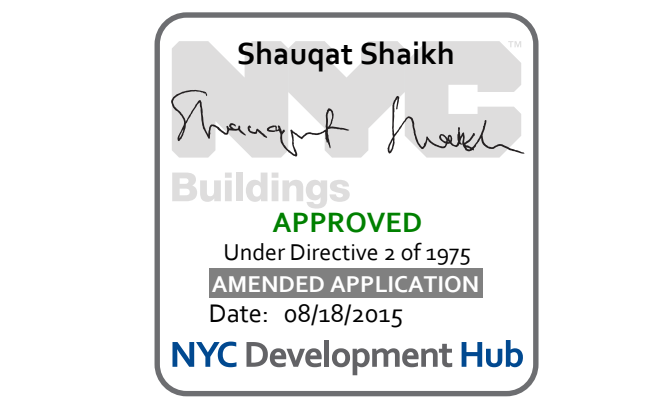
USE	AREA (sqft)
PROPOSED CONVERTED RESIDENTIAL	8567 SF

LEVEL 11 1" = 20'-0" 3 2/11/15

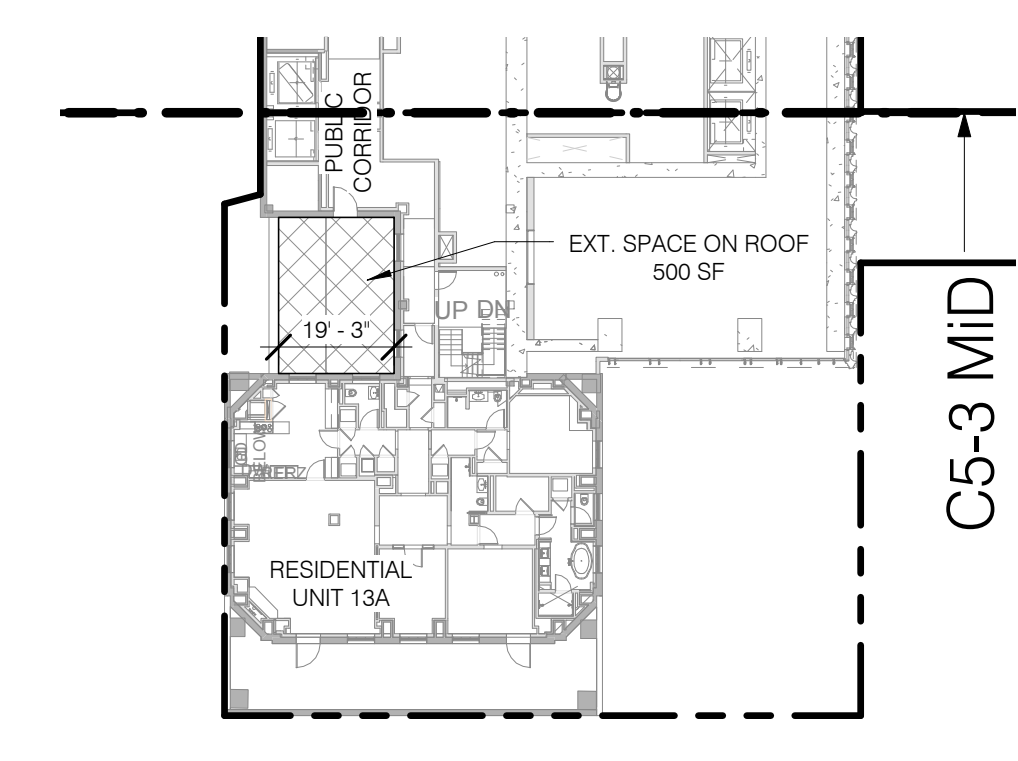
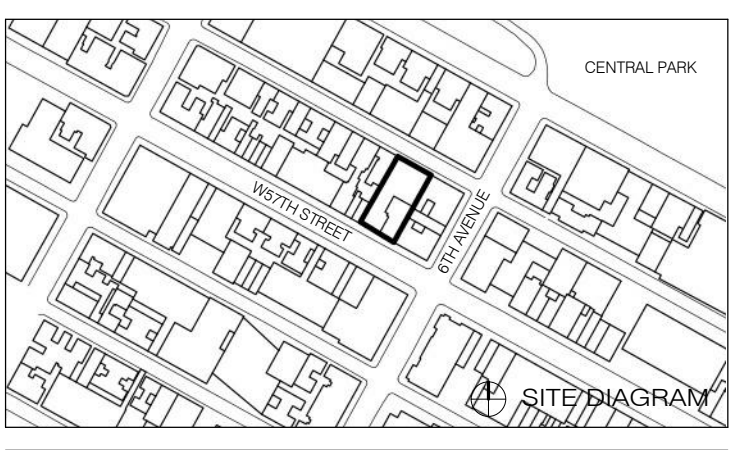


USE	AREA (sqft)
PROPOSED CONVERTED RESIDENTIAL	9407 SF

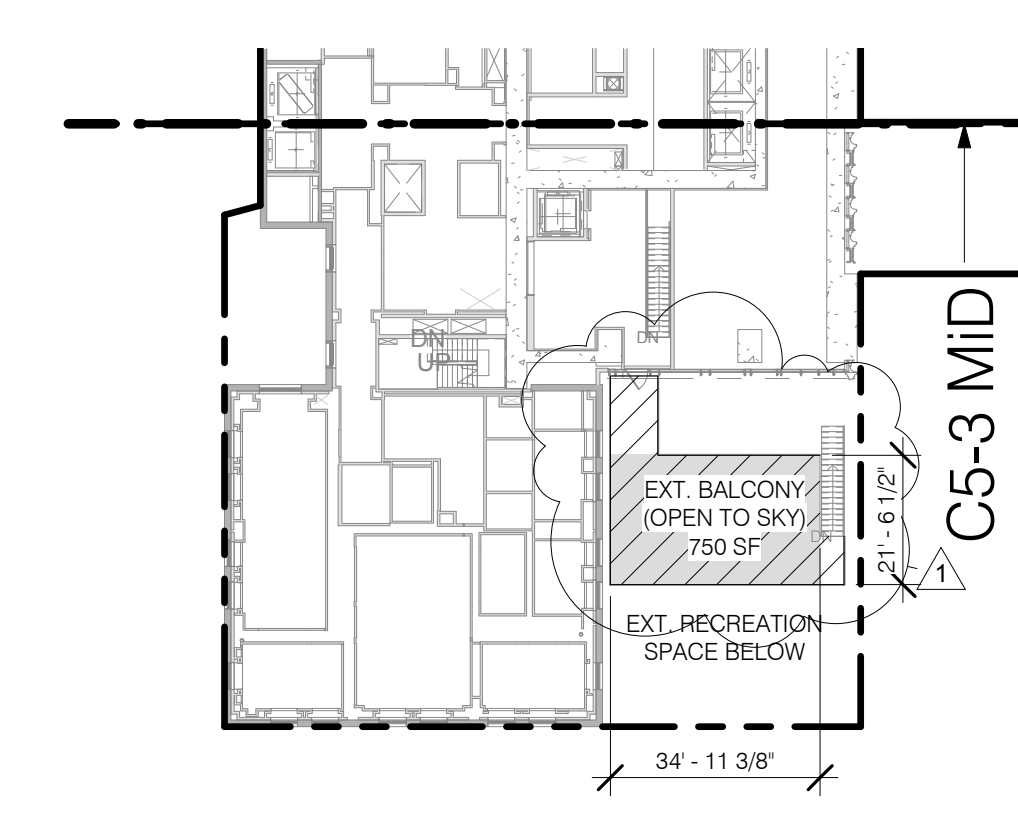
LEVEL 9 1" = 20'-0" 1 2/11/15



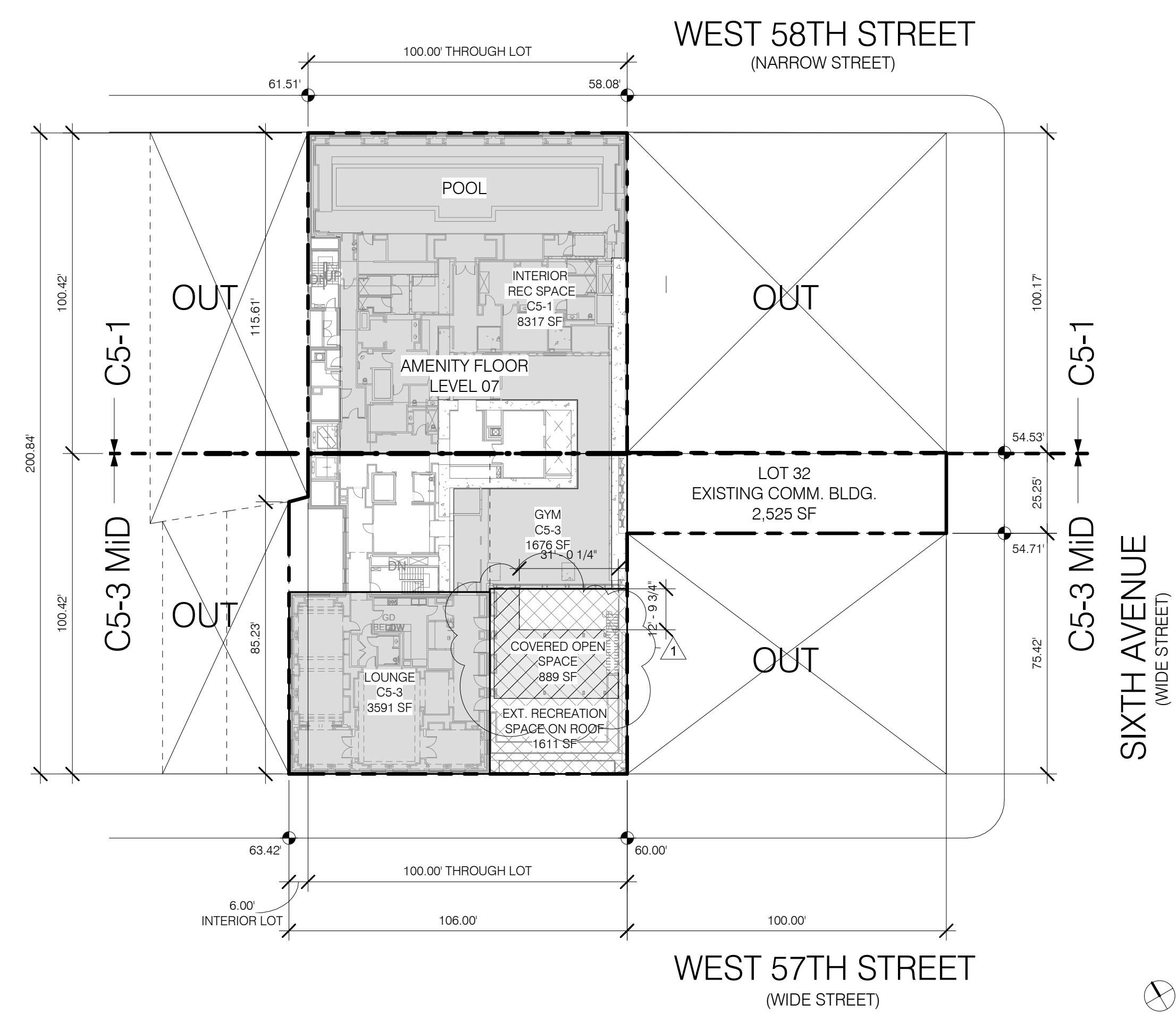
111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



LEVEL 13 REC SPACE DIAGRAM 1/32" = 1'-0" 5



LEVEL 7 MEZZ REC SPACE DIAGRAM 1/32" = 1'-0" 4



LEGEND

- EXTERIOR SHARED RESIDENTIAL RECREATIONAL SPACE
- PARTIALLY ENCLOSED RESIDENTIAL RECREATIONAL SPACE
- INTERIOR RESIDENTIAL RECREATIONAL

SEC 81-241
REC SPACE TOTAL

EXTERIOR (ROOF)	2861 SF	C5-3
COVERED OPEN SPACE PARTIALLY UNENCLOSED	889 SF	
INTERIOR	5267 SF	
TOTAL	9017 SF	

ZONING CALCULATIONS

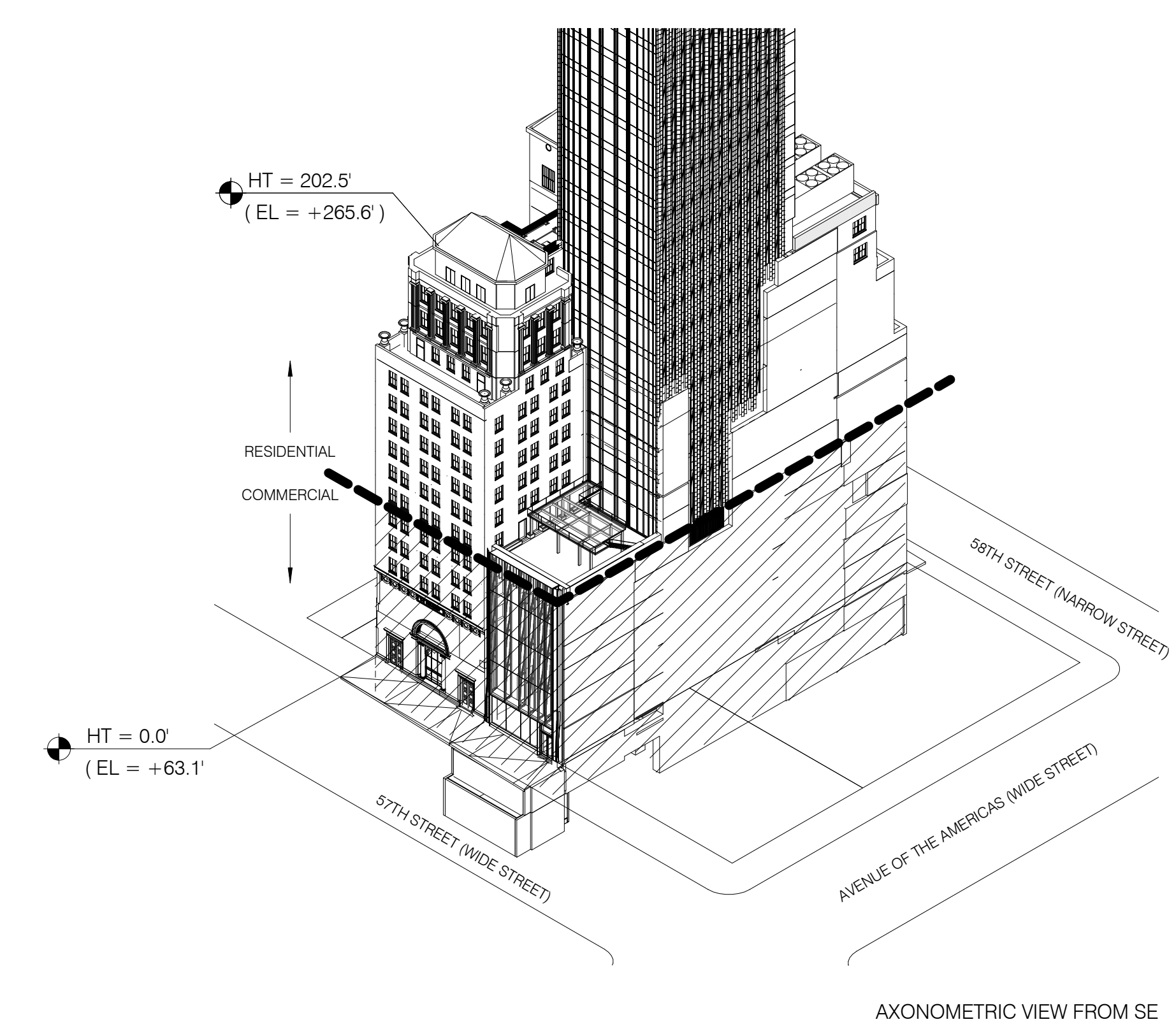
81-241 E Residential Recreation Space
Required: 16.25 SF per d.u.
Number of d.u.'s provided in C5-3 zone: 47 (some units partially in C5-3)

47 x 16.25 SF = 764 SF
Minimum 5,000 SF: 1986
50% Minimum Open to sky: 2500 SF
25% Minimum Partially Enclosed or Open: 1250 SF

Provided: See Diagram Z-112

Open to sky: 2500 SF (Complies)
Partially Enclosed or Open: 1250 SF (Complies)
Enclosed: 5267 SF (Complies)
Total Recreational Space: 9017 SF (Complies)

LEVEL 7 RECREATIONAL SPACE DIAGRAM 1/32" = 1'-0" 3



ARTICLE 1 CHAPTER 5 - RESIDENTIAL CONVERSION

- 15-00 Existing building being converted to residential under Article 1 Chapter 5 14 DU in conversion
- 15-023 A. Notice to residential tenants in mixed use buildings Client to notify prospective residential occupants that the DU are in building containing commercial units (N/A)
- 15-024 B. Notice of Filing Within 10 days of filing for permit, duplicate copy must be sent to DCP (Complies)
- 15-025 C. Double Glazed Windows All DU in buildings containing one or more uses and converted under Art. 1 Ch. 5 must have double glazing on all windows (Complies)
- 15-111 D. Permitted Dwellings Maximum DU shall be determined in accordance with the applicable district regulations

23-22 DU factor for R10 equivalent	700
Floor area in existing building (remaining)	114,863
DU permitted	147
DU provided	14

 (Complies)
- 15-112 LIGHT AND AIR PROVISIONS b) Every DU shall meet the light and air requirements of Section 277 of the Multiple Dwelling Law (Complies, see sections) c) Width to depth Where more than one DU per story the average width of each shall be at least 1/4 the depth (Complies, see plans)
- 15-12 OPEN SPACE EQUIVALENT At least 30% of the Gross Roof area of a building containing 15 DU shall be provided for recreational use accessible to all occupants in the building, up to maximum 50% DU in conversion portion of building = 14 (not required)

ART 1 CHAPTER 5 FLOOR AREA SCHEDULE...

Level	EXISTING COMMERCIAL TO REMAIN	PROPOSED CONVERTED RESIDENTIAL	TOTAL
SUB-CELLAR	0 SF	0 SF	0 SF
CELLAR	7298 SF	4848 SF	12146 SF
GROUND (63.1' MBD)	6677 SF	9342 SF	16019 SF
LEVEL 2	775 SF	0 SF	775 SF
LEVEL 3	13752 SF	0 SF	13752 SF
LEVEL 4	6839 SF	0 SF	6839 SF
LEVEL 5	6090 SF	0 SF	6090 SF
LEVEL 6	0 SF	0 SF	0 SF
LEVEL 7	0 SF	13349 SF	13349 SF
LEVEL 8	0 SF	0 SF	0 SF
LEVEL 9	0 SF	9407 SF	9407 SF
LEVEL 10	0 SF	8562 SF	8562 SF
LEVEL 11	0 SF	8567 SF	8567 SF
LEVEL 12	0 SF	0 SF	0 SF
LEVEL 13	0 SF	6894 SF	6894 SF
LEVEL 14	0 SF	6748 SF	6748 SF
LEVEL 15	0 SF	0 SF	0 SF
LEVEL 16.0	0 SF	4536 SF	4536 SF
LEVEL 17.0	0 SF	1187 SF	1187 SF
Grand total	41430 SF	73432 SF	114863 SF

NOTE: MECHANICAL AND OPEN TO BELOW AREAS NOT INCLUDED

1	3.27.15	DOB PAA
1	5.1.14	DOB FILING SET

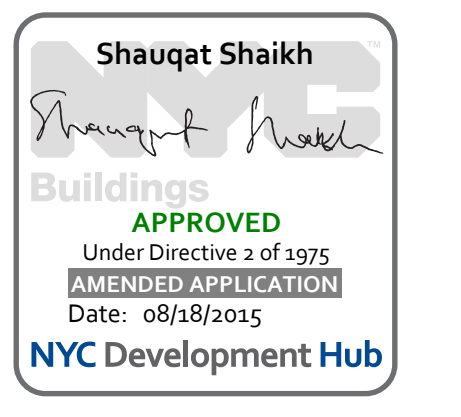
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.

DRAWING TITLE

ART. 1 CH. 5 CALCULATIONS & C5-3 MID RECREATIONAL SPACE

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130007	
DRAWN BY	SHAP	
CHECKED BY	DLG	
DOB NO.	121302008	
DRAWING NUMBER		

Z-112.01

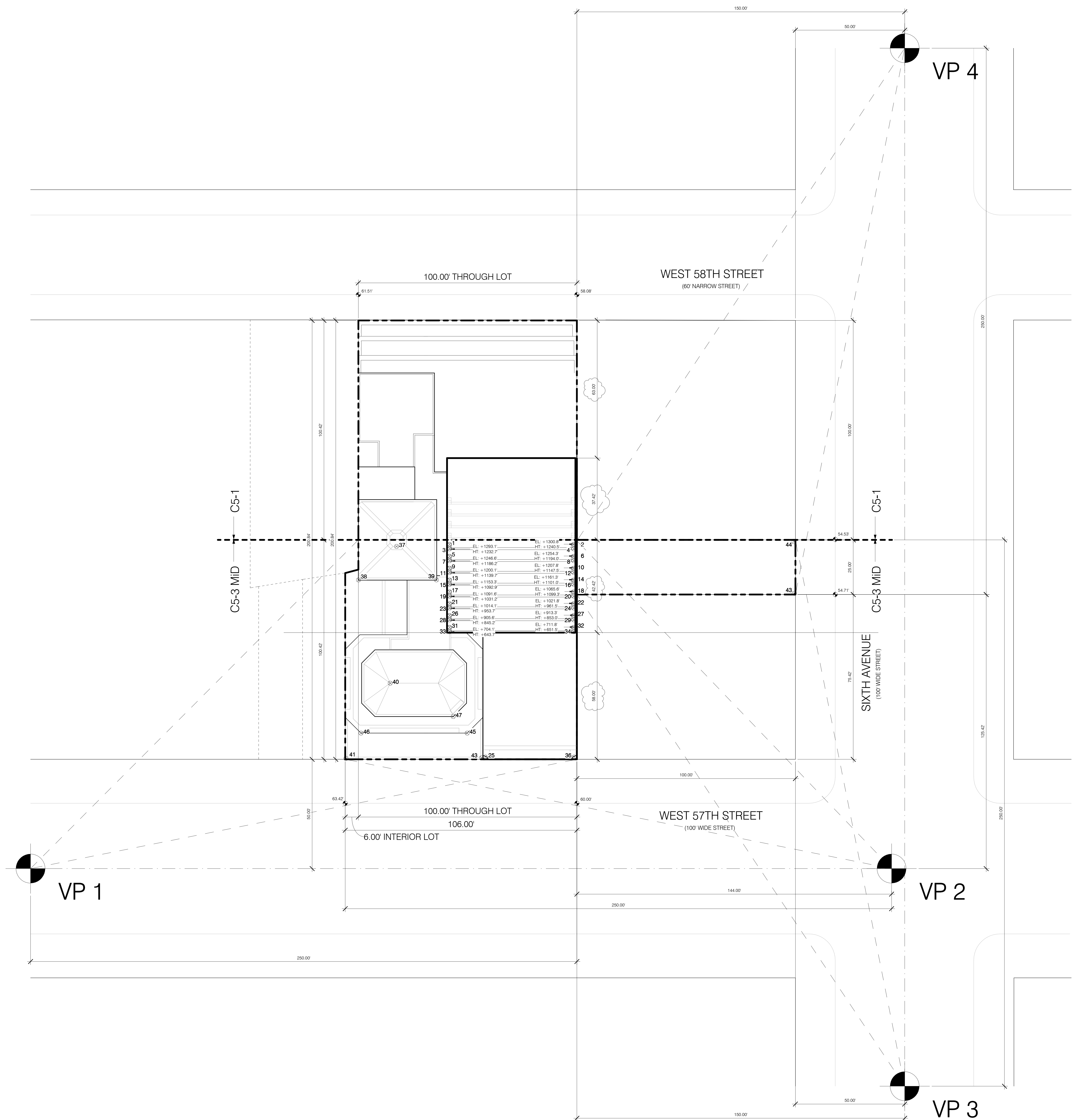


1	3.27.15	DOB PAA
	5.1.14	DOB FILING SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.

DRAWING TITLE
HEIGHT & SETBACK (MIDTOWN SPECIAL DISTRICT)

SEAL & SIGNATURE	DATE	06/21/15
PROJECT NO.	130907	
DRAWN BY	SHAP	
CHECKED BY	DLG	
DOB NO.	121332968	
DRAWING NUMBER	Z-115.01	



81-274 CALCULATION OF DAYLIGHT SCORE

West 57th Street	Lot Line Length =	106.00
VP 1	73.39%	
VP 2	74.20%	
Average	73.80%	
Sixth Ave	Lot Line Length =	25.00
VP 3	100.00% adjusted	103.39%
VP 4	100.00% adjusted	101.33%
Average	100.00%	
Overall Score	$\frac{(73.80 \times 106) + (100 \times 25)}{106 + 25}$	
Overall Score	78.80%	FULL COMPLIANCE

ARCHITECT	SHAP ARCHITECTS, P.C. 220 BROADWAY - 11TH FLOOR NEW YORK, NY 10005 TEL: 212 693 3000
STRUCTURAL ENGINEER	SHAP ARCHITECTS, P.C. 220 BROADWAY - 11TH FLOOR NEW YORK, NY 10005 TEL: 212 693 3000
MEP ENGINEER	MEP ENGINEER
CIVIL ENGINEER	CIVIL ENGINEER
ACQUISITION	ACQUISITION
INTERIORS	INTERIORS



PROPERTY MARKETS GROUP
220 BROADWAY - 11TH FLOOR
NEW YORK, NY 10005
TEL: 212 693 3000

DOB PAA



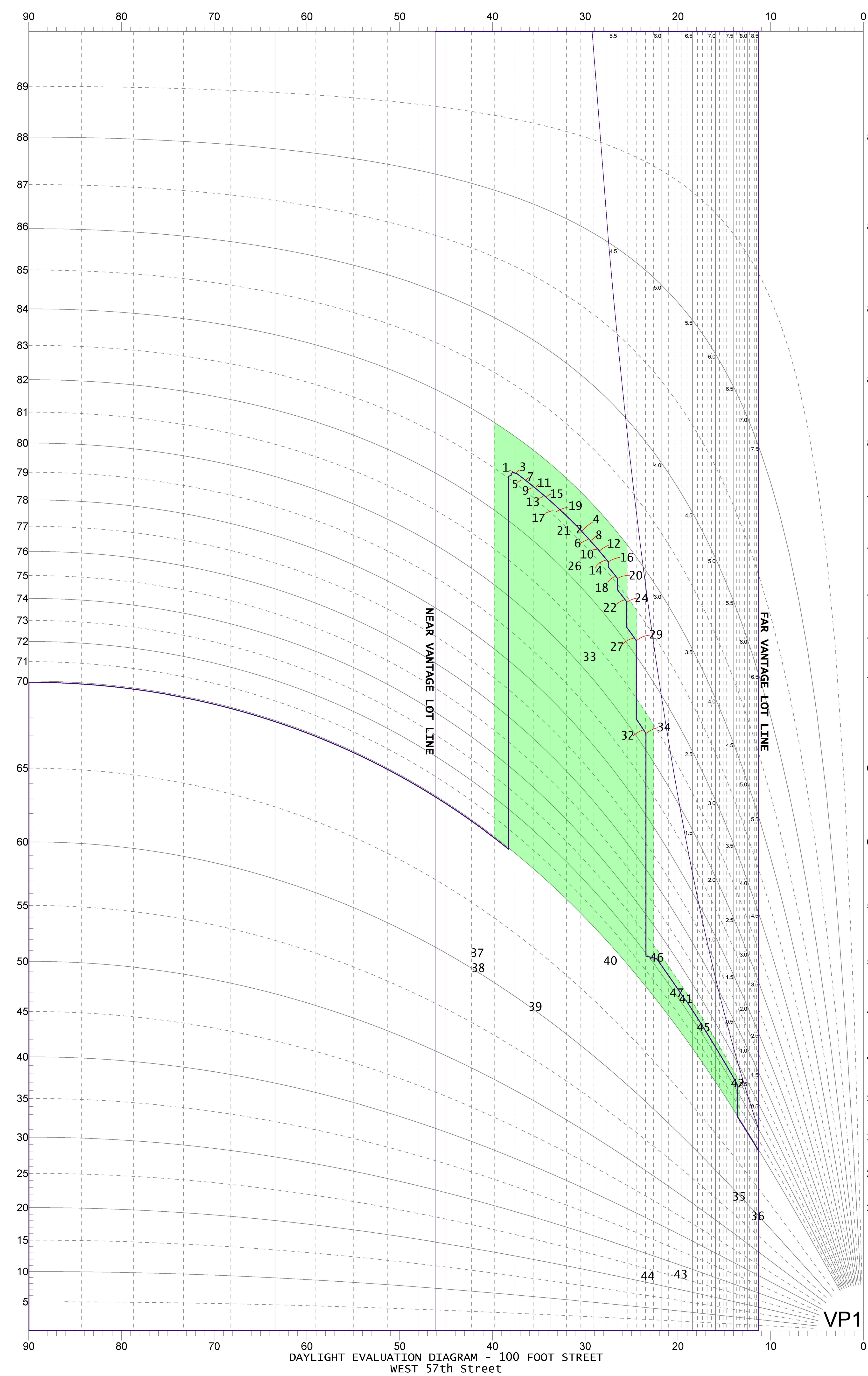
111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



1	3.27.15	DOB PAA
2	5.1.14	DOB PLING SET
NO.	DATE	REVISION

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130007	
DRAWN BY	SHAP	
CHECKED BY	DLG	
DOB NO.	12133296	
DRAWING NUMBER		

Z-116.01



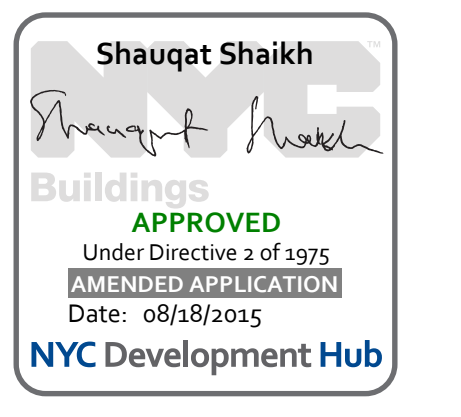
Section 81-273(d) West 57th Street -VP 1
Far Lot Line -50.00 250.00 -0.20 11.3
Near Lot Line -150.00 144.00 -1.04 46.2

Pt	Dist[S]	Dist[D]	Tan[S/D]	Angle	[H]	[S]	Tan[H/S]	Angle
1	147.67	190.58	0.77	37.8	1,240.46	147.67	8.40	83.2
2	147.67	249.33	0.59	30.6	1,240.46	147.67	8.40	83.2
3	145.92	190.58	0.77	37.4	1,232.74	145.92	8.45	83.2
4	145.92	249.33	0.59	30.3	1,232.74	145.92	8.45	83.2
5	142.26	190.58	0.75	36.7	1,193.96	142.26	8.39	83.2
6	142.26	249.33	0.57	29.7	1,193.96	142.26	8.39	83.2
7	140.50	190.58	0.74	36.4	1,186.24	140.50	8.44	83.2
8	140.50	249.33	0.56	29.4	1,186.24	140.50	8.44	83.2
9	136.84	190.58	0.72	35.7	1,147.46	136.84	8.39	83.2
10	136.84	249.33	0.55	28.8	1,147.46	136.84	8.39	83.2
11	135.09	190.58	0.71	35.3	1,139.74	135.09	8.44	83.2
12	135.09	249.33	0.54	28.4	1,139.74	135.09	8.44	83.2
13	131.42	190.58	0.69	34.6	1,100.96	131.42	8.38	83.2
14	131.42	249.33	0.53	27.8	1,100.96	131.42	8.38	83.2
15	129.67	190.58	0.68	34.2	1,092.88	129.67	8.43	83.2
16	129.67	249.33	0.52	27.5	1,092.88	129.67	8.43	83.2
17	126.01	190.58	0.66	33.5	1,038.96	126.01	8.25	83.1
18	126.01	249.33	0.51	26.8	1,038.96	126.01	8.25	83.1
19	124.25	190.58	0.65	33.1	1,031.24	124.25	8.30	83.1
20	124.25	249.33	0.50	26.5	1,031.24	124.25	8.30	83.1
21	120.59	190.58	0.63	32.3	961.46	120.59	7.97	82.9
22	120.59	249.33	0.48	25.8	961.46	120.59	7.97	82.9
23	118.84	190.58	0.62	31.9	953.74	118.84	8.03	82.9
24	118.84	249.33	0.48	25.5	953.74	118.84	8.03	82.9
26	115.17	190.58	0.60	31.1	852.96	115.17	7.41	82.3
27	115.17	249.33	0.46	24.8	852.96	115.17	7.41	82.3
28	113.42	190.58	0.60	30.8	845.24	113.42	7.45	82.4
29	113.42	249.33	0.45	24.5	845.24	113.42	7.45	82.4
31	109.76	190.58	0.58	29.9	651.46	109.76	5.94	80.4
32	109.76	249.33	0.44	23.8	651.46	109.76	5.94	80.4
33	108.00	190.58	0.57	29.5	643.74	108.00	5.96	80.5
34	108.00	249.33	0.43	23.4	643.74	108.00	5.96	80.5
35	50.00	209.50	0.24	13.4	85.00	50.00	1.70	59.5
36	50.00	247.46	0.20	11.4	85.00	50.00	1.70	59.5
37	147.44	165.84	0.89	41.6	271.38	147.44	1.84	61.5
38	132.01	149.00	0.89	41.5	231.46	132.01	1.75	60.3
39	132.01	185.85	0.71	35.4	231.46	132.01	1.75	60.3
40	84.85	164.51	0.52	27.3	220.44	84.85	2.60	68.9
41	50.00	144.00	0.35	19.1	159.14	50.00	3.18	72.6
42	50.00	207.01	0.24	13.6	159.14	50.00	3.18	72.6
43	125.42	350.00	0.36	19.7	61.70	125.42	0.49	26.2
44	150.42	350.00	0.43	23.3	61.70	150.42	0.41	22.3
45	62.00	199.81	0.31	17.2	196.74	62.00	3.17	72.5
46	62.00	151.20	0.41	22.3	196.74	62.00	3.17	72.5
47	70.87	193.29	0.37	20.1	219.66	70.87	3.10	72.1

Scoring Summary
(Vantage point 1)

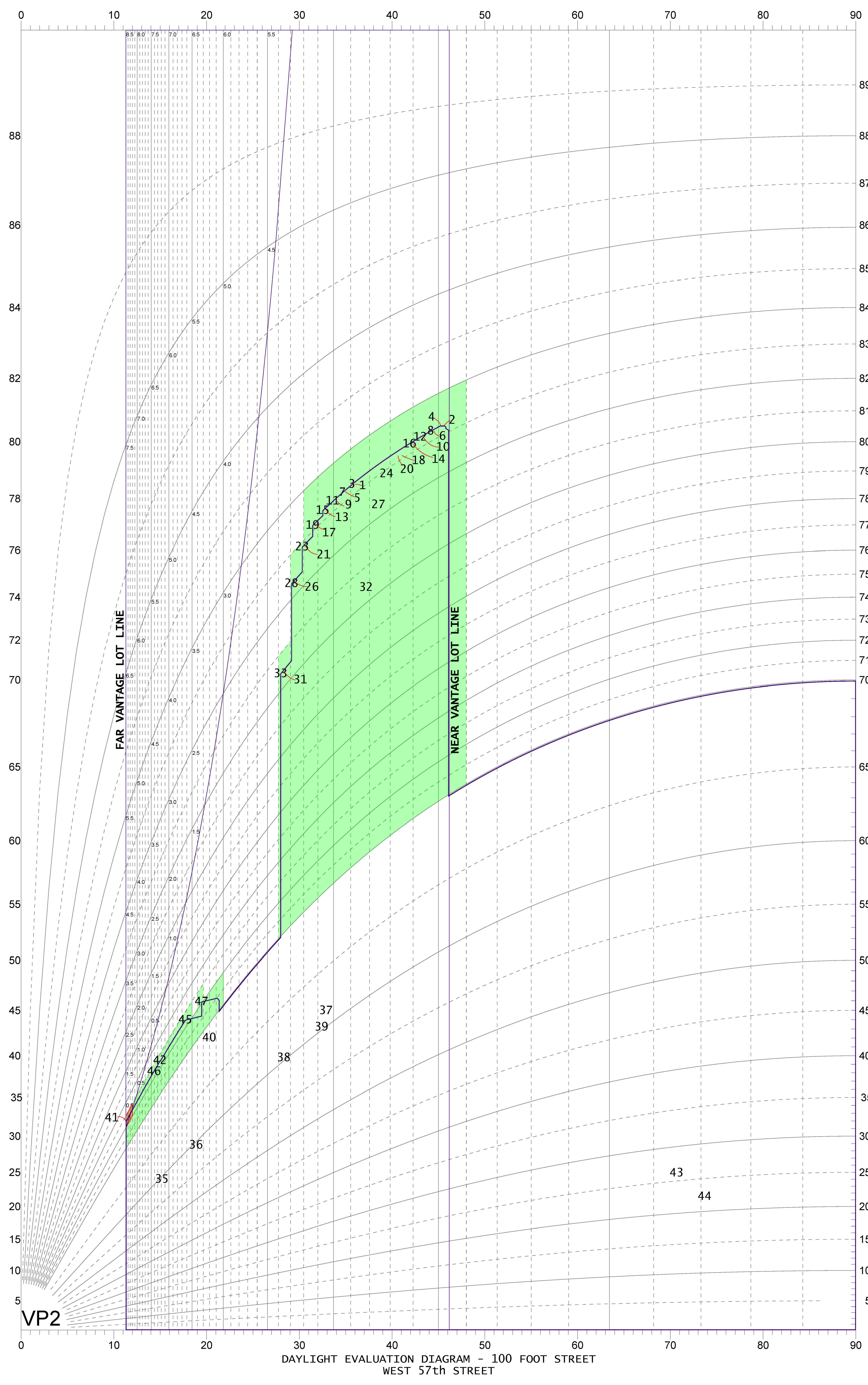
Section	Description	Score
81-274(b)	Squares above 70'	-21.50
81-274(c)	Squares below 70'	0.00
81-274(d)	Profile Encroachment penalty	0.00
	Total Blockage	-21.50
81-274(e)	Available Daylight Squares	80.80
81-274(f)	Remaining daylight	59.30
81-274(g)	Daylight score	73.39%

DAYLIGHT EVALUATION DIAGRAM - 100 FOOT STREET WEST 57th Street



1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.

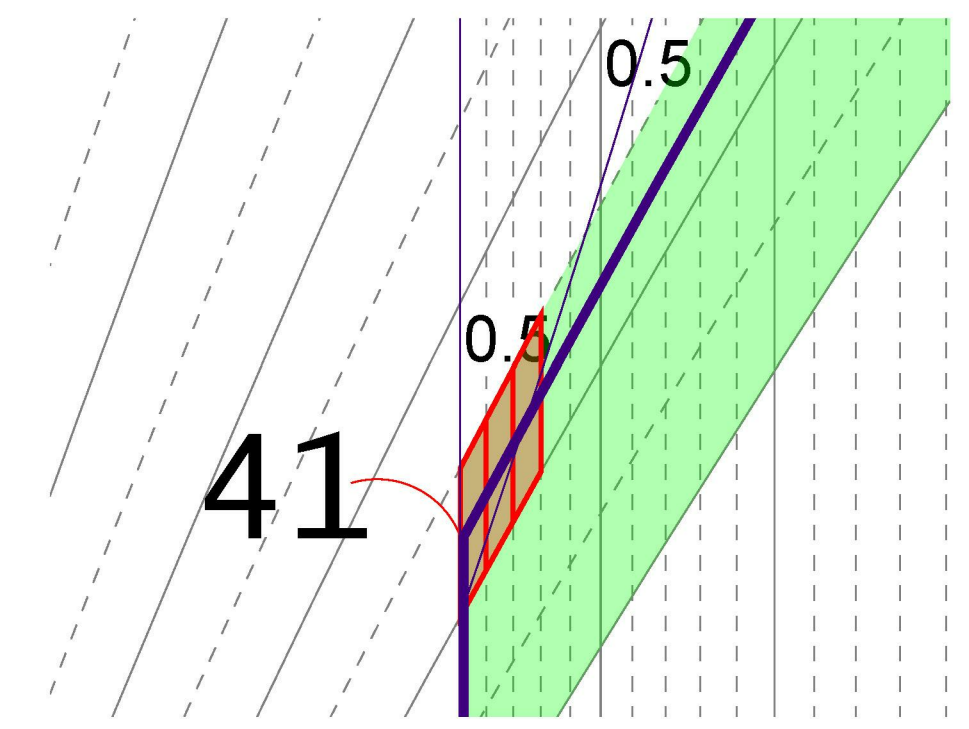


Section 81-273(d) w 57th Street VP 2

Far Lot Line	50.00	250.00	0.20	11.3
Near Lot Line	150.00	144.00	1.04	46.2

Pt	Dist[S]	Dist[D]	Tan[S/D]	Angle [H]	[S]	Tan[H/S]	Angle
1	147.67	203.42	0.73	36.0	1,240.46	147.67	8.40
2	147.67	144.67	1.02	45.6	1,240.46	147.67	8.40
3	145.92	203.42	0.72	35.7	1,232.74	145.92	8.45
4	145.92	144.67	1.01	45.2	1,232.74	145.92	8.45
5	142.26	203.42	0.70	35.0	1,193.96	142.26	8.39
6	142.26	144.67	0.98	44.5	1,193.96	142.26	8.39
7	140.50	203.42	0.69	34.6	1,186.24	140.50	8.44
8	140.50	144.67	0.97	44.2	1,186.24	140.50	8.44
9	136.84	203.42	0.67	33.9	1,147.46	136.84	8.39
10	136.84	144.67	0.95	43.4	1,147.46	136.84	8.39
11	135.09	203.42	0.66	33.6	1,139.74	135.09	8.44
12	135.09	144.67	0.93	43.0	1,139.74	135.09	8.44
13	131.42	203.42	0.65	32.9	1,100.96	131.42	8.38
14	131.42	144.67	0.91	42.3	1,100.96	131.42	8.38
15	129.67	203.42	0.64	32.5	1,092.88	129.67	8.43
16	129.67	144.67	0.90	41.9	1,092.88	129.67	8.43
17	126.01	203.42	0.62	31.8	1,038.96	126.01	8.25
18	126.01	144.67	0.87	41.1	1,038.96	126.01	8.25
19	124.25	203.42	0.61	31.4	1,031.24	124.25	8.30
20	124.25	144.67	0.86	40.7	1,031.24	124.25	8.30
21	120.59	203.42	0.59	30.7	961.46	120.59	7.97
22	120.59	144.67	0.83	39.8	961.46	120.59	7.97
23	118.84	203.42	0.58	30.3	953.74	118.84	8.03
24	118.84	144.67	0.82	39.4	953.74	118.84	8.03
26	115.17	203.42	0.57	29.5	852.96	115.17	7.41
27	115.17	144.67	0.80	38.5	852.96	115.17	7.41
28	113.42	203.42	0.56	29.1	845.24	113.42	7.45
29	113.42	144.67	0.78	38.1	845.24	113.42	7.45
31	109.76	203.42	0.54	28.3	651.46	109.76	5.94
32	109.76	144.67	0.76	37.2	651.46	109.76	5.94
33	108.00	203.42	0.53	28.0	643.74	108.00	5.96
34	108.00	144.67	0.75	36.7	643.74	108.00	5.96
35	50.00	184.50	0.27	15.2	85.00	50.00	1.70
36	50.00	146.54	0.34	18.8	85.00	50.00	1.70
37	147.44	228.16	0.65	32.9	271.38	147.44	1.84
38	132.01	245.00	0.54	28.3	231.46	132.01	1.75
39	132.01	208.15	0.63	32.4	231.46	132.01	1.75
40	84.85	229.49	0.37	20.3	220.44	84.85	2.60
41	50.00	250.00	0.20	11.3	159.14	50.00	3.18
42	50.00	186.99	0.27	15.0	159.14	50.00	3.18
43	125.42	44.00	2.85	70.7	61.70	125.42	0.49
44	150.42	44.00	3.42	73.7	61.70	150.42	0.41
45	62.00	194.19	0.32	17.7	196.74	62.00	3.17
46	62.00	242.80	0.26	14.3	196.74	62.00	3.17
47	70.87	200.71	0.35	19.4	219.66	70.87	3.10

DETAIL



Profile Penalties
0.3 x 0.50 = 0.15
(3 Boxes @ 0.5)

Scoring Summary (Vantage point 2)

Section	Description	Score
81-274(b)	Squares above 70'	-20.70
81-274(c)	Squares below 70'	0.00
81-274(d)	Profile Encroachment penalty	-0.15
Total Blockage		-20.85
81-274(e)	Available Daylight Squares	80.80
81-274(f)	Remaining daylight	59.95
81-274(g)	Daylight Score	74.20%



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

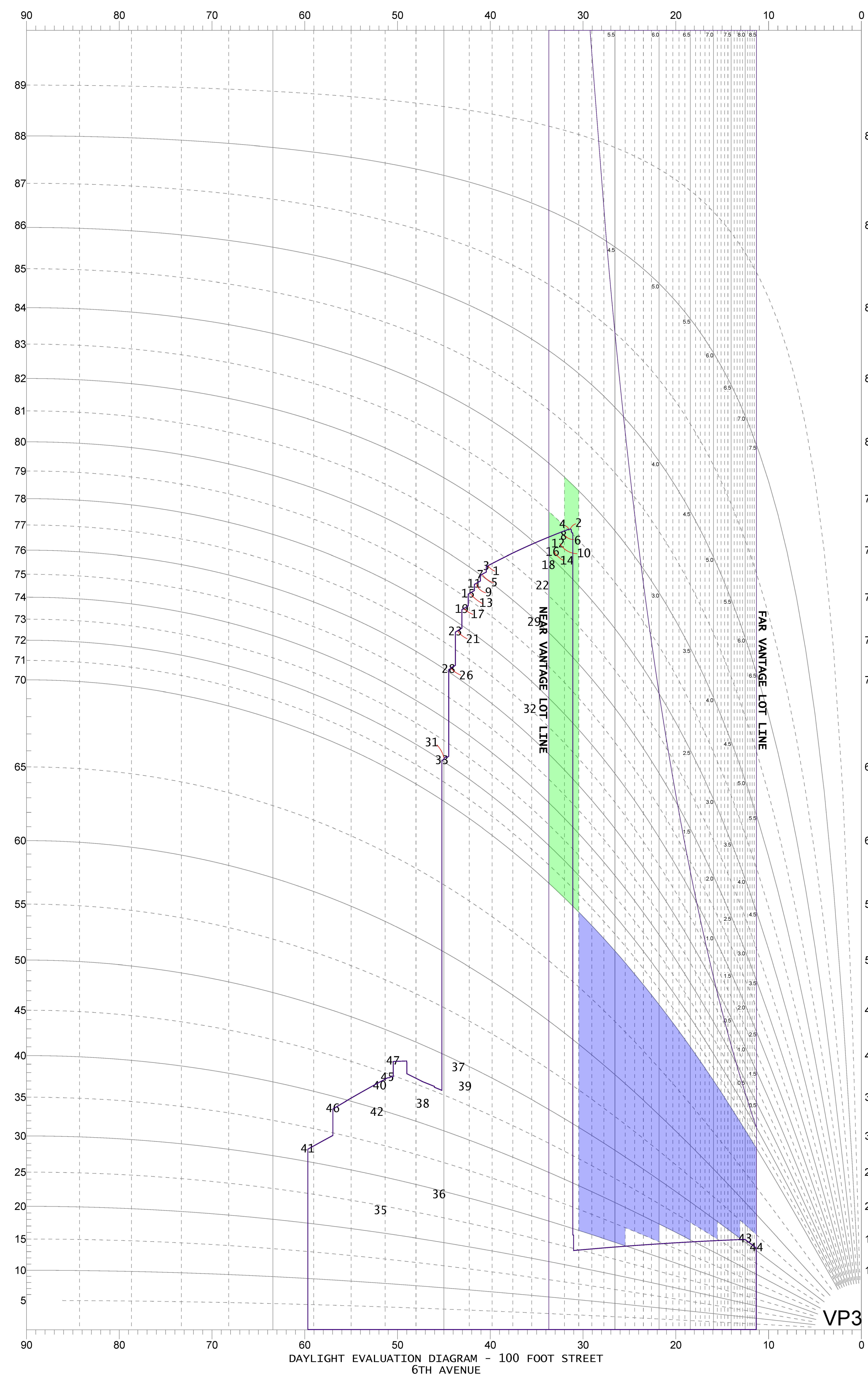
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHP ARCHITECTS, P.C. ALL RIGHTS RESERVED.

DRAWING TITLE

DAYLIGHT EVALUATION DIAGRAM - VP3

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130007	
DRAWN BY	SH/p	
CHECKED BY	DLG	
DOB NO.	121302006	
DRAWING NUMBER		

Z-118.01



Section 81-273(d) 6th Ave vp 3
Far Lot Line -50.00 250.00 -0.20 11.3
Near Lot Line -150.00 225.00 -0.67 33.7

Pt	Dist[S]	Dist[D]	Tan[S/D]	Angle	[H]	[S]	Tan[H/S]	Angle
1	209.42	247.25	0.85	40.3	1,240.46	209.42	5.92	80.4
2	150.67	247.25	0.61	31.4	1,240.46	150.67	8.23	83.1
3	209.42	245.50	0.85	40.5	1,232.74	209.42	5.89	80.4
4	150.67	245.50	0.61	31.5	1,232.74	150.67	8.18	83.0
5	209.42	241.84	0.87	40.9	1,193.96	209.42	5.70	80.1
6	150.67	241.84	0.62	31.9	1,193.96	150.67	7.92	82.8
7	209.42	240.08	0.87	41.1	1,186.24	209.42	5.66	80.0
8	150.67	240.08	0.63	32.1	1,186.24	150.67	7.87	82.8
9	209.42	236.42	0.89	41.5	1,147.46	209.42	5.48	79.7
10	150.67	236.42	0.64	32.5	1,147.46	150.67	7.62	82.5
11	209.42	234.67	0.89	41.7	1,139.74	209.42	5.44	79.6
12	150.67	234.67	0.64	32.7	1,139.74	150.67	7.56	82.5
13	209.42	231.00	0.91	42.2	1,100.96	209.42	5.26	79.2
14	150.67	231.00	0.65	33.1	1,100.96	150.67	7.31	82.2
15	209.42	229.25	0.91	42.4	1,092.88	209.42	5.22	79.2
16	150.67	229.25	0.66	33.3	1,093.24	150.67	7.26	82.2
17	209.42	225.59	0.93	42.9	1,038.96	209.42	4.96	78.6
18	150.67	225.59	0.67	33.7	1,038.96	150.67	6.90	81.7
19	209.42	223.83	0.94	43.1	1,031.24	209.42	4.92	78.5
20	150.67	223.83	0.67	33.9	1,031.24	150.67	6.84	81.7
21	209.42	220.17	0.95	43.6	961.46	209.42	4.59	77.7
22	150.67	220.17	0.68	34.4	961.46	150.67	6.38	81.1
23	209.42	218.42	0.96	43.8	953.74	209.42	4.55	77.6
24	150.67	218.42	0.69	34.6	953.74	150.67	6.33	81.0
25	209.42	214.75	0.98	44.3	852.96	209.42	4.07	76.2
26	150.67	214.75	0.70	35.1	852.96	150.67	5.66	80.0
27	209.42	213.00	0.98	44.5	845.24	209.42	4.04	76.1
28	150.67	213.00	0.71	35.3	845.24	150.67	5.61	79.9
29	209.42	209.34	1.00	45.0	651.46	209.42	3.11	72.2
30	150.67	209.34	0.72	35.7	651.46	150.67	4.32	77.0
31	209.42	207.58	1.01	45.3	643.74	209.42	3.07	72.0
32	150.67	207.58	0.73	36.0	643.74	150.67	4.27	76.8
33	190.50	149.58	1.27	51.9	85.00	190.50	0.45	24.0
34	152.54	149.58	1.02	45.6	85.00	152.54	0.56	29.1
35	234.16	247.02	0.95	43.5	271.38	234.16	1.16	49.2
36	251.00	231.59	1.08	47.3	231.46	251.00	0.92	42.7
37	214.15	231.59	0.92	42.8	231.46	214.15	1.08	47.2
38	235.49	184.43	1.28	51.9	220.44	235.49	0.94	43.1
39	256.00	149.58	1.71	59.7	159.14	256.00	0.62	31.9
40	192.99	149.58	1.29	52.2	159.14	192.99	0.82	39.5
41	50.00	225.00	0.22	12.5	61.70	50.00	1.23	51.0
42	50.00	250.00	0.20	11.3	61.70	50.00	1.23	51.0
43	200.19	161.58	1.24	51.1	196.74	200.19	0.98	44.5
44	248.80	161.58	1.54	57.0	196.74	248.80	0.79	38.3
45	206.71	170.45	1.21	50.5	219.66	206.71	1.06	46.7

Scoring Summary (vantage point 3)

Section	Description	Score
81-274(b)	Squares above 70'	-2.70
81-274(c)	Squares below 70'	5.07
81-274(d)	Profile Encroachment penalty	0.00
	Total Blockage	2.37
81-274(e)	Available Daylight Squares	70.00
81-274(f)	Remaining daylight	72.37
81-274(g)	Daylight score	103.39%

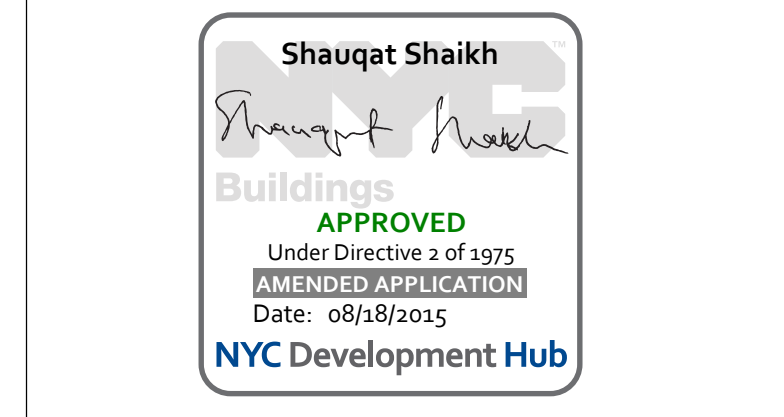
ARCHITECT	SHAP ARCHITECTS, P.C. 230 BROADWAY - 11TH FLOOR NEW YORK, NY 10007 TEL: 212 869 8500
STRUCTURAL ENGINEER	YUSEF GANTOR BENHUR 228 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212 897 5886
MEP ENGINEER	JARVIS, BAIAM & BOLLER 40 WINE STREET, 10TH FLOOR NEW YORK, NY 10005 TEL: 212 693 8833
CIVIL ENGINEER	AWRIF ENGINEERING, P.C. 40 WINE STREET, 10TH FLOOR NEW YORK, NY 10005 TEL: 646 288 8928
ACQUISITION	LONGMAN LANDSEY 40 WEST 48TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917 288 8800
INTERIORS	TLORON ZEMFIELD 30 WALKER STREET NEW YORK, NY 10002 TEL: 212 475 3000
FAÇADE	SHAPIRO WERFIELD 100 BROADWAY NEW YORK, NY 10005 TEL: 212 254 2025
VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 100 WINE STREET, SUITE 200 LARKSPER, NJ 07033 TEL: 973 983 8770
RESTORATION	JAN HERS FOKORNY ASSOCIATES 30 WEST 48TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212 288 8800
GEOTECH	NYCE 305 WEST 48TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917 288 8800
LIGHTING	CONSERVATION INTERNATIONAL 100 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 254 4443



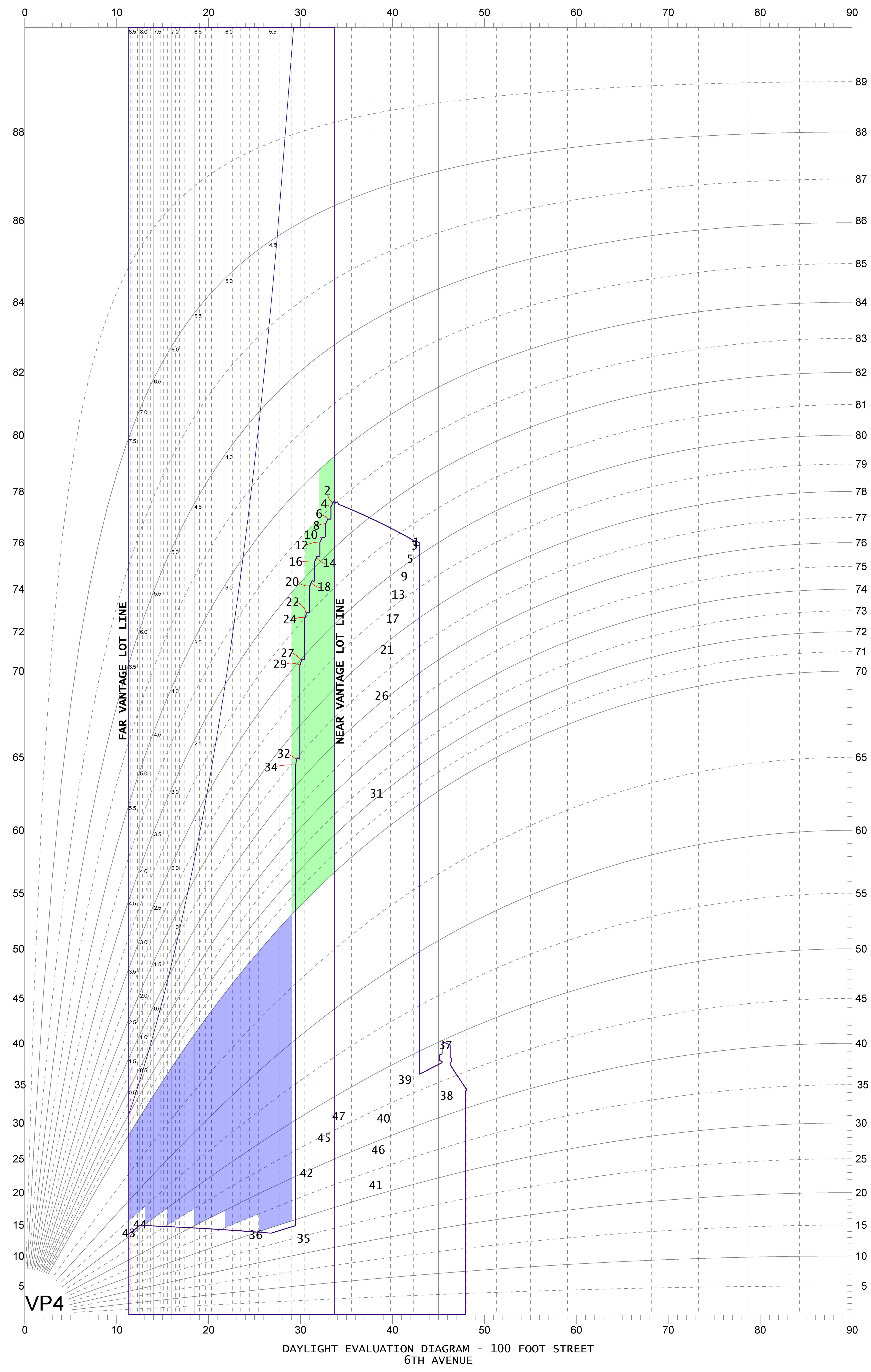
PROPERTY MARKETS GROUP
104 WEST 48TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212 869 8500

CURRENT ISSUE

DOB PAA



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019

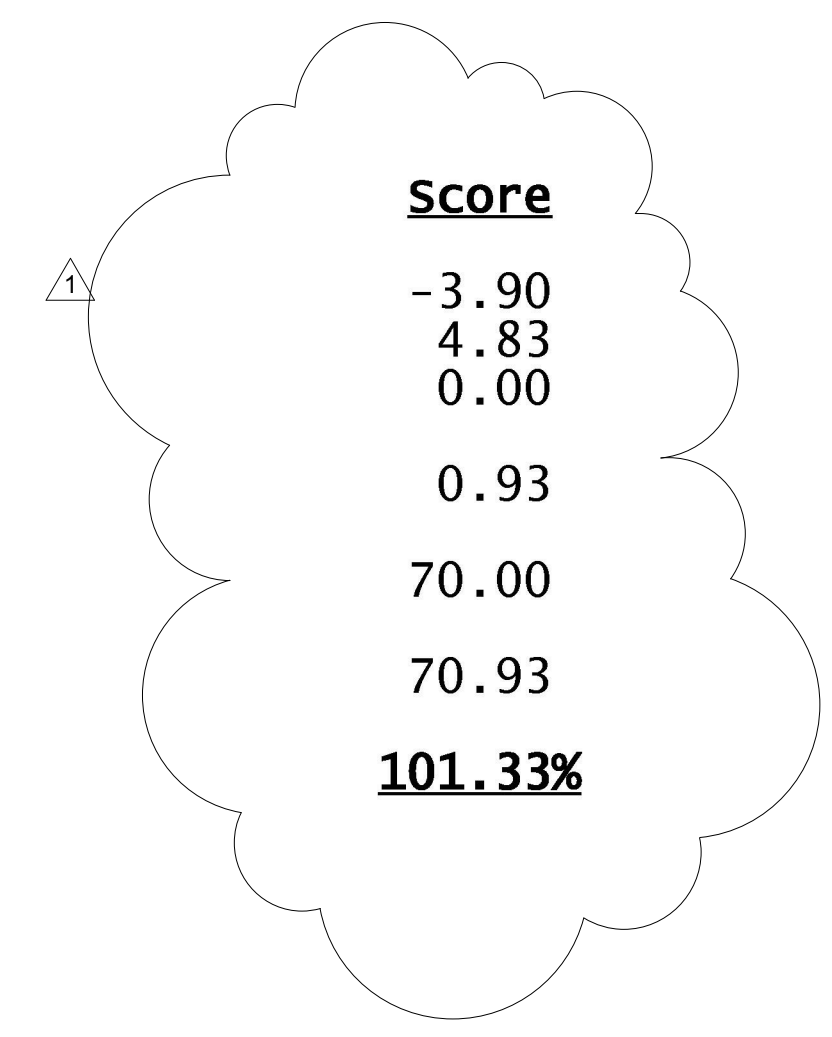


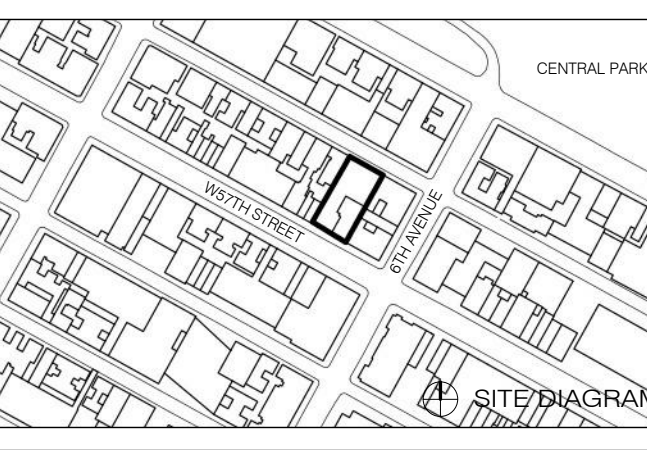
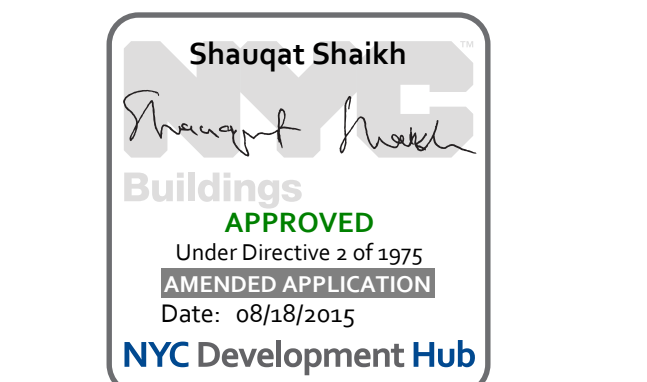
Section 81-273(d) 6th Ave VP 4
Far Lot Line 50.00 250.00 0.20 11.3
Near Lot Line 150.00 225.00 0.67 33.7

Pt	Dist[S]	Dist[D]	Tan[S/D]	Angle [H]	[S]	Tan[H/S]	Angle	
1	209.42	227.75	0.92	42.6	1,240.46	209.42	5.92	80.4
2	150.67	227.75	0.66	33.5	1,240.46	150.67	8.23	83.1
3	209.42	229.50	0.91	42.4	1,232.74	209.42	5.89	80.4
4	150.67	229.50	0.66	33.3	1,232.74	150.67	8.18	83.0
5	209.42	233.16	0.90	41.9	1,193.96	209.42	5.70	80.1
6	150.67	233.16	0.65	32.9	1,193.96	150.67	7.92	82.8
7	209.42	234.92	0.89	41.7	1,186.24	209.42	5.66	80.0
8	150.67	234.92	0.64	32.7	1,186.24	150.67	7.87	82.8
9	209.42	238.58	0.88	41.3	1,147.46	209.42	5.48	79.7
10	150.67	238.58	0.63	32.3	1,147.46	150.67	7.62	82.5
11	209.42	240.33	0.87	41.1	1,139.74	209.42	5.44	79.6
12	150.67	240.33	0.63	32.1	1,139.74	150.67	7.56	82.5
13	209.42	244.00	0.86	40.6	1,100.96	209.42	5.26	79.2
14	150.67	244.00	0.62	31.7	1,100.96	150.67	7.31	82.2
15	209.42	245.75	0.85	40.4	1,092.88	209.42	5.22	79.2
16	150.67	245.75	0.61	31.5	1,093.24	150.67	7.26	82.2
17	209.42	249.41	0.84	40.0	1,038.96	209.42	4.96	78.6
18	150.67	249.41	0.60	31.1	1,038.96	150.67	6.90	81.7
19	209.42	251.17	0.83	39.8	1,031.24	209.42	4.92	78.5
20	150.67	251.17	0.60	31.0	1,031.24	150.67	6.84	81.7
21	209.42	254.83	0.82	39.4	961.46	209.42	4.59	77.7
22	150.67	254.83	0.59	30.6	961.46	150.67	6.38	81.1
23	209.42	256.58	0.82	39.2	953.74	209.42	4.55	77.6
24	150.67	256.58	0.59	30.4	953.74	150.67	6.33	81.0
26	209.42	260.25	0.80	38.8	852.96	209.42	4.07	76.2
27	150.67	260.25	0.58	30.1	852.96	150.67	5.66	80.0
28	209.42	262.00	0.80	38.6	845.24	209.42	4.04	76.1
29	150.67	262.00	0.58	29.9	845.24	150.67	5.61	79.9
31	209.42	265.66	0.79	38.2	651.46	209.42	3.11	72.2
32	150.67	265.66	0.57	29.6	651.46	150.67	4.32	77.0
33	209.42	267.42	0.78	38.1	643.74	209.42	3.07	72.0
34	150.67	267.42	0.56	29.4	643.74	150.67	4.27	76.8
35	190.50	325.42	0.59	30.3	85.00	190.50	0.45	24.0
36	152.54	325.42	0.47	25.1	85.00	152.54	0.56	29.1
37	234.16	227.98	1.03	45.8	271.38	234.16	1.16	49.2
38	251.00	243.41	1.03	45.9	231.46	251.00	0.92	42.7
39	214.15	243.41	0.88	41.3	231.46	214.15	1.08	47.2
40	235.49	290.57	0.81	39.0	220.44	235.49	0.94	43.1
41	256.00	325.42	0.79	38.2	159.14	256.00	0.62	31.9
42	192.99	325.42	0.59	30.7	159.14	192.99	0.82	39.5
43	50.00	250.00	0.20	11.3	61.70	50.00	1.23	51.0
44	50.00	225.00	0.22	12.5	61.70	50.00	1.23	51.0
45	200.19	313.42	0.64	32.6	196.74	200.19	0.98	44.5
46	248.80	313.42	0.79	38.4	196.74	248.80	0.79	38.3
47	206.71	304.55	0.68	34.2	219.66	206.71	1.06	46.7

Scoring Summary
(Vantage point 4)

Section	Description	Score
81-274(b)	Squares above 70°	-3.90
81-274(c)	Squares below 70°	4.83
81-274(d)	Profile Encroachment penalty	0.00
Total Blockage		0.93
81-274(e)	Available Daylight Squares	70.00
81-274(f)	Remaining daylight	70.93
81-274(g)	Daylight score	101.33%

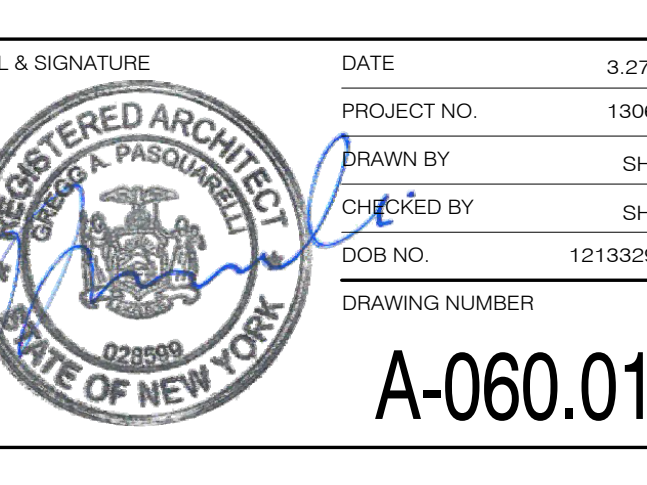




NO.	DATE	REVISION
1	3.27.15	DOB PAA
2	5.1.14	DOB PLNG SET

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR COPIED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF SHAP ARCHITECTS, P.C. ALL RIGHTS RESERVED.

DRAWING TITLE
INTERIOR PARTITION TYPES



PARTITION GENERAL NOTES

- PARTITIONS SHALL BE TYPE AS UNLESS NOTED OTHERWISE.
- INSTALL WATER RESISTANT GYP. BD. AT PARTITIONS IN TOILET ROOMS, LOCKER ROOMS AND SHOWER ROOMS, JANITOR CLOSETS AND SMALL WET AREAS.
- INSTALL IMPACT RESISTANT GYP. BD. IN HIGH TRAFFIC LOCATIONS, PUBLIC CORRIDORS AND STAIRS.
- INSTALL TYPE 'Y' FIRE RATED GYP. BD. AT ALL FIRE PARTITIONS.
- ALL PARTITIONS SHALL BE ACCOUSTICALLY RATED UNLESS NOTED OTHERWISE. ALL ELEMENTS OF ACCOUSTIC RATED PARTITIONS SHALL EXTEND TO ROOF OR FLOOR DECK ABOVE.
- STC RATINGS PROVIDE ONLY A GENERAL INDICATION OF ACCOUSTIC PERFORMANCE UNDER LABORATORY CONDITIONS. CONSTRUCTION DETAILS IN THE DRAWINGS AND SPECIFICATIONS DEFINE REQUIREMENTS FOR THE WORK.
- SEE SHEET AM-1 FOR PARTITION DETAILS.
- ALL MATERIALS AND INSTALLATION OF RATED ASSEMBLIES SHALL COMPLY WITH TESTING AGENCY REQUIREMENTS LISTED HEREIN.

ALL PARTITIONS TO EXTEND FROM SUPPORTING FROM SLAB TO UNDERSIDE OF STRUCT. U.O.N.
 TYP. MTL. STUD SIZE FOR INTERIOR PARTITIONS TO BE 63.5MM U.O.N.
 TYP. MTL. STUD GAUGE FOR INTERIOR PARTITIONS TO BE 20 GAUGE U.O.N.

WHERE MANUFACTURERS HEIGHT OR DEFLECTION LIMITATIONS ARE EXCEEDED DUE TO FIELD CONDITIONS, USE HEAVIER GAUGE AND/OR LARGER STUD SIZE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

PROVIDE CONTINUOUS SHT. MTL. BLOCKING (MIN. 3 STUD SPAN) FOR ALL WALL-MTD. FIXTURES, EQUIPMENT AND FITTINGS 152.4MM X 18 GA. MIN. U.O.N.

PROVIDE WATER RESISTANT GWB AT ALL 'WET' SPACES AND AREAS INCLUDING, BUT NOT LIMITED TO, BATHROOMS, HITCHHIKING LAUNDRY ROOMS, UTILITY ROOMS, MECHANICAL ROOMS, ETC. CEMENT BOARD SHALL BE USED AS A SUBSTRATE AT ALL CERAMIC/MARBLE TILE INSTALLATIONS.

CONTINUOUSLY SEAL ALL PTN. PERIM. EDGES AND ALL PTN. OPNINGS/PENETRATIONS TO MAINTAIN REQUIRED FIRE RESISTANCE AND/OR STC RATINGS AT FIRE RATED AND/OR AC. ISOL.

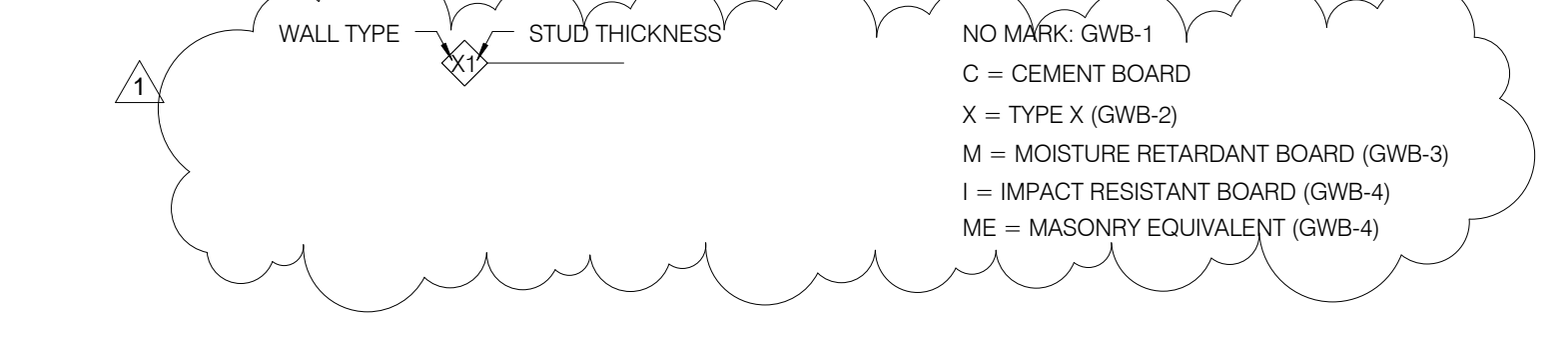
MAINTAIN CONTINUITY AND INTEGRITY OF HIGHER FIRE RATED ASSEMBLIES AT ALL PARTITION INTERSECTIONS.

PROVIDE 12.7MM SLIP-JT. AT MTL. STUD PTN. IN TOP CHNL TRACK TO ALLOW FOR FLR. DEFLECTION.

REFER TO ROOM FINISH SCHEDULE FOR APPLIED FINISHES.

TYPICAL LIGHT GAUGE MTL. LINTEL NOTES AT NON BEARING PTN:
 -ALL LINTEL COMPONENTS TO BE 20 GA. MIN.
 -FOR OPNGS. UP TO 1.8M WIDE DBL. 20.32CM JOISTS
 -FOR OPNGS. UP TO 2.4M WIDE DBL. 20.32CM JOISTS
 -FOR OPNGS. UP TO 3.0M WIDE DBL. 30.48CM JOISTS
 -FOR OPNGS. > 3M WIDE DBL. REFER TO STRUCTURAL DRAWINGS.

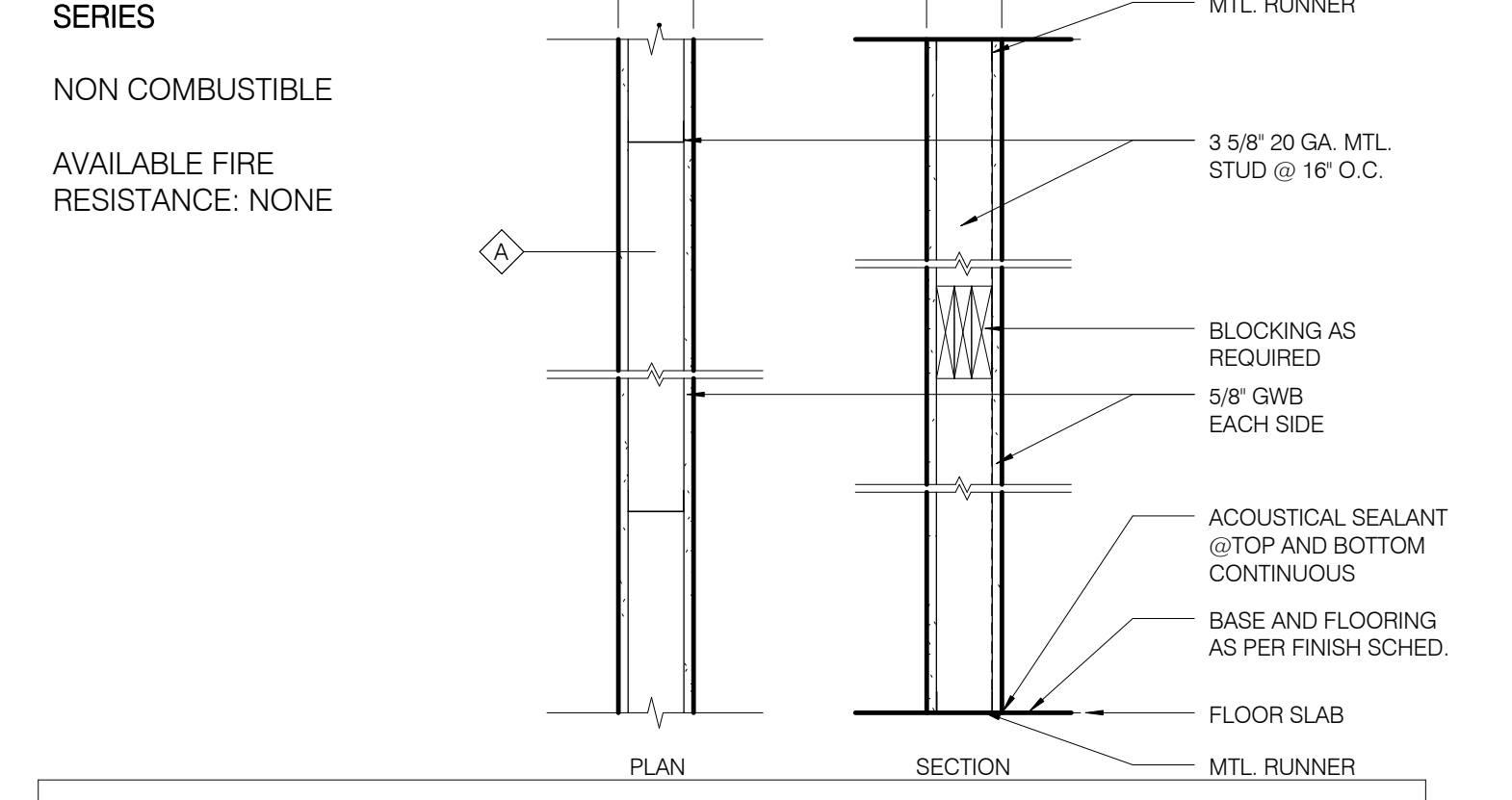
- ELECTRICAL OUTLETS BETWEEN ADJACENT DWELLING UNITS IN FIRE RATED DEMISING PARTITIONS WILL BE LOCATED IN SEPARATE STUD CAVITIES. GC TO COORDINATE.
- SEE STRUCTURAL DRAWINGS FOR EXTENT AND DESCRIPTION OF STRUCTURAL INTERIOR WALLS NOT IDENTIFIED BY PARTITION TYPES.
- PARTITION REQUIREMENTS SHOWN ARE CONSIDERED MINIMUM STANDARDS. WHERE CONDITIONS OF THE WORK CAUSE PARTITION TO EXCEED LIMITS RECOMMENDED BY MANUFACTURER, REINFORCE PARTITION.
- PENETRATIONS IN RATED PARTITIONS AND CONNECTIONS OF THE PARTITIONS TO OTHER PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDED DETAILS AND IN COMPLIANCE WITH APPLICABLE TESTING AGENCY REQUIREMENTS.
- WHERE A CLEAR DIMENSION OR OPENING IS REQUIRED OR NOTED, MEASURE DIMENSION TO FACE OF PARTITION FINISH.
- TYPICAL FLOOR PLAN DIMENSIONS OF PARTITIONS ARE TO THE NOMINAL FINISH FACE OF GYPSUM BOARD UNLESS NOTED TO THE CENTERLINE OF THE PARTITION.
- WHERE PARTITIONS AND/OR FLURRING MEET, MAINTAIN A FLUSH SURFACE ON THE SIDE WHERE THE FINISH IS STRAIGHT OR CONTINUOUS UNLESS NOTED OTHERWISE.



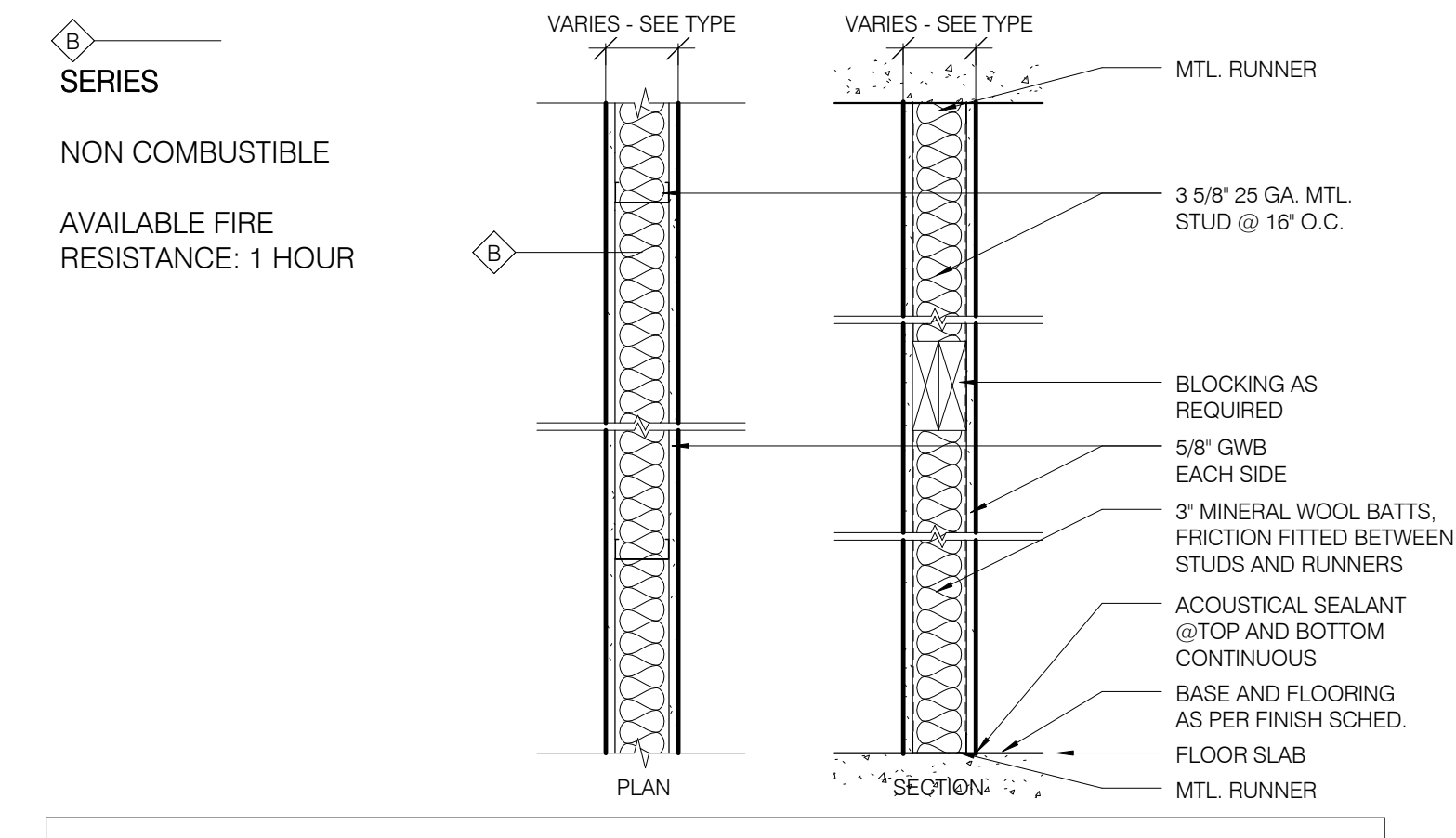
WALL TYPES KEY NTS

FIXTURE	TYPE	GRAPHIC	DIMENSION (MM)			
			MINIMUM OVERALL DIM.	MINIMUM STUD DIM.	MINIMUM CLEAR DIM.	MINIMUM UNLT. SIZE
WATER CLOSET	WALL MOUNTED SINGLE		1'-2"	3.58"	6"	4"
	WALL MOUNTED SINGLE - STACKED		1'-4"	3.58"	8"	4"
	FLOOR MOUNTED SINGLE		7'1/4"	6"	4"	4"
	FLOOR MOUNTED BACK-TO-BACK		7'1/4"	6"	8"	4"
URINAL	WALL MOUNTED SINGLE		7'1/4"	6"	6"	4"
	WALL MOUNTED DOUBLE		1'-6"	3.58"	1'-3"	4"
LAVATORY	WALL MOUNTED SINGLE		7'1/4"	6"	5"	4"
EWC	WALL MOUNTED SINGLE		9'1/4"	8"	6"	4"
	WALL MOUNTED DOUBLE		9'1/4"	8"	6"	4"
FLUSHING RM SINK	WALL MOUNTED SINGLE		9'1/4"	8"	6"	4"
SLOP SINK	FLOOR MOUNTED SINGLE		4'7"	3.58"	6"	4"
SHOWER	WALL MOUNTED SINGLE		7'1/4"	6"	6"	4"
	WALL MOUNTED DOUBLE		9'1/4"	6"	6"	4"

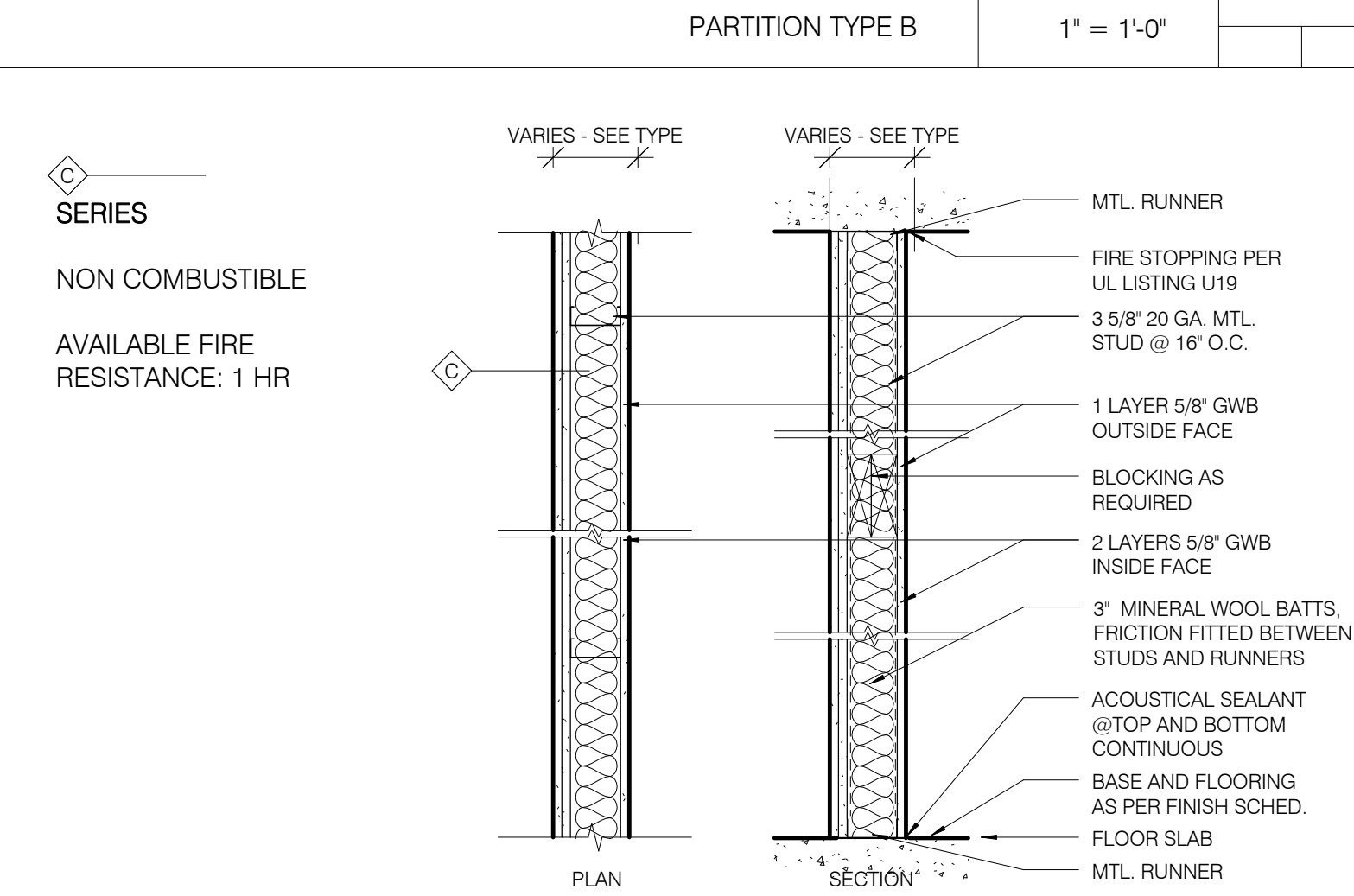
CHASE SCHEDULE NTS



TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC		NOTES
					W/ INSUL	W/O INSUL	
A2	2 1/2"	3 3/4"	NR	N/A	45-49	40-44	PROVIDE BRACING WHERE HEIGHT EXCEEDS 12'7"
A3	3 5/8"	4 7/8"	NR	N/A	45-49	40-44	
A6	6"	7 1/4"	NR	N/A	45-49	40-44	
A6X	6"	7 1/4"	NR	N/A	45-49	40-44	
A8	8"	9 1/4"	NR	N/A	45-49	40-44	
A8X	8"	9 1/4"	NR	N/A	45-49	40-44	

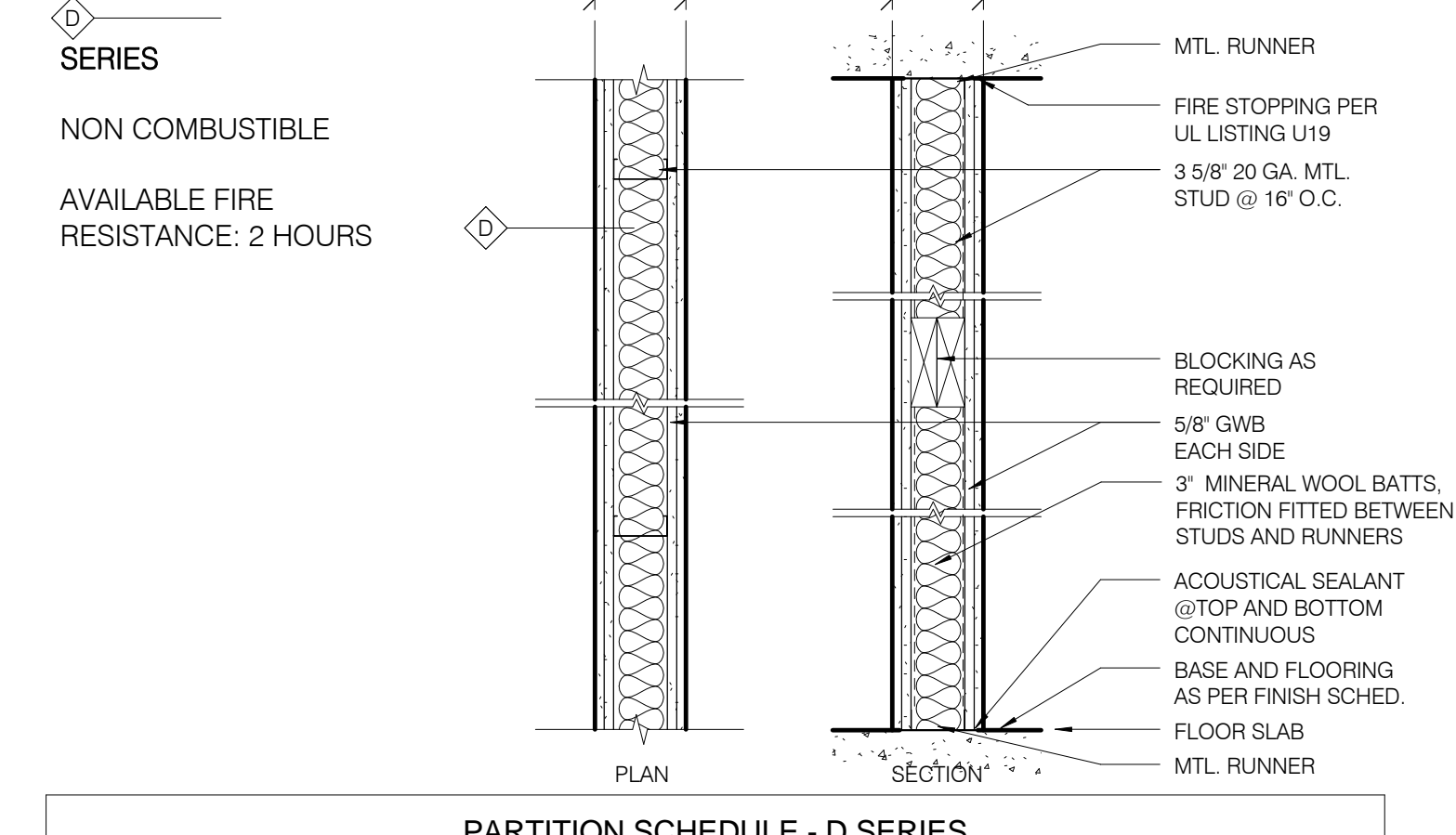


TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC		NOTES
					W/ INSUL	W/O INSUL	
B2	2 1/2"	3 3/4"	1HR	ULF U494	47 EST	40-44	1 HR REQ'D 1 1/2" MIN INSUL. PROVIDE BRACING WHERE HT EXCEEDS 12'7"
B3	3 5/8"	4 7/8"	1HR	ULF U465	45-49	40-44	1 HR REQ'D 2 1/2" MIN INSUL
B6	6"	7 1/4"	1HR	ULF U465	45-49	40-44	
B8	8"	9 1/4"	1HR	ULF U465	45-49	40-44	



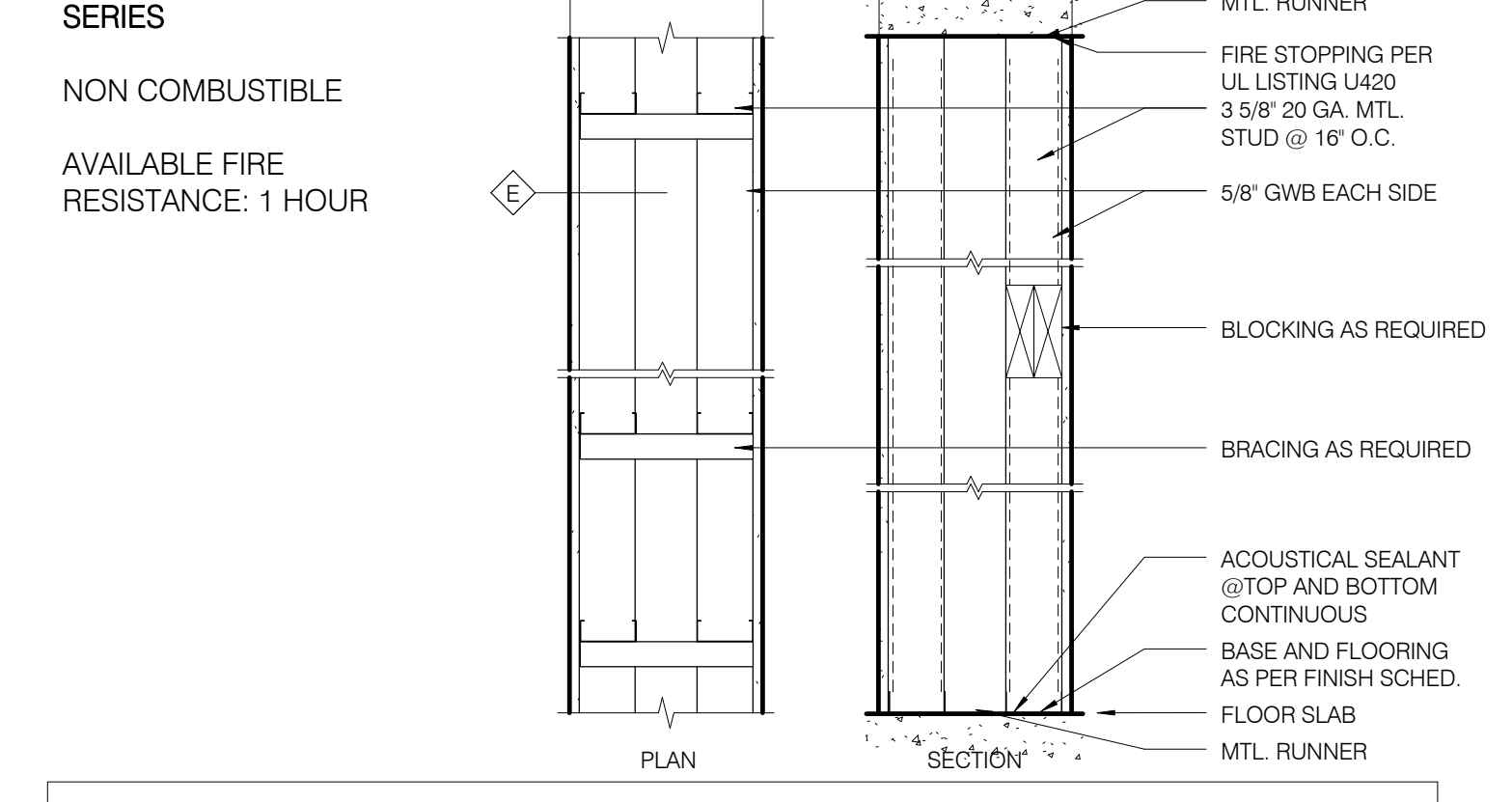
TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC		NOTES
					W/ INSUL	W/O INSUL	
C2	2 1/2"	4 3/8"	1HR	ULF U448	50-54	41 EST	1 HR REQ'D 2 1/2" MIN INSUL. PROVIDE BRACING WHERE HT EXCEEDS 12'7"
C3	3 5/8"	5 1/2"	1HR	ULF U465	50-54	41 EST	
C6	6"	7 7/8"	1HR	ULF U465	50-54	41 EST	
C8	8"	9 7/8"	1HR	ULF U465	50-54	41 EST	

PARTITION TYPE C 1" = 1'-0"



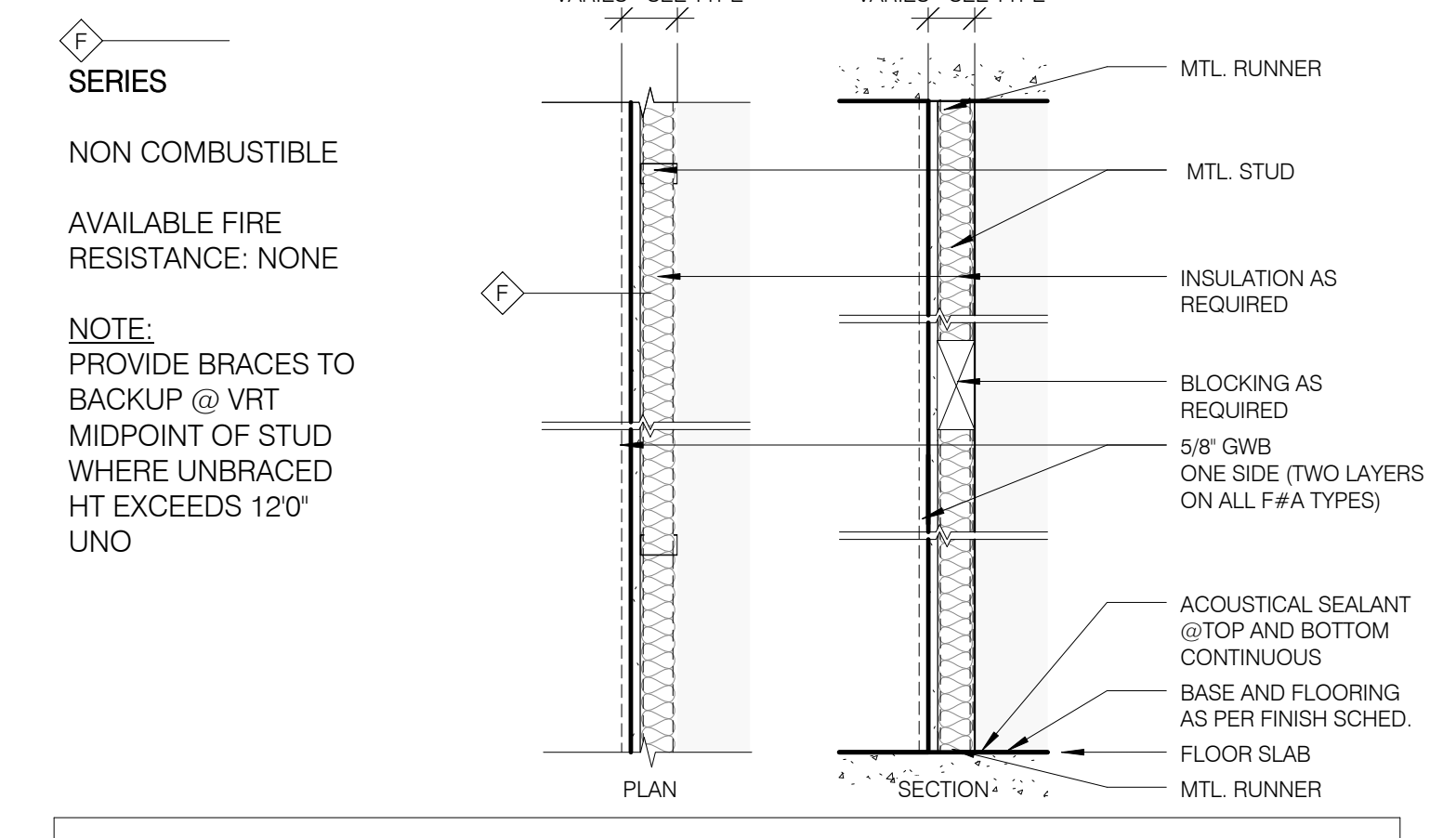
TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC		NOTES
					W/ INSUL	W/O INSUL	
D2	2 1/2"	5"	2HR	ULF U411	50-54	45-49	1 HR REQ'D 2 1/2" MIN INSUL. PROVIDE BRACING WHERE HT EXCEEDS 12'7"
D3	3 5/8"	6 1/8"	2HR	ULF U411	50-54	45-49	
D3-ME	3 5/8"	6 1/8"	2HR	ULF U411	50-54	45-49	MASONRY EQUIVALENT PER NYCBC 1014.01
D6	6"	8 1/2"	2HR	ULF U411	50-54	45-49	

PARTITION TYPE D 1" = 1'-0"

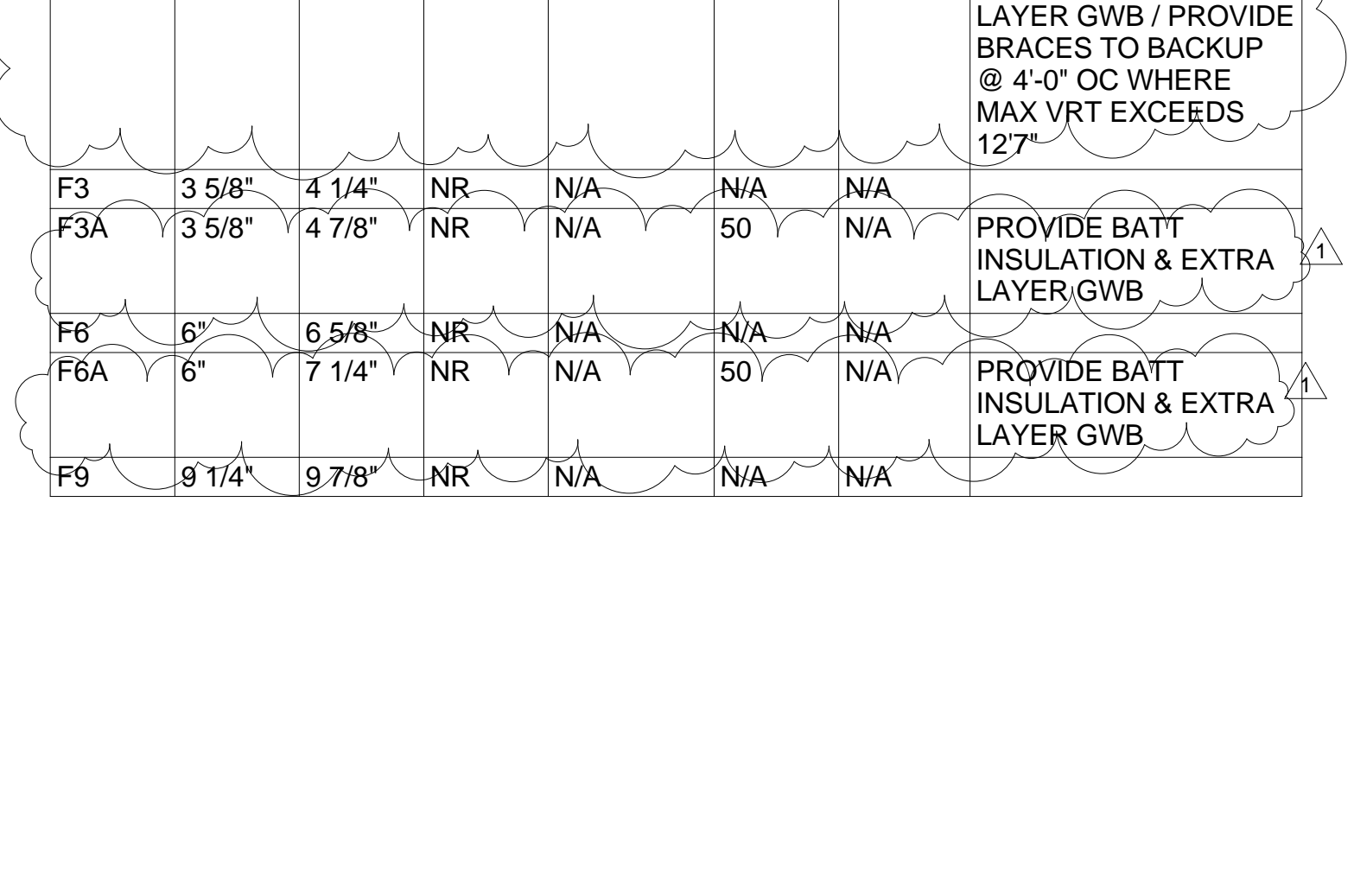


TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC		NOTES
					W/ INSUL	W/O INSUL	
E3	3 5/8"		1HR	ULF U466	50-54	N/A	
E4	4"		1HR	ULF U466	50-54	N/A	
E6	6"		1HR	ULF U466	50-54	N/A	

PARTITION TYPE E 1" = 1'-0"

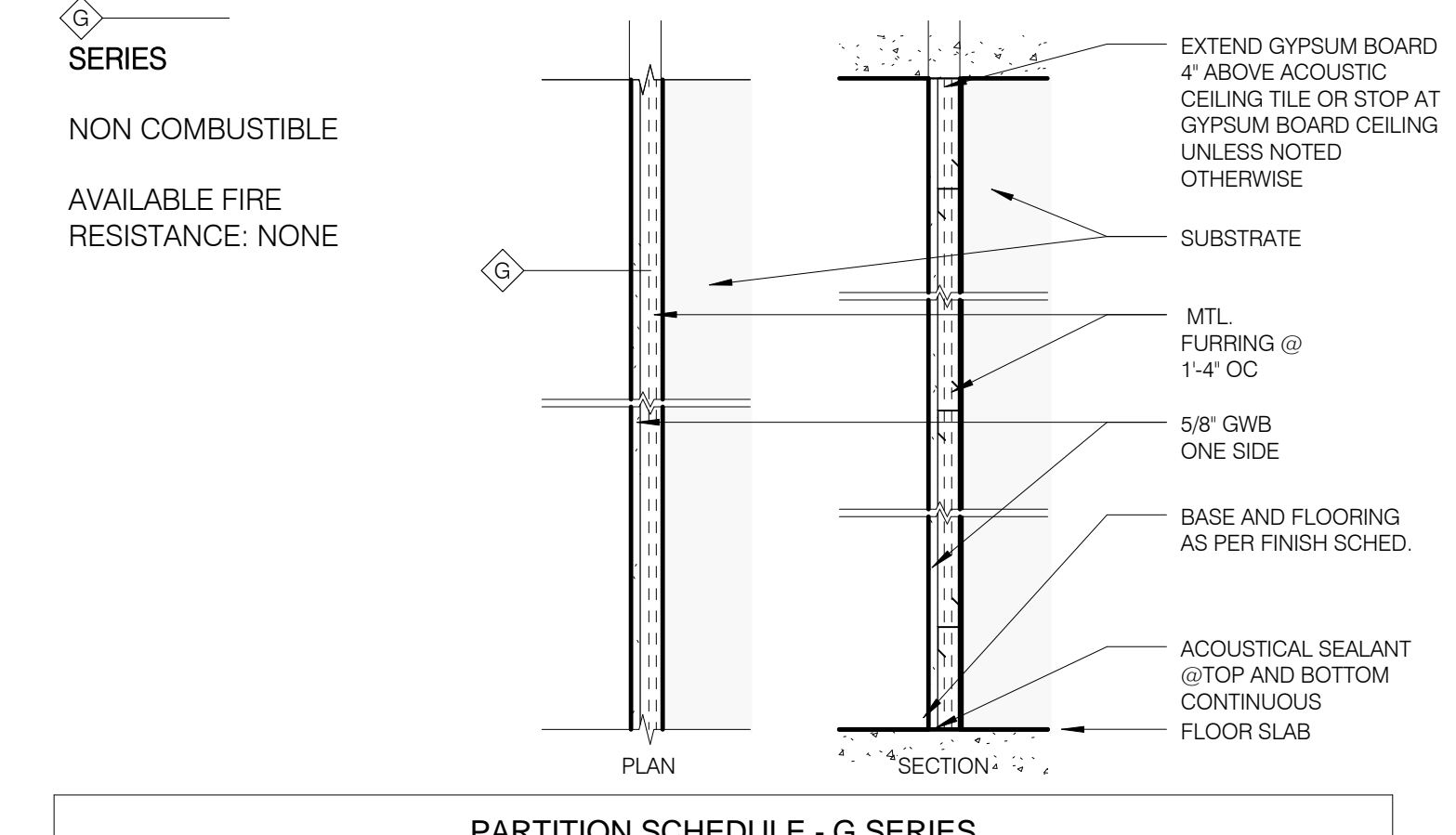


TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC		NOTES
					W/ INSUL	W/O INSUL	
F1	1 1/2"	2 1/8"	NR	N/A	N/A	N/A	PROVIDE BRACES TO BACKUP @ 4'-0" MAX VRT / 2 1/2" INSUL MIN.
F2	2 1/2"	3 1/8"	NR	N/A	N/A	N/A	PROVIDE BRACES TO BACKUP @ 4'-0" OC WHERE MAX VRT EXCEEDS 12'7"
F2A	2 1/2"	3 3/4"	NR	N/A	50	N/A	PROVIDE BATT INSULATION & EXTRA LAYER GWB / PROVIDE BRACES TO BACKUP @ 4'-0" OC WHERE MAX VRT EXCEEDS 12'7"
F3	3 5/8"	4 1/4"	NR	N/A	N/A	N/A	
F3A	3 5/8"	4 7/8"	NR	N/A	50	N/A	PROVIDE BATT INSULATION & EXTRA LAYER GWB
F6	6"	6 5/8"	NR	N/A	N/A	N/A	
F6A	6"	7 1/4"	NR	N/A	50	N/A	PROVIDE BATT INSULATION & EXTRA LAYER GWB
F9	9 1/4"	9 7/8"	NR	N/A	N/A	N/A	



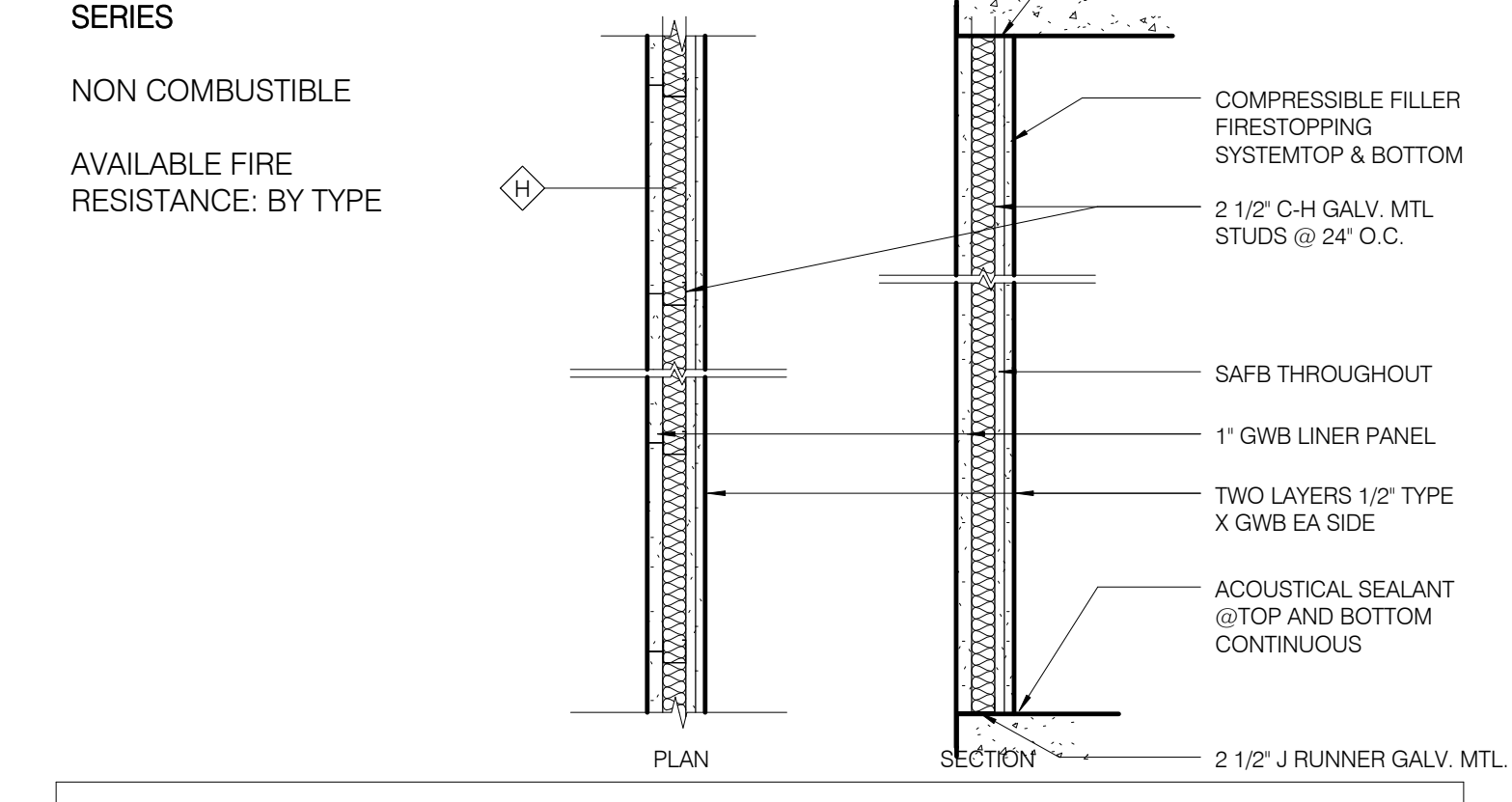
TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC		NOTES
					W/ INSUL	W/O INSUL	
M6	5 5/8"	6"	2HR	ULF U906	N/A	46 EST	3 HR REQ'D SOLID BLOCK
M8	7 5/8"	8"	3HR	ULF U904	N/A	48 EST	

PARTITION TYPE M 1" = 1'-0"



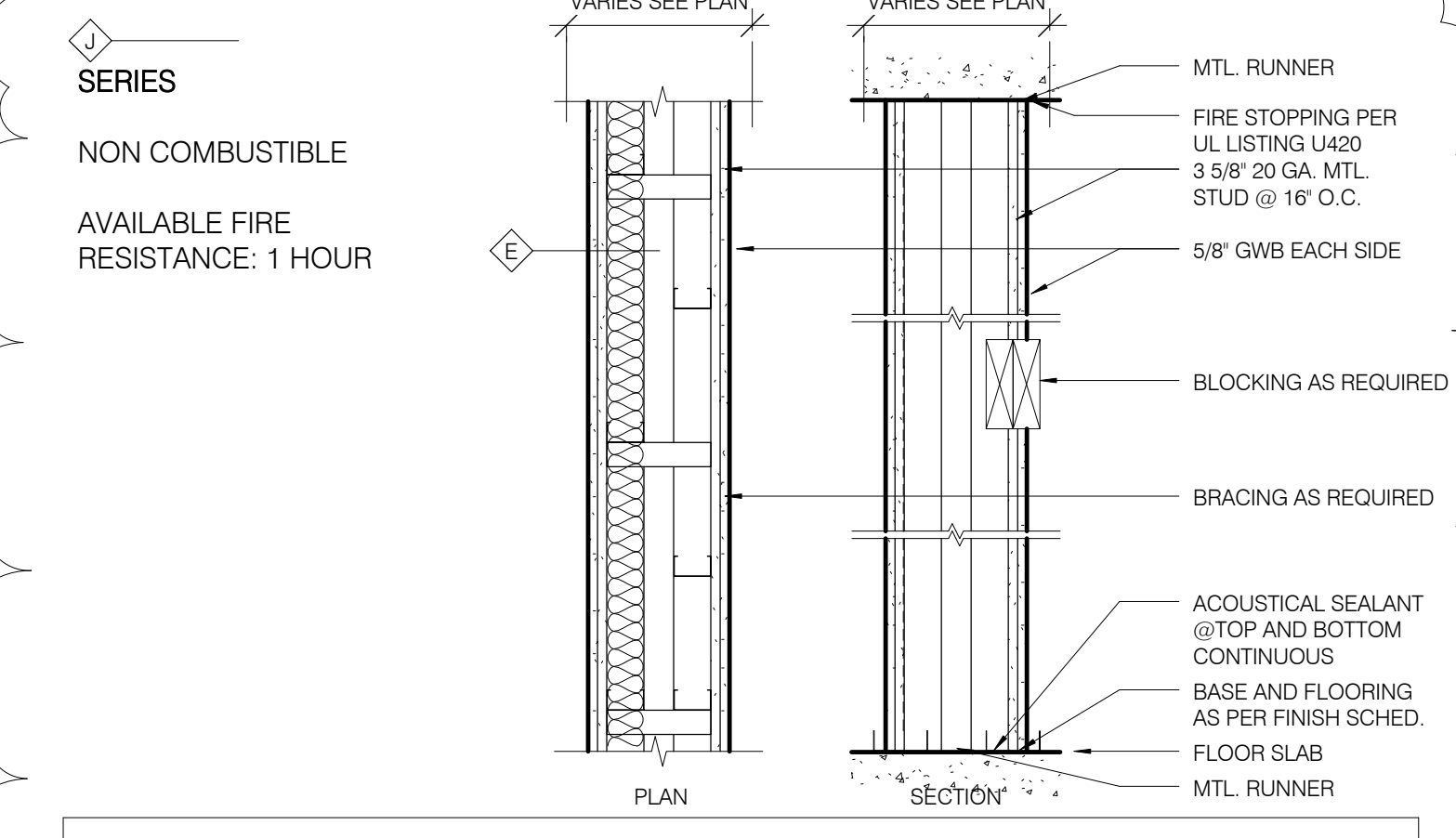
TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC		NOTES
					W/ INSUL	W/O INSUL	
G1	1"	1 5/8"	NR	N/A	N/A	N/A	
G2	2"	2 5/8"	NR	N/A	N/A	N/A	
G3	3"	3 5/8"	NR	N/A	N/A	N/A	
G4	4"	4 5/8"	NR	N/A	N/A	N/A	
G11	7/8"	1 1/2"	NR	N/A	N/A	N/A	7/8" HAT CHANNEL FRG
G15	1 1/2"	2 1/8"	NR	N/A	N/A	N/A	

PARTITION TYPE G 1" = 1'-0"

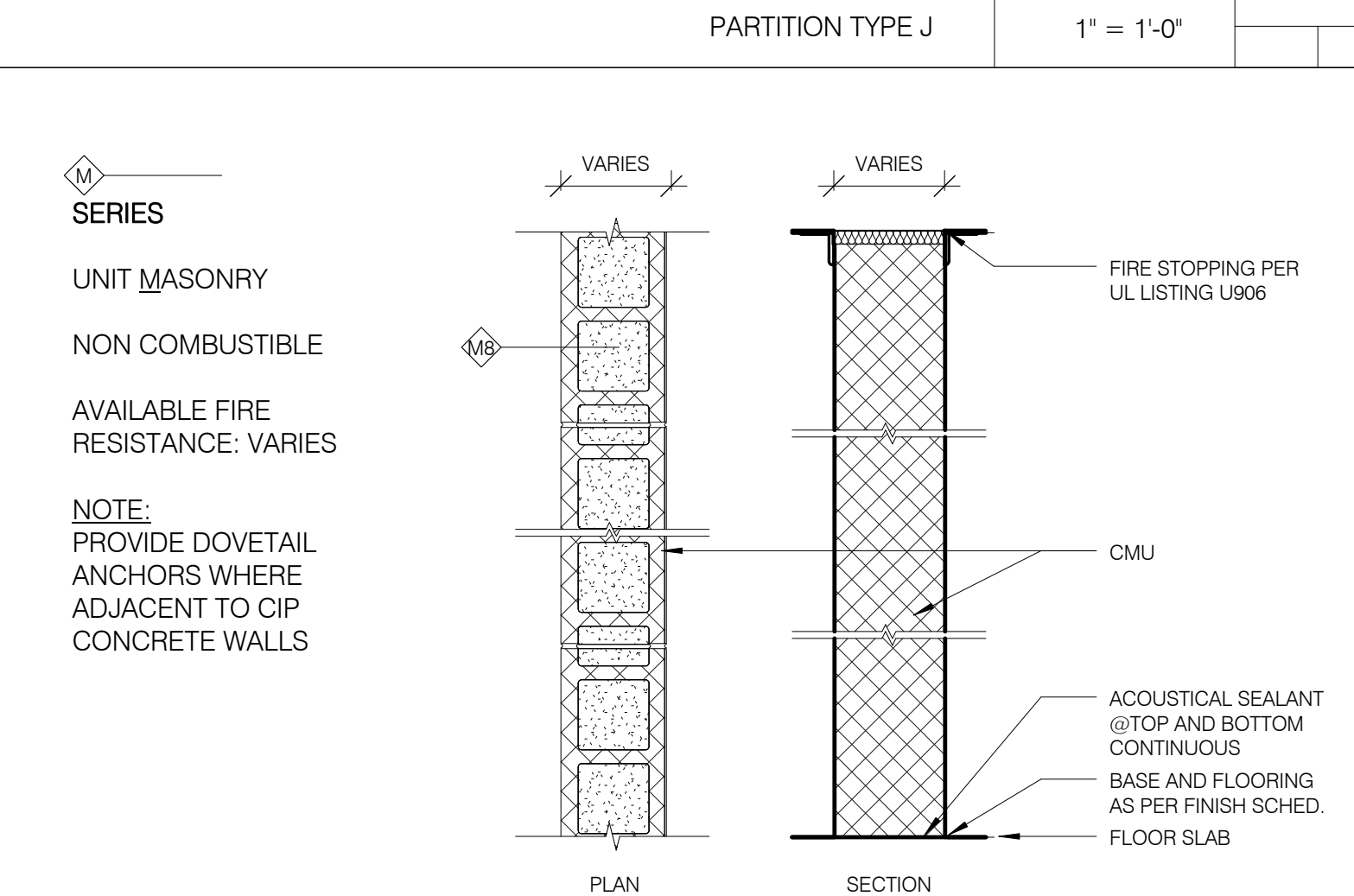


TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC		NOTES
					W/ INSUL	W/O INSUL	
H2	2"	3 3/4"	1HR	ULF U469	35-39	N/A	1 HR REQ'D 2 1/2" MIN INSUL
H4	4"	5 1/4"	2HR	ULF U469	35-39	N/A	
H4-ME	4"	5 1/4"	2HR	ULF U469	35-39	N/A	MASONRY EQUIVALENT PER NYCBC 1014.01
H6	6"	7 1/4"	2HR	ULF U417	35-39	N/A	
H6X	6"	7 1/4"	2HR	ULF U417	35-39	N/A	15 PSF - 20 GA CH STUD @ 24" O.C.

PARTITION TYPE H 1" = 1'-0"

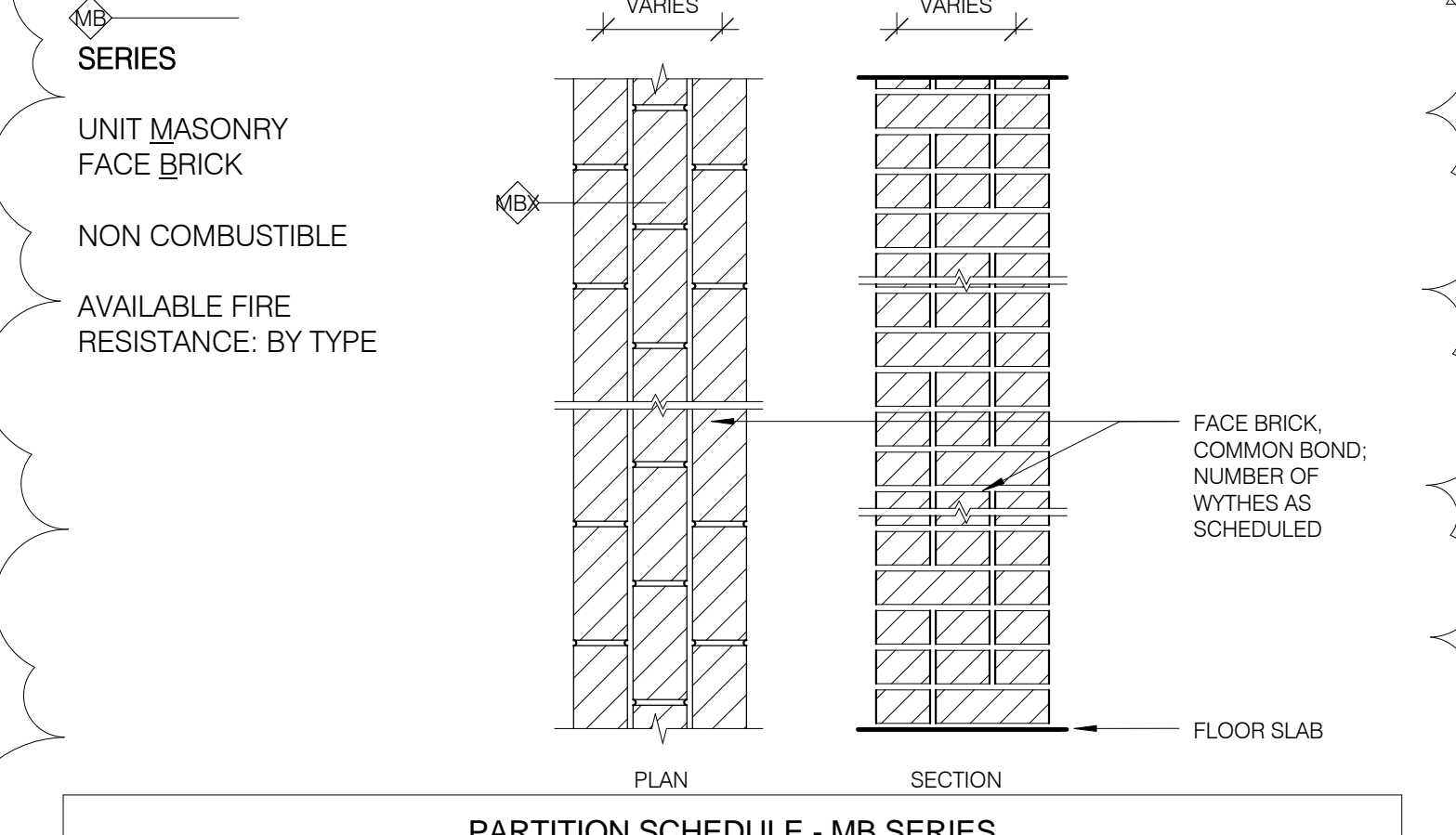


TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC		NOTES
					W/ INSUL	W/O INSUL	
J2	2 1/2"	9 1/2"	2HR	UL #493	50 min	N/A	



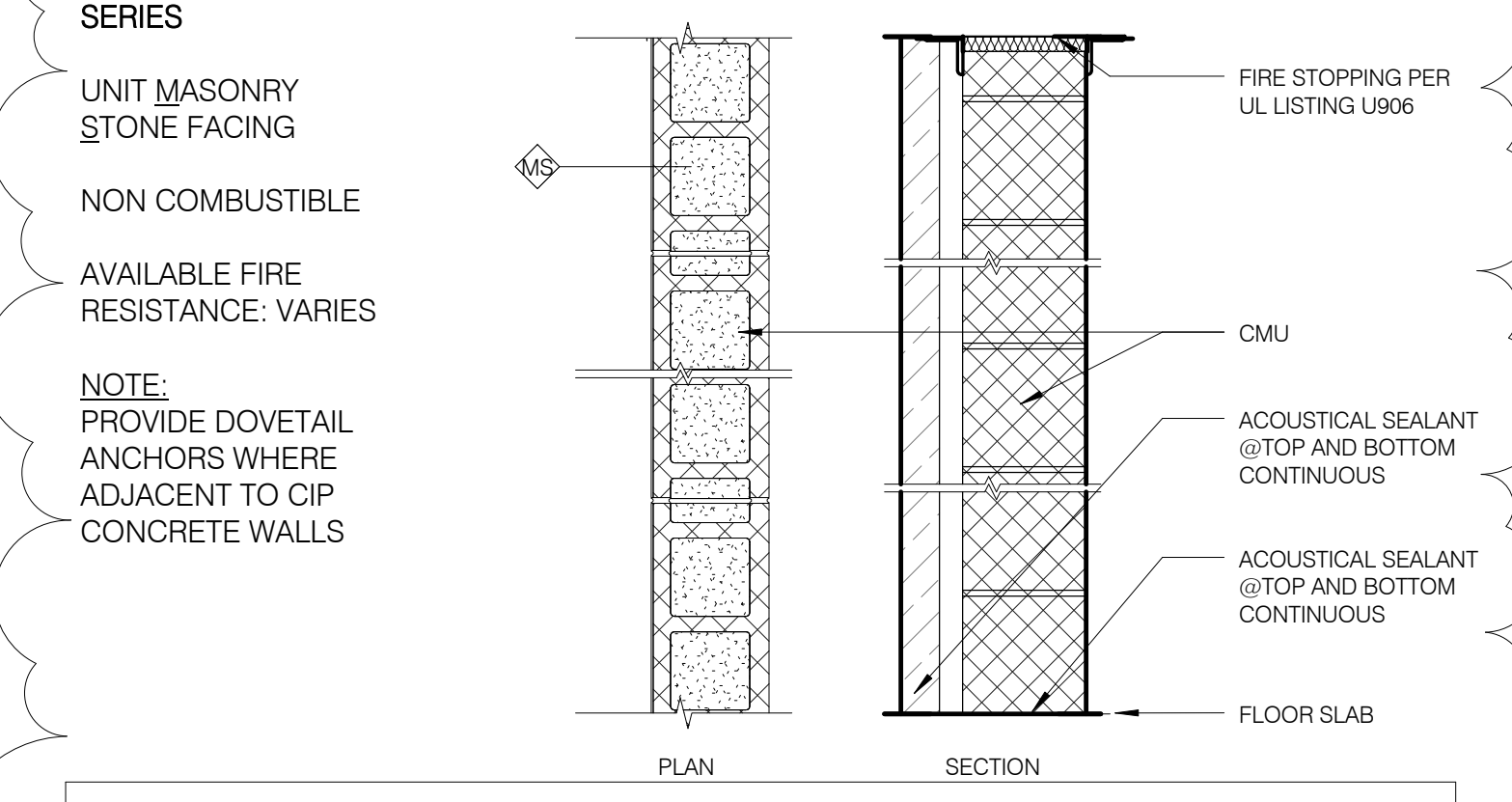
TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC		NOTES
					W/ INSUL	W/O INSUL	
S2	3 5/8"	5 5/8"	NR	N/A	N/A	N/A	2 1/2" MIN MINERAL WOOL INSUL
S3	3 5/8"	6 3/4"	NR	N/A	N/A	N/A	2 1/2" MIN MINERAL WOOL INSUL

PARTITION TYPE S 1" = 1'-0"



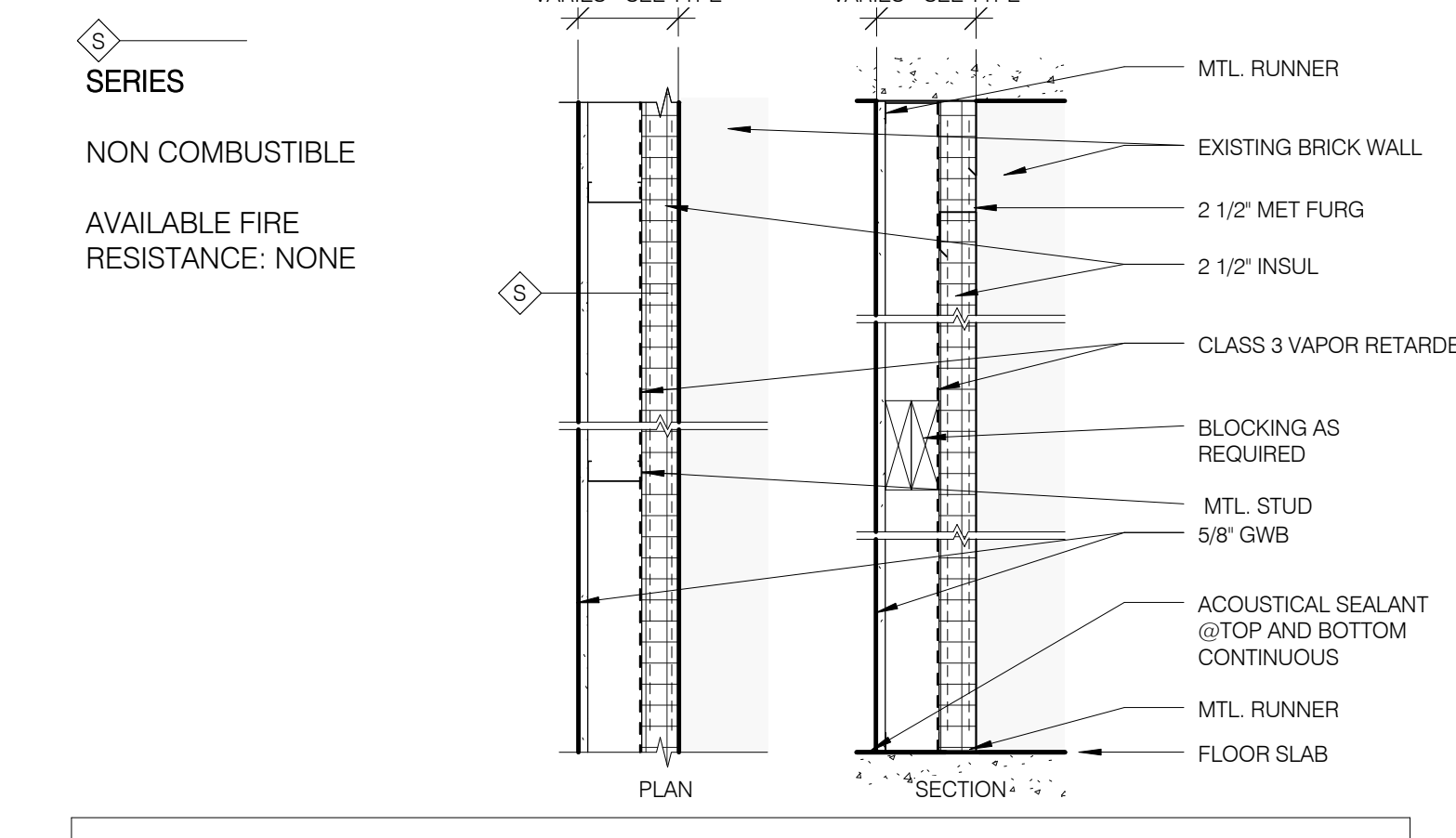
TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC		NOTES
					W/ INSUL	W/O INSUL	
X1	0"	5/8"	NR	N/A	N/A	N/A	PROVIDE GWB OVER PARTITION

PARTITION TYPE X 1" = 1'-0"

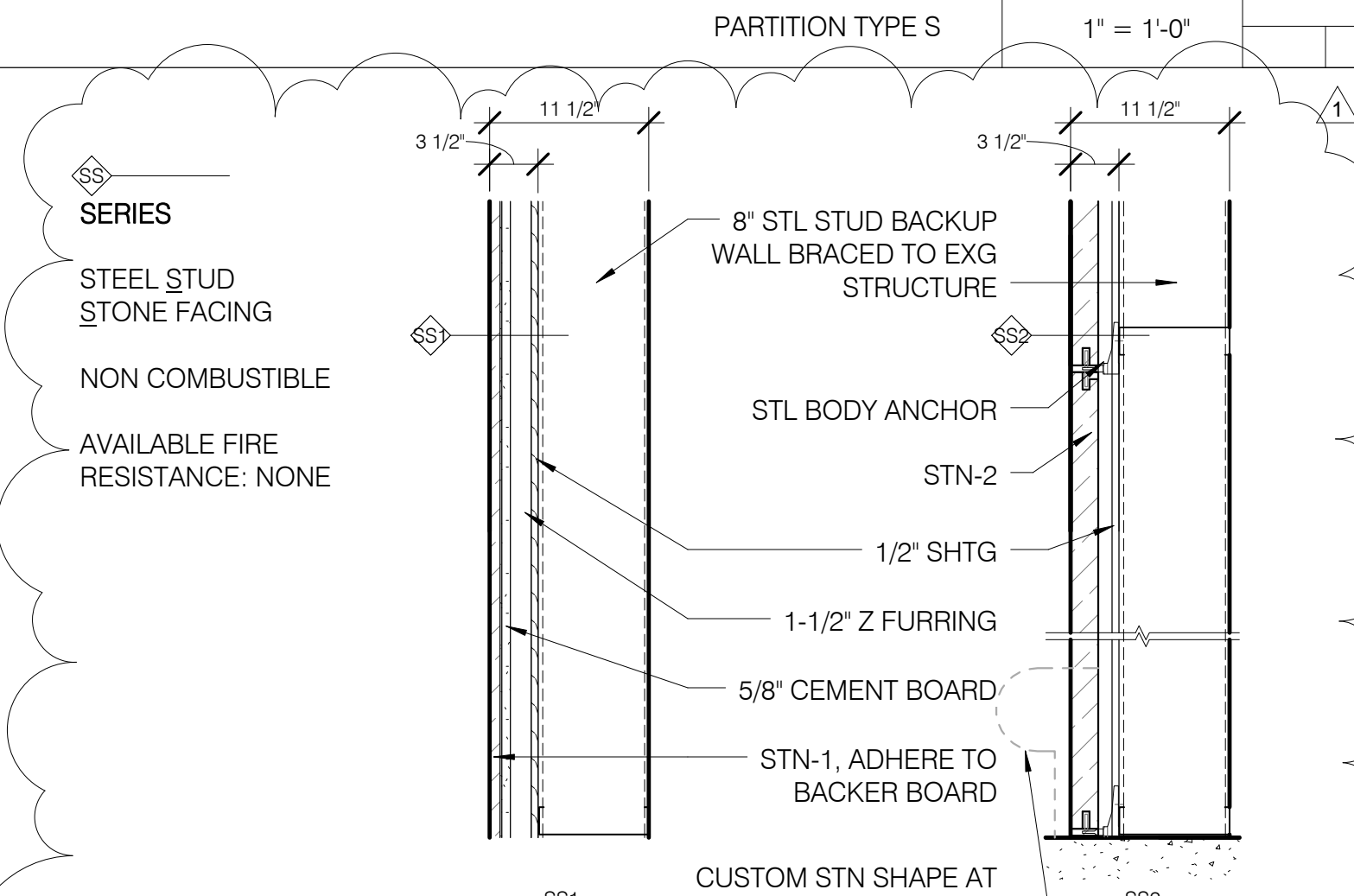


TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC		NOTES
					W/ INSUL	W/O INSUL	
XP	7/8"	3 5/8"	NR	N/A	N/A	N/A	MILLED CORIAN PANELING OVER MTL STUD WALL - SEE AS10 FOR DETAILS

PARTITION TYPE XP 1" = 1'-0"

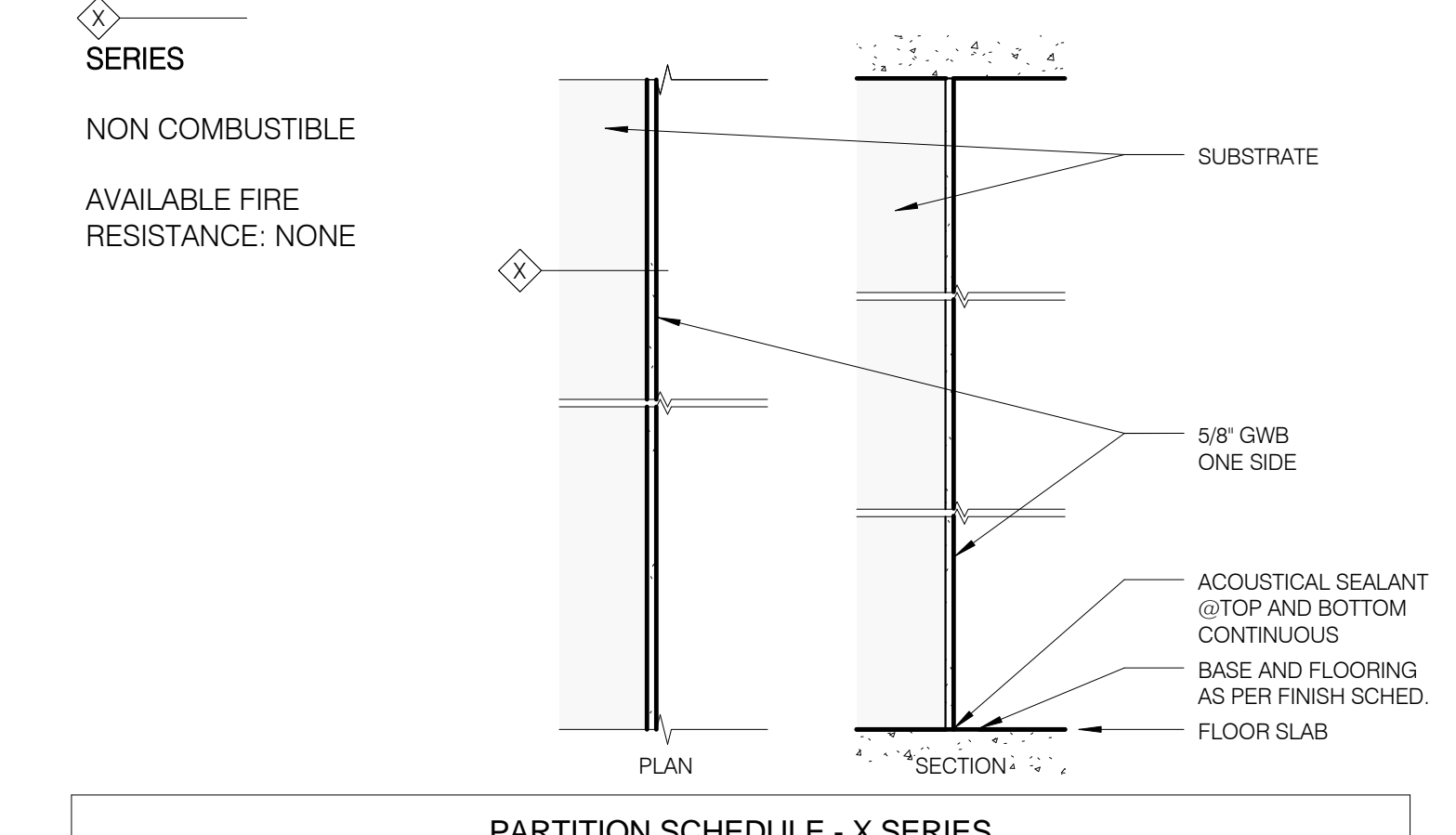


TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC		NOTES
					W/ INSUL	W/O INSUL	
SS1	8"	11 1/2"	N/A				SEE S-972 FOR STL STUD FRAMING AND BRACING
SS2	8"	11 1/2"	N/A				SEE S-972 FOR STL STUD FRAMING AND BRACING



TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC		NOTES
					W/ INSUL	W/O INSUL	
SS1	8"	11 1/2"	N/A				SEE S-972 FOR STL STUD FRAMING AND BRACING
SS2	8"	11 1/2"	N/A				SEE S-972 FOR STL STUD FRAMING AND BRACING

PARTITION TYPE SS 1" = 1'-0"



JDS DEVELOPMENT GROUP
 64 FIFTH AVENUE, 8TH FLOOR
 NEW YORK, NY 10011
 TEL: 212.485.3800

ARCHITECT
 SHP ARCHITECTS, P.C.
 20 BROADWAY, 11TH FLOOR
 NEW YORK, NY 10004
 TEL: 212.485.8999

STRUCTURAL ENGINEER
 BENTLEY BOPFOLD
 100 BROADWAY
 NEW YORK, NY 10005
 TEL: 212.684.2929

MEP ENGINEER
 JAMES BAUM & BOLLER
 810 WEST 87TH STREET, 6TH FLOOR
 NEW YORK, NY 10024
 TEL: 212.263.8200

CIVIL ENGINEER
 AKRF ENGINEERING, P.C.
 440 PARK AVE SOUTH, 7TH FLOOR
 NEW YORK, NY 10018
 TEL: 212.263.8200

ACOUSTICS
 MORGAN LINDSEY
 40 WEST 89TH STREET, 4TH FLOOR
 NEW YORK, NY 10024
 TEL: 212.263.8200

INTERIORS
 STORCK SCHIFFEL
 205 EAST 87TH STREET
 NEW YORK, NY 10019
 TEL: 212.475.3300

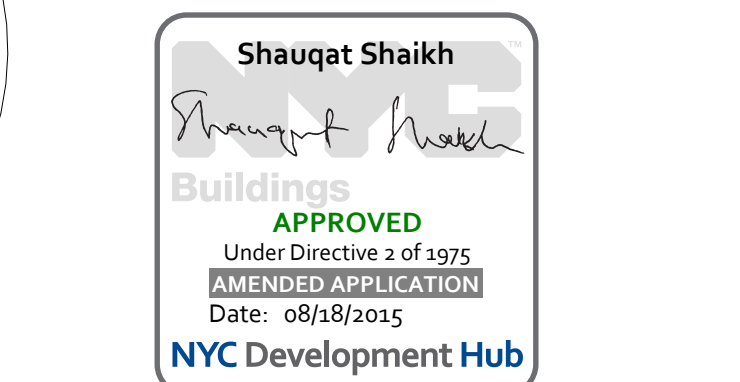
PROPERTY MARKETS GROUP
 11401 41ST STREET, 2ND FLOOR
 NEW YORK, NY 10019
 TEL: 212.810.2006



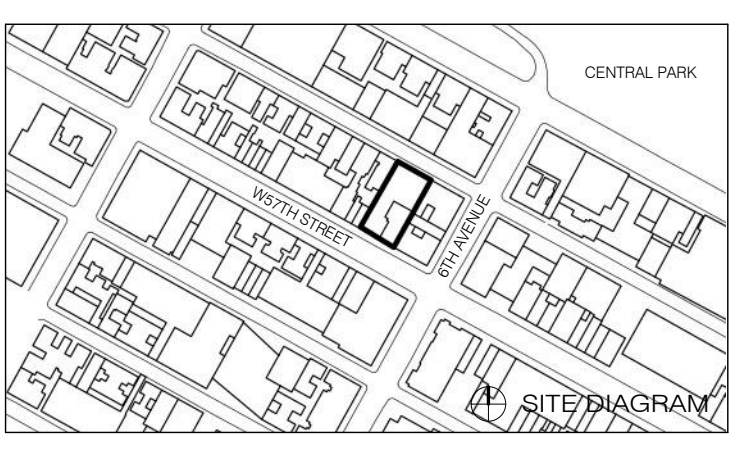
PROPERTY MARKETS GROUP
 11401 41ST STREET, 2ND FLOOR
 NEW YORK, NY 10019
 TEL: 212.810.2006

CURRENT ISSUE

DOB PAA



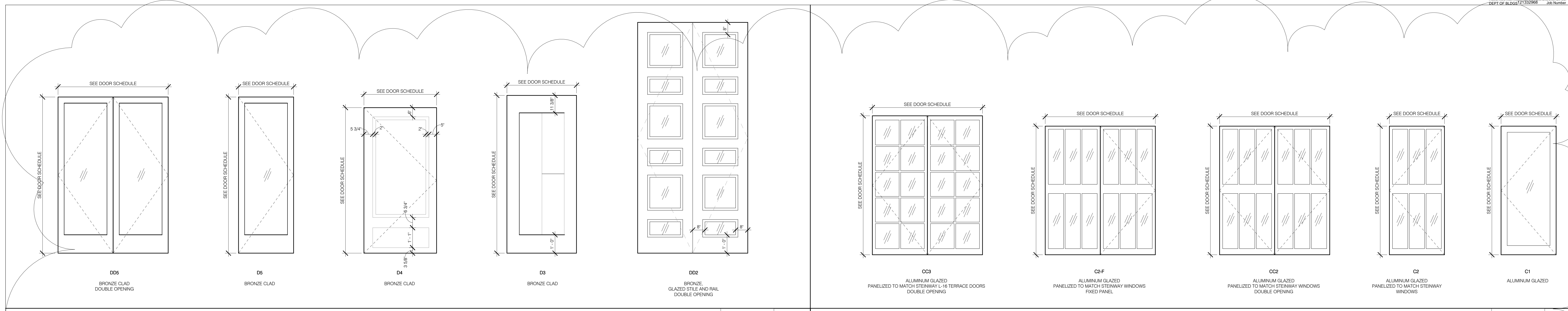
111 WEST 57TH STREET
 111 WEST 57TH STREET
 NEW YORK, NY 10019



1	3.27.15	DOB PAA
1.14	5.1.14	DOB FILING SET
NO.	DATE	REVISION
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND NO SUCH MAY NOT BE REPRODUCED OR COPIED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF SHP ARCHITECTS, P.C.		
COPYRIGHT © 2015 SHP ARCHITECTS, P.C. ALL RIGHTS RESERVED.		

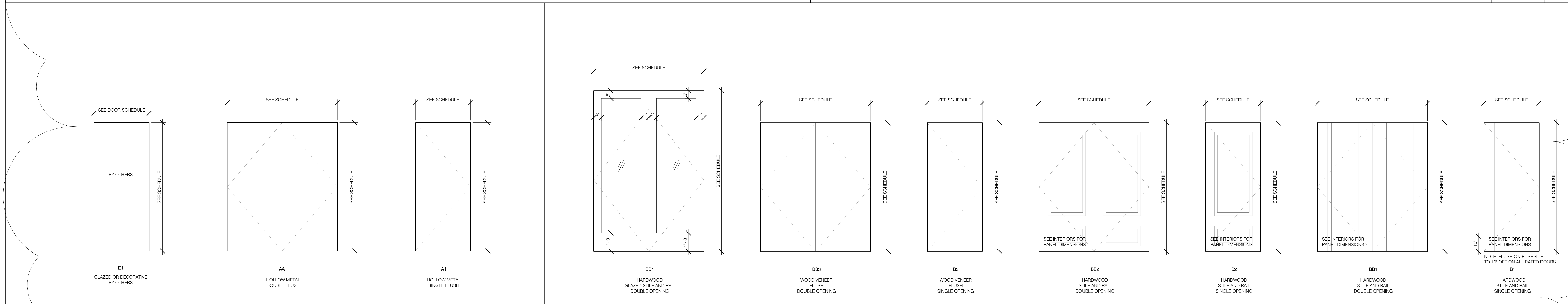
DRAWING TITLE
DOOR FRAMES AND TYPES

SCALE AND SIGNATURE
 DATE: 3.27.15
 PROJECT NO: 139007
 DRAWN BY: SHP
 CHECKED BY: SHP
 DOOR NO: 121332968
 DRAWING NUMBER: **A-080.01**



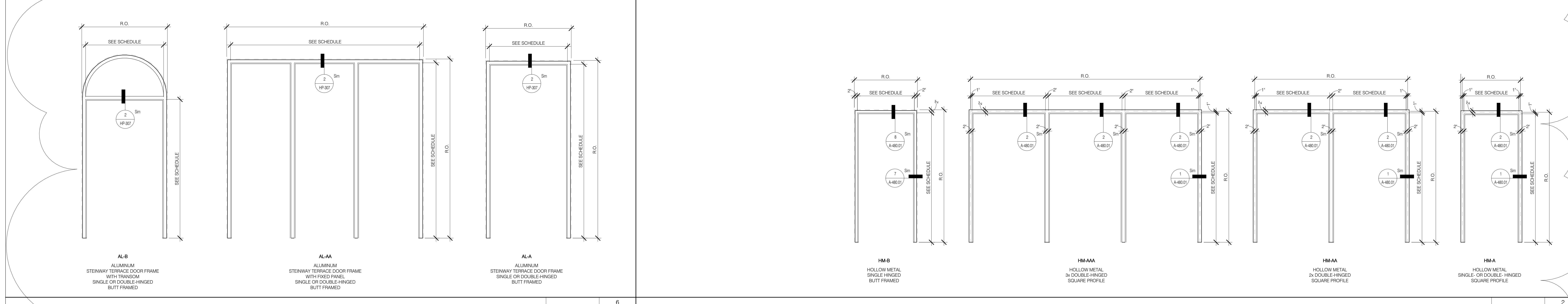
DOOR TYPES - BRONZE 1/2" = 1'-0" 8

DOOR TYPES - ALUMINUM 1/2" = 1'-0" 3



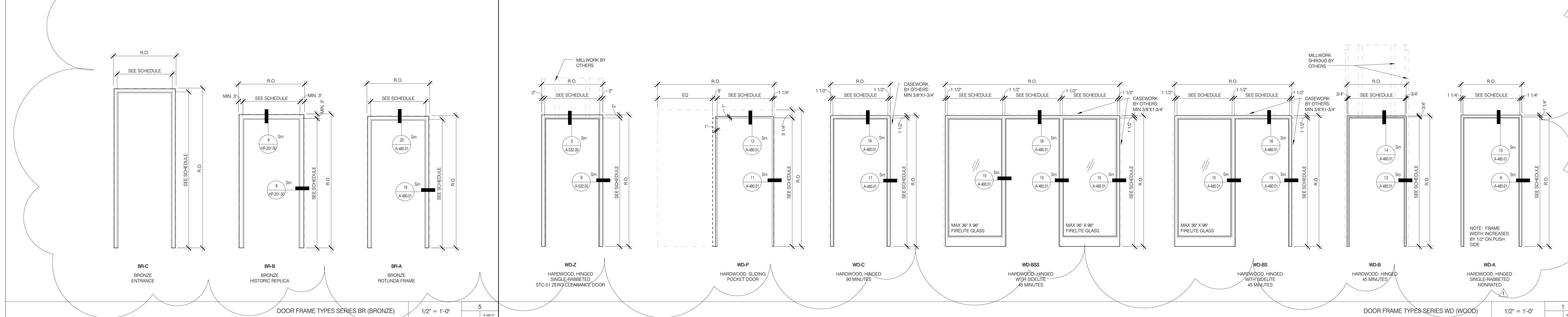
DOOR TYPES - STEEL 1/2" = 1'-0" 7

DOOR TYPES - WOOD 1/2" = 1'-0" 4



DOOR FRAME TYPES SERIES C (ALUMINUM) 1/2" = 1'-0" 6

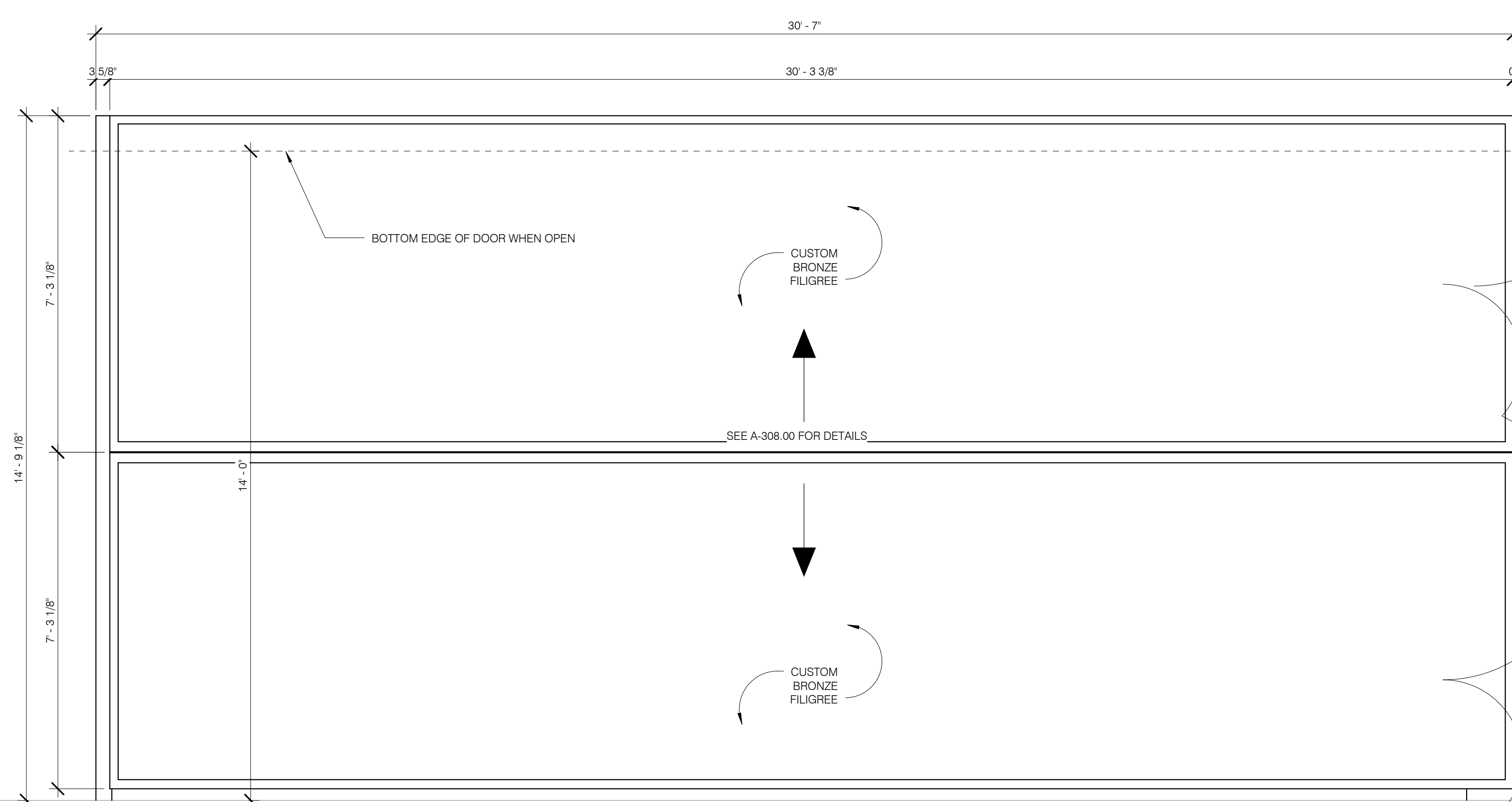
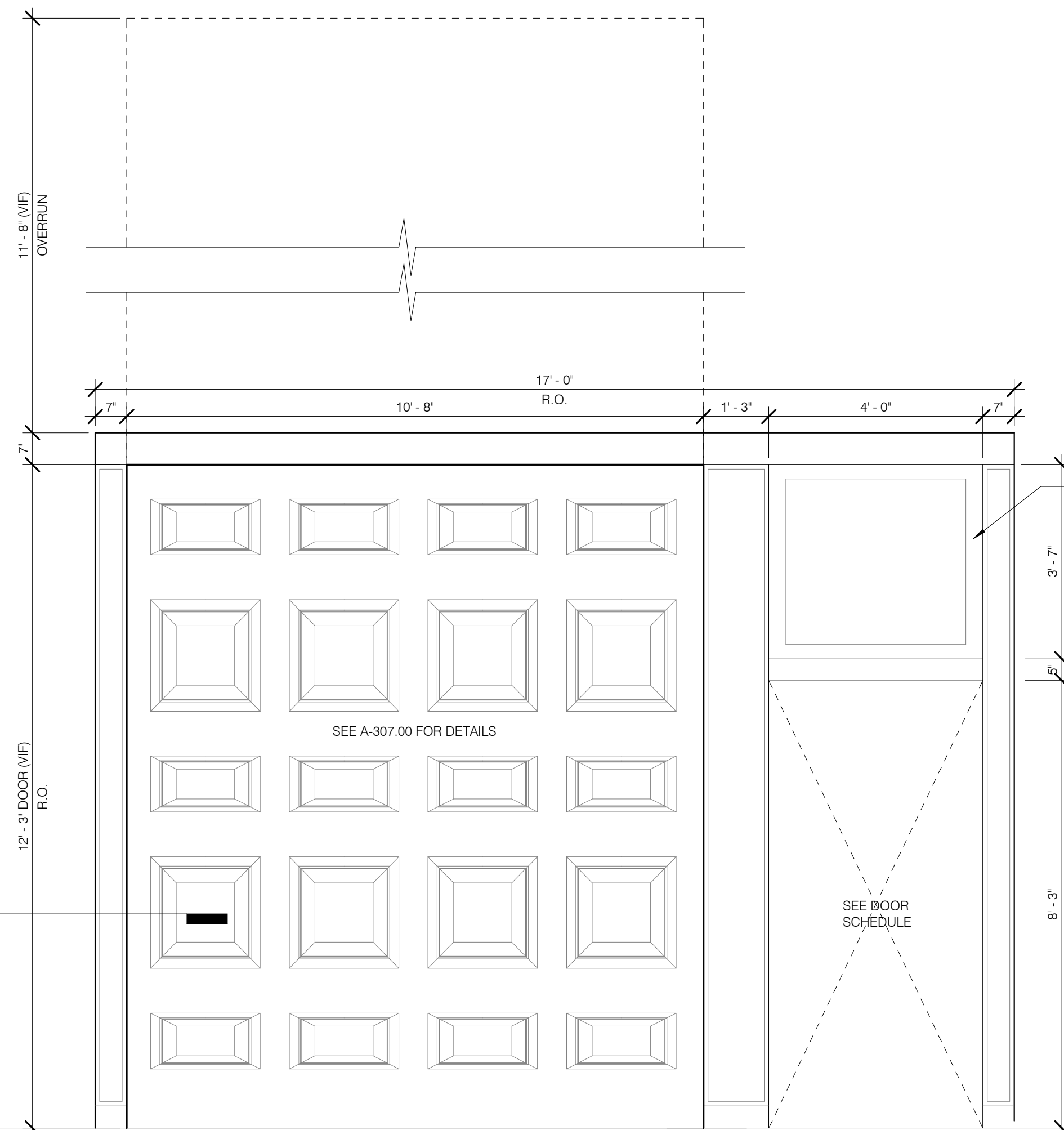
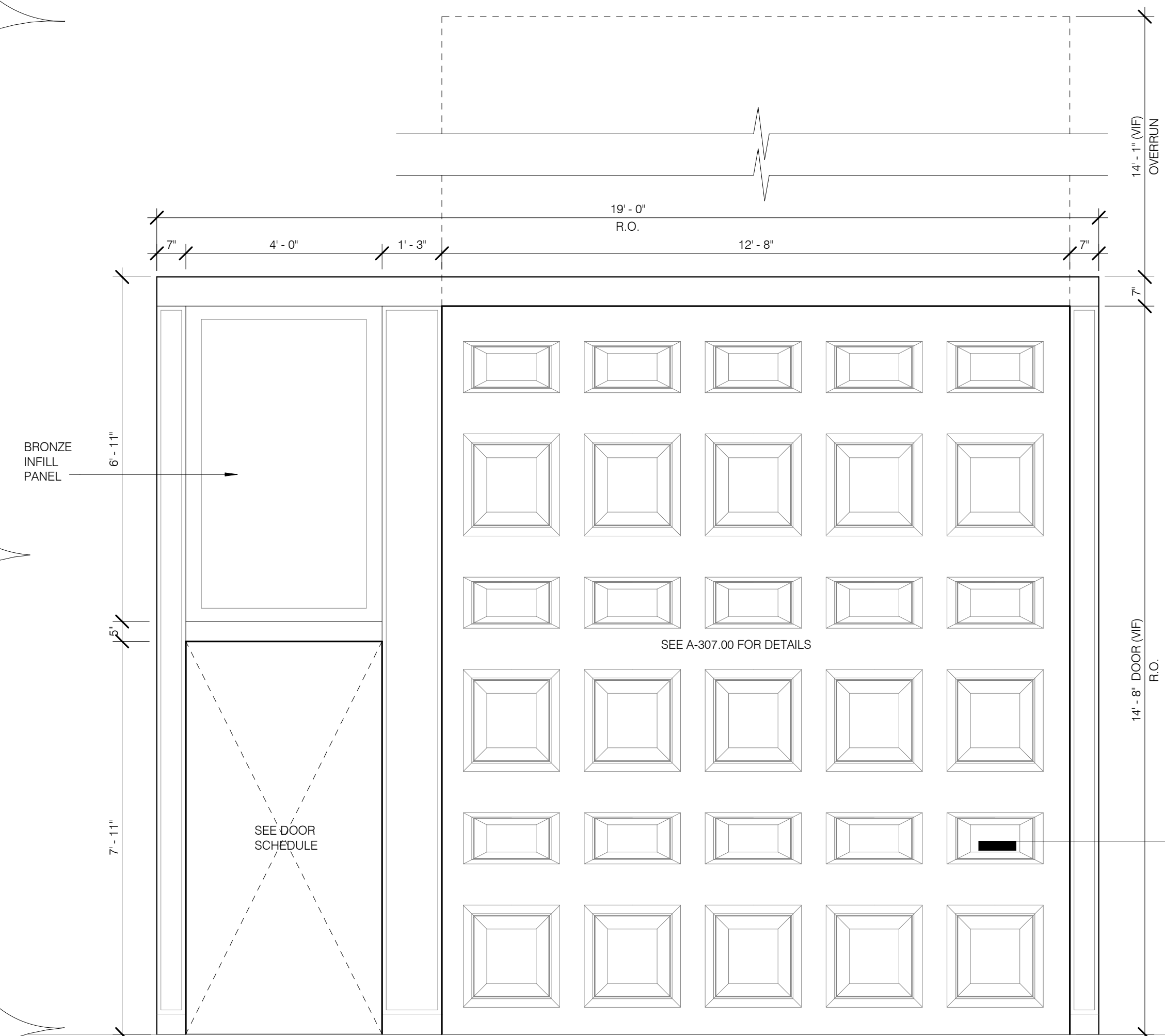
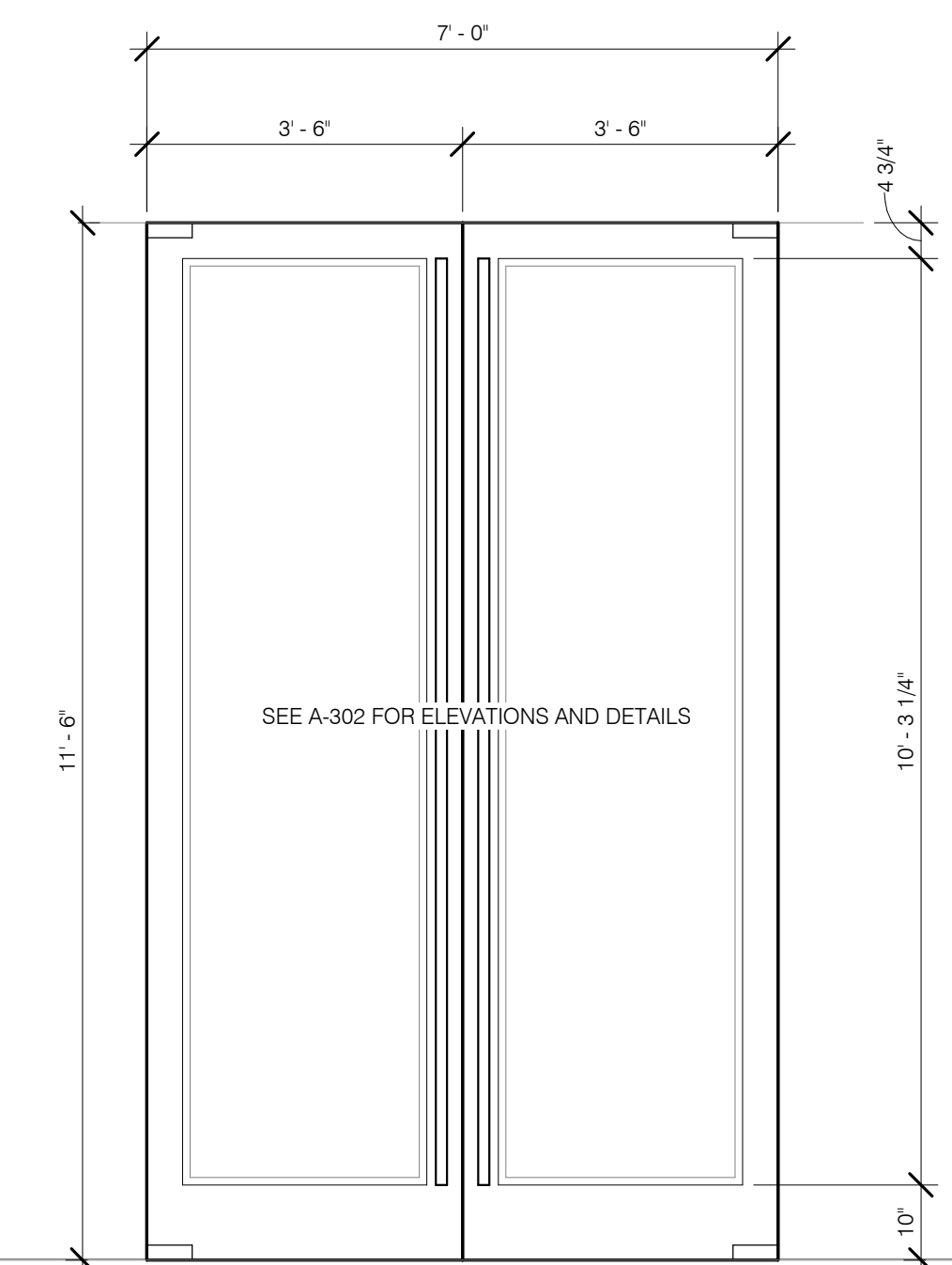
DOOR FRAME TYPES SERIES B (HOLLOW METAL) 1/2" = 1'-0" 2



DOOR FRAME TYPES SERIES BR (BRONZE) 1/2" = 1'-0" 5

DOOR FRAME TYPES SERIES WD (WOOD) 1/2" = 1'-0" 1

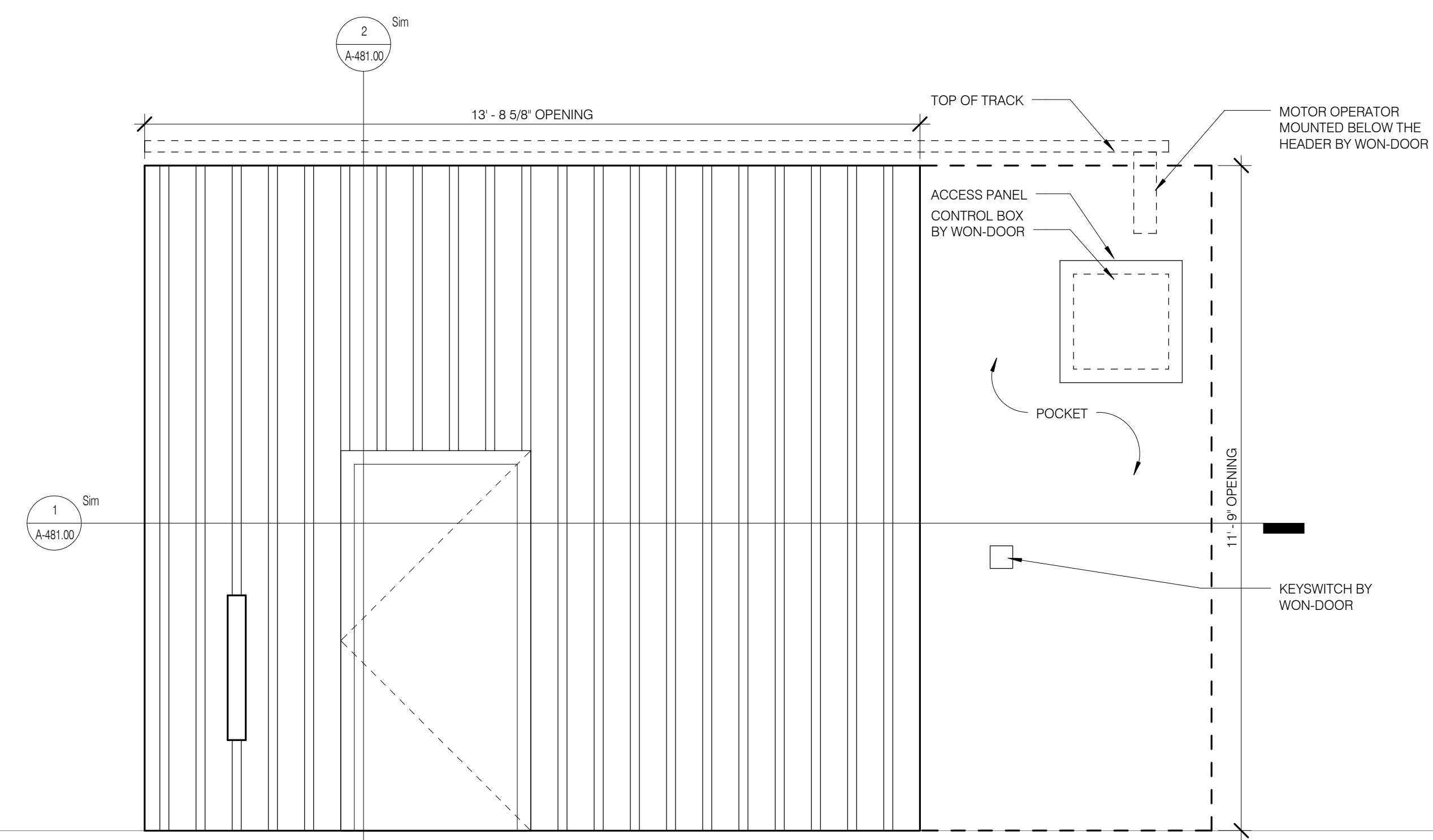
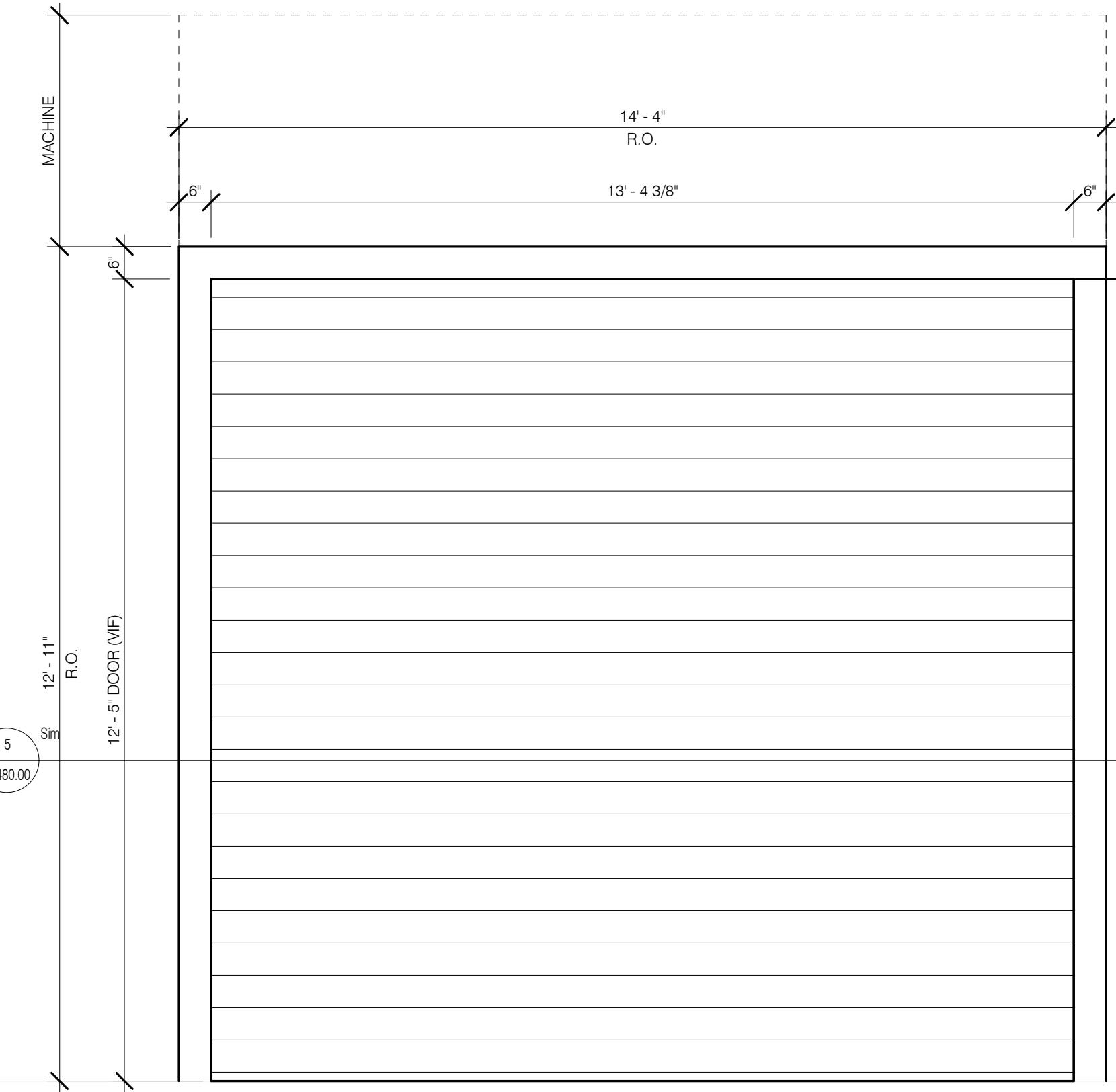
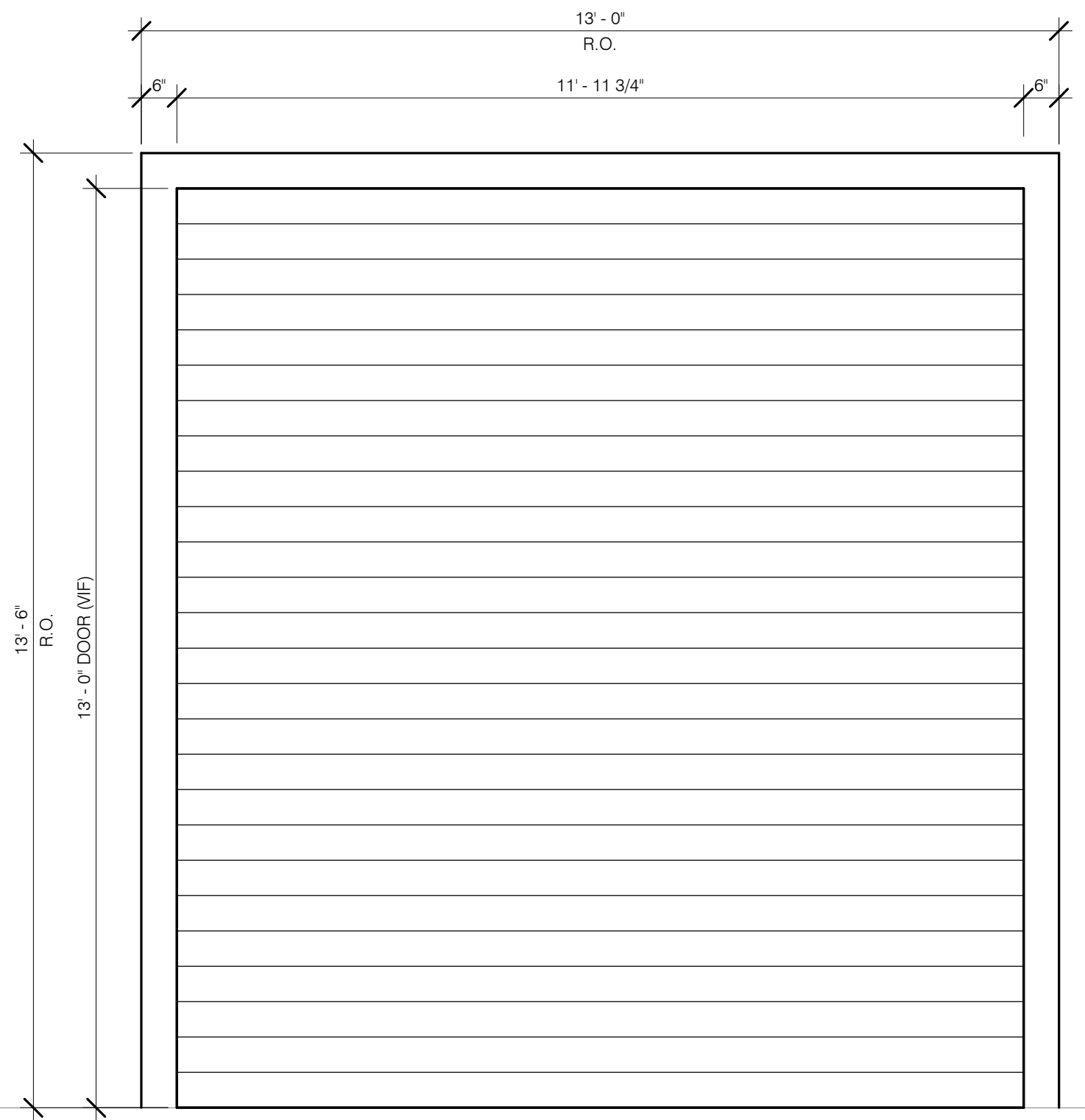
ARCHITECT	SHRP ARCHITECTS, P.C.	220 BROOKLYN AVENUE, 11TH FLOOR NEW YORK, NY 10002 TEL: 212.489.8999
TYPE CONTRACTOR	SHRP CONTRACTORS	25 EAST 4TH STREET NEW YORK, NY 10003 TEL: 212.487.8888
STRUCTURAL ENGINEER	SHRP STRUCTURAL ENGINEERS	25 EAST 4TH STREET NEW YORK, NY 10003 TEL: 212.487.8888
MEP ENGINEER	JARVIS BAIN & BOLLES	81 WEST STREET, 10TH FLOOR NEW YORK, NY 10006 TEL: 212.512.0202
CIVIL ENGINEER	AKRF ENGINEERING, P.C.	40 WEST 8TH STREET, 4TH FLOOR NEW YORK, NY 10013 TEL: 400.388.8838
ACOUSTICS	WONGMAN LINESEY	40 WEST 8TH STREET, 4TH FLOOR NEW YORK, NY 10013 TEL: 917.203.3300
INTERIORS	STUDIO SCHIELD	200 EAST 8TH STREET NEW YORK, NY 10003 TEL: 212.471.3300
SCULPTURE/FOLD	SHRP SCULPTURE	100 BROOKLYN AVENUE NEW YORK, NY 10002 TEL: 212.489.8999
FAÇADE	VAN DEUSEN & ASSOCIATES	130 WEST STREET, SUITE 2014 LONG BEACH, NJ 07706 TEL: 973.264.2025
VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES	130 WEST STREET, SUITE 2014 LONG BEACH, NJ 07706 TEL: 973.264.2025
RESTORATION	JAN HROD POKORNY ASSOCIATES	30 WEST 20TH STREET, 6TH FLOOR NEW YORK, NY 10011 TEL: 212.788.4442
GEOTECH	WSP PARSONS	225 WEST 20TH STREET, 6TH FLOOR NEW YORK, NY 10011 TEL: 917.288.9000
LIGHTING	LOBBENBERGER INTERNATIONAL	120 EAST 4TH STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212.254.4442



F4B
OVERSIZED W/ 6TH GARAGE DOOR,
BRONZE DOOR FRAME

F4A
OVERSIZED W/ 6TH GARAGE DOOR,
BRONZE DOOR FRAME

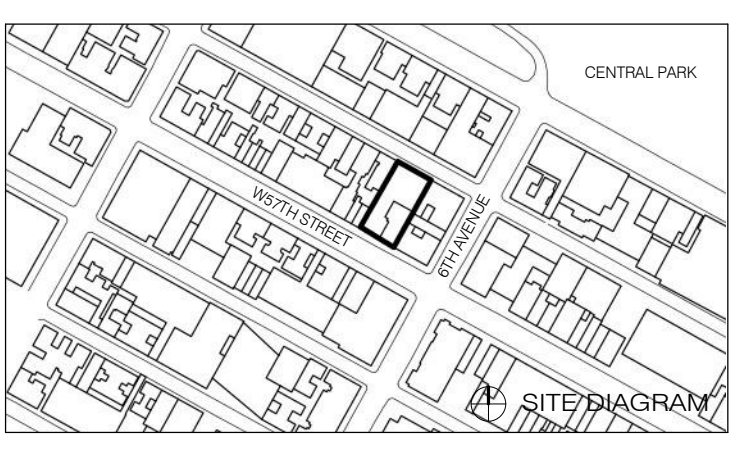
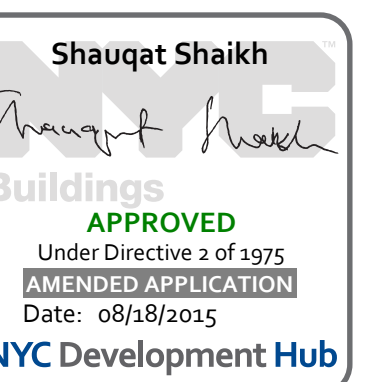
F5
FIRE BARRIER / OVERSIZED
BI FOLDING GARAGE DOOR, BRONZE WITH BRONZE
FILIGREE STEEL FRAME



F3
FIRE BARRIER / OVERSIZED
COILING GARAGE DOOR, BRONZE DOOR FRAME

F2
FIRE BARRIER / OVERSIZED
VERTICAL FIRE SHUTTER, BRONZE DOOR FRAME

F1
FIRE BARRIER / OVERSIZED
WORK DOOR,
2HR HORIZONTAL SLIDING DOOR



1	3/27/15	DOB PAA
NO.	DATE	REVISION

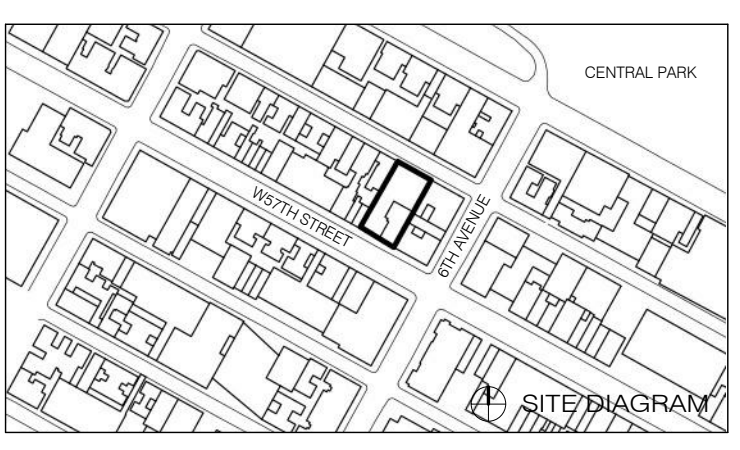
DOOR FRAMES AND TYPES

SEAL & SIGNATURE	DATE	3/27/15
PROJECT NO.	130607	
DRAWN BY	SHKP	
CHECKED BY	SHKP	
DOB NO.	1213332968	
DRAWING NUMBER		



Shauqat Shaikh
Buildings
APPROVED
Under Directive 2 of 1975
PLANNING DEPARTMENT
Date: 08/26/2015
NYC Development Hub

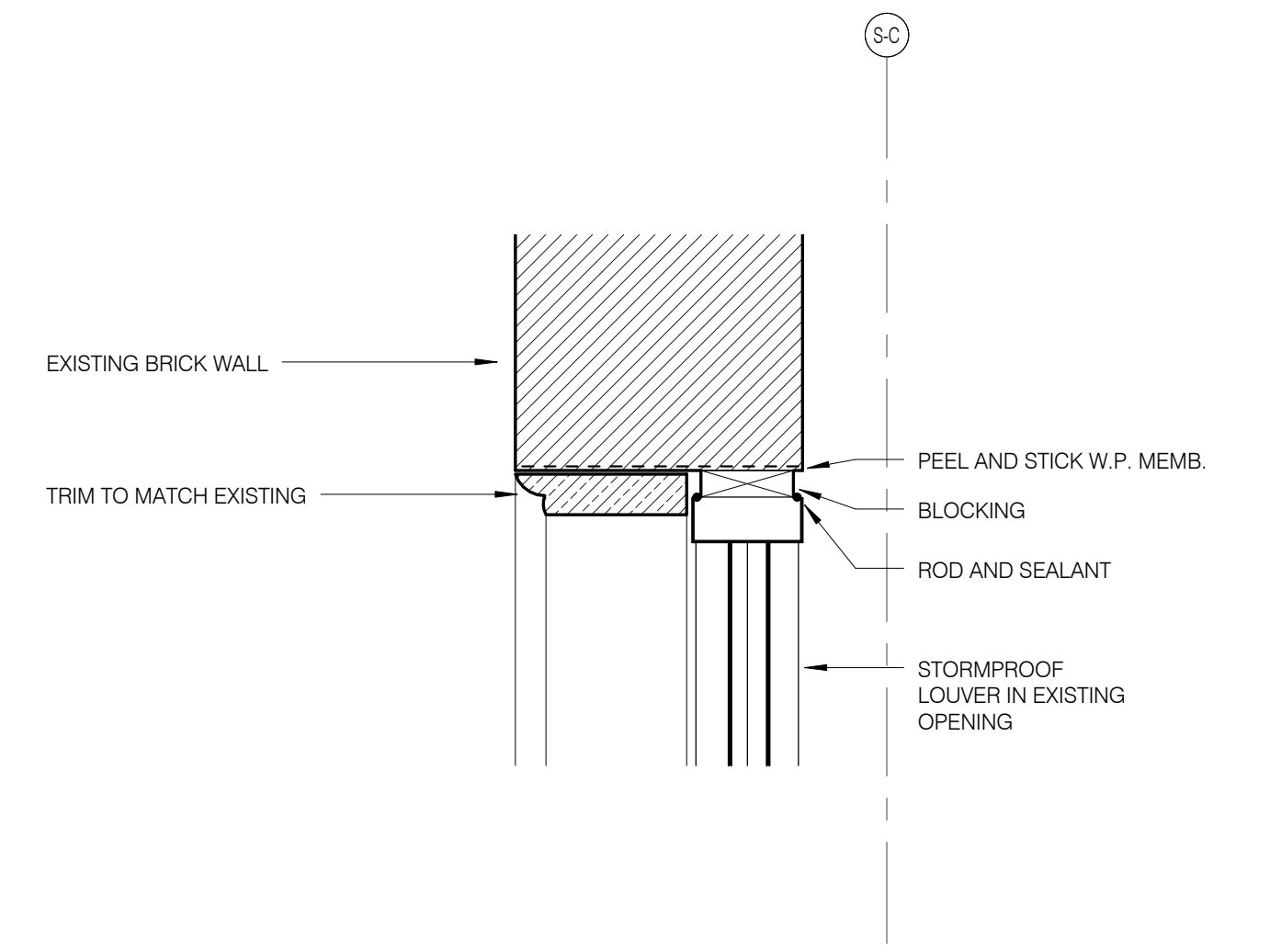
111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



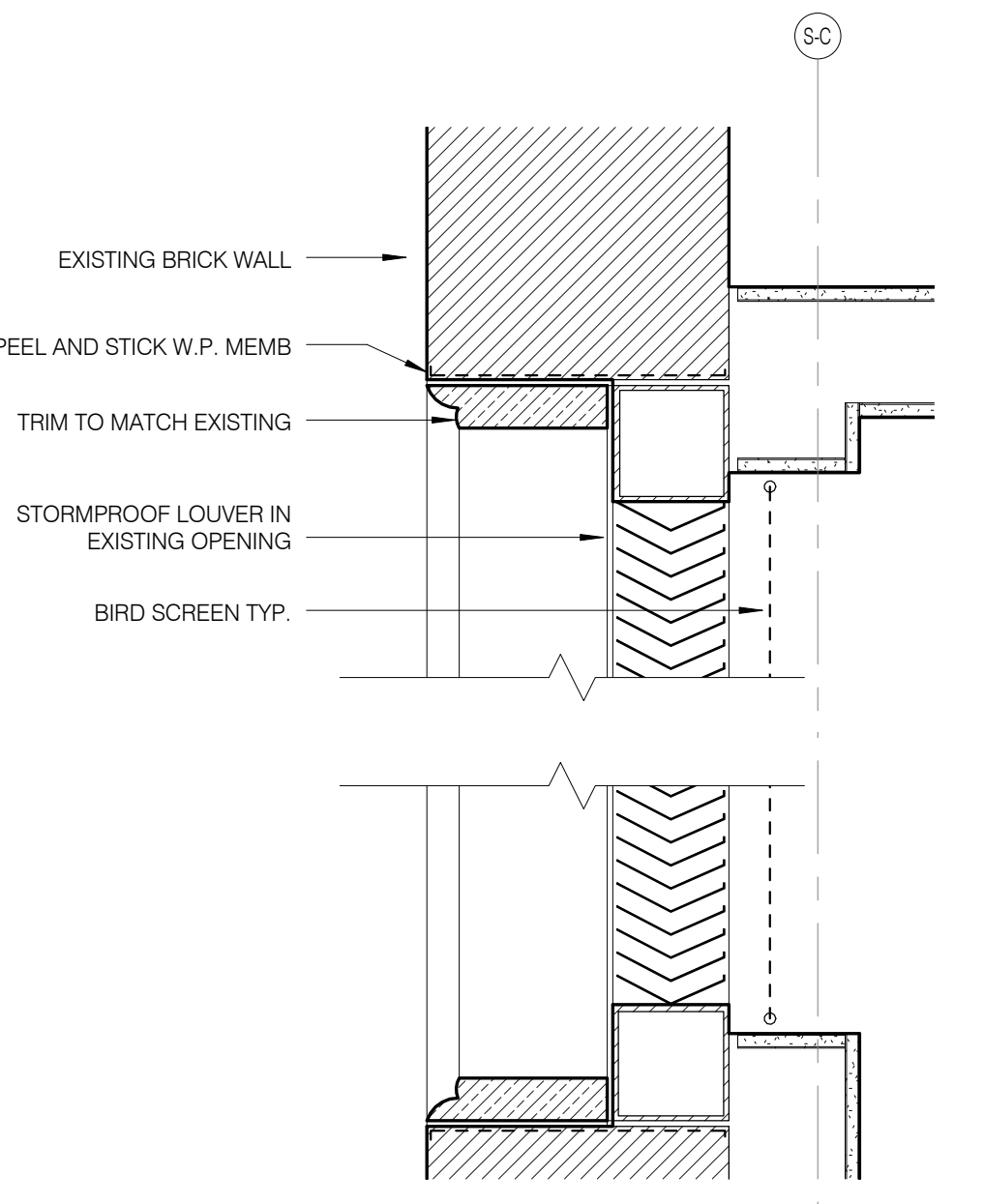
NOTE:
ALL LOUVERS TO INCORPORATE BLACK STAINLESS STEEL BIRD MESH
ALL LOUVERS TO RECEIVE AN INSULATED BLANK OFF-PANEL
ALL OPEN AREAS IN LOUVER TO RECEIVE BLACK STAINLESS STEEL BIRD SCREEN

LOUVER SCHEDULE

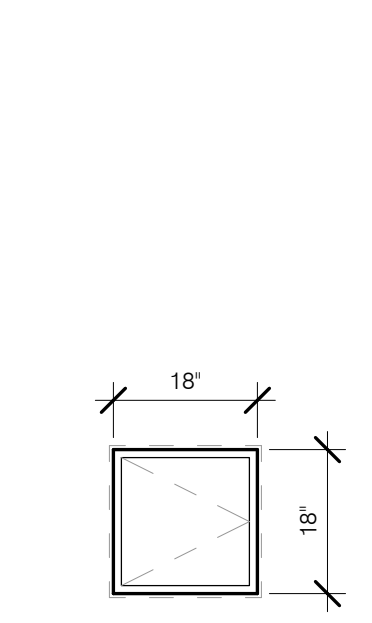
LEVEL	NO.	TYPE	FUNCTION	WIDTH	HEIGHT	AREA	% FREE	NET FREE AREA	LOCATION	NOTES
GROUND (63.1 MBD)	01A.1	LVR-4	INTAKE	0'-10"	1'-4"	1 SF	92%	1 SF	STEINWAY	2 SF NFA REQUIRED FOR 01A
GROUND (63.1 MBD)	01B.1	LVR-4	INTAKE	0'-10"	1'-4"	1 SF	92%	1 SF	STEINWAY	2 SF NFA REQUIRED FOR 01B
GROUND (63.1 MBD)	01C.1	LVR-4	INTAKE	0'-10"	1'-4"	1 SF	92%	1 SF	STEINWAY	2 SF NFA REQUIRED FOR 01C
GROUND (63.1 MBD)	01D	LVR-4	INTAKE	1'-8"	1'-4"	2 SF	92%	2 SF	STEINWAY	2 SF NFA REQUIRED FOR 01D
GROUND (63.1 MBD)	01E	LVR-4	INTAKE	1'-8"	1'-4"	2 SF	92%	2 SF	STEINWAY	2 SF NFA REQUIRED FOR 01E
GROUND (63.1 MBD)	01F	LVR-4	INTAKE	1'-8"	1'-4"	2 SF	92%	2 SF	STEINWAY	2 SF NFA REQUIRED FOR 01F
LEVEL 2	02A	LVR-4	INTAKE	1'-8"	1'-4"	2 SF	92%	2 SF	STEINWAY	2 SF NFA REQUIRED FOR 01G
LEVEL 2	02B	LVR-4	INTAKE	1'-8"	1'-4"	2 SF	92%	2 SF	STEINWAY	2 SF NFA REQUIRED FOR 01H
LEVEL 2	02C	LVR-4	INTAKE	1'-8"	1'-4"	2 SF	92%	2 SF	STEINWAY	2 SF NFA REQUIRED FOR 01I
LEVEL 2	02D	LVR-4	INTAKE	1'-8"	1'-4"	2 SF	92%	2 SF	STEINWAY	2 SF NFA REQUIRED FOR 01K
LEVEL 2	02E	LVR-4	INTAKE	1'-8"	1'-4"	2 SF	92%	2 SF	STEINWAY	2 SF NFA REQUIRED FOR 01L
LEVEL 2	02F	LVR-1A	INTAKE	3'-10"	6'-3 3/4"	24 SF	60%	14 SF	STEINWAY	10 SF NFA REQUIRED FOR 02A
LEVEL 6	06A.1	LVR-1A	INTAKE	12'-8"	8'-9 3/4"	111 SF	60%	67 SF	STEINWAY	165 SF NFA REQUIRED FOR 06A
LEVEL 6	06A.2	LVR-1A	INTAKE	9'-6"	8'-9 3/4"	84 SF	60%	50 SF	STEINWAY	
LEVEL 6	06A.3	LVR-1A	INTAKE	9'-6"	8'-9 3/4"	84 SF	60%	50 SF	STEINWAY	
LEVEL 6	06B	LVR-2	EXHAUST	19'-3"	9'-8 1/4"	186 SF	95%	177 SF	STEINWAY	172 SF NFA REQUIRED FOR 06B
LEVEL 8	08A.1	LVR-1A	INTAKE	3'-10"	8'-8 3/4"	33 SF	60%	20 SF	STEINWAY	40 SF NFA REQUIRED FOR 08A
LEVEL 8	08A.2	LVR-1A	INTAKE	3'-10"	8'-8 3/4"	33 SF	60%	20 SF	STEINWAY	
LEVEL 15	15A.1	LVR-1A	INTAKE	3'-10"	6'-3 3/4"	24 SF	60%	14 SF	STEINWAY	25 SF NFA REQUIRED FOR 15A
LEVEL 15	15A.2	LVR-1A	INTAKE	3'-10"	6'-3 3/4"	24 SF	60%	14 SF	STEINWAY	
LEVEL 15	15B.1	LVR-1B	EXHAUST	1'-9"	15'-5 3/4"	27 SF	60%	16 SF	TOWER	46 SF NFA REQUIRED FOR 15B
LEVEL 15	15B.2	LVR-1B	EXHAUST	1'-9"	15'-5 3/4"	27 SF	60%	16 SF	TOWER	
LEVEL 15	15B.3	LVR-1B	EXHAUST	1'-9"	15'-5 3/4"	27 SF	60%	16 SF	TOWER	
LEVEL 15	15C	LVR-1C	VENT	3'-0"	7'-6"	23 SF	60%	14 SF	STEINWAY	13 SF NFA REQUIRED FOR 15C
LEVEL 16.0	16A	LVR-1C	VENT	10'-9"	3'-9"	40 SF	60%	24 SF	STEINWAY	18 SF NFA REQUIRED FOR 16A
LEVEL 16.0	16B	LVR-3B	VENT	3'-6"	4'-0"	14 SF	95%	13 SF	STEINWAY	13 SF NFA REQUIRED FOR 16B
LEVEL 16.1	16C.1	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	96 SF NFA REQUIRED FOR 16C + 17B + 18A
LEVEL 16.1	16C.2	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 16.1	16C.3	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 17.1	17A	LVR-1B	INTAKE	6'-4 1/2"	26'-4 3/4"	168 SF	60%	101 SF	TOWER	96 SF NFA REQUIRED FOR 17A
LEVEL 17.1	17B.1	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 17.1	17B.2	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 17.1	17B.3	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 18	18A.1	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 18	18A.2	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 18	18A.3	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 18	18B	LVR-5	VENT	3'-0"	3'-0"	5 SF	60%	3 SF	STEINWAY	3 SF NFA REQUIRED FOR 18B
LEVEL 18	18C	LVR-5	VENT	3'-0"	3'-0"	5 SF	60%	3 SF	STEINWAY	3 SF NFA REQUIRED FOR 18C
LEVEL 34	34A.1	LVR-1B	INTAKE	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	25 SF NFA REQUIRED FOR 34A + 35A
LEVEL 34	34A.2	LVR-1B	INTAKE	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 35	35A	LVR-1B	INTAKE	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 35	35B.1	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	21 SF NFA REQUIRED FOR 35B
LEVEL 35	35B.2	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 56	56A.1	LVR-1B	INTAKE	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	25 SF NFA REQUIRED FOR 56A + 57A
LEVEL 56	56A.2	LVR-1B	INTAKE	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 57	57A	LVR-1B	INTAKE	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 57	57B.1	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	25 SF NFA REQUIRED FOR 57B
LEVEL 57	57B.2	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 57	57B.3	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 78	78A.1	LVR-1B	INTAKE	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	25 SF NFA REQUIRED FOR 78A
LEVEL 78	78A.2	LVR-1B	INTAKE	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 78	78A.3	LVR-1B	INTAKE	1'-4 1/2"	10'-10 3/4"	15 SF	60%	9 SF	TOWER	
LEVEL 80	80A	LVR-3A	EXHAUST	3'-10"	8'-1"	31 SF	95%	29 SF	TOWER	25 SF NFA REQUIRED FOR 80A
LEVEL 80	80B	LVR-1C	VENT	2'-0"	3'-3 3/4"	7 SF	60%	4 SF	TOWER	3 SF NFA REQUIRED FOR 80B
LEVEL 80	80C	LVR-1C	VENT	2'-0"	3'-3 3/4"	7 SF	60%	4 SF	TOWER	3 SF NFA REQUIRED FOR 80C
LEVEL 81	81A	LVR-3A	INTAKE	5'-0"	4'-0"	20 SF	50%	10 SF	TOWER	10 SF NFA REQUIRED FOR 81A
LEVEL 82	82A.1	LVR-1C	VENT	2'-2 1/2"	10'-10 3/4"	24 SF	60%	14 SF	TOWER	20 SF NFA REQUIRED FOR 82A
LEVEL 82	82A.2	LVR-1C	VENT	2'-2 1/2"	10'-10 3/4"	24 SF	60%	14 SF	TOWER	
LEVEL 82	82B.1	LVR-1C	VENT	1'-2"	10'-10 3/4"	13 SF	60%	8 SF	TOWER	20 SF NFA REQUIRED FOR 82B
LEVEL 82	82B.2	LVR-1C	VENT	1'-2"	10'-10 3/4"	13 SF	60%	8 SF	TOWER	
LEVEL 82	82B.3	LVR-1C	VENT	1'-2"	10'-10 3/4"	13 SF	60%	8 SF	TOWER	
LEVEL 82	82B.4	LVR-1C	VENT	1'-2"	10'-10 3/4"	13 SF	60%	8 SF	TOWER	
Grand total:	65					1562 SF				



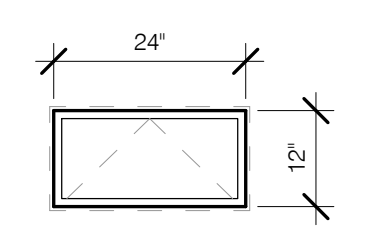
STEINWAY LOUVER DETAIL - HEAD 1 1/2" = 1'-0" 3 A-082.01



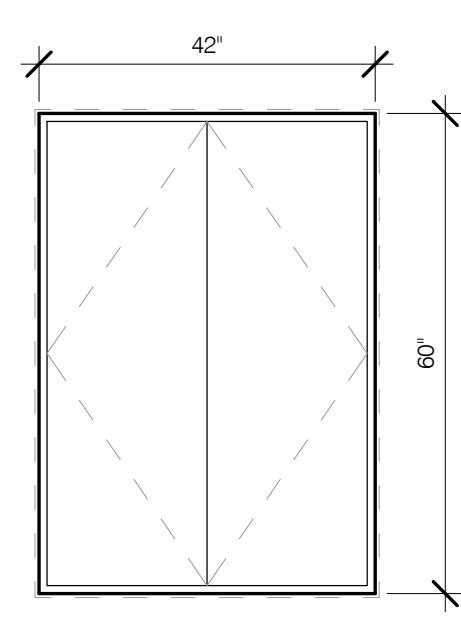
STEINWAY LOUVER DETAIL - JAMB 1 1/2" = 1'-0" 2 A-082.01



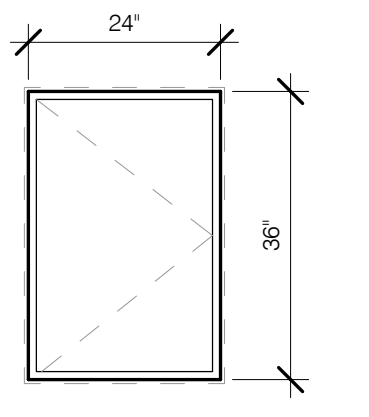
1A 18x18 GYP HORIZONTAL NR RESIDENTIAL UNIT CEILING



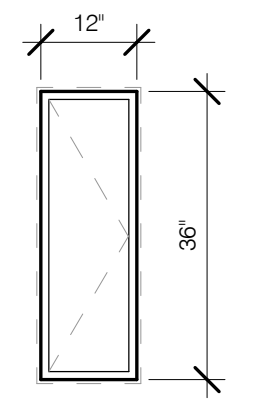
1B 12x36 GYP HORIZONTAL NR STEINWAY RESIDENTIAL UNIT CEILING



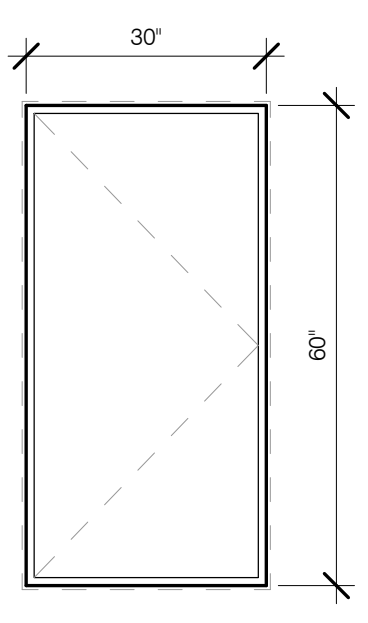
1C 42x60 GYP VERTICAL 1 1/2 HR RATED STEINWAY CORRIDOR



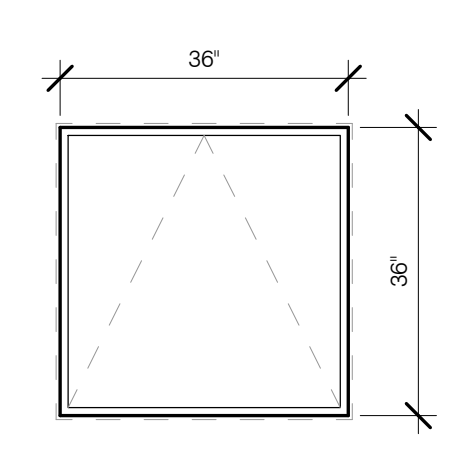
1D 24x36 GYP VERTICAL 1 1/2 HR RATED PUMP FEEDER



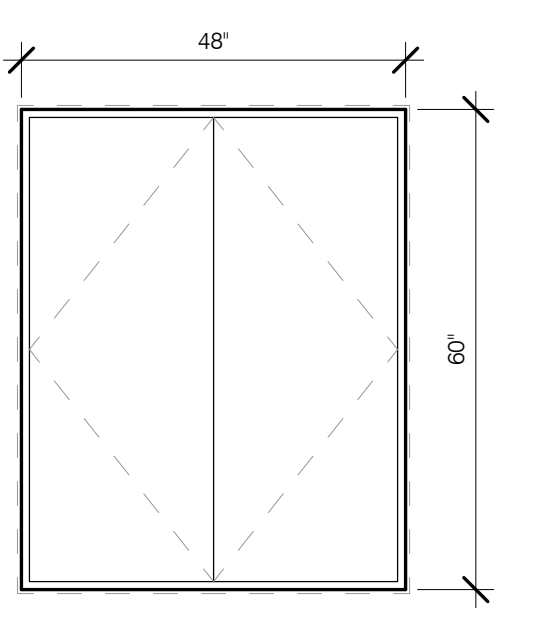
1E 12x36 GYP VERTICAL 1 1/2 HR RATED PUMP FEEDER



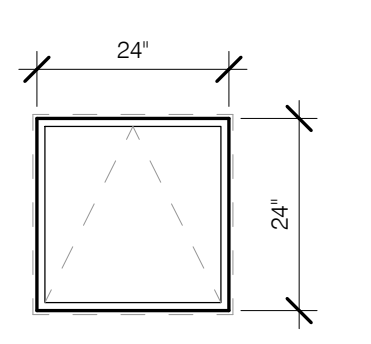
1F 30x60 GYP VERTICAL NR GASKETED VERTICAL FCU CLOSET



2C 36x36 PAINTED METAL VERTICAL 1 1/2 HR RATED TRASH ROOM



2D 60x48 PAINTED METAL VERTICAL DOUBLE DOOR RISE UNDER FIRE COURT

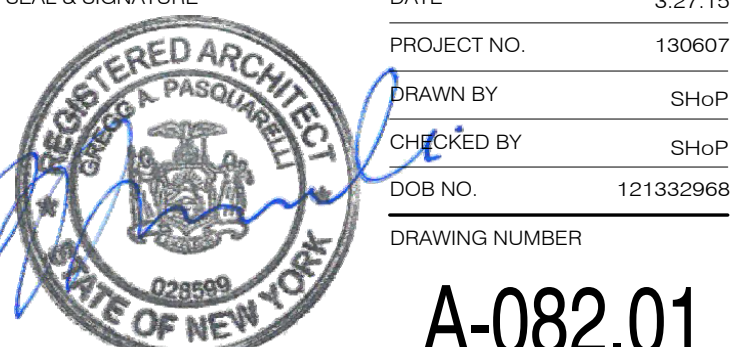


4A 24x24 STAINLESS STEEL VERTICAL 1 1/2 HR RATED TRASH CHUTE

NO.	DATE	REVISION
1	3/27/15	DOB PAA

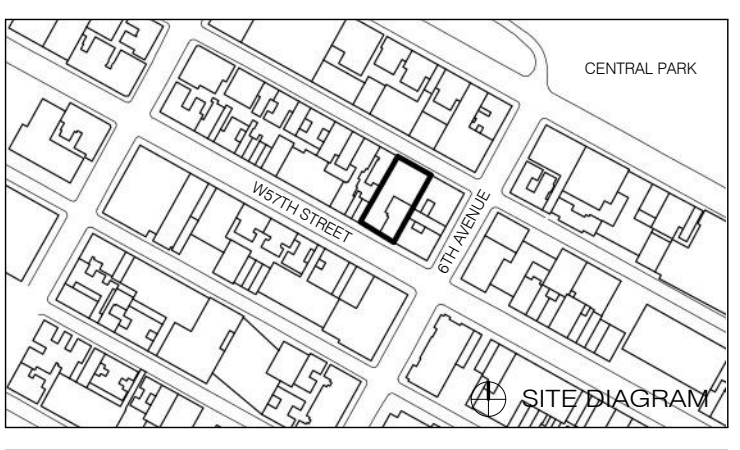
ACCESS PANEL TYPES, LOUVER SCHEDULE AND DETAILS

SEAL SIGNATURE	DATE	3/27/15
PROJECT NO.	139007	
DRAWN BY	SHUP	
CHECKED BY	SHUP	
DOB NO.	121332968	
DRAWING NUMBER		



INT. DOOR SCHEDULE - 01												
wmt	WD	HT	DOOR TYPE	FRAME TYPE	RATING	E.C.	HW SET	OPERA TION	NOTES			
SUB-CELLAR												
-0201	6'-0"	7'-0"	AA1	HM-A	1 1/2 HR	170	STD	ICR				
-0202	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR				
-0203	3'-0"	7'-0"	A1	HM-A	1 HR	170	STD	ICR	STAIR D - 90-MINUTE SELF-CLOSING			
-0204	3'-0"	7'-0"	A1	HM-A	1 HR	170	STD	ICR	STAIR C - 90-MINUTE SELF-CLOSING			
-0230	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR	STAIR D - 90-MINUTE SELF-CLOSING			
-0240	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR	STAIR A - 90-MINUTE SELF-CLOSING			
CELLAR												
-0100.B	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR				
-0101.A	3'-0"	7'-0"	A1	HM-A	NR	170	STD	K				
-0101.B	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K				
-0101.C	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR				
-0102.A	6'-0"	7'-0"	AA1	HM-A	1 1/2 HR	170	STD	ICR				
-0102.B	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR				
-0102.C	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR				
-0103	6'-0"	7'-0"	AA1	HM-A	1 1/2 HR	170	STD	ICR				
-0103.A	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR				
-0103.B	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K				
-0103.B1	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR				
-0103.B2	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K				
-0103.B3	6'-0"	7'-0"	AA1	HM-A	1 1/2 HR	170	STD	ICR				
-0103.B4	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR				
-0103.C	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR				
-0103.D	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR				
-0103.G	6'-0"	7'-0"	AA1	HM-A	1 1/2 HR	170	STD	ICR				
-0104	6'-0"	7'-0"	AA1	HM-A	1 1/2 HR	170	STD	ICR				
-0104.A	5'-0"	7'-0"	A1	HM-A	1 1/2 HR	140	STD	ICR				
-0104.B	3'-0"	7'-0"	A1	HM-A	3 HR	170	STD	K				
-0104.C	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K				
-0105.A	6'-0"	7'-0"	AA1	HM-A	1 1/2 HR	170	STD	ICR				
-0105.B	6'-0"	7'-0"	AA1	HM-A	1 1/2 HR	170	STD	PSG	DOOR WITH LATCH ONLY / NO LOCKING HDWE			
-0106.A	3'-0"	7'-0"	AA1	HM-A	1 1/2 HR	170	STD	ICR				
-0106.B	3'-0"	7'-0"	A1	HM-A	3/4 HR	170	STD	PSG				
-0106.C	3'-0"	7'-0"	A1	HM-A	3/4 HR	170	STD	PSG				
-0107	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K				
-0108.B	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR				
-0110	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR	STAIR C - 90-MINUTE SELF-CLOSING			
-0113	6'-0"	7'-0"	AA1	HM-A	NR	170	STD	PSG	NO LOCKING MECHANISM			
-0114	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR	STAIR D - 90-MINUTE SELF-CLOSING			
-0115	6'-0"	7'-0"	AA1	HM-A	1 1/2 HR	170	STD	PSG	DOOR WITH LATCH ONLY / NO LOCKING HDWE			
-0121	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR	STAIR D - 90-MINUTE SELF-CLOSING			
-0130	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K				
-0131	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K				
-0132	5'-0"	7'-0"	A1	HM-A	1 1/2 HR	140	STD	ICR				
GROUND (B3.1 MBD)												
-0100.C	3'-0"	7'-0"	D5	BR-C	1 1/2 HR	170	CUSTOM	PSG				
-0100.D	6'-0"	8'-6"	BB2	WD-A	NR	170	CUSTOM	PSG				
-0100.E	6'-0"	8'-6"	BB2	WD-A	NR	170	CUSTOM	PSG				
0103.A	3'-0"	7'-0"	B2	WD-A	1 1/2 HR	170	CUSTOM	ICR				
0103.B	3'-0"	7'-0"	A1	HM-A	NR	170	STD	PSG				
0103.E	28'-11"	15'-0"	F5	F3	1 1/2 HR				OVERHEAD COILING DOOR - INTEGRATE OPERATION w/ DECORATIVE GATE			
0107.A	3'-0"	7'-0"	B2	WD-A	NR	170	CUSTOM	ICR				
0107.B	3'-0"	7'-0"	B2	WD-A	NR	170	CUSTOM	ICR				
0108.C	3'-0"	7'-0"	D5	BR-C	1 1/2 HR	170	CUSTOM	PSG				
0109	3'-0"	7'-0"	B2	WD-A	NR	170	CUSTOM	K				
0110	3'-0"	7'-0"	B2	WD-A	NR	170	CUSTOM	PSG				
0113.A	3'-0"	6'-8"	A1	HM-A	1 1/2 HR	170	STD	ICR				
0115	6'-0"	7'-0"	BB2	WD-A	1 1/2 HR	170	STD	ICR				
0118.A	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	PANIC				
0118.B	3'-0"	6'-8"	A1	HM-A	1 1/2 HR	170	CUSTOM	ICR				
0121	6'-0"	7'-0"	DD2	BR-A	1 1/2 HR	170	CUSTOM	PSG	CUSTOM BRONZE/GLASS DOOR			
0122.A	7'-0"	11'-6"	DD2	SEE CW	NR	400	CUSTOM	ELEC	BALANCED DOOR w/ OPENER			
0122.B	7'-0"	11'-6"	DD2	SEE CW	NR	400	CUSTOM	ELEC	BALANCED DOOR w/ OPENER			
0124	3'-0"	6'-8"	A1	HM-A	1 1/2 HR	170	STD	PANIC				
0130.A	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K				
0131	3'-0"	7'-0"	B2	WD-A	1 1/2 HR	170	CUSTOM	K				
0133	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K				
0140	3'-0"	7'-0"	B1	WD-A	1 1/2 HR	170	CUSTOM	ICR	STAIR A - 90-MINUTE SELF-CLOSING			
0140.A	3'-11 1/2"	11'-11"	D3	F4A	1 1/2 HR	220	CUSTOM	PANIC	CUSTOM BRONZE EXTERIOR DOOR			
0140.B	3'-0"	7'-0"	A1	HM-A	1 HR	170	STD	ICR				
0150	3'-0"	7'-0"	B2	WD-A	1 1/2 HR	170	CUSTOM	ICR	STAIR B - 90-MINUTE SELF-CLOSING			
0160.A	3'-11 1/2"	14'-8"	D3	F4B	1 1/2 HR	170	CUSTOM	PANIC	CUSTOM BRONZE EXTERIOR DOOR			
0160.B	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR	STAIR D - 90-MINUTE w/ PANIC HARDWARE			
0190.B	4'-0"	10'-9 1/4"	D4	BR-B	1 1/2 HR	225	CUSTOM	ICR	CUSTOM BRONZE DOOR - REPLICA OF ORIG			
LEVEL 2												
0200.A	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR				
0200.C	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR				
0200.D	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR				
0203	3'-0"	6'-8"	A1	HM-A	1 1/2 HR	170	STD	ICR				
0204.A	6'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR				
0204.B	6'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR				
0220	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR	STAIR B - 90-MINUTE SELF-CLOSING			
0230	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K				
0231	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K				
0232	3'-0"	7'-0"	A1	HM-A	1 HR	170	STD	K				
0233	3'-0"	7'-0"	A1	HM-A	3/4 HR	170	STD	K				
LEVEL 3												
0310.A	3'-0"	7'-0"	ALUM CW	SEE CW	1 1/2 HR	170	STD	PANIC				
0320	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR	STAIR A - 90-MINUTE SELF-CLOSING			
0330	3'-0"	7'-0"	A1	HM-A	3/4 HR	170	STD	K				
0330	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K				
0331	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K				
0332	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K				
0340	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR	STAIR B - 90-MINUTE SELF-CLOSING			
0350	3'-0"	6'-8"	A1	HM-A	1 1/2 HR	170	STD	K				
LEVEL 4												
0401	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR				
0410	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR	STAIR A - 90-MINUTE SELF-CLOSING			
0420	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR	STAIR B - 90-MINUTE SELF-CLOSING			
0421	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR				
0422	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	PSG				
0430	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR				
0431	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR				
0450	3'-0"	6'-8"	A1	HM-A	1 1/2 HR	170	STD	K				
LEVEL 5												

INT. DOOR SCHEDULE - 01												
wmt	WD	HT	DOOR TYPE	FRAME TYPE	RATING	E.C.	HW SET	OPERA TION	NOTES			
0501.A	5'-4"	7'-0"	B2	WD-A	NR	150	CUSTOM	PSG				
0501.B	3'-0"	7'-0"	B2	WD-A	NR	170	CUSTOM	K				
0501.C	3'-0"	7'-0"	A1	HM-A	NR	170	STD	K				
0505.A	3'-0"	7'-0"	B2	WD-B	NR	170	CUSTOM	PRIV				
0505.B	3'-0"	7'-0"	B2	WD-A	1 1/2 HR	170	CUSTOM	ICR				
0505.C	3'-0"	7'-0"	B2	WD-A	1 1/2 HR	170	CUSTOM	ICR				
0505.D	3'-0"	7'-0"	B2	WD-A	NR	170	CUSTOM	PRIV				
0506.C2	3'-0"	7'-0"	B2	WD-A	NR	170	CUSTOM	PSG				
0506.D	3'-0"	7'-0"	B2	WD-A	NR	170	CUSTOM	PRIV				
0506.E	3'-0"	7'-0"	B2	WD-A	NR	170	CUSTOM	PRIV				
0507.A	3'-0"	7'-0"	B2	WD-B	NR	170	CUSTOM	K				
0507.B	3'-0"	7'-0"	B2	WD-BB	NR	170	CUSTOM	K				
0510	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR	STAIR A - 90-MINUTE SELF-CLOSING			
0512	3'-0"	7'-0"	B2	WD-C	1 1/2 HR	170	STD	K				
0513	3'-0"	7'-0"	A1	WD-C	1 1/2 HR	170	STD	PSG				
0514	3'-0"	7'-0"	B2	WD-C	1 1/2 HR	170	STD	ICR				
0520	3'-0"	7'-0"	B2	WD-C	1 1/2 HR	170	CUSTOM	ICR	STAIR B - 90-MINUTE SELF-CLOSING			
0521	3'-0"	7'-0"	A1	FL-A	1 1/2 HR	170	CUSTOM	ICR				
0530	3'-0"	7'-0"	B2	WD-C	1 1/2 HR	170	STD	K				
0531	3'-0"	7'-0"	B2	HM-A	1 1/2 HR	170	STD	K				
1500.C	3'-0"	7'-0"		NR	170							
LEVEL 6												
0600.A	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR				
0600.B	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR				
0601	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR				
0601.B	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR				
0602	3'-0"	7'-0"	A1									



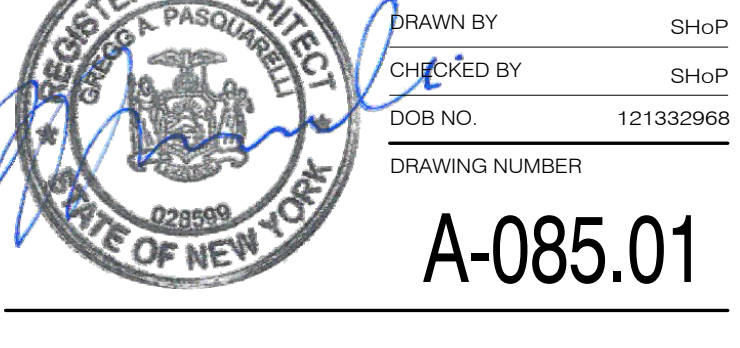
1	3.27.15	DOB PAA
	5.1.14	DOB PLUMB SET

NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS, P.C. ALL RIGHTS RESERVED.

DRAWING TITLE
EXTERIOR DOOR SCHEDULE 03

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130607	
DRAWN BY	SHAP	
CHECKED BY	SHAP	
DOB NO.	121332968	
DRAWING NUMBER		



DOOR SCHEDULE - EXTERIOR											
NUMBER	WD	HT	DOOR TYPE	FRAME TYPE	RATING	E.C.	HW SET	OPERATION	NOTES		
GROUND (63.1' MBD)											
0100.C	3'-0"	7'-0"	D5	BR-C	1 1/2 HR	170		PSG			
0108.C	3'-0"	7'-0"	D5	BR-C	1 1/2 HR	170		PSG			
0113.A	3'-0"	6'-8"	A1	HM-A	1 1/2 HR	170		ICR			
0115	6'-0"	7'-0"	BB2	HM-A	1 1/2 HR	170		ICR			
0118.B	3'-0"	6'-8"	A1	HM-A	1 1/2 HR	170		ICR			
0122.A	7'-0"	11'-6"	DD2	SEE CW	NR	400		ELEC	BALANCED DOOR W/ OPENER		
0122.B	7'-0"	11'-6"	DD2	SEE CW	NR	400		ELEC	BALANCED DOOR W/ OPENER		
0140.A	3'-11 1/2"	11'-11"	D3	F4A	1 1/2 HR	220		PANIC	CUSTOM BRONZE EXTERIOR DOOR		
0160.A	3'-11 1/2"	14'-8 1/4"	D3	F4B	1 1/2 HR	170		PANIC	CUSTOM BRONZE EXTERIOR DOOR		
0190.B	4'-0"	10'-9 1/4"	D4	BR-B	1 1/2 HR	225		ICR	CUSTOM BRONZE DOOR - REPLICA OF ORIG		
LEVEL 4											
0400	4'-0"	9'-1 3/4"	C2-F	AL-A	NR	230					
LEVEL 7											
0703.A	4'-0"	9'-1 3/4"	C2	AL-A	NR	230					
0703.B	4'-0"	9'-1 3/4"	C2	AL-A	NR	230					
0703.C	4'-0"	9'-1 3/4"	C2	AL-A	NR	230					
0703.D	4'-0"	9'-1 3/4"	C2	AL-A	NR	230					
LEVEL 8											
0827	3'-7 1/4"	8'-7"	C1	CW	NR						
LEVEL 10											
1000.A	3'-0"	7'-0"	A1	HM-B	1 HR	170		ICR	SELF-CLOSING; WOOD FINISH OVERLAY PANEL TO MATCH ADJ.		
1002.A1	6'-4 3/4"	9'-10 1/2"	CC-F	AL-AA	NR						
1002.B1	6'-4 3/4"	9'-10 1/2"	CC-F	AL-AA	NR						
1010	3'-0"	7'-0"	A1	HM-B	1 1/2 HR	170		ICR	STAIR A - 90-MINUTE SELF-CLOSING		
LEVEL 11											
1110.A	3'-0"	7'-0"	A1	HM-B	1 1/2 HR	170		ICR	STAIR A - 90-MINUTE SELF-CLOSING		
1110.B	3'-0"	7'-0"	A1	HM-B	1 1/2 HR	170		ICR	SELF-CLOSING; WOOD FINISH OVERLAY PANEL TO MATCH ADJ.		
LEVEL 13											
1300.A	4'-0"	9'-1 1/2"	C2	AL-A	NR	230					
1301.A	4'-0"	9'-5 3/4"	C2	AL-A	NR	230					
1301.K	4'-0"	9'-5 3/4"	C2	AL-A	NR	230					
1302.A1	6'-6 1/2"	9'-10 1/2"	CC2	AL-A	NR						
1302.B1	6'-6 1/2"	9'-10 1/2"	CC2	AL-A	NR						
1302.C1	6'-6 1/2"	9'-10 1/2"	CC2	AL-A	NR						
1302.D1	6'-6 1/2"	9'-10 1/2"	CC2	AL-A	NR						
1310.A	3'-0"	7'-0"	A1	HM-B	1 1/2 HR	170		ICR	STAIR A - 90-MINUTE SELF-CLOSING		
1310.B	3'-0"	7'-0"	A1	HM-B	1 1/2 HR	170		ICR	SELF-CLOSING; WOOD FINISH OVERLAY PANEL TO MATCH ADJ.		
LEVEL 14											
1410.A	3'-0"	7'-0"	A1	HM-B	1 1/2 HR	170		ICR	STAIR A - 90-MINUTE SELF-CLOSING		
1410.B	3'-0"	7'-0"	A1	HM-B	1 1/2 HR	170		ICR	SELF-CLOSING; WOOD FINISH OVERLAY PANEL TO MATCH ADJ.		
LEVEL 16.0											
1601.A1	4'-9"	6'-11 1/2"	CC3	AL-B	NR	132.5					
1601.B1	4'-9"	6'-11 1/2"	CC3	AL-B	NR	132.5					
1601.C1	4'-9"	6'-11 1/2"	CC3	AL-B	NR	132.5					
1601.D1	4'-9"	6'-11 1/2"	CC3	AL-B	NR	132.5					
1601.E1	4'-9"	6'-11 1/2"	CC3	AL-B	NR	132.5					
1601.N	4'-4"	8'-1"	C2	AL-A	1 1/2 HR	250					
1601.P	4'-4"	8'-1"	C2	AL-A	1 1/2 HR	250					
1610	3'-0"	7'-0"	A1	HM-B	1 1/2 HR	170		ICR	STAIR A - 90 MINUTE SELF-CLOSING		
1610.A	3'-0"	7'-0"	A1	HM-B	1 1/2 HR	170		ICR	STAIR A - 90 MINUTE SELF-CLOSING		
1610.B	3'-0"	7'-0"	A1	HM-B	1 1/2 HR	170		ICR	STAIR A - 90 MINUTE SELF-CLOSING		
1690.A	3'-0"	7'-0"	A1	HM-B	NR	170		ICR			
LEVEL 17.0											
1700.A	3'-0"	7'-0"	A1	HM-B	NR	170		ICR	DECORATIVE PANEL TO MATCH ADJACENT		
1700.B	6'-7"	12'-11 1/4"	C2-F	AL-A	NR						
1785	3'-0"	7'-0"			1 1/2 HR	170					
LEVEL 45											
4501.A	3'-0"	7'-0"	A1	HM-B	3/4 HR	170		ICR	SELF-CLOSING		
4501.B	3'-0"	7'-0"	A1	HM-B	3/4 HR	170		ICR	SELF-CLOSING		
LEVEL 58											
5801.D	3'-0 3/4"	9'-7"	C1	CW	NR						
5801.G	3'-0 3/4"	9'-7"	C1	CW	NR						
LEVEL 65											
6501.A	3'-0"	7'-0"	A1	HM-B	3/4 HR	170		ICR	SELF-CLOSING		
6501.B	3'-0"	7'-0"	A1	HM-B	3/4 HR	170		ICR	SELF-CLOSING		
LEVEL 70											
7000.G	3'-0 3/4"	9'-7"	C1	CW	NR						
7000.H	3'-0 3/4"	9'-7"	C1	CW	NR						
LEVEL 74											
7401.C	3'-0 3/4"	9'-7"	C1	CW	NR						
LEVEL 77											
7701.A1	3'-1 3/4"	15'-1"	C1	CW	NR						
LEVEL 79											
7902.B	2'-0"	6'-8"	A1	HM-A	NR			K			
LEVEL 80											
8001	3'-0"	7'-0"	A1	HM-B	3/4 HR	170		ICR	SELF-CLOSING		
LEVEL 83											
8330	2'-0"	6'-8"	A1	HM-A	NR			ICR	CURTAINWALL		
8330.A	1'-9 1/2"	9'-7"	A1	CW	NR						
LEVEL 85/ ROOF											
8510	3'-0"	7'-0"	A1	HM-B	1 1/2 HR	170		ICR	STAIR A - 90-MINUTE SELF-CLOSING		
8520	3'-0"	7'-0"	A1	HM-B	1 1/2 HR	170		ICR	STAIR B - 90-MINUTE SELF-CLOSING		
8530	3'-0"	7'-0"	A1	HM-B	NR	170		ICR			
Level-1											
0100.A	7'-1"	13'-6"									
0100.B	7'-1"	13'-6"									
LOBBY											
0108.A	6'-0"	8'-6"	DD5	BR-C	NR	170		PSG			
0108.B	6'-0"	8'-6"	DD5	BR-C	NR	170		PSG			

NOTES:
1. SEE SPECIFICATION SECTION 080671 FOR HARDWARE TYPES.
2. EXIT CAPACITY BASED ON 2" PER OCCUPANT OF CLEAR OPENING WIDTH PER 1005.1



GENERAL NOTES

G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DIMENSIONS NOT INCLUDED IN SET.

G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.

G3 PROJECT D.O. = 03-1 MBD.

G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.

G5 REFER TO RESTORATION DRAWINGS (RP) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT THROUGHOUT.

G6 NON-PRESSURIZED EGRESS STAIR THROUGHOUT.

G7 ALL FLOOR ELEVATIONS IN STEINWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC RP'S DRAWINGS. V.F. ALL NEW SLAB IN STEINWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL UNO.

G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSING KEEPING PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.

G9 ALL ELEVATIONS ARE FROM TOP OF SLAB.

G10 LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.

G12 SEE DRAWING G-002 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.

G13 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD.

G14 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEHP/HANGING LOAD.

G15 ALL UNIT INTERIOR PASSAGE DOORS ARE 30" WIDE, 100".

KEY NOTES

F6 EXISTING FIRE ENCLOSURE.

F13 2 HR RATED SOFFIT.

N1 NEW FINISH FLOOR LEVEL TO MEET EXISTING STEINWAY FINISH FLOOR LEVEL. V.F.

N15 DOOR TO BE UNLOCKED AND PROVIDED WITH ALARM.

N16 PROVIDE TOPPING AT MAX 1:20 SLOPE BETWEEN RAIL FLOOR SLAB AND FINISHED STAIRS, ESCALATORS, AND EGRESS THRESHOLDS.

R2 EXISTING FOUNDATION WALL. V.F.

R4 EXISTING STAIRS IN STEINWAY TO REMAIN, FINISHES RESTORED PER RESTORATION DRAWINGS.

R5 EXISTING WALL TO REMAIN, TIED INTO NEW FOUNDATION. INTERIOR FLOORS REMOVED AND NEW FLOOR INSTALLED LEVEL WITH NEW RETAIL CELL LEVEL. SEE STRUCTURAL DRAWINGS.

R8 EXISTING STEINWAY FOUNDATION WALL. EXISTING ELEVATOR PIT V.F.

R10 EXISTING ELEVATOR PIT V.F.

S2 CIP CONCRETE TOWER STRUCTURE. SEE STRUCTURAL DRAWINGS.

S8 CIP CONCRETE TOWER SHEAR WALL THROUGH EXISTING BUILDING FOUNDATION. SEE STRUCTURAL DRAWINGS.

S10 ESCALATOR IN ENCLOSURE WITH FUTURE FIRE SHUTTER DOORS AT LOWER LEVEL. PROVIDE CHIMNEY ENCLOSURE AT CURRENT PHASE.

V1 NEW FREIGHT ELEVATOR IN EXISTING SHAFT, ELEVATOR DOOR SIZE INCREASED & NEW FRAME OPENING REBUILT TO MATCH EXISTING STONE PROFILE.

V3 EXISTING ELEVATOR SHAFT TO REMAIN. ELEVATORS AND ALL EQUIPMENT TO BE REPLACED WITHIN EXISTING ELEVATOR SHAFTWAY. SHAFT INTERIOR CONDITION TO BE VERIFIED AND REPAIRED/ALTERED AS REQUIRED.

V4 EXISTING ELEVATOR SHAFT CONVERTED TO MECHANICAL SHAFT.

V5 EXISTING ELEVATOR SHAFT WITH INFILL FLOOR FOR MEP CLOSETS.

SEE A-132.00

SEE A-133.00

SEE A-130.00

SEE A-131.00

SEE A-132.00

SEE A-133.00

SEE A-130.00

SEE A-131.00

SEE A-132.00

SEE A-133.00

SEE A-130.00

SEE A-131.00

SEE A-132.00

SEE A-133.00

SEE A-130.00

SEE A-131.00

SEE A-132.00

SEE A-133.00

SEE A-130.00

SEE A-131.00

SEE A-132.00

SEE A-133.00

SEE A-130.00

SEE A-131.00

SEE A-132.00

SEE A-133.00

SEE A-130.00

SEE A-131.00

SEE A-132.00

SEE A-133.00

SEE A-130.00

SEE A-131.00

SEE A-132.00

SEE A-133.00

SEE A-130.00

SEE A-131.00

SEE A-132.00

SEE A-133.00

SEE A-130.00

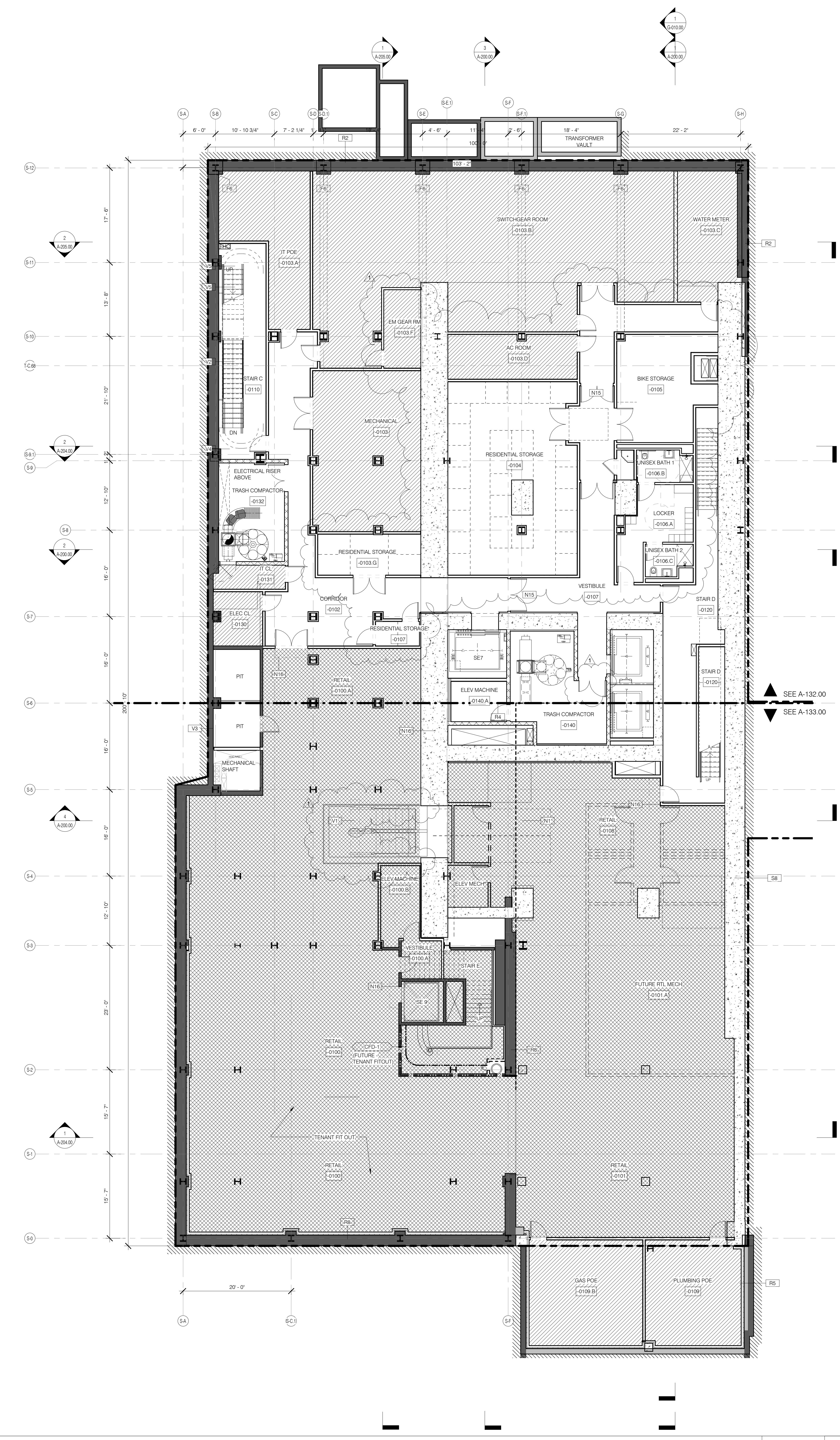
SEE A-131.00

SEE A-132.00

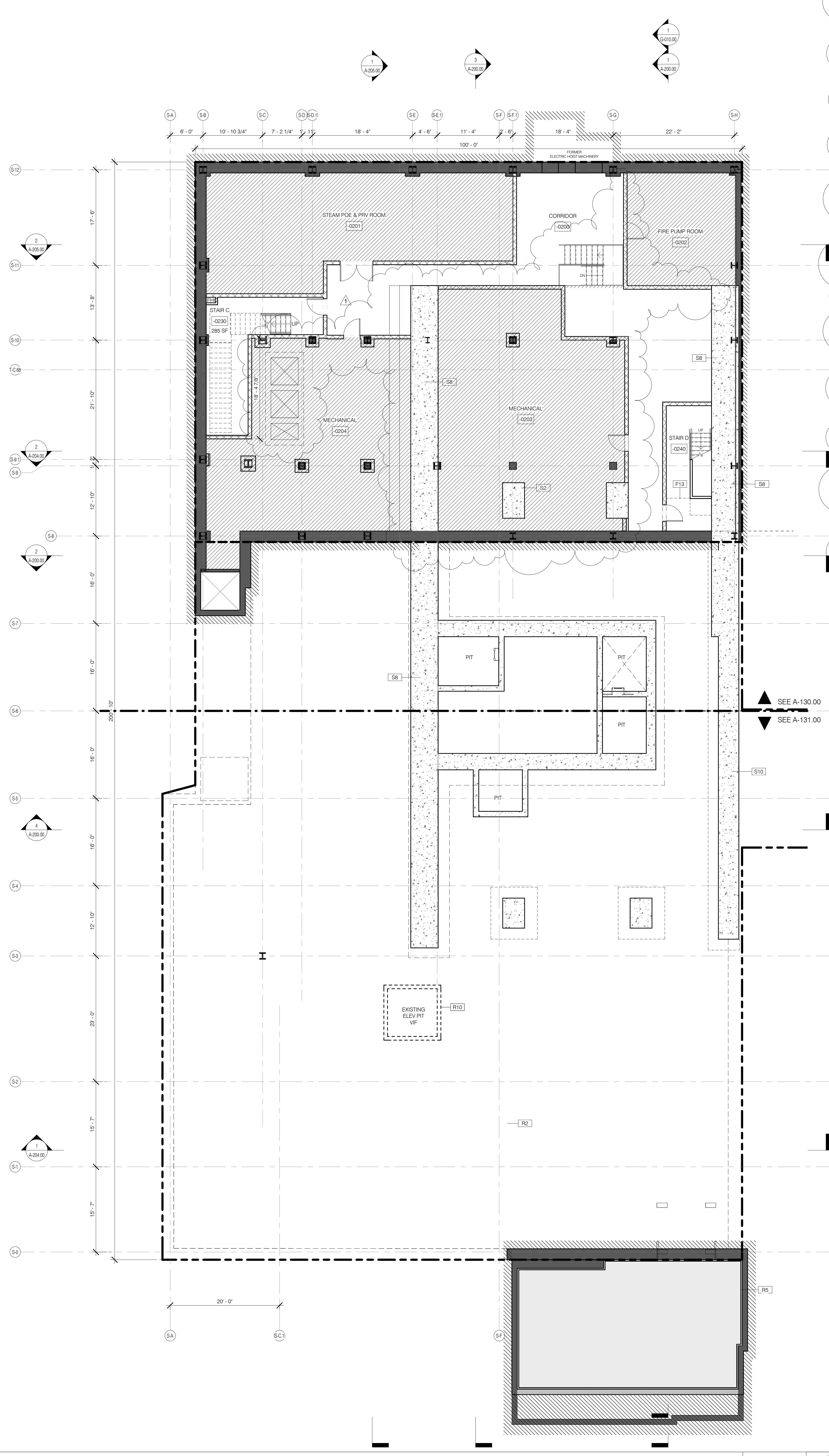
SEE A-133.00

SEE A-130.00

SEE A-131.00



CELLAR 1/8" = 1'-0" 2



SUB-CELLAR 1/8" = 1'-0" 1

LEGEND

- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- MECHANICAL
- RETAIL TENANT FITOUT
- INTERIOR LANDMARK NO CHANGE
- RISER SUPPORT. SEE MEP DRAWINGS

0 1 2 3 5

111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



NO.	DATE	REVISION
1	3.27.15	DOB PAA
2	5.1.14	DOB PLUMB SET

FLOOR KEY PLANS SUBCELLAR/CELLAR

SEAL & SIGNATURE DATE 3.27.15

PROJECT NO. 130007

DRAWN BY SHAP

CHECKED BY SHAP

DOB NO. 121330268

DRAWING NUMBER

A-100.01

MEP ENGINEER	FAÇADE
MEP ENGINEER SHAP ARCHITECTS, P.C. 230 W. 47th Street New York, NY 10019 Tel: 212.869.9336	FAÇADE SHAP ARCHITECTS, P.C. 230 W. 47th Street New York, NY 10019 Tel: 212.869.9336
MEP ENGINEER	RESTORATION
MEP ENGINEER SHAP ARCHITECTS, P.C. 230 W. 47th Street New York, NY 10019 Tel: 212.869.9336	RESTORATION JAN HED POKORNY ASSOCIATES 30 WEST 57th STREET 4TH FLOOR NEW YORK, NY 10019 Tel: 212.254.4444
MEP ENGINEER	MECHANICAL
MEP ENGINEER SHAP ARCHITECTS, P.C. 230 W. 47th Street New York, NY 10019 Tel: 212.869.9336	MECHANICAL JAN HED POKORNY ASSOCIATES 30 WEST 57th STREET 4TH FLOOR NEW YORK, NY 10019 Tel: 212.254.4444
MEP ENGINEER	LIGHTING
MEP ENGINEER SHAP ARCHITECTS, P.C. 230 W. 47th Street New York, NY 10019 Tel: 212.869.9336	LIGHTING CONSERVATIVE INTERNATIONAL 100 WALKER STREET 7TH FLOOR EAST NEW YORK, NY 10019 Tel: 212.254.4444



PROPERTY MARKETS GROUP
230 W. 47th Street
New York, NY 10019
Tel: 212.869.9336
CURRENT ISSUE

DOB PAA



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



NO.	DATE	REVISION
1	3.27.15	DOB PAA
2	5.1.14	DOB PLUMB SET

LEGEND

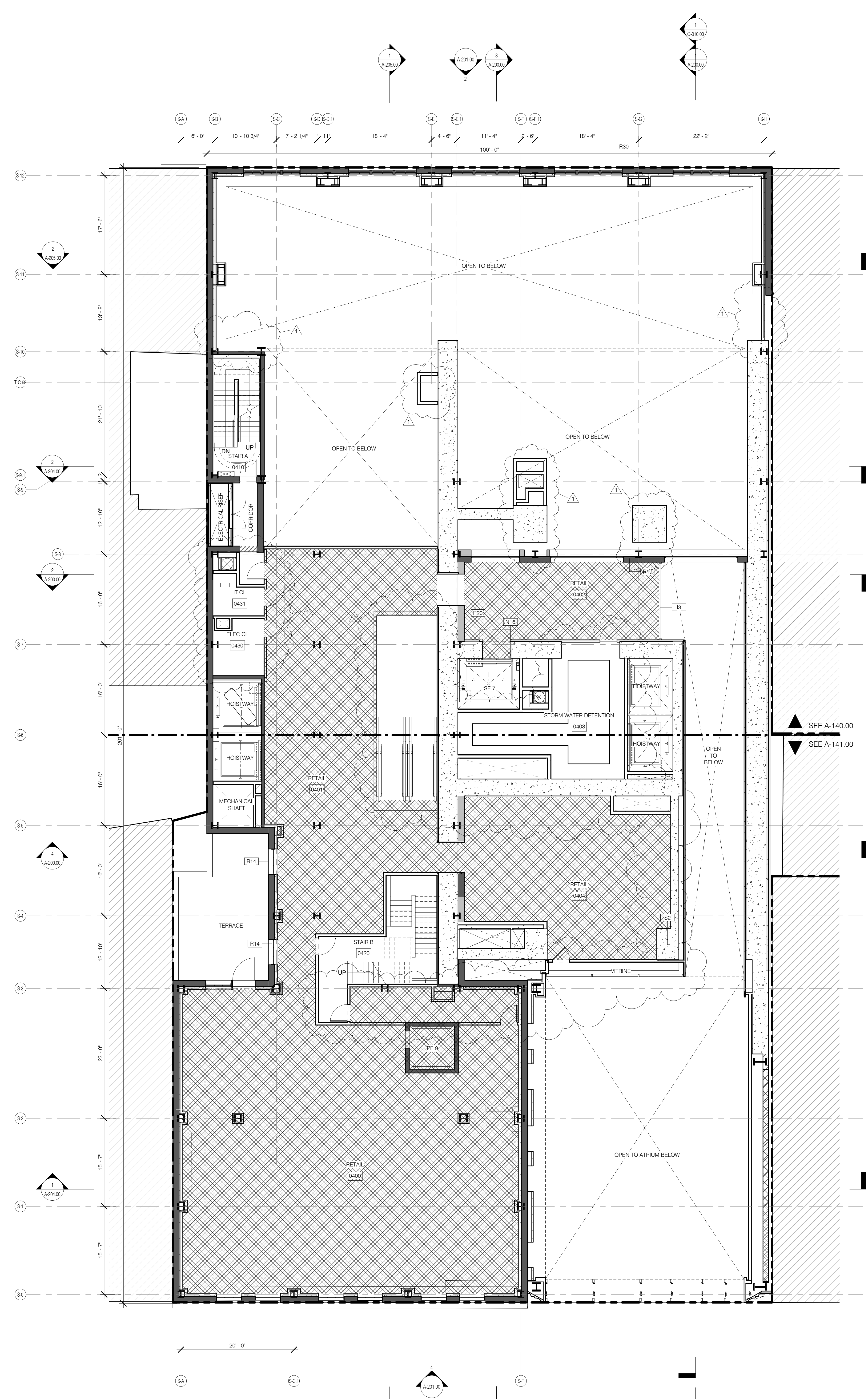
- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- MECHANICAL
- RETAIL TENANT FITOUT
- INTERIOR LANDMARK NO CHANGE
- RISER SUPPORT, SEE MEP DRAWINGS

DRAWING TITLE
FLOOR KEY PLANS LEVELS 3/4

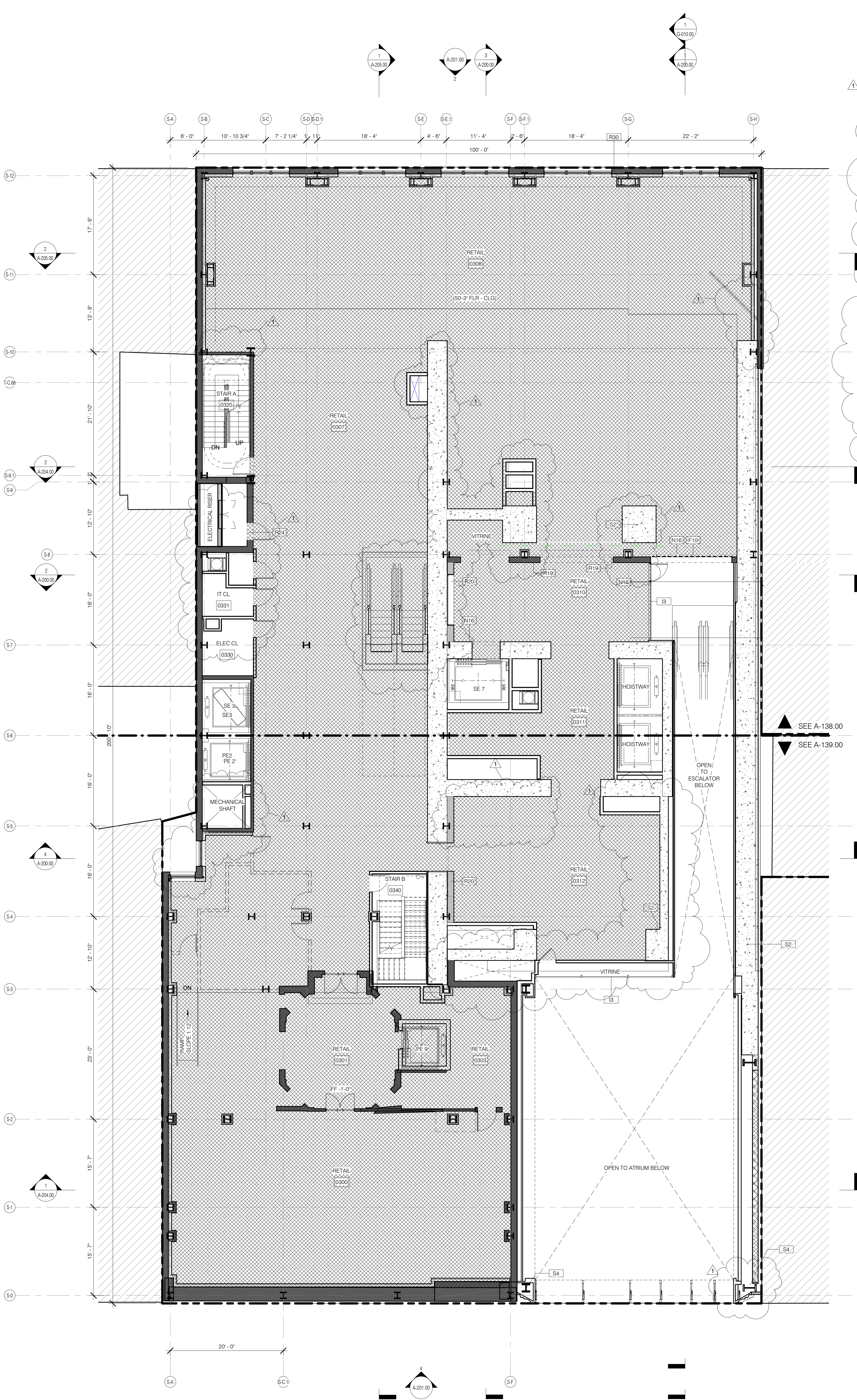
DATE: 3.27.15
PROJECT NO: 130007
DRAWN BY: SHAP
CHECKED BY: SHAP
DOB NO: 121332068
DRAWING NUMBER: **A-102.01**

- GENERAL NOTES
- ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. CALCULATION NOT INCLUDED IN SET.
 - INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
 - PROJECT DO = 63-1 MBD.
 - STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
 - REFER TO RESTORATION DRAWINGS (RP) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ASH HAZARDOUS MATERIALS RELATED TO IMPROVEMENT.
 - NON-PRESSURIZED EGRESS STAIR THROUGHOUT.
 - ALL FLOOR ELEVATIONS IN STEREWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER RESTORATION DRAWINGS. ALL NEW SLAB IN STEREWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL UNO.
 - SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOISTWAY AND PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
 - ALL ELEVATIONS ARE FROM TOP OF SLAB LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
 - SEE DRAWING G-002 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
 - ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD.
 - CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEHP/HANGING LOAD.
 - ALL UNIT INTERIOR PASSAGE DOORS ARE 30" WIDE UNO.

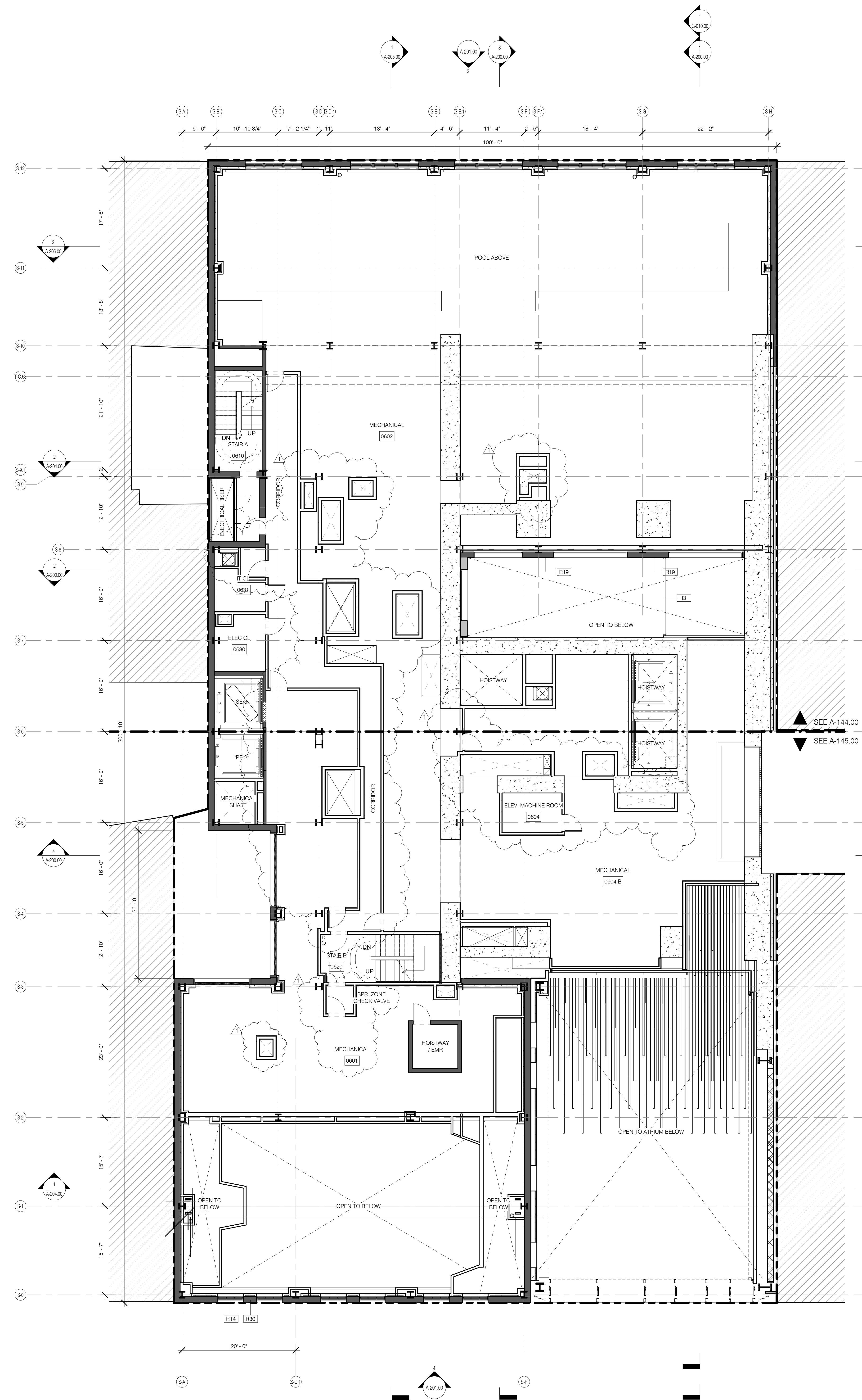
- KEY NOTES
- TERRAZZO PLASTERS. SEE A-301.00
 - VERTICAL COILING FIRE DOOR - 2-HR RATED CEILING AND WALL CONSTRUCTION ABOVE INTERIOR GLASS ATRIUM ENCLOSURE. 2-HR FIRE RATED WITH AUTOMATIC SPRINKLERS SPACED 4 FEET ON ROOM SIZE PER BC-404.5.1
 - PROVIDE TOPPING AT MAX 1.20 SL/DPE BETWEEN RAW FLOOR SLAB AND FINISHED STAIRS, ESCALATORS, AND EGRESS THRESHOLDS.
 - ALL EXISTING WINDOWS TO BE REPLACED TO MATCH ORIGINAL DESIGN INTENT. BUILT TO CURRENT CODE STANDARDS. SEE RESTORATION DRAWINGS AND DETAIL FAÇADE DRAWINGS.
 - EXISTING BRICK WALL TO REMAIN. RESTORED BRICK WALL TO MATCH EXISTING.
 - EXISTING FIRE COURT DOOR REPLACED WITH CIP CONCRETE TOWER STRUCTURE. SEE STRUCTURAL DRAWINGS.
 - STEEL ATRIUM STRUCTURE WITH CMU INFILL PARTY WALL.



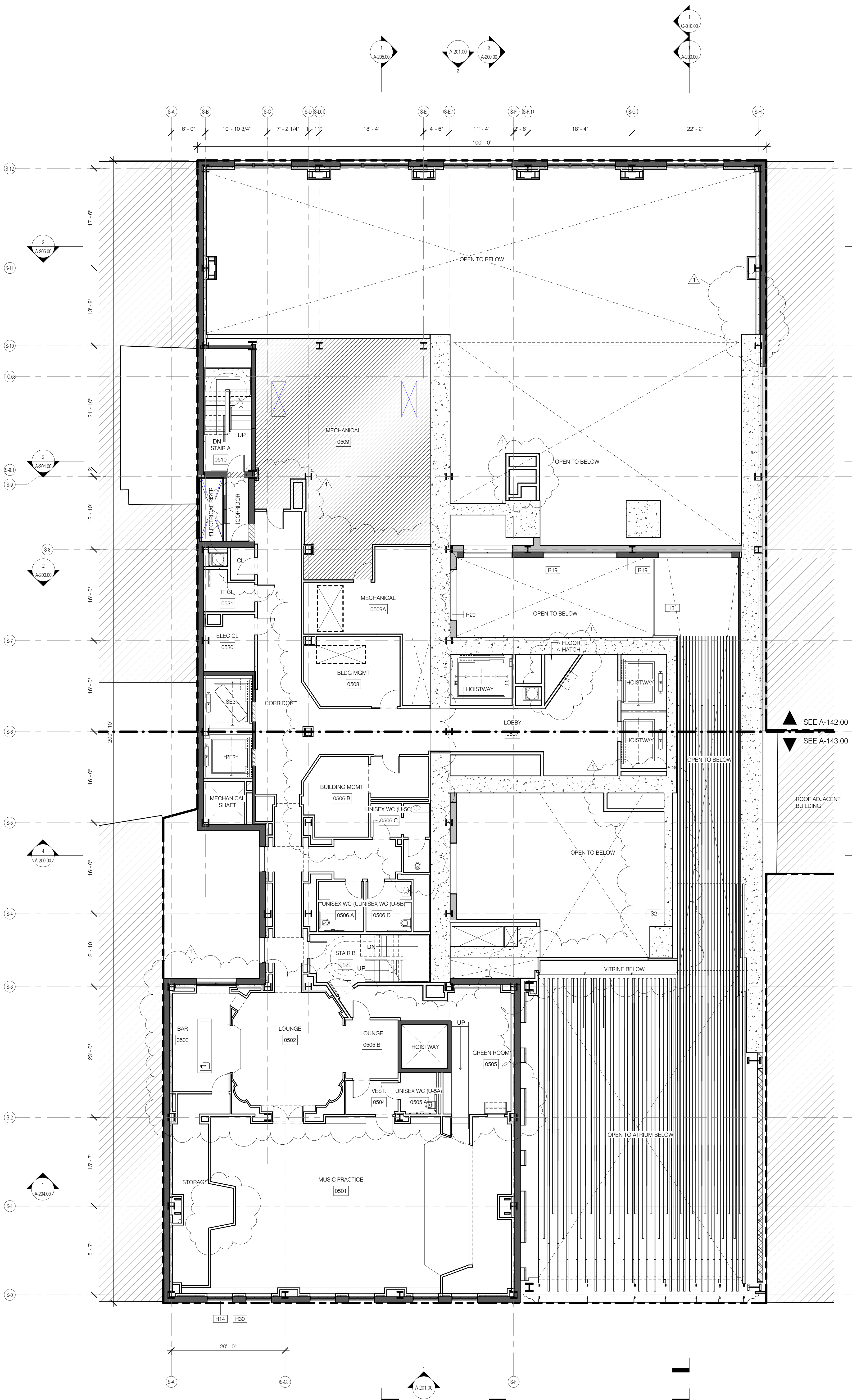
LEVEL 4 1/8" = 1'-0" 2 A-102.01



LEVEL 3 PLAN 1/8" = 1'-0" 1 A-102.01



LEVEL 6 1/8" = 1'-0" 2



LEVEL 5 1/8" = 1'-0" 1

GENERAL NOTES

G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. CONSULTATION NOT INCLUDED IN SET.

G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.

G3 PROJECT D.O. = 03-1-2020

G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.

G5 REFER TO RESTORATION DRAWINGS (R.P.) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO THE AGREEMENT.

G6 NON-PRESSURIZED EGRESS STAIR THROUGHOUT.

G7 ALL FLOOR ELEVATIONS IN STEREWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC RECORDS. IF ALL NEW SLAB IN STEREWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL, UNO.

G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOISTWAY AND PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.

G9 ALL ELEVATIONS ARE FROM TOP OF SLAB.

G10 LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.

G11 SEE DRAWING G-002 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.

G12 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD.

G13 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEP/HVAC HANGING LOAD.

G14 ALL UNIT INTERIOR PASSAGE DOORS ARE 30" WIDE, LIGN.

KEY NOTES

E1 TERRAZZO PLASTERS, SEE A-301.00

E2 INTERIOR GLASS ATRIUM ENCLOSURE, 2-HR FIRE RATED WITH AUTOMATIC SPRINKLING SPACED 6 FEET ON ROOM SIDE PER BC 604.5.1.

E3 ALL EXISTING WINDOWS TO BE REPLACED TO MATCH ORIGINAL DESIGN INTENT, BUILD TO CURRENT CODE STANDARDS. SEE RESTORATION DRAWINGS AND DETAIL FACADE DRAWINGS.

R19 EXISTING BRICK WALL TO REMAIN, RESTORED.

R20 BRICK WALL TO MATCH EXISTING.

R30 EXISTING LANDMARK FACADE TO BE RESTORED.

S2 CIP CONCRETE TOWER STRUCTURE. SEE STRUCTURAL DRAWINGS.

JDS DEVELOPMENT GROUP

111 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 646.432.3000

sh p

ARCHITECT: SHP ARCHITECTS, P.C.
233 BROADWAY, 11TH FLOOR
NEW YORK, NY 10007
TEL: 212.869.9336

STRUCTURAL ENGINEER: BUREAU VERITAS
233 EAST 47TH STREET
NEW YORK, NY 10017
TEL: 212.897.5886

MEP ENGINEER: JORDIS, BAHAM & BOLLES
40 WEST STREET, 12TH FLOOR
NEW YORK, NY 10006
TEL: 212.869.8775

CIVIL ENGINEER: AWP ENGINEERING, P.C.
40 WEST STREET, 17TH FLOOR
NEW YORK, NY 10006
TEL: 646.288.8828

ACOUSTIC: KONGMAN LINSEY
40 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 917.508.3300

INTERIORS: TUDOR SPAINFIELD
300 PARKWAY STREET
NEW YORK, NY 10003
TEL: 212.475.3000

FAÇADE: BUREAU VERITAS
100 BROADWAY
NEW YORK, NY 10005
TEL: 212.244.2025

VERTICAL TRANSPORTATION: VAN DEUSEN & ASSOCIATES
180 WEST STREET, SUITE 200
LAWRENCEVILLE, NJ 07046
TEL: 973.878.8775

RESTORATION: JAN HIRSH FOKORNY ASSOCIATES
80 WEST STREET, 11TH FLOOR
NEW YORK, NY 10006
TEL: 212.788.6482

GEOTECH: MICE
305 WEST 50TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 917.288.4000

LIGHTING: OBSERVATIONS INTERNATIONAL
100 WALL STREET, 7TH FLOOR EAST
NEW YORK, NY 10005
TEL: 212.255.4463



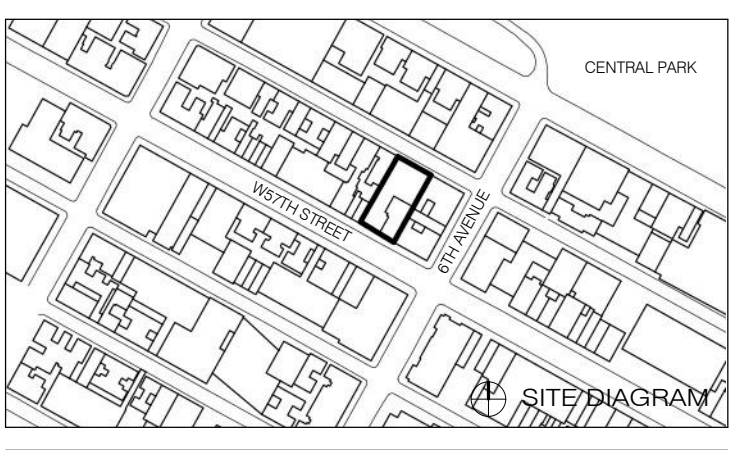
PROPERTY MARKETS GROUP
300 WEST STREET, 10TH FLOOR
NEW YORK, NY 10003
TEL: 212.899.9999

CURRENT ISSUE

DOB PAA

Shauqat Shaikh
Shauqat Shaikh
APPROVED
Under Directive 2 of 1975
DATE: 08/28/2015
NYC Development Hub

111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB PLUMB SET
NO.	DATE	REVISION
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR COPIED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF SHP ARCHITECTS, P.C. ALL RIGHTS RESERVED.		

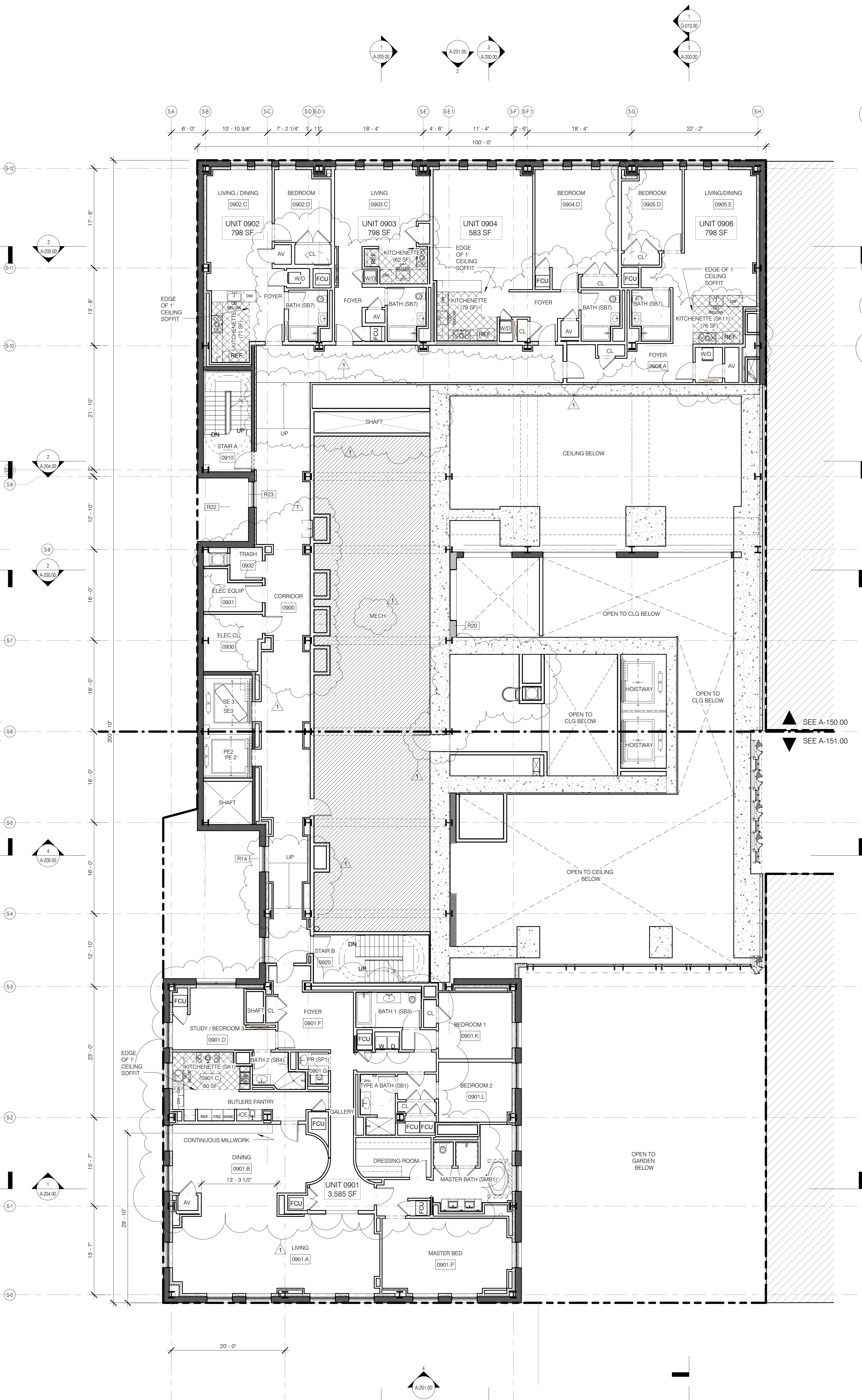
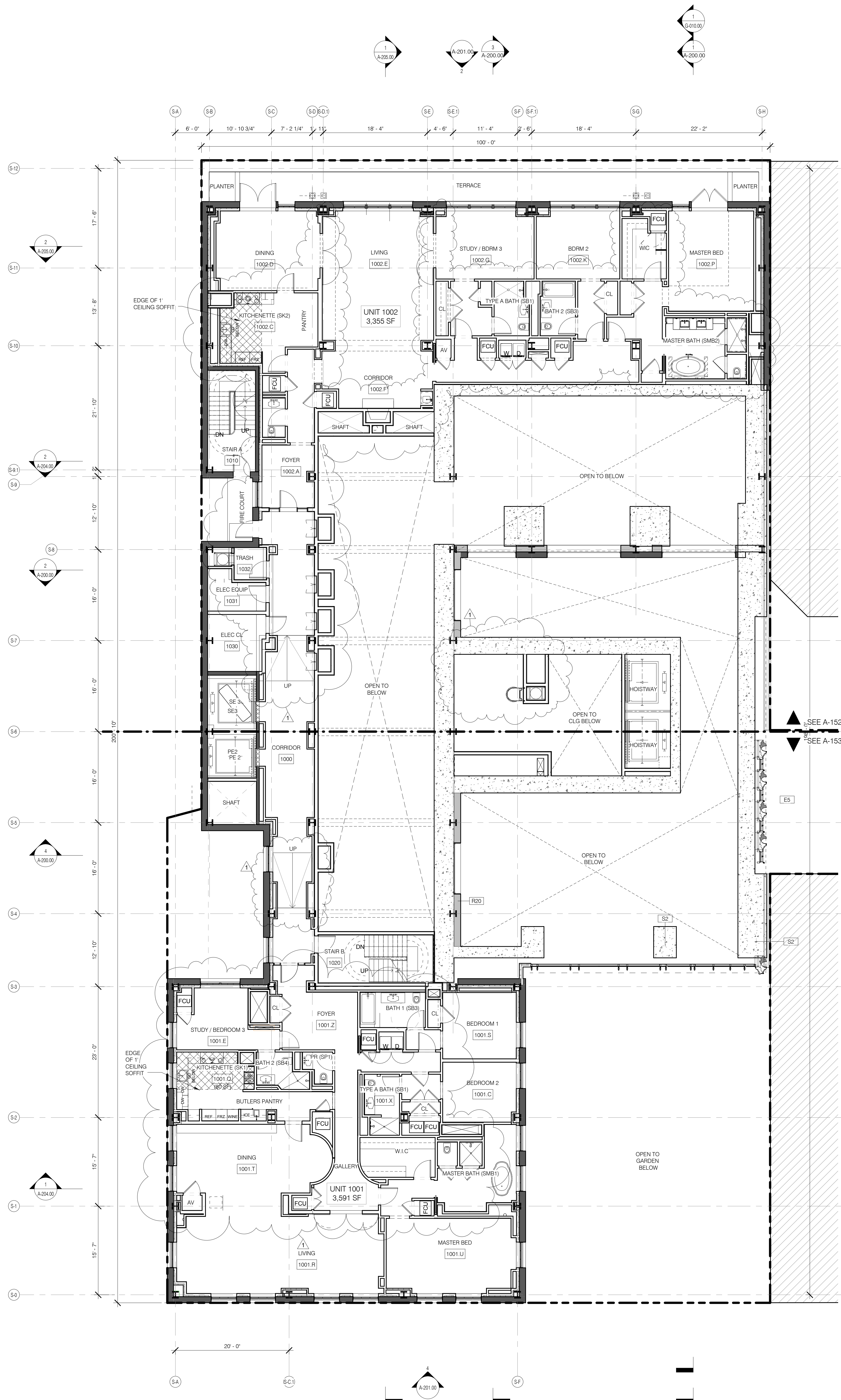
LEGEND

- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- MECHANICAL
- RETAIL TENANT FITOUT
- INTERIOR LANDMARK NO CHANGE
- RISER SUPPORT, SEE MEP DRAWINGS

0 1 2 3 5

DRAWING TITLE: **FLOOR KEY PLANS LEVELS 5/6**

SEAL & SIGNATURE: [Signature] DATE: 3.27.15
PROJECT NO: 130607
DRAWN BY: SHP
CHECKED BY: SHP
DOB NO: 121330206
DRAWING NUMBER: **A-103.01**



- GENERAL NOTES
- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. CONSULTATION NOT INCLUDED IN SET.
 - G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
 - G3 PROJECT D.O. = 631 MBD.
 - G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
 - G5 REFER TO RESTORATION DRAWINGS (RP) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS-RELATED TO THE JUDGMENT.
 - G6 NON-PRESSURIZED EGRESS STAIR THROUGHOUT.
 - G7 ALL FLOOR ELEVATIONS IN STEREWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC 1920 DRAWINGS. IF ALL NEW SLAB IN STEREWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL UNO.
 - G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSING PAID LOCATIONS.
 - G9 SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
 - G10 ALL ELEVATIONS ARE FROM TOP OF SLAB.
 - G11 LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
 - G12 SEE DRAWING G-002 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
 - G13 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD.
 - G14 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEP/FP HANGING LOAD.
 - G15 ALL UNIT INTERIOR PASSAGE DOORS ARE 30" WIDE, 100".

- KEY NOTES
- R14 ALL EXISTING WINDOWS TO BE REPLACED TO MATCH ORIGINAL DESIGN INTENT. BUILT TO CURRENT CODE STANDARDS. SEE RESTORATION DRAWINGS AND DETAIL FACADE DRAWINGS.
 - R20 BRICK WALL TO MATCH EXISTING.
 - R22 EXISTING FIRE COURT RESTORED.
 - R23 EXISTING FIRE COURT WINDOW REPLACED.
 - S2 CIP CONCRETE TOWER STRUCTURE. SEE STRUCTURAL DRAWINGS.

JDS DEVELOPMENT GROUP
100 WEST 47TH STREET
NEW YORK, NY 10019
TEL: 212.869.9000

sh p

ARCHITECT
sh p ARCHITECTS, P.C.
200 BROADWAY, 11TH FLOOR
NEW YORK, NY 10007
TEL: 212.869.9000

STRUCTURAL ENGINEER
RUPP CONTRACTORS
200 WEST 47TH STREET
NEW YORK, NY 10019
TEL: 212.869.9000

MEP ENGINEER
JACOBS
100 WEST 47TH STREET
NEW YORK, NY 10019
TEL: 212.869.9000

CIVIL ENGINEER
WSP | PARSONS
300 WEST 47TH STREET
NEW YORK, NY 10019
TEL: 212.869.9000

ACoustiC
LONGMAN LINDSEY
40 WEST 47TH STREET
NEW YORK, NY 10019
TEL: 212.869.9000

INTERIORS
TUDOR JOSEFIELD
300 WEST 47TH STREET
NEW YORK, NY 10019
TEL: 212.869.9000

PROPERTY MARKETS GROUP
300 WEST 47TH STREET
NEW YORK, NY 10019
TEL: 212.869.9000

CURRENT ISSUE

DOB PAA

Shauqat Shaikh
Building
APPROVED
Under Directive 2 of 1975
DATE: 08/28/2015
NYC Development Hub

111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019

LEGEND

- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- MECHANICAL
- RETAIL TENANT FITOUT
- INTERIOR LANDMARK
- NO CHANGE
- RISER SUPPORT. SEE MEP DRAWINGS

0 1 2 3 5

LEVEL 10 1/8" = 1'-0" 2 A-100.00

LEVEL 9 1/8" = 1'-0" 1 A-100.00

FLOOR KEY PLANS LEVELS 9/10

DATE 3/27/15 DOB PAA
3/1/14 DOB PLUMB SET

NO. DATE REVISION

DATE 08/28/2015

DATE 3/27/15
PROJECT NO. 130007
DRAWN BY SH/p
CHECKED BY SH/p
DOB NO. 121330206
DRAWING NUMBER
A-105.01

PROFESSION	NAME	NEW YORK STATE LICENSE NO.
STRUCTURAL ENGINEER	BURTON HARRPOLD	105 00000000
MEP ENGINEER	VERTICAL TRANSPORTATION	
CIVIL ENGINEER	JAN HIRSHKOPF	105 00000000
ACoustics	LONGMAN LINDSEY	105 00000000
INTERIORS	CONSERVATORIE INTERNATIONAL	105 00000000



PROPERTY MARKETS GROUP
300 WEST 4TH STREET
NEW YORK, NY 10014

DOB PAA



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



NO.	DATE	REVISION
1	3/27/15	DOB PAA
2	5/1/14	DOB PLUMB SET

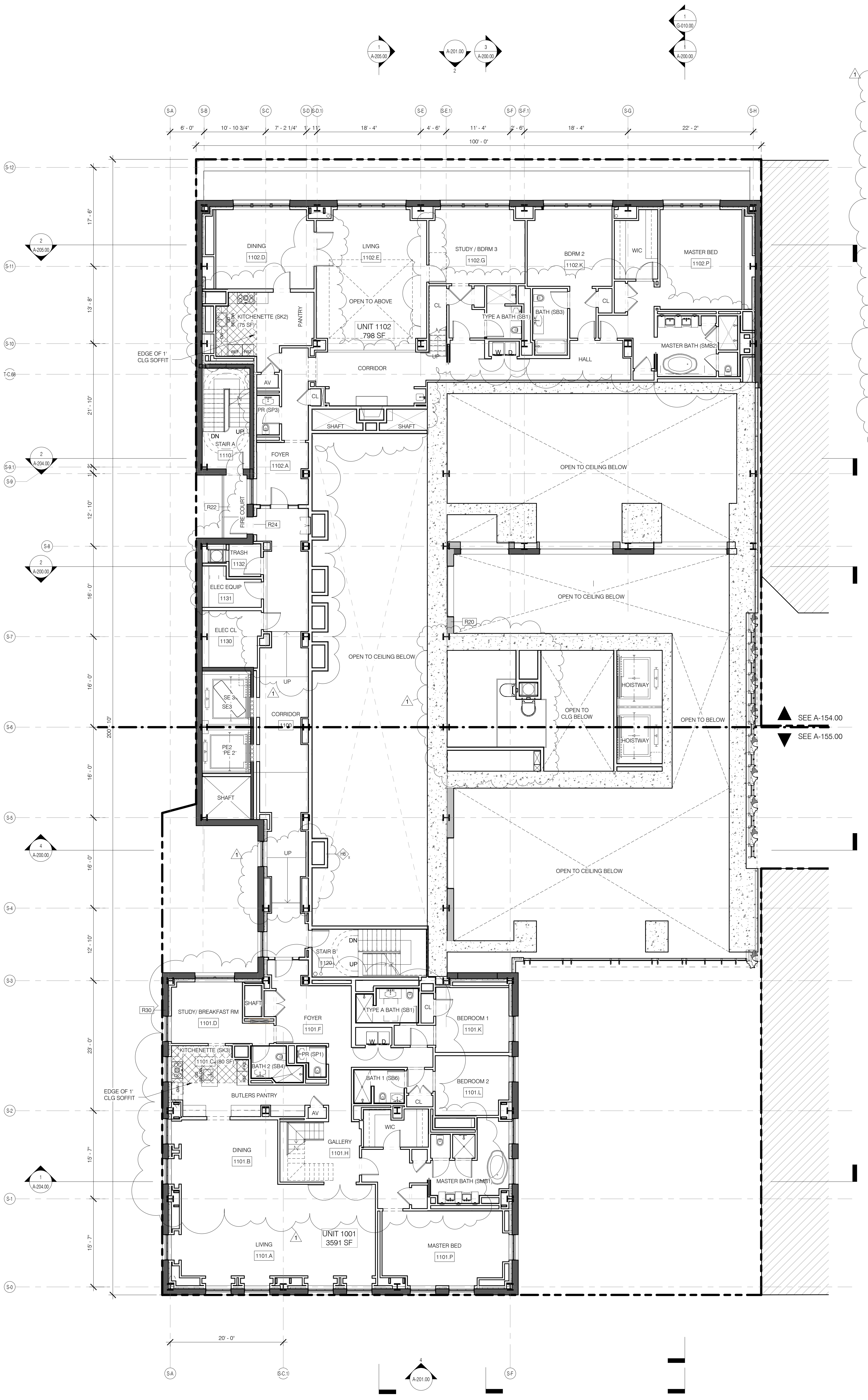
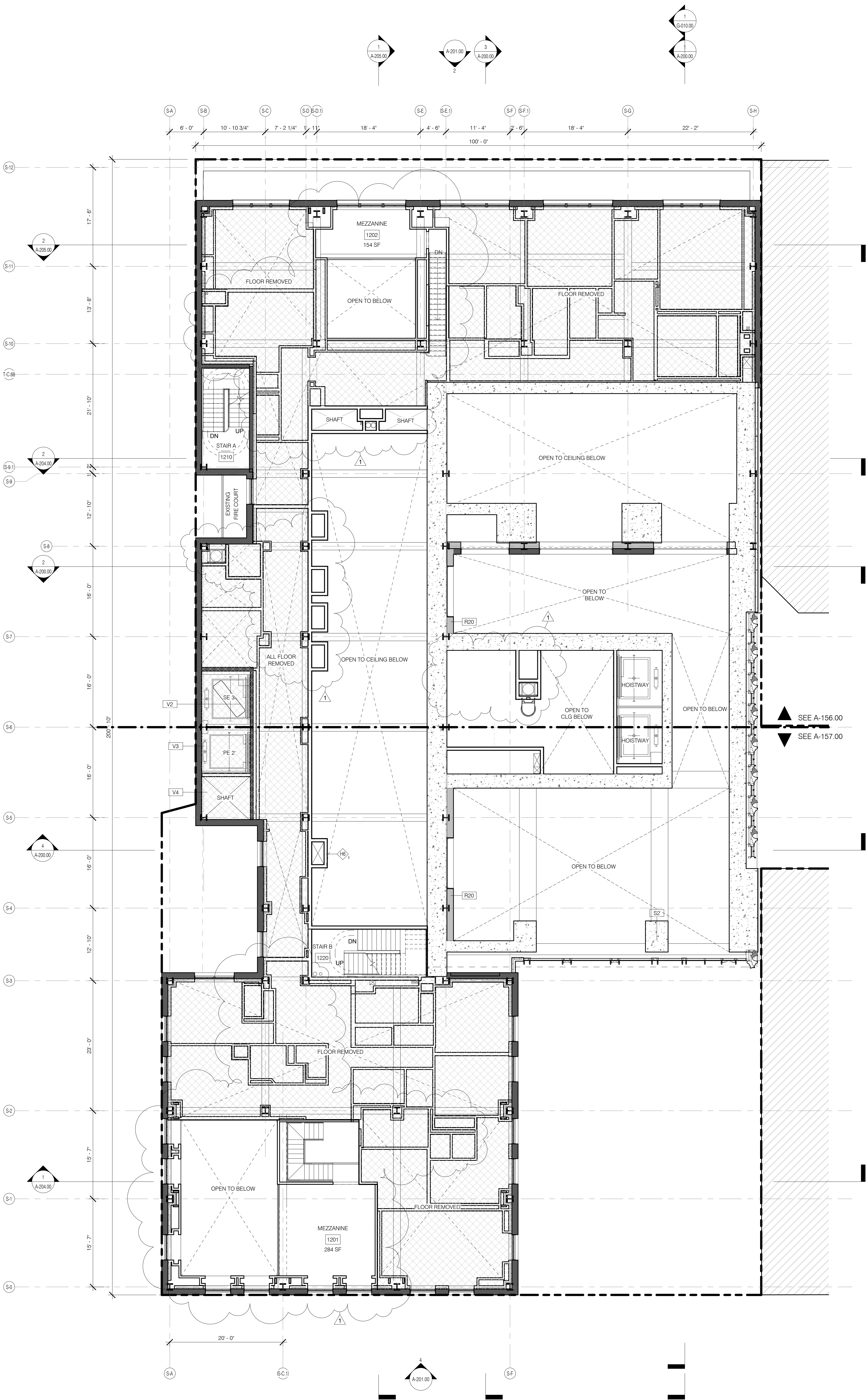
DESIGNED ARCHITECT	DATE	PROJECT NO.
	3/27/15	130007
DRAWN BY		SH/p
CHECKED BY		SH/p
DATE		12/13/2008
DRAWING NUMBER		A-106.01

- GENERAL NOTES**
- ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DIMENSIONS NOT INCLUDED IN SET.
 - INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
 - PROJECT D.O. = 6/31/15
 - STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
 - REFER TO RESTORATION DRAWINGS (RP) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVAL, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPAIRS.
 - NON-PRESSURIZED EGRESS STAIR THROUGHOUT.
 - ALL FLOOR ELEVATIONS IN STEREWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC RP'S DRAWINGS. IF ALL NEW SLAB IN STEREWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL, UNLESS NOTED OTHERWISE.
 - SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOISTWAY AND PAIL LOCATIONS. SEE SHEET A-100.00 FOR TORPPINGS AND DRAIN LOCATIONS.
 - ALL ELEVATIONS ARE FROM TOP OF SLAB LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
 - SEE DRAWING G-002 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
 - ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD.
 - CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEP/HANGING LOAD.
 - ALL UNIT INTERIOR PASSAGE DOORS ARE 30" WIDE, 100".

- KEY NOTES**
- R20 BRICK WALL TO MATCH EXISTING
 - R22 EXISTING FIRE COURT RESTORED
 - R24 EXISTING FIRE COURT DOOR REPLACED
 - R26 EXISTING LANDMARK FACADE TO BE RESTORED
 - S2 TOP OF CONCRETE TOWER STRUCTURE. SEE STRUCTURAL DRAWINGS.
 - V2 NEW FREIGHT ELEVATOR IN EXISTING SHAFT. ELEVATOR DOOR SIZE INCREASED AND NEW FRAME OPENING REBUILT TO MATCH EXISTING STONE PROFILE.
 - V3 EXISTING ELEVATOR SHAFT TO REMAIN. ELEVATORS AND ALL EQUIPMENT TO BE REPLACED WITHIN EXISTING ELEVATOR SHAFTWAY. SHAFT INTERIOR CONDITION TO BE VERIFIED AND REPAIRS/ALTERS AS REQUIRED.
 - V4 EXISTING ELEVATOR SHAFT CONVERTED TO MECHANICAL SHAFT.

LEGEND

- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- MECHANICAL
- RETAIL TENANT FITOUT
- INTERIOR LANDMARK
- NO CHANGE
- RISER SUPPORT. SEE MEP DRAWINGS



LEVEL 12 1/8" = 1'-0"

LEVEL 11 1/8" = 1'-0"

FLOOR KEY PLANS LEVELS 11/12

ARCHITECT: SHP ARCHITECTS, P.C.
110 BROADWAY, 11TH FLOOR
NEW YORK, NY 10038
TEL: 212.869.9336

STRUCTURAL ENGINEER: YSFP CIVIL ENGINEERS
225 EAST 43RD STREET
NEW YORK, NY 10017
TEL: 212.867.9886

MEP ENGINEER: JORDI, BAIM & BOLLES
100 WEST STREET, 10TH FLOOR
LAWRENCE, NJ 07044
TEL: 908.288.8928

CIVIL ENGINEER: AWR ENGINEERING, P.C.
400 WEST 46TH STREET, 7TH FLOOR
NEW YORK, NY 10019
TEL: 212.869.8928

ACoustIC: LONGMAN LINDSEY
40 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212.869.8928

INTERIORS: STUCCO DESIGN FIELD
200 WASHINGTON STREET
NEW YORK, NY 10014
TEL: 212.475.3000

FAÇADE: BURKH HOFFFELD
100 BROADWAY, 11TH FLOOR
NEW YORK, NY 10038
TEL: 212.254.2025

VERTICAL TRANSPORTATION: VAN DEUSEN & ASSOCIATES
100 WEST STREET, SUITE 200
LAWRENCE, NJ 07044
TEL: 908.288.8928

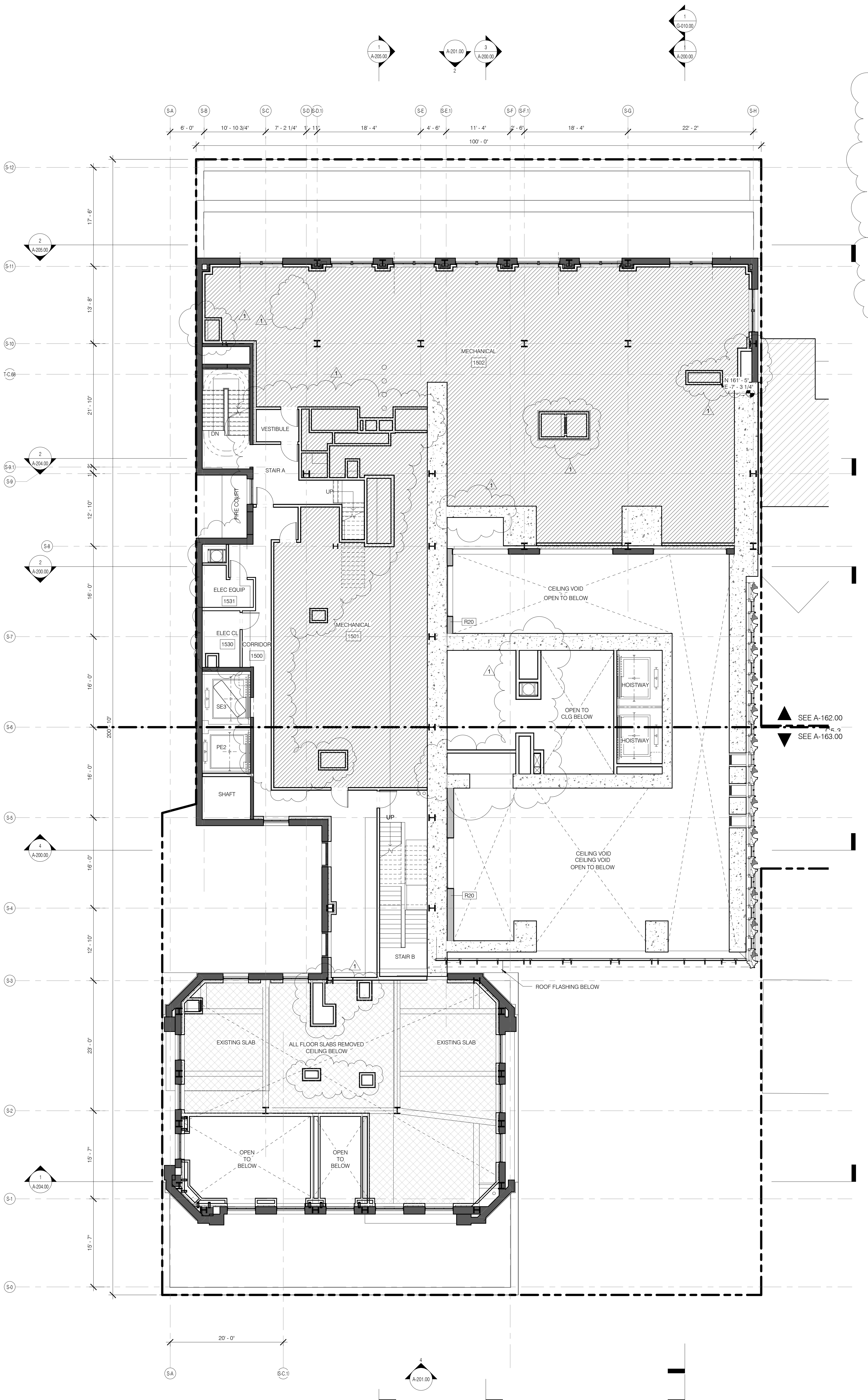
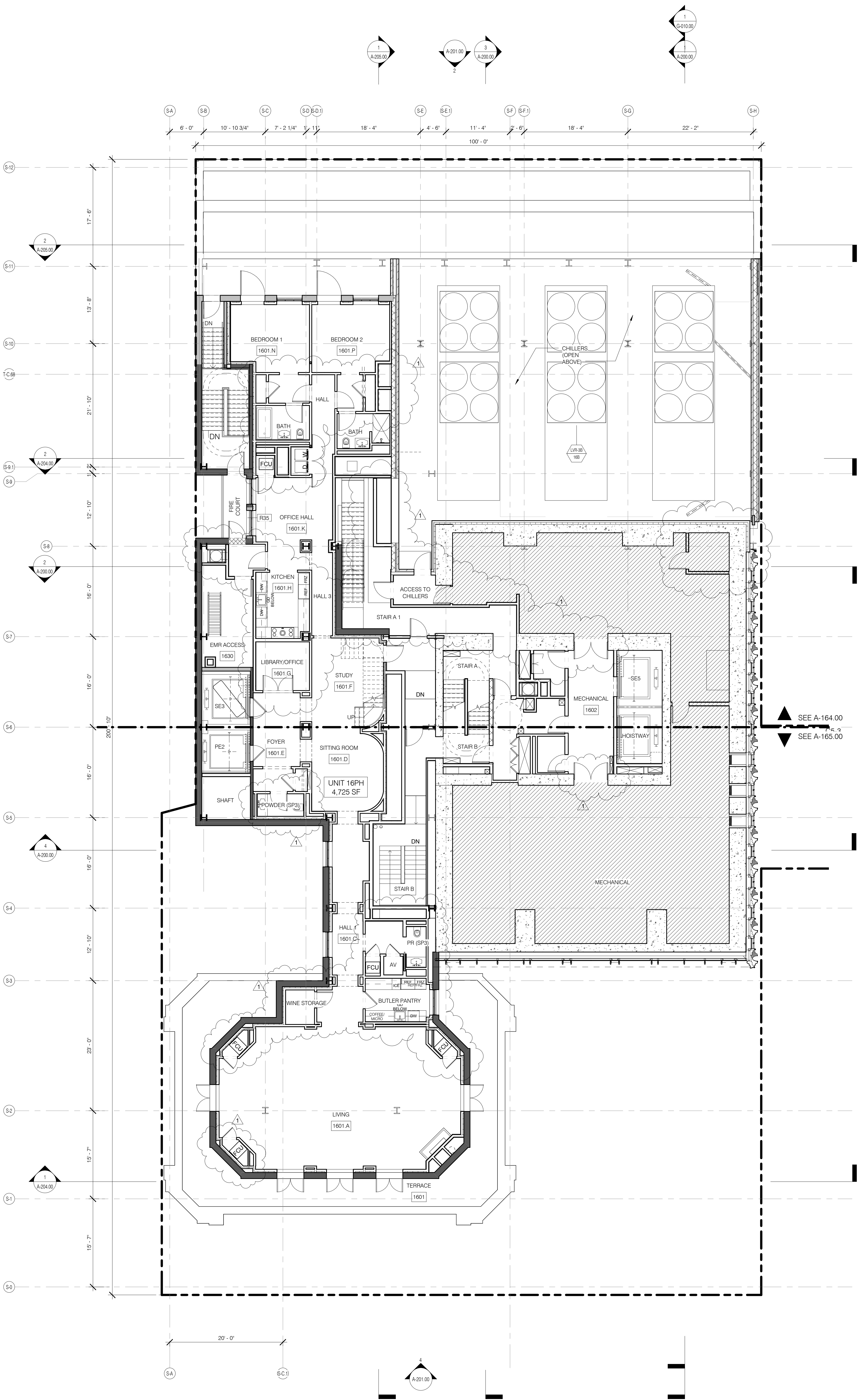
RESTORATION: JAN HIRSH FOKORNY ASSOCIATES
40 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212.254.4442

GEOTECH: MICE
100 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212.254.4442

LIGHTING: OBSERVATORIE INTERNATIONAL
100 WALKER STREET, 7TH FLOOR EAST
NEW YORK, NY 10013
TEL: 212.254.4442

- GENERAL NOTES
- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. CONSULTATION NOT INCLUDED IN SET.
 - G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
 - G3 PROJECT D.O. = 03.1 MBD.
 - G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
 - G5 REFER TO RESTORATION DRAWINGS (RP) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO THIS COMPONENT.
 - G6 NON-PRESSURIZED EGRESS STAIR THROUGHOUT.
 - G7 ALL FLOOR ELEVATIONS IN STERWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC 1920 DRAWINGS. IF ALL NEW SLAB IN STERWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL UNO.
 - G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSING PAIL LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
 - G9 ALL ELEVATIONS ARE FROM TOP OF SLAB LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
 - G10 SEE DRAWING G-022 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
 - G11 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD.
 - G12 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEP/HVAC HANGING LOAD.
 - G13 ALL UNIT INTERIOR PASSAGE DOORS ARE 30" WIDE, UNO.

- KEY NOTES
- R20 BRICK WALL TO MATCH EXISTING

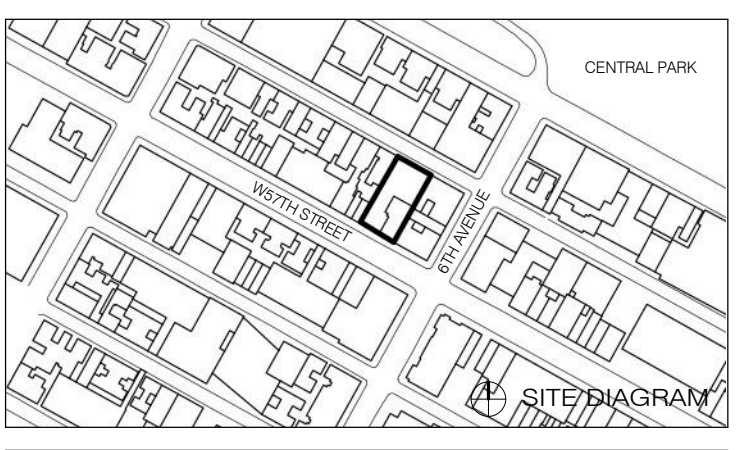


NOTE: MECHANICAL TRANSFER LEVEL

LEGEND

- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- MECHANICAL
- RETAIL TENANT FITOUT
- INTERIOR LANDMARK
- NO CHANGE
- RISER SUPPORT. SEE MEP DRAWINGS

111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB PLUMB SET
NO.	DATE	REVISION

DRAWING TITLE: FLOOR KEY PLANS LEVELS 15/16

SEAL & SIGNATURE: [Signature]

DATE: 3.27.15

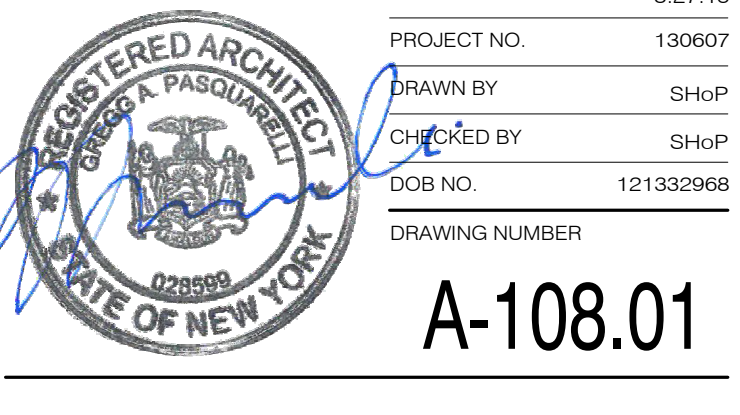
PROJECT NO: 130007

DRAWN BY: SHP

CHECKED BY: SHP

DOB NO: 121330298

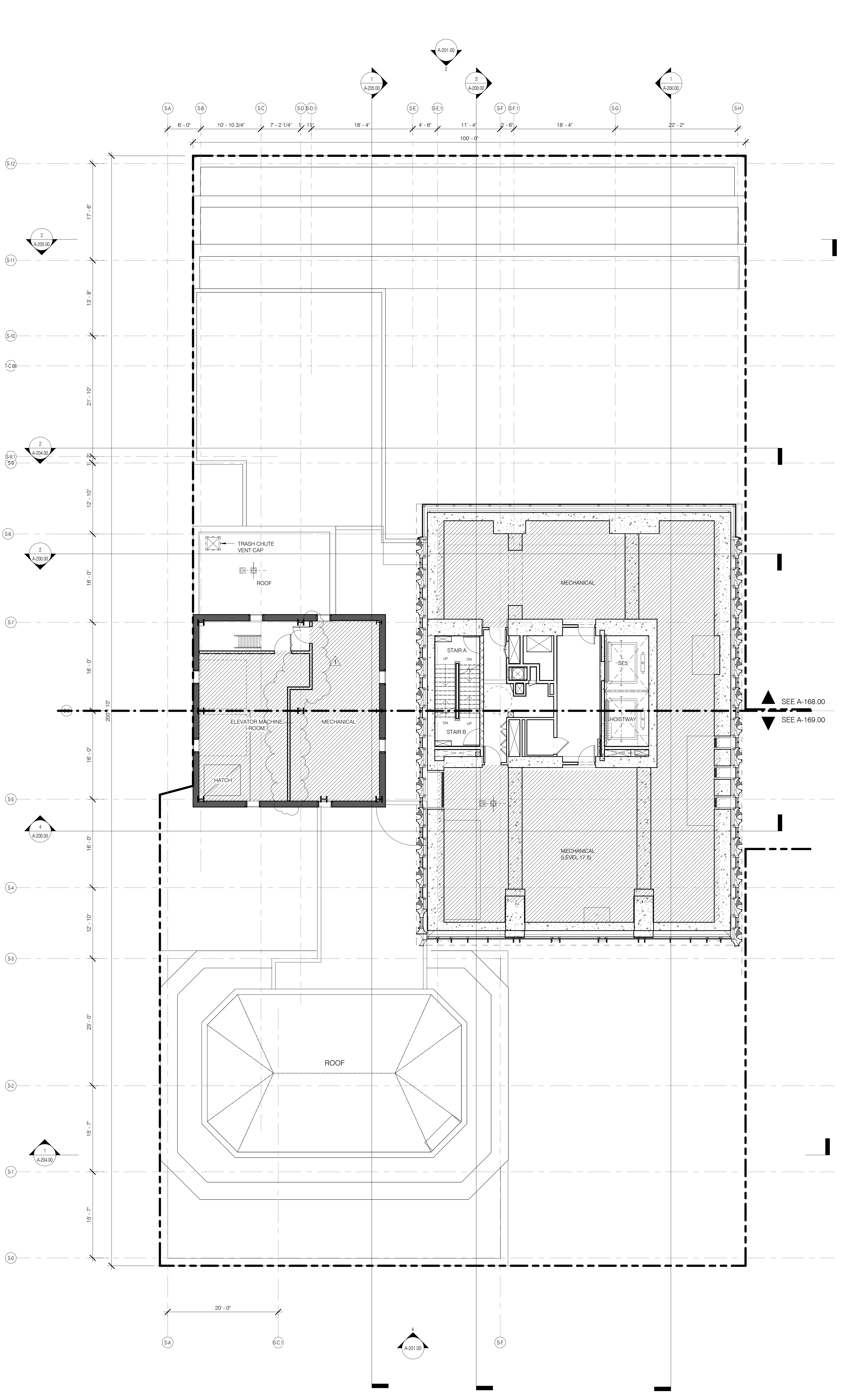
DRAWING NUMBER: A-108.01



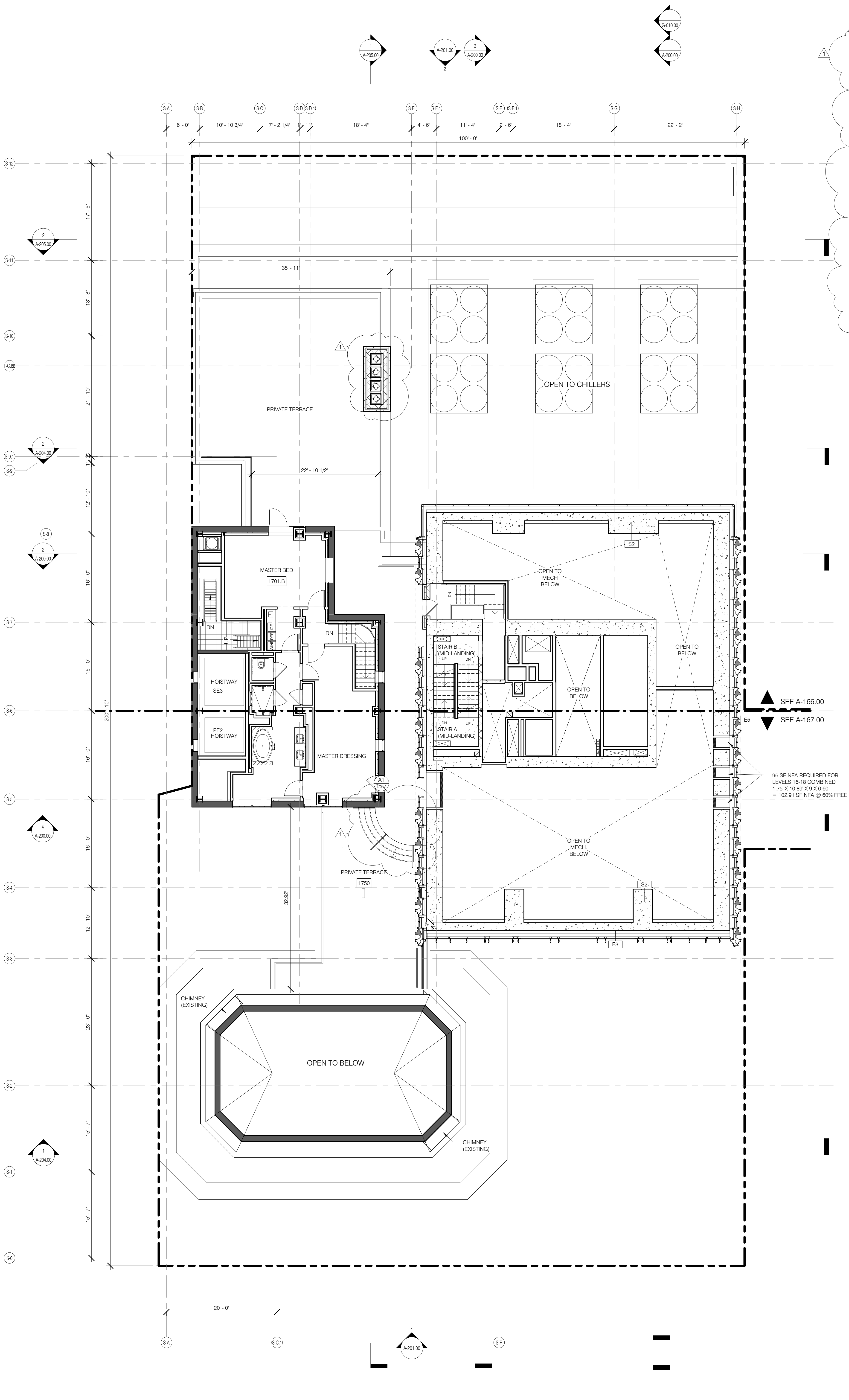
- GENERAL NOTES**
- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. CONSULTATION NOT INCLUDED IN SET.
 - G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
 - G3 PROJECT D.O. = 63-1 MBD.
 - G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS. REFER TO RESTORATION DRAWINGS (RPT) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT THROUGHOUT.
 - G5 NON-PRESSURIZED EGRESS STAIR THROUGHOUT.
 - G6 ALL FLOOR ELEVATIONS IN STEREWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC RECORD DRAWINGS. IF ALL NEW SLAB IN STEREWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL UNO.
 - G7 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOISTWAYS AND PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
 - G8 ALL ELEVATIONS ARE FROM TOP OF SLAB LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
 - G9 SEE DRAWING G-022 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
 - G10 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD.
 - G11 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEP/HVAC HANGING LOAD.
 - G12 ALL UNIT INTERIOR PASSAGE DOORS ARE 30" WIDE UNO.

- KEY NOTES**
- E3 UNITIZED ALUM AND BRONZE FACADE PANEL. SEE A-310.00 AND A-313.00.
 - E5 UNITIZED ALUM AND BRONZE FACADE PANEL WATERPROOFING CLADDING. SEE A-311.00.
 - E8 CIP CONCRETE TOWER STRUCTURE. SEE STRUCTURAL DRAWINGS.

96 SF NFA REQUIRED FOR LEVELS 16-18 COMBINED
1.79 X 10.89 X 3 X 0.60
= 102.91 SF NFA @ 60% FREE



LEVEL 18 MECHANICAL 1/8" = 1'-0" 2 A-109.01 A-109.01

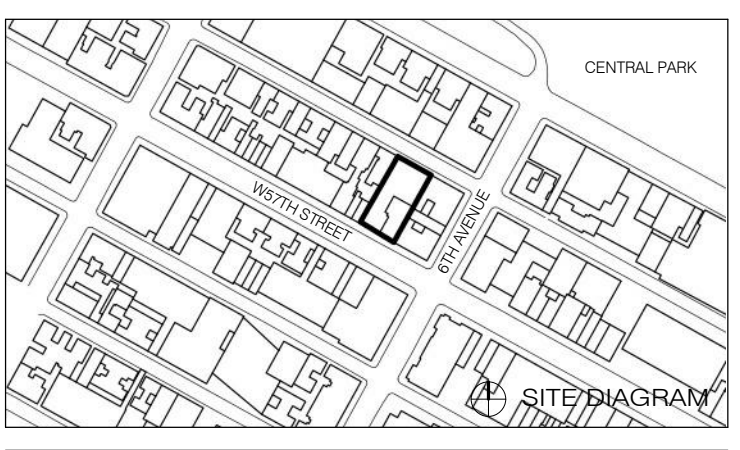


LEVEL 17 FLOOR 1/8" = 1'-0" 1 A-109.01 A-109.01

LEGEND

- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- MECHANICAL
- RETAIL TENANT FITOUT
- INTERIOR LANDMARK
- NO CHANGE
- RISER SUPPORT. SEE MEP DRAWINGS

111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



NO.	DATE	REVISION
1	3/27/15	DOB PAA
2	5/1/14	DOB PLUMB SET

SEAL & SIGNATURE DATE: 3/27/15
PROJECT NO: 130907
DRAWN BY: SH&P
CHECKED BY: SH&P
DOB NO: 121332068
DRAWING NUMBER: A-109.01



- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
- G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
- G3 PROJECT 0-0 = 63.1 MBD.
- G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
- G5 REFER TO RESTORATION DRAWINGS (HP-1) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT.
- G6 NON-PRESSURIZED EGRESS STAIR THROUGHOUT.
- G7 ALL FLOOR ELEVATIONS IN STEREWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC 1925 DRAWINGS. V.E. ALL NEW SLAB IN STEREWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL. LIND.
- G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS. SEE SHEET A-120.00 FOR TOPPING AND DRAIN LOCATIONS.
- G9 ALL ELEVATIONS ARE FROM TOP OF SLAB.
- G10 LOCATION AND SIZE OF ANCHOR POINTS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
- G11 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD.
- G12 SEE DRAWING G-002 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
- G13 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MDP/IF HANGING LOAD.
- G14 ALL UNIT INTERIOR PASSAGE DOORS ARE 3/4" WIDE UCLN.

KEY NOTES

N7 GLASS PARAPET

LEGEND

[Symbol]	EXISTING WALL TO REMAIN
[Symbol]	NEW CONSTRUCTION
[Symbol]	RETAIL TENANT FITOUT
[Symbol]	INTERIOR LANDMARK
[Symbol]	NO CHANGE
[Symbol]	OPEN GRATING

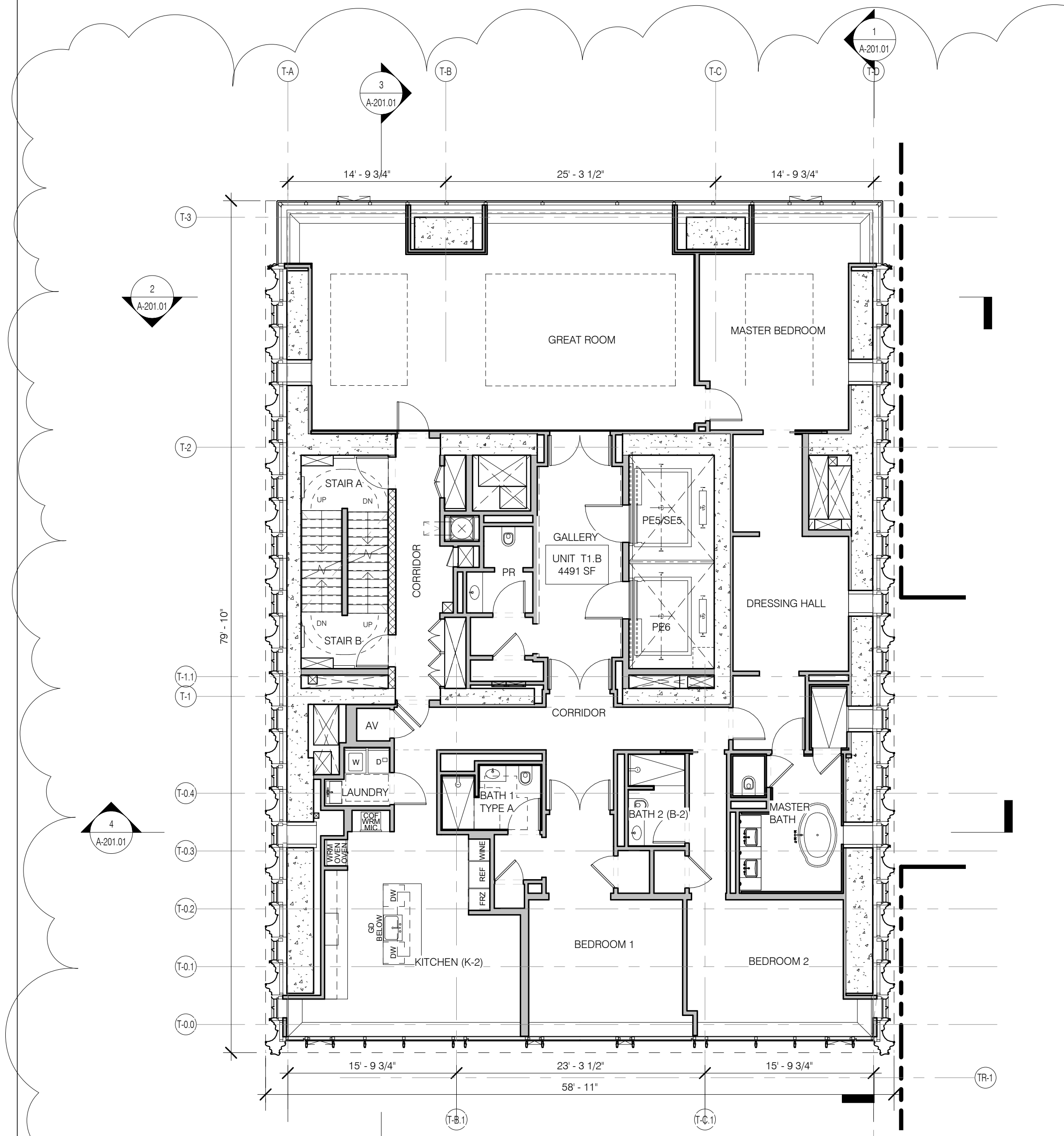
SEAL & SIGNATURE DATE 3/27/15

NO.	DATE	REVISION
1	3/27/15	DOB PAA
	5.1.14	DOB PLUMB SET

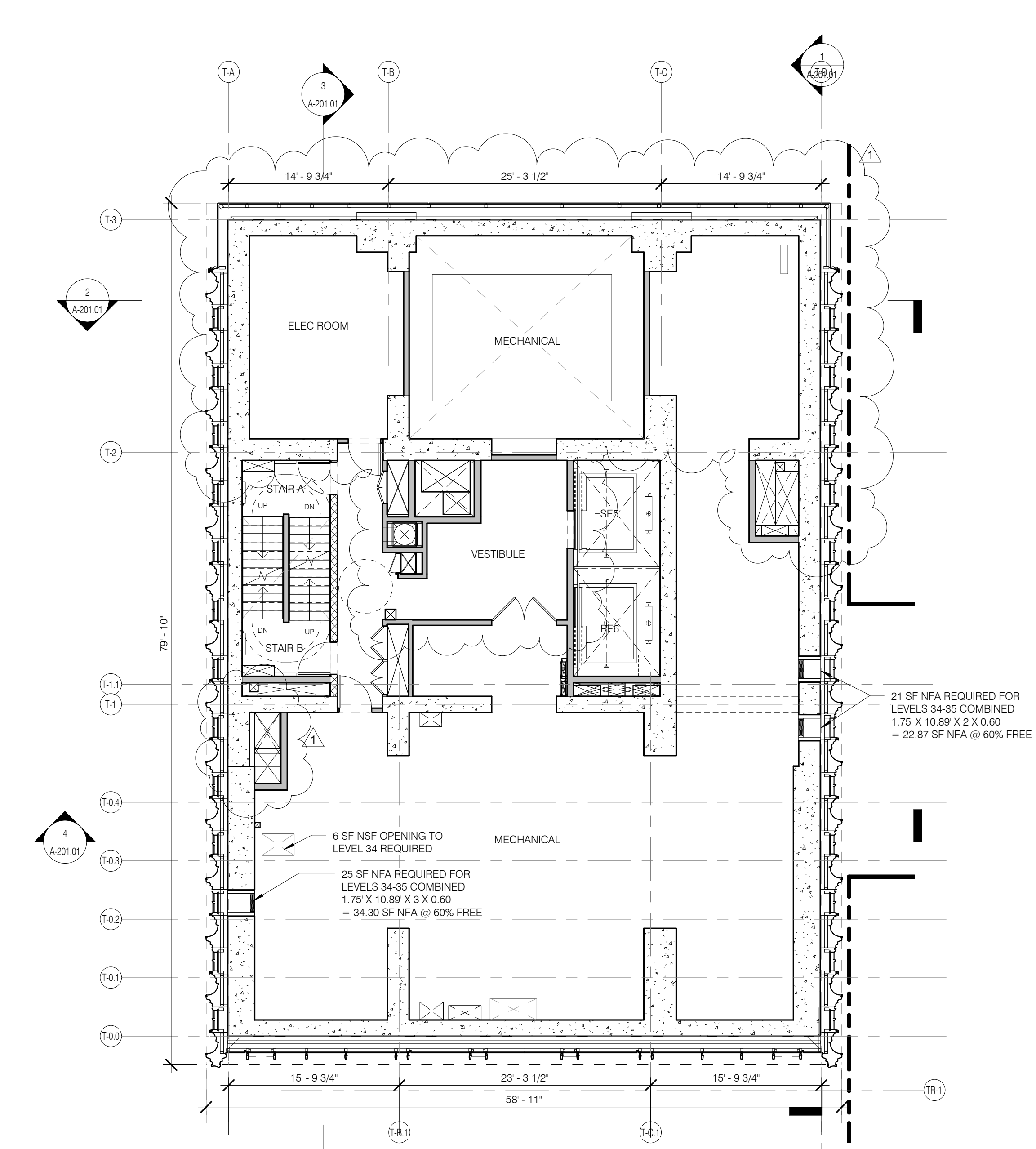
THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THESE DRAWINGS FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF JDS DEVELOPMENT GROUP IS STRICTLY PROHIBITED. COPYRIGHT © 2015 SNIP ARCHITECTS P.C. ALL RIGHTS RESERVED.

DRAWING TITLE
FLOOR KEY PLANS LEVELS 19-45

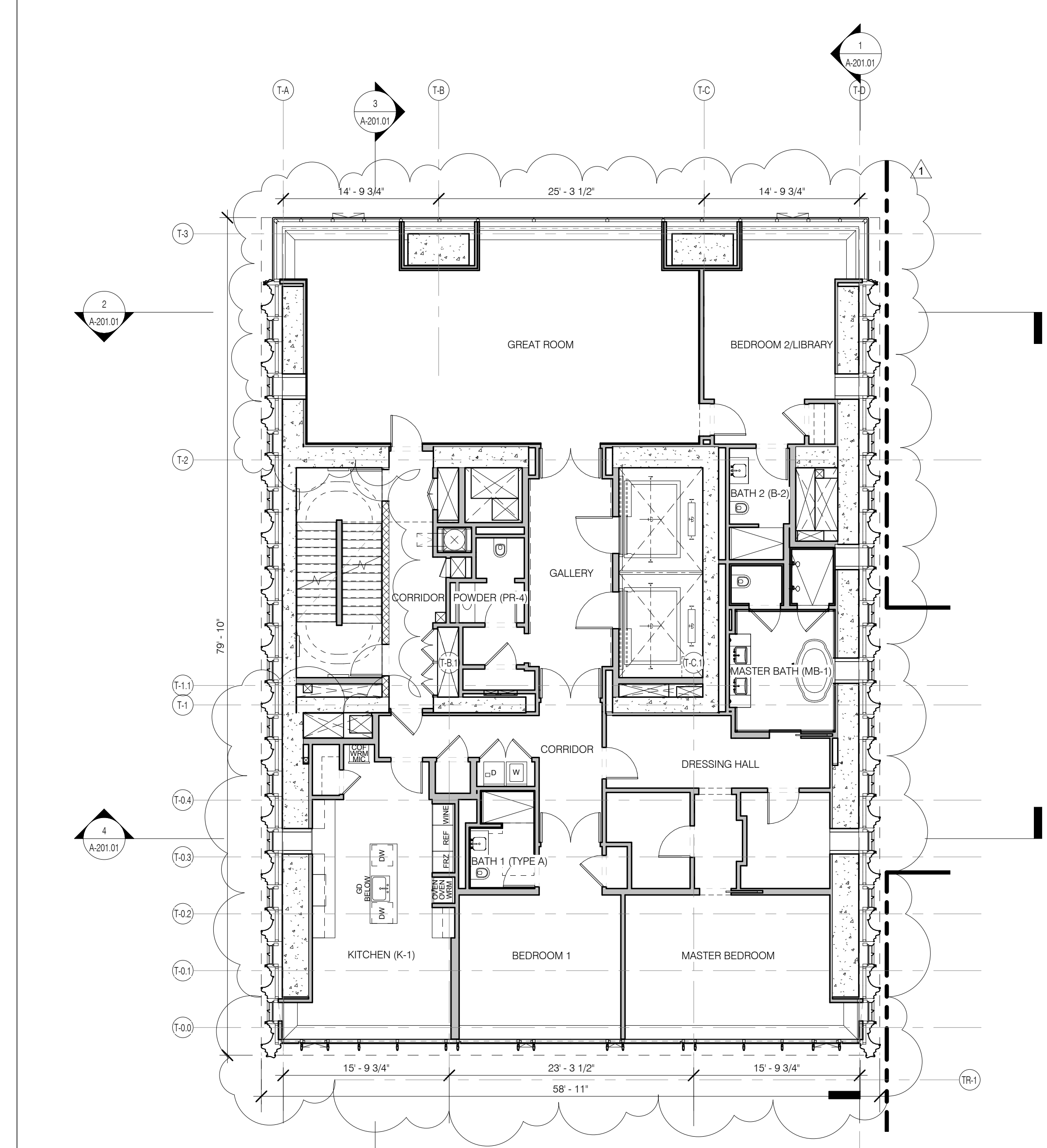
DRAWING NUMBER
A-110.01



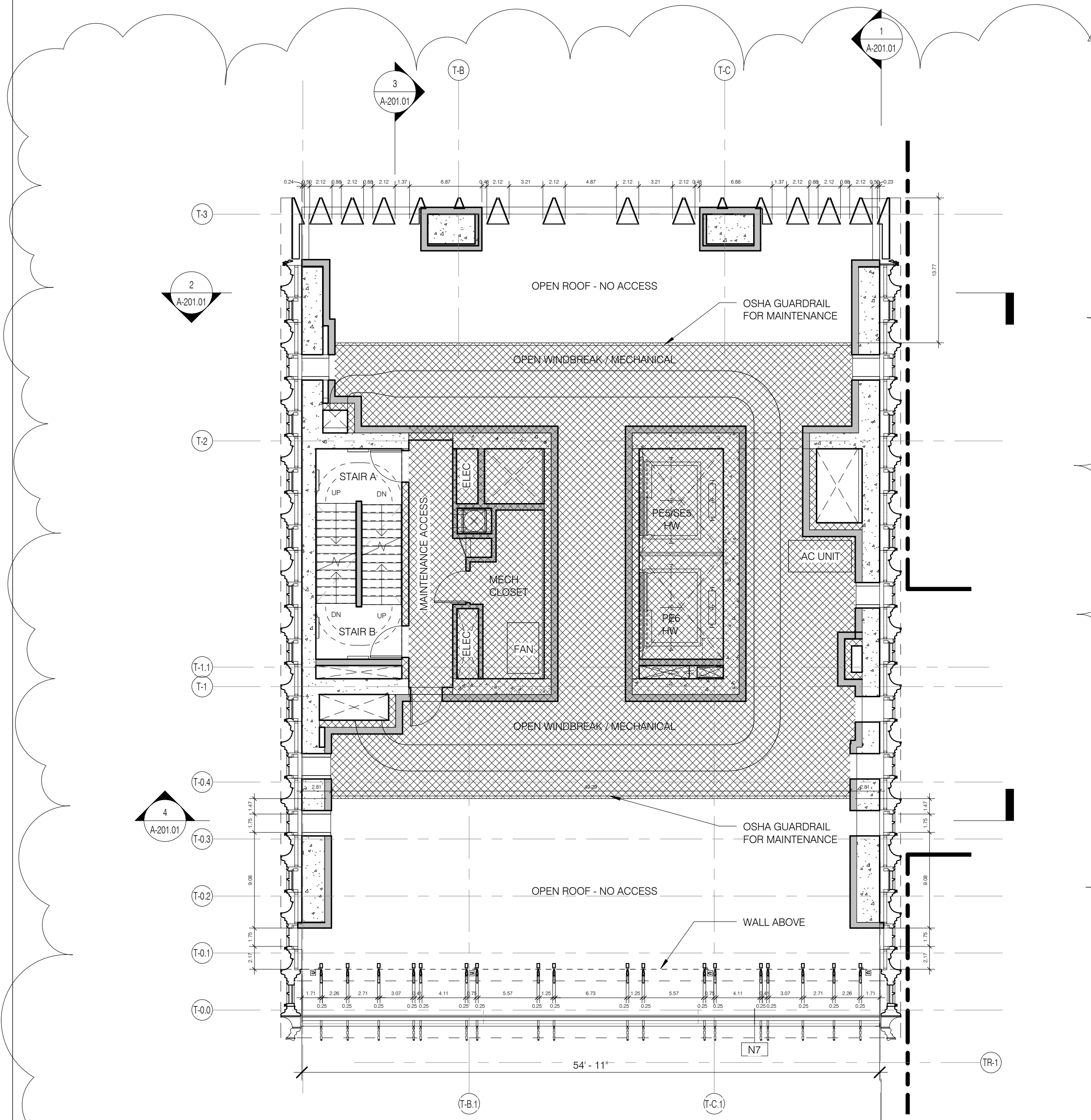
LEVEL 29-33 PLAN 1/8" = 1'-0" 2



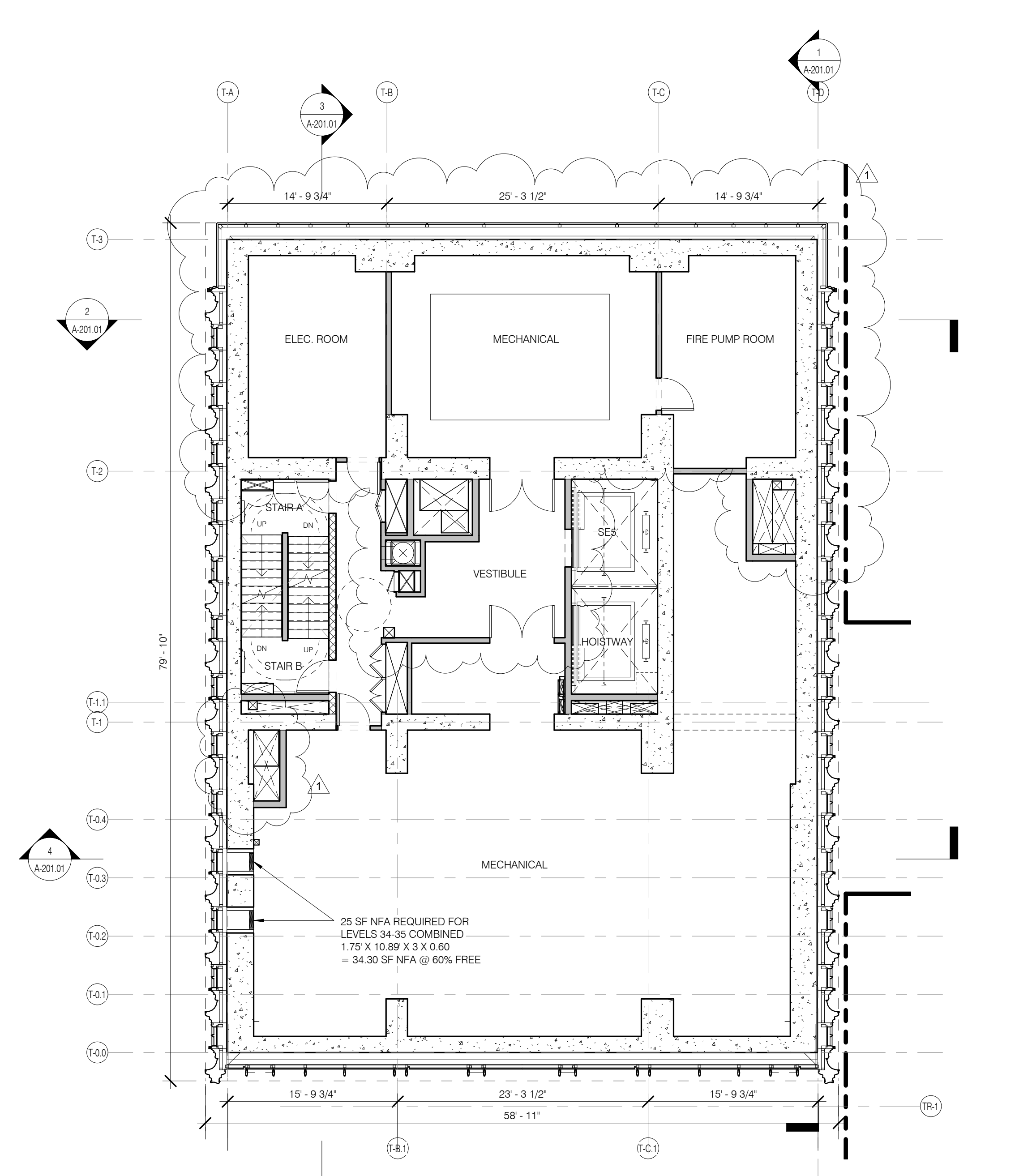
LEVEL 35 PLAN (MER) 1/8" = 1'-0" 4



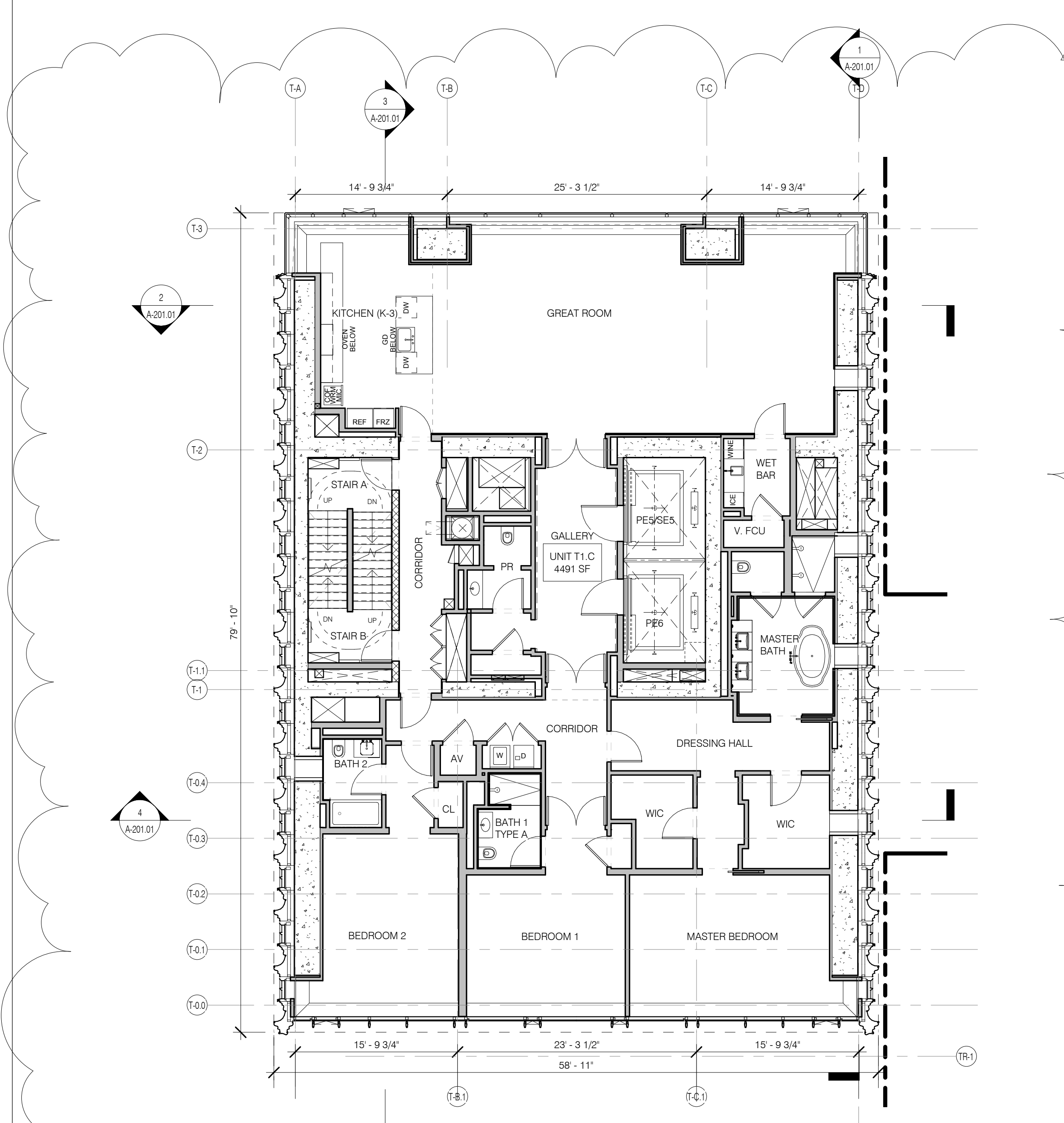
LEVEL 19-28 PLAN 1/8" = 1'-0" 1



LEVEL 45 PLAN (OPEN WINDBREAK/MECHANICAL) 1/8" = 1'-0" 6



LEVEL 34 PLAN (MER) 1/8" = 1'-0" 3



LEVEL 36-44 PLAN 1/8" = 1'-0" 5



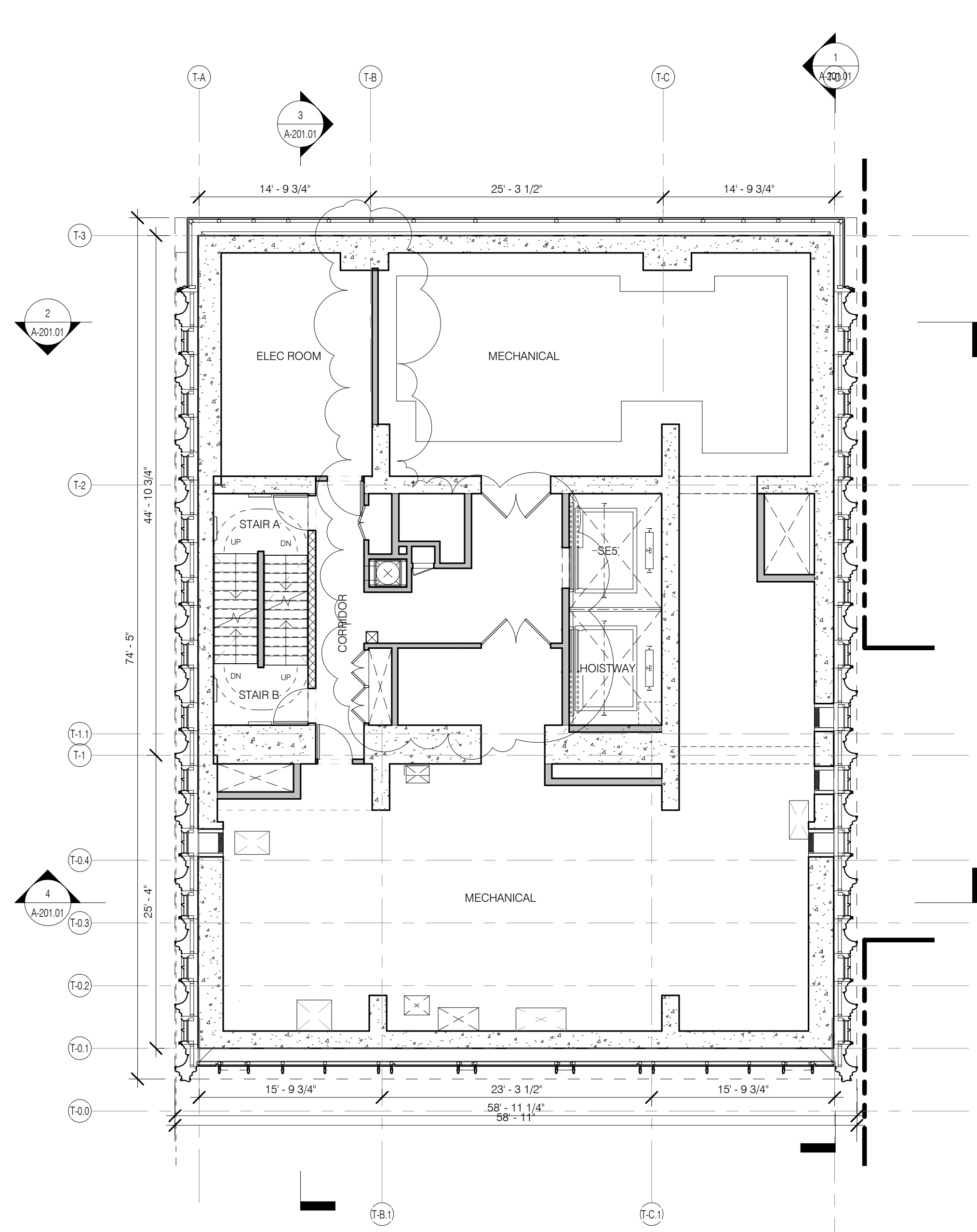
1	3/27/15	DOB PAA
	5/1/14	DOB PLUMB SET
NO.	DATE	REVISION

LEGEND

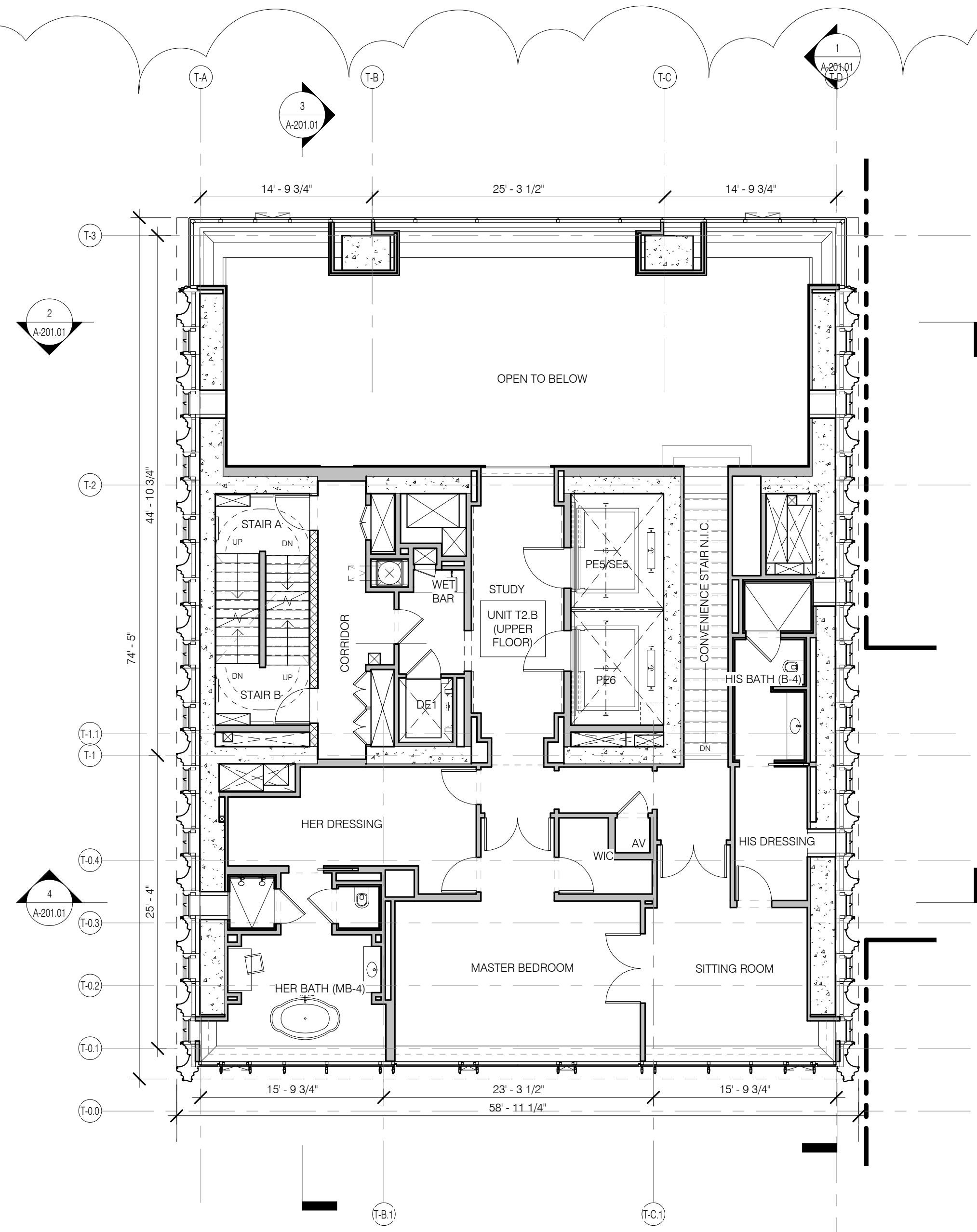
- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- RETAIL TENANT FITOUT
- INTERIOR LANDMARK
- NO CHANGE
- OPEN GRATING

FLOOR KEY PLANS LEVELS 46-57

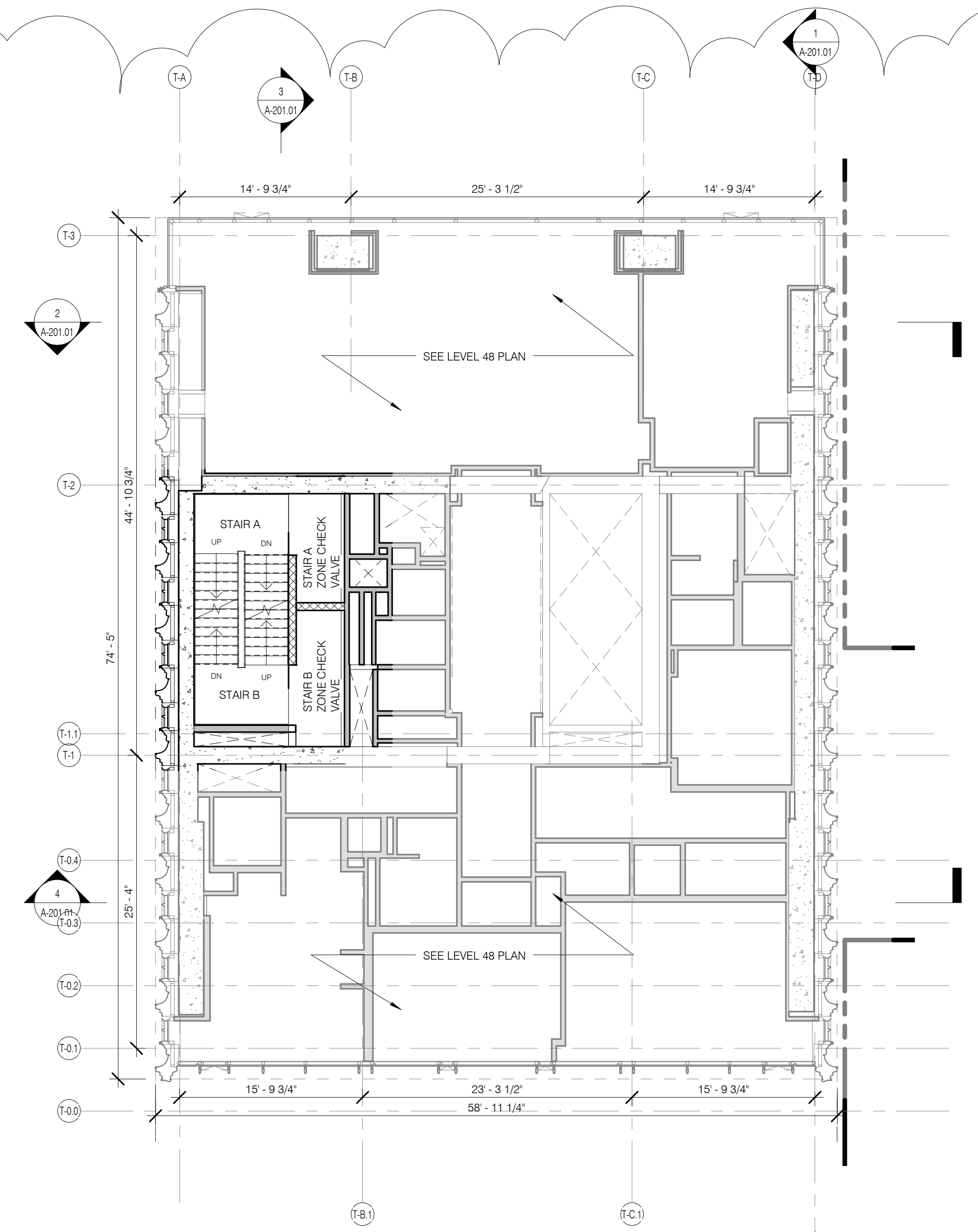
SEAL & SIGNATURE
 DATE: 3/27/15
 PROJECT NO.: 130607
 DRAWN BY: SHIP
 CHECKED BY: SHIP
 DATE: 3/27/15
 DRAWING NUMBER: 121333988
 DRAWING NUMBER



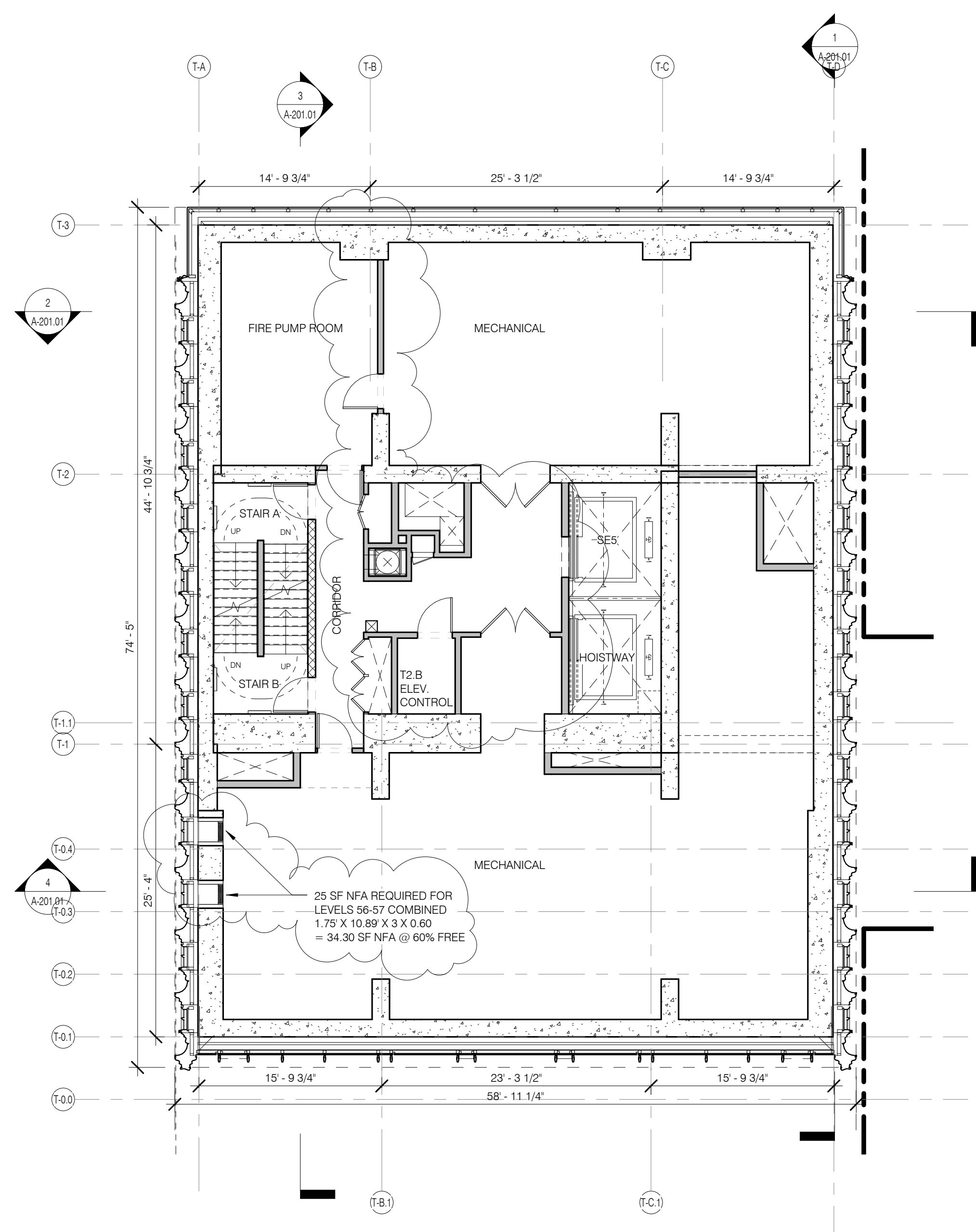
LEVEL 57 PLAN (MER) 1/8" = 1'-0" 6 A2140 A11115



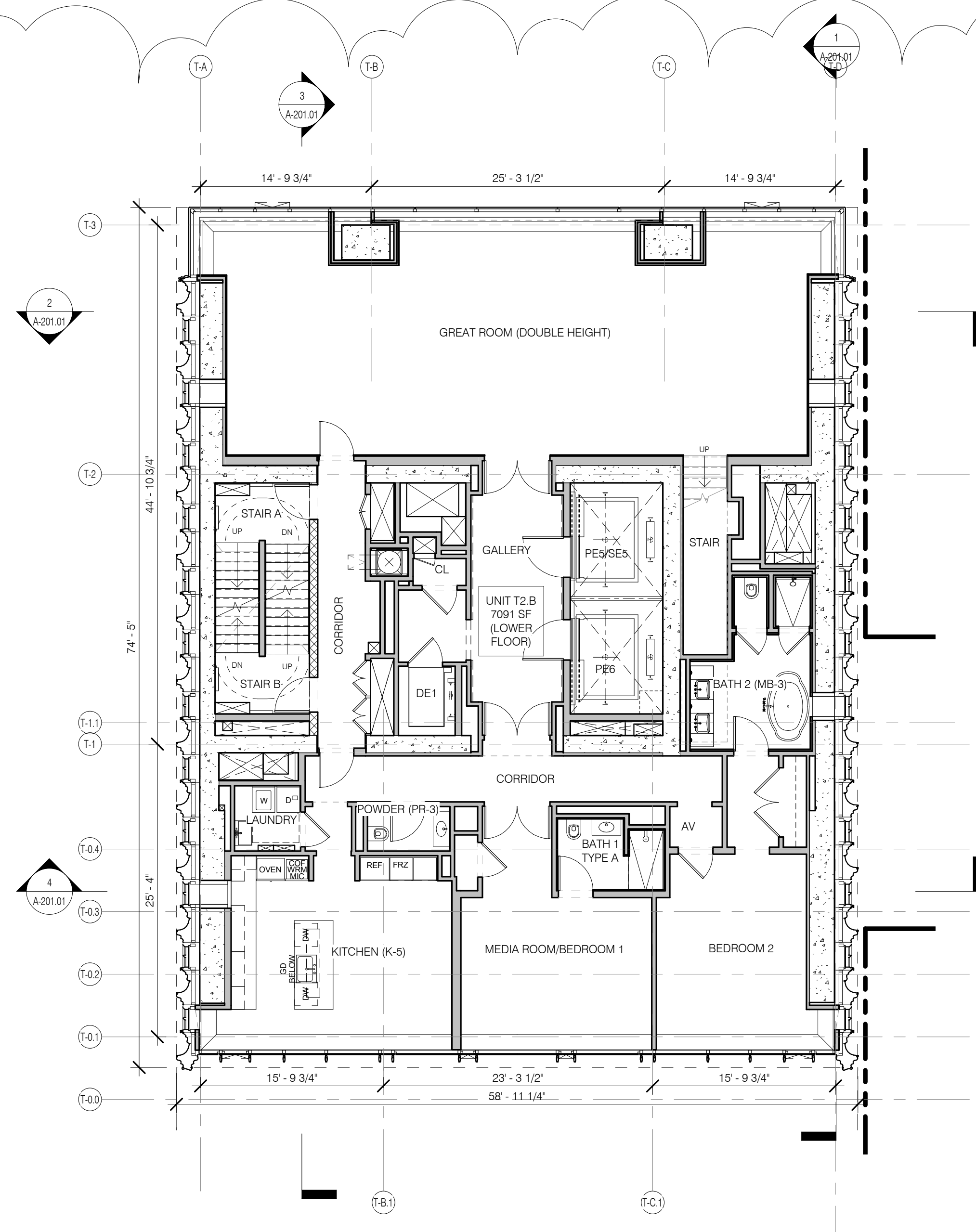
LEVEL 55 PLAN 1/8" = 1'-0" 4 A2140 A11115



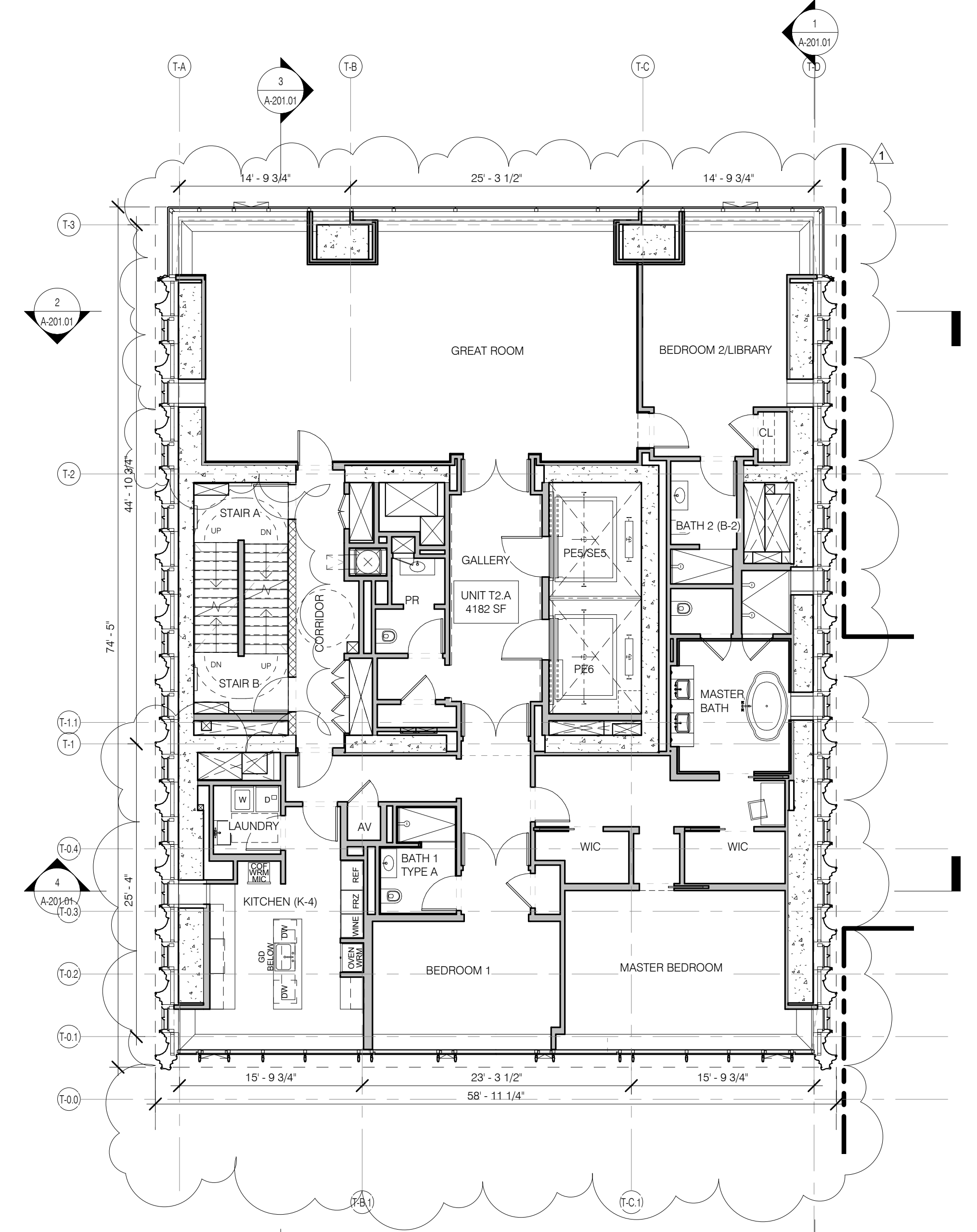
LEVELS 48.5/28.5/65.5 SIM (ZONE CHECK MEZZ) 1/8" = 1'-0" 2 A2090 A11115



LEVEL 56 PLAN (MER) 1/8" = 1'-0" 5 A2140 A11115



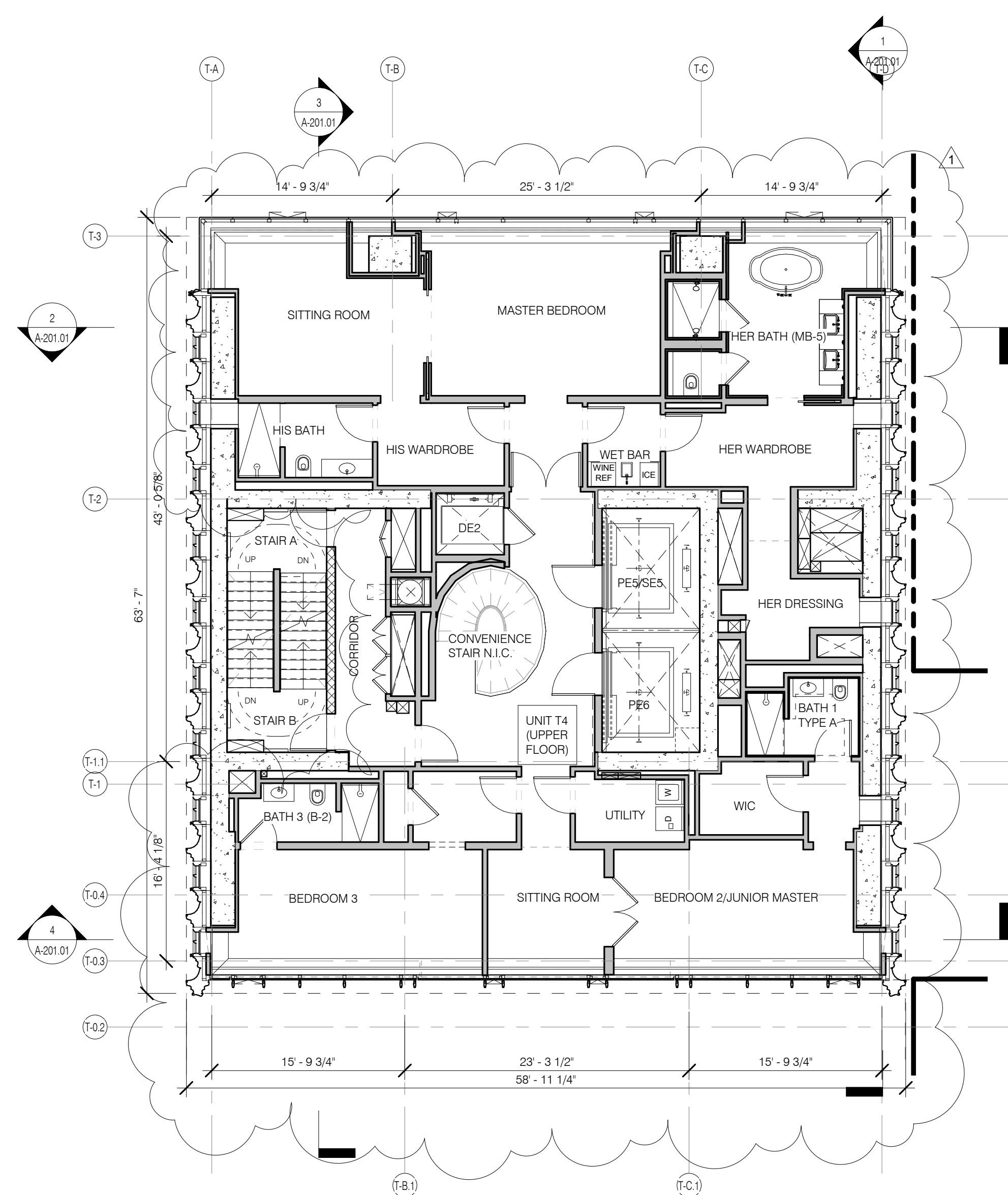
LEVEL 54 PLAN 1/8" = 1'-0" 3 A2140 A11115



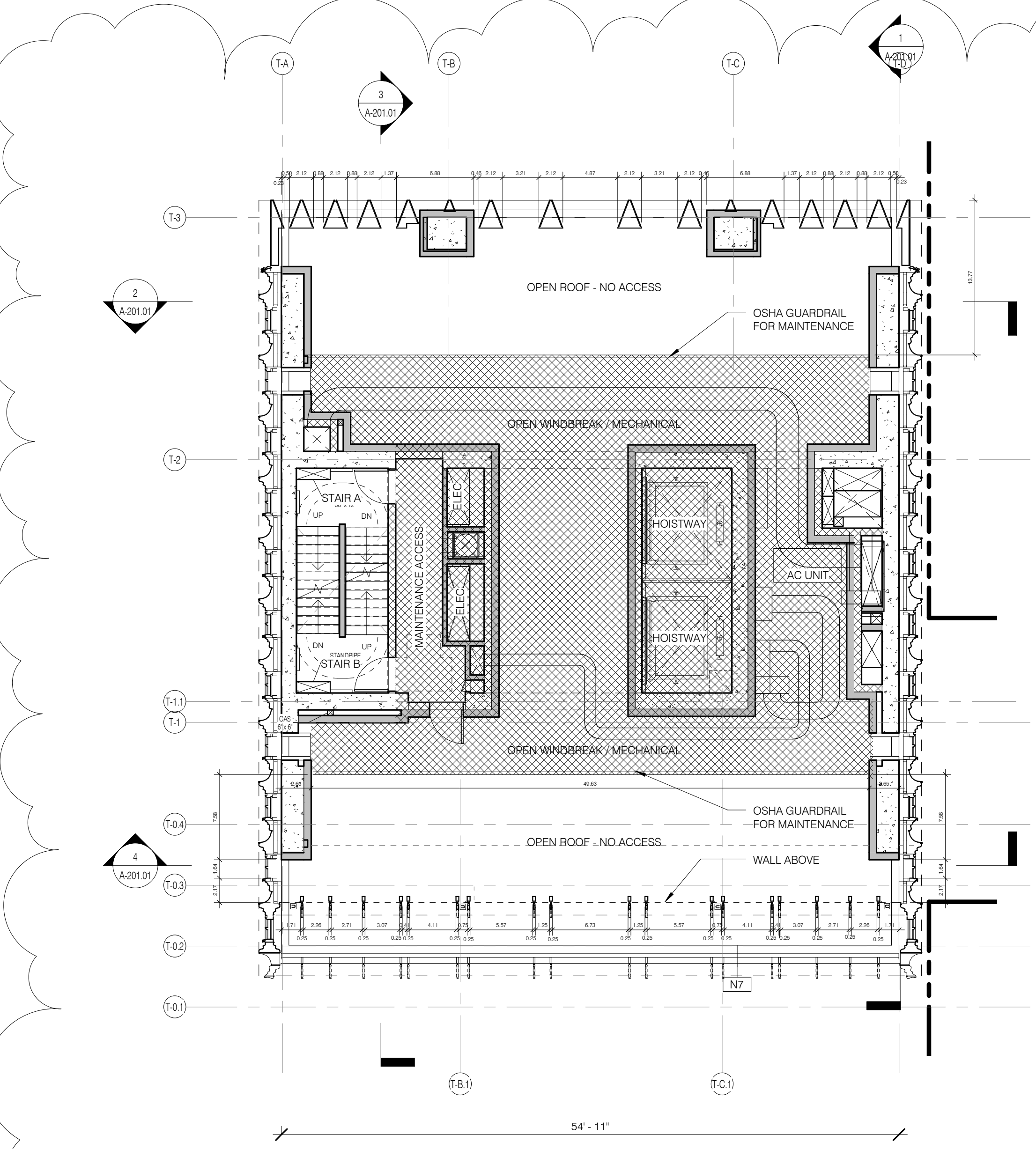
LEVEL 46-53 PLAN 1/8" = 1'-0" 1 A2130 A11115

- GENERAL NOTES
- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
 - G2 PROJECT 0.0 = 63.1 MBD
 - G3 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS
 - G4 REFER TO RESTORATION DRAWINGS (R-1) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT
 - G5 NON-PRESSURIZED EGRESS STAIR THROUGHOUT
 - G6 ALL FLOOR ELEVATIONS IN STEREWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC 1925 DRAWINGS, VIZ. ALL NEW SLAB IN STEREWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL LIND
 - G7 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS
 - G8 SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS
 - G9 ALL ELEVATIONS ARE FROM TOP OF SLAB
 - G10 LOCATION AND SIZE OF ANCHOR BOLT TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR
 - G11 SEE DRAWING G-002 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND
 - G12 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD
 - G13 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEWP HANGING LOAD
 - G14 ALL UNIT INTERIOR PASSAGE DOORS ARE 3/4" WIDE UCN

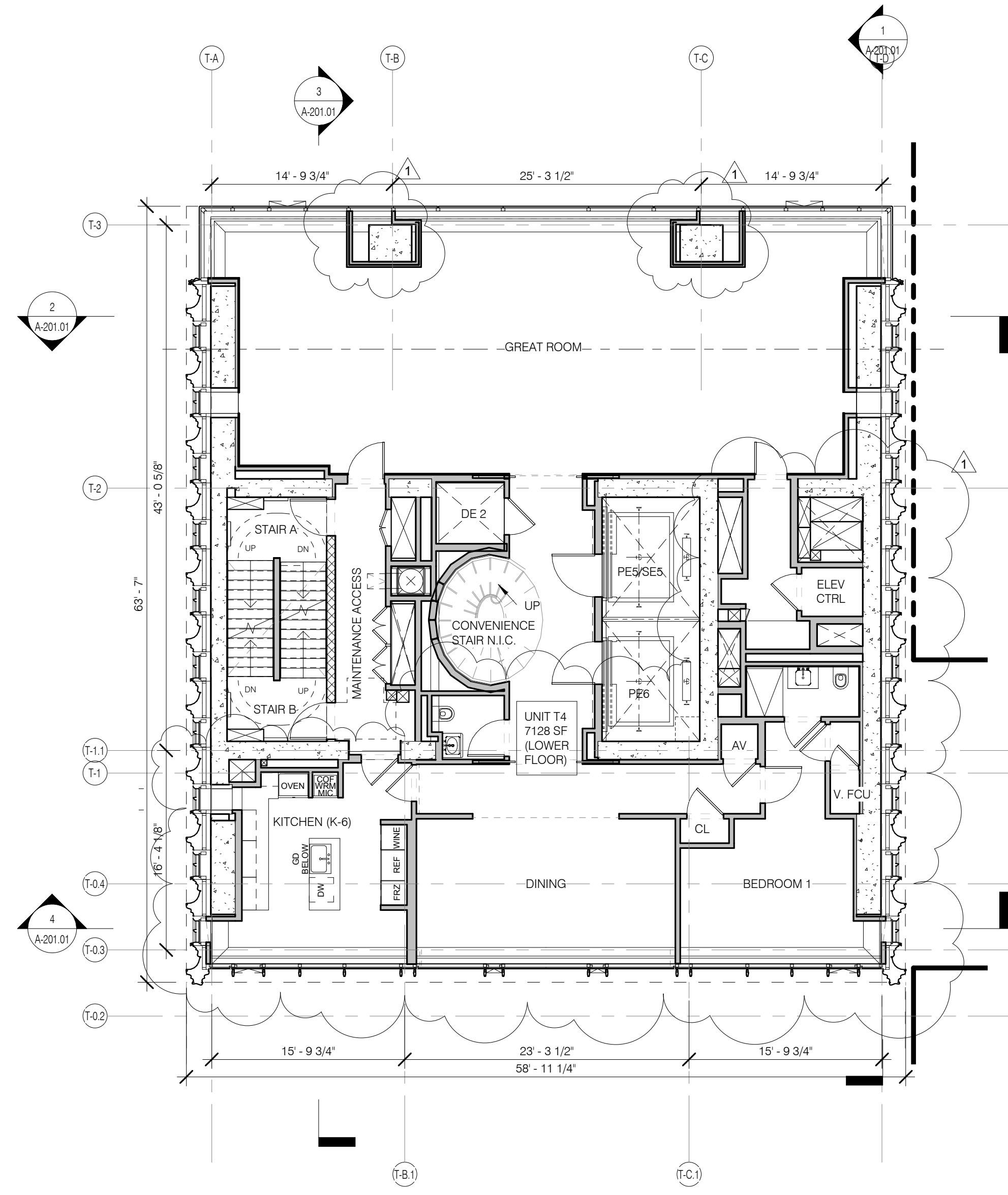
KEY NOTES



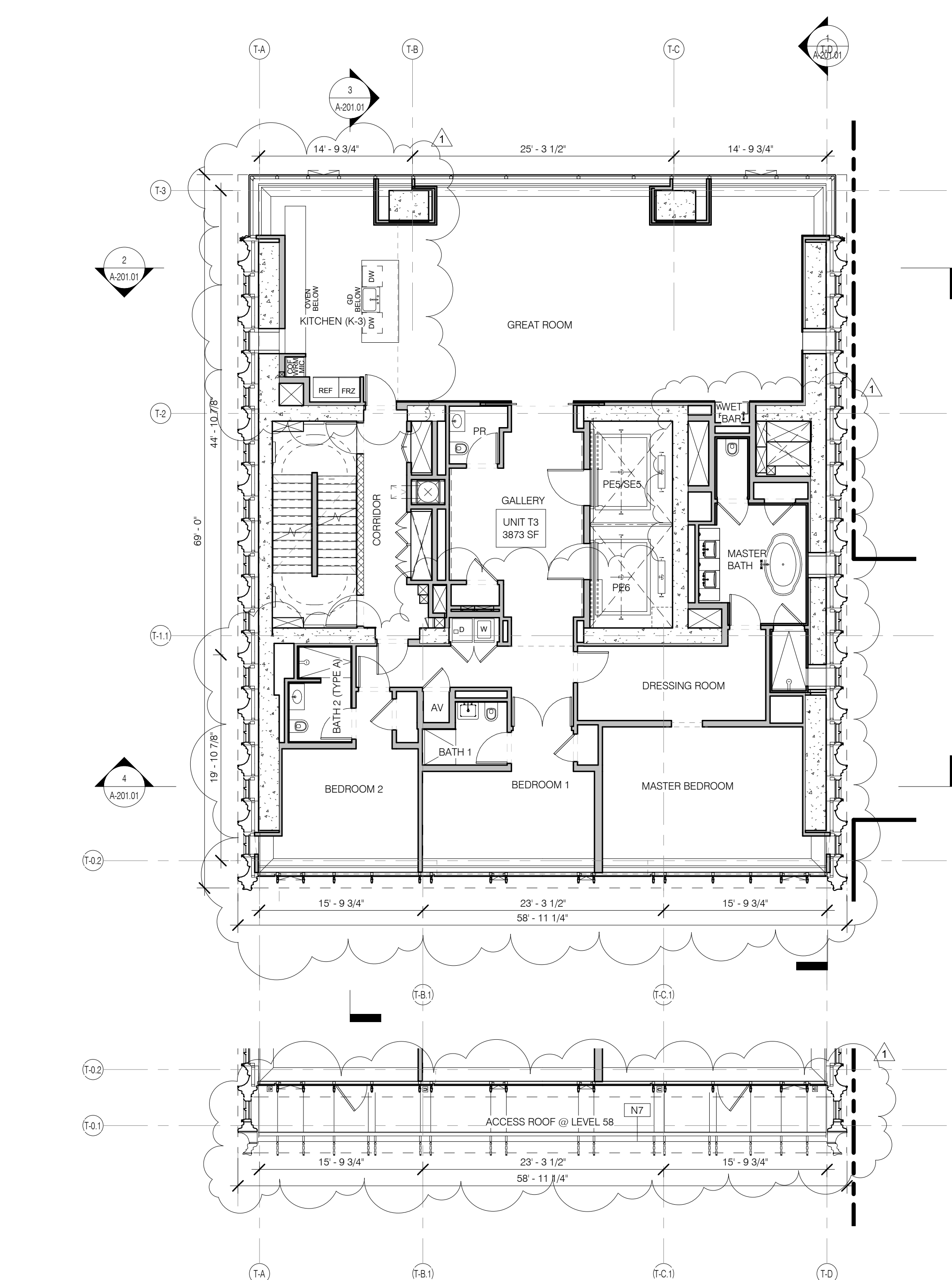
LEVEL 67/69 PLAN 1/8" = 1'-0" 4



LEVEL 65 PLAN (OPEN WINDBREAK/MECHANICAL) 1/8" = 1'-0" 2



LEVEL 66/68 PLAN 1/8" = 1'-0" 3



LEVEL 58-64 PLAN 1/8" = 1'-0" 1

- GENERAL NOTES
- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
 - G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
 - G3 PROJECT 0-0 = 63.1 MBD.
 - G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
 - G5 REFER TO RESTORATION DRAWINGS (R1) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT.
 - G6 NON PRESSURIZED EGRESS STAIR THROUGHOUT.
 - G7 ALL FLOOR ELEVATIONS IN STEREWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC RECORDS. ALL NEW SLAB IN STEREWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB-FILL, UNO.
 - G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
 - G9 ALL ELEVATIONS ARE FROM TOP OF SLAB.
 - G10 LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
 - G11 SEE DRAWING G-000 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
 - G12 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TEO.
 - G13 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEPPFP HANGING LOAD.
 - G14 ALL UNIT INTERIOR PASSAGE DOORS ARE 36" WIDE, UNO.

KEY NOTES

- N7 GLASS PARAPET

STRUCTURAL ENGINEER	FAÇADE
YUSEF CAHAYZ BEKRAJ 235 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212.869.8986	BURKHARDT HOFFMANN 100 BROADWAY NEW YORK, NY 10005 TEL: 212.244.2025
MEP ENGINEER	VERTICAL TRANSPORTATION
JORDIS, BAIAM & ROLLES 89 WINE STREET, 12TH FLOOR NEW YORK, NY 10003 TEL: 212.869.8933	VAN DEUSEN & ASSOCIATES 100 WEST STREET, SUITE 2014 LARKSPRING, NJ 07033 TEL: 973.288.4475
CIVIL ENGINEER	RESTORATION
AWR ENGINEERING, P.C. 80 WEST 46TH STREET, 7TH FLOOR NEW YORK, NY 10018 TEL: 212.869.8933	JAN HROD POKORNY ASSOCIATES 30 WEST 57TH STREET, 11TH FLOOR NEW YORK, NY 10019 TEL: 212.255.4452
ACOUSTIC	GEOTECH
LONGMAN LINDSEY 40 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917.288.8300	MPC 305 WEST 40TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 917.288.8300
INTERIORS	LIGHTING
STUDIO SCENEFIELD 300 WAREHOUSES STREET NEW YORK, NY 10001 TEL: 212.475.3300	CONSERVATIVE INTERNATIONAL 100 WAREHOUSES STREET, 7TH FLOOR EAST NEW YORK, NY 10001 TEL: 212.255.4452

JDS DEVELOPMENT GROUP
100 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 646.832.3600

sh p

ARCHITECT
SHAP ARCHITECTS, P.C.
235 BROADWAY, 11TH FLOOR
NEW YORK, NY 10001
TEL: 212.869.8933

PROPERTY MARKETS GROUP
235 BROADWAY, 11TH FLOOR
NEW YORK, NY 10001
TEL: 212.869.8933

CURRENT ISSUE

DOB PAA

Shauqat Shaikh
Building + Water
APPROVED
Under Directive 2 of 1975
DATE: 08/28/2015
NYC Development Hub

111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019

CENTRAL PLAN
SITE DIAGRAM

LEGEND

- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- RETAIL TENANT FITOUT
- INTERIOR LANDMARK NO CHANGE
- OPEN GRATING

DRAWING TITLE
FLOOR KEY PLANS LEVELS 58-67

SEAL & SIGNATURE DATE 3/27/15
PROJECT NO. 130007
DRAWN BY SHAP
CHECKED BY SHAP
DOB NO. 121330206
DRAWING NUMBER
A-112.01

- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
- G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
- G3 PROJECT 0-0 = 63.1 MBD.
- G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
- G5 REFER TO RESTORATION DRAWINGS (R-1) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION, AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT.
- G6 NON-PRESSURIZED EGRESS STAIR THROUGHOUT.
- G7 ALL FLOOR ELEVATIONS IN STENWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC HGS DRAWINGS. ALL NEW SLAB IN STENWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB-FILL LINO.
- G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSING PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
- G10 ALL ELEVATIONS ARE FROM TOP OF SLAB LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
- G12 SEE DRAWING G-000 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
- G13 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TEO.
- G14 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEPPFP HANGING LOAD.
- G15 ALL UNIT INTERIOR PASSAGE DOORS ARE 36" WIDE LOKN.

KEY NOTES

N7 GLASS PARAMET

JDS DEVELOPMENT GROUP
164 FIFTH AVENUE, 8TH FLOOR
NEW YORK, NY 10011
TEL: 212.869.3000

sh p

ARCHITECT
sh p architects, p.c.
235 BROADWAY, 11TH FLOOR
NEW YORK, NY 10007
TEL: 212.869.3000

STRUCTURAL ENGINEER
YUSEF GANTAWI ENGINEERING
128 EAST 47TH STREET
NEW YORK, NY 10017
TEL: 212.869.3000

MEP ENGINEER
JORDIS, BAUM & BOLLES
89 W. STREET, 12TH FLOOR
NEW YORK, NY 10006
TEL: 212.869.3000

CIVIL ENGINEER
ARAF EGHMERAL, P.C.
40 W. 34TH STREET, 7TH FLOOR
NEW YORK, NY 10018
TEL: 212.869.3000

ACOUSTICIAN
LONGMAN LINDSEY
40 WEST 40TH STREET, 4TH FLOOR
NEW YORK, NY 10018
TEL: 917.288.4900

INTERIORS
STUDIOS FIELD
30 WALKER STREET
NEW YORK, NY 10002
TEL: 212.255.4452

FAÇADE
BURROUGHS
105 BROADWAY
NEW YORK, NY 10005
TEL: 212.254.2025

VERTICAL TRANSPORTATION
VAN DEUSEN & ASSOCIATES
180 WEST STREET, SUITE 200
LARKSPER, NJ 07033
TEL: 973.984.9770

RESTORATION
JAN HEDRICK ASSOCIATES
80 WEST 40TH STREET, 4TH FLOOR
NEW YORK, NY 10018
TEL: 212.255.4452

GEOTECH
MICE
305 WEST 40TH STREET, 4TH FLOOR
NEW YORK, NY 10018
TEL: 917.288.4900

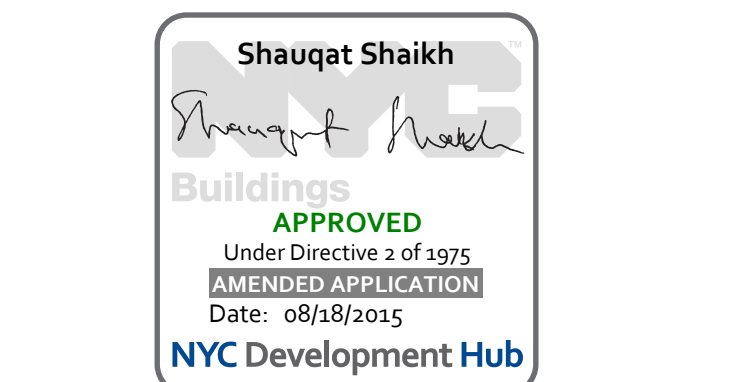
LIGHTING
CONSERVATORIE INTERNATIONAL
105 WALKER STREET, 7TH FLOOR EAST
NEW YORK, NY 10002
TEL: 212.255.4452



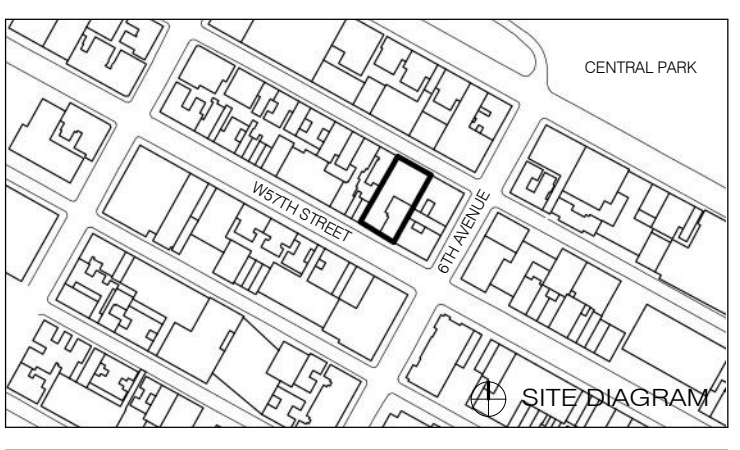
PROPERTY MARKETS GROUP
30 EAST 17TH STREET, 2ND FLOOR
NEW YORK, NY 10003
TEL: 212.869.3000

CURRENT ISSUE

DOB PAA



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



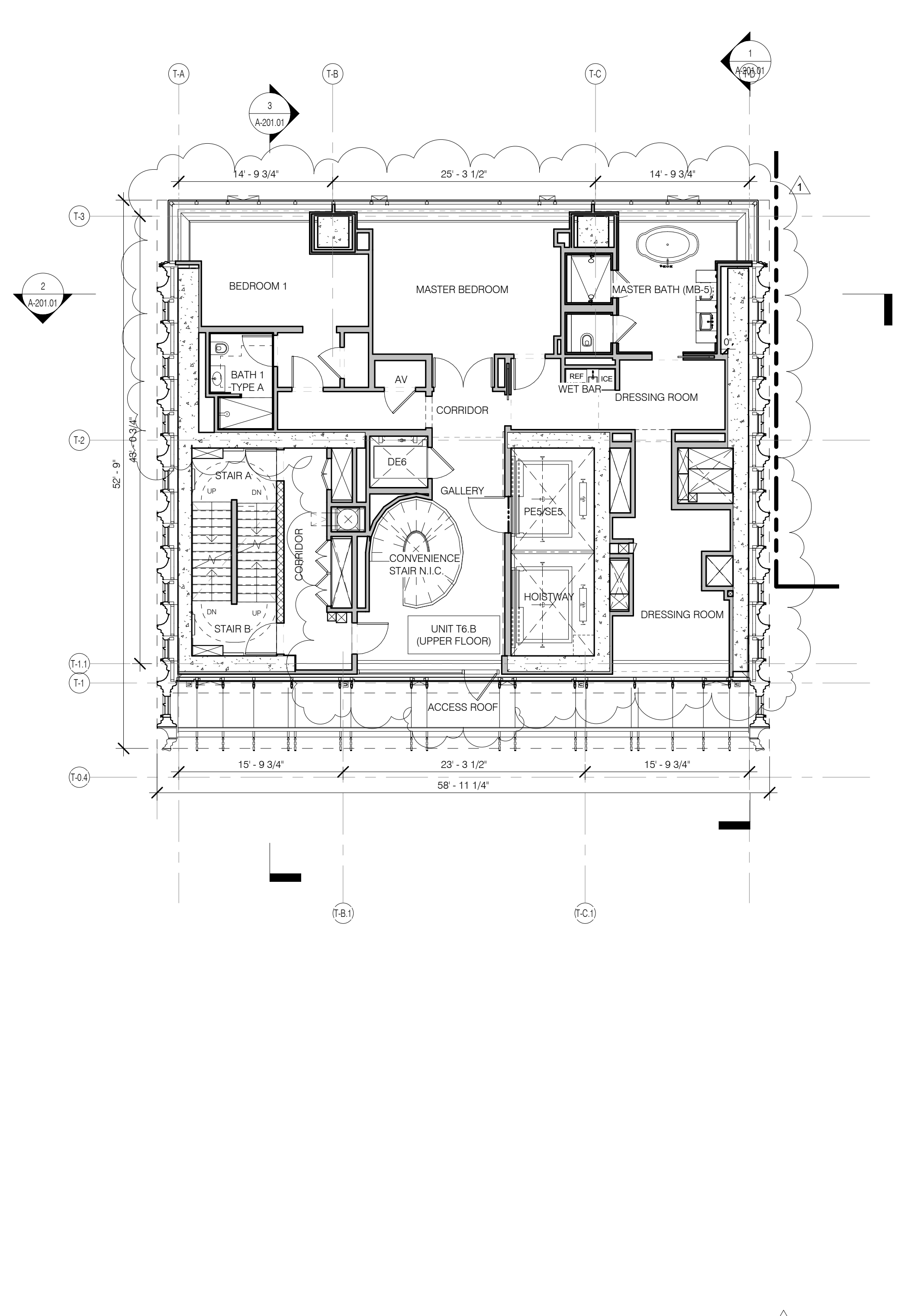
1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

LEGEND

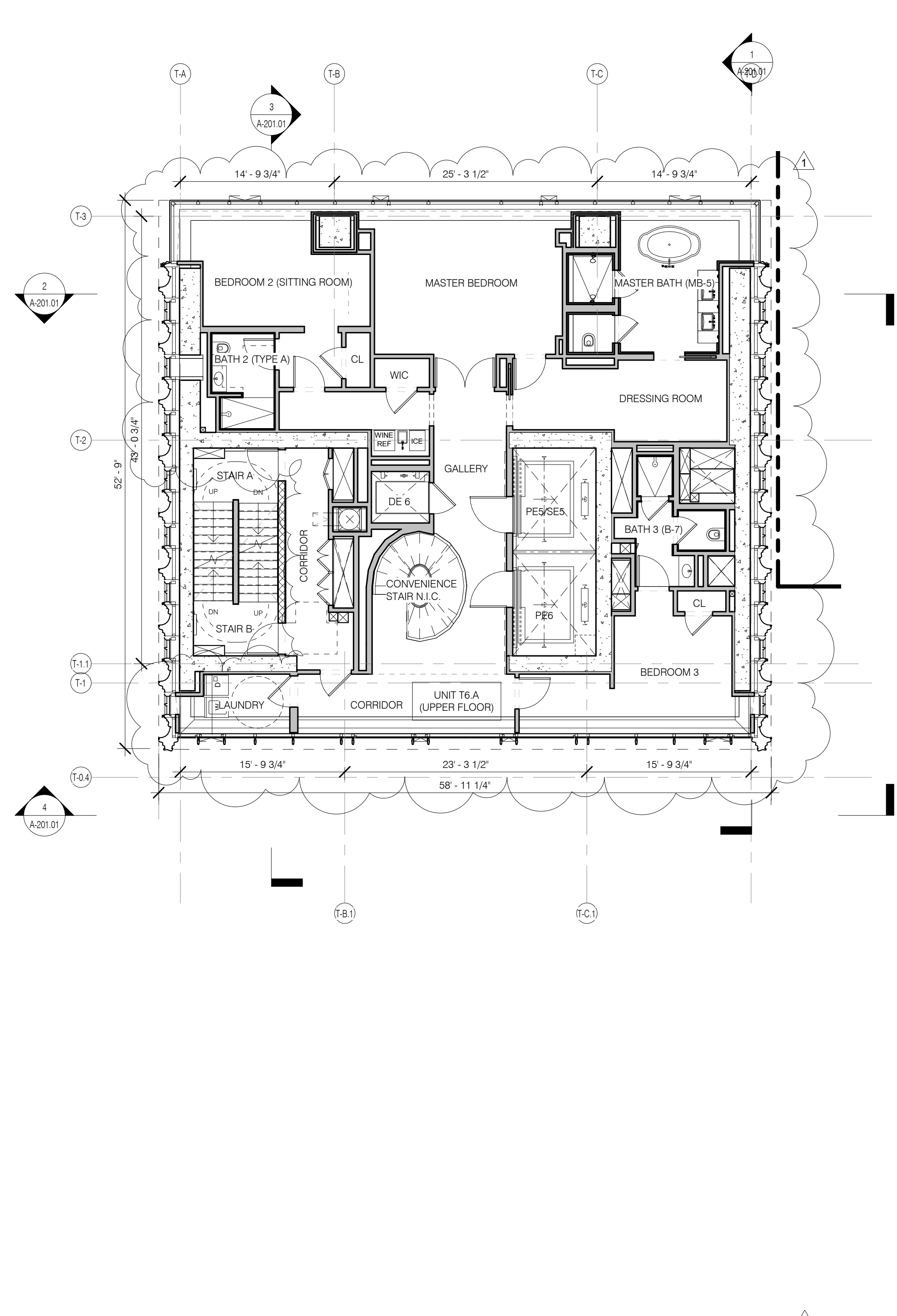
- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- RETAIL TENANT FITOUT
- INTERIOR LANDMARK NO CHANGE
- OPEN GRATING

DRAWING TITLE
FLOOR KEY PLANS LEVELS 70-77

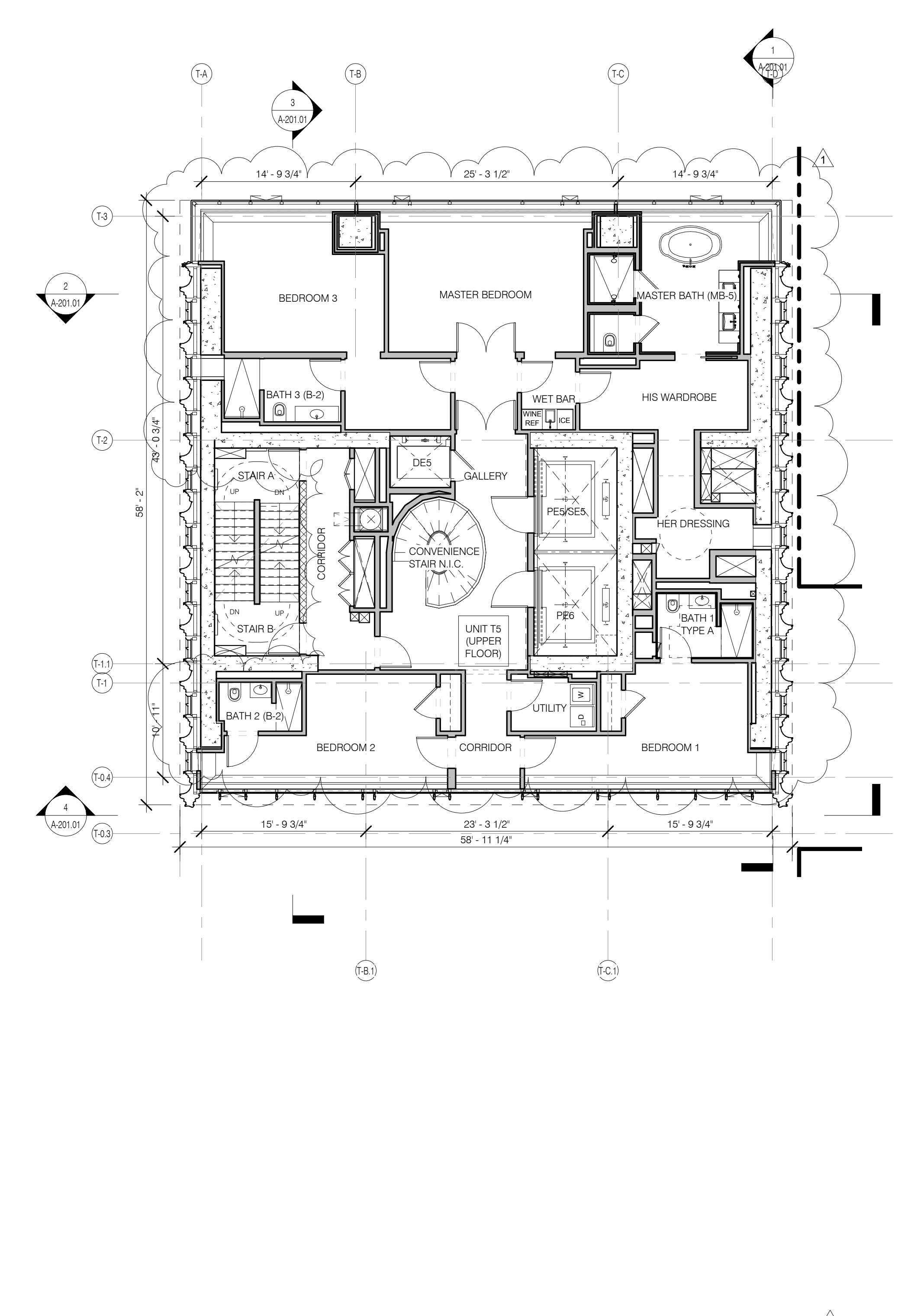
SEAL & SIGNATURE
DATE: 3.27.15
PROJECT NO: 130907
DRAWN BY: SH/p
CHECKED BY: SH/p
DOB NO: 121332068
DRAWING NUMBER: A-113.01



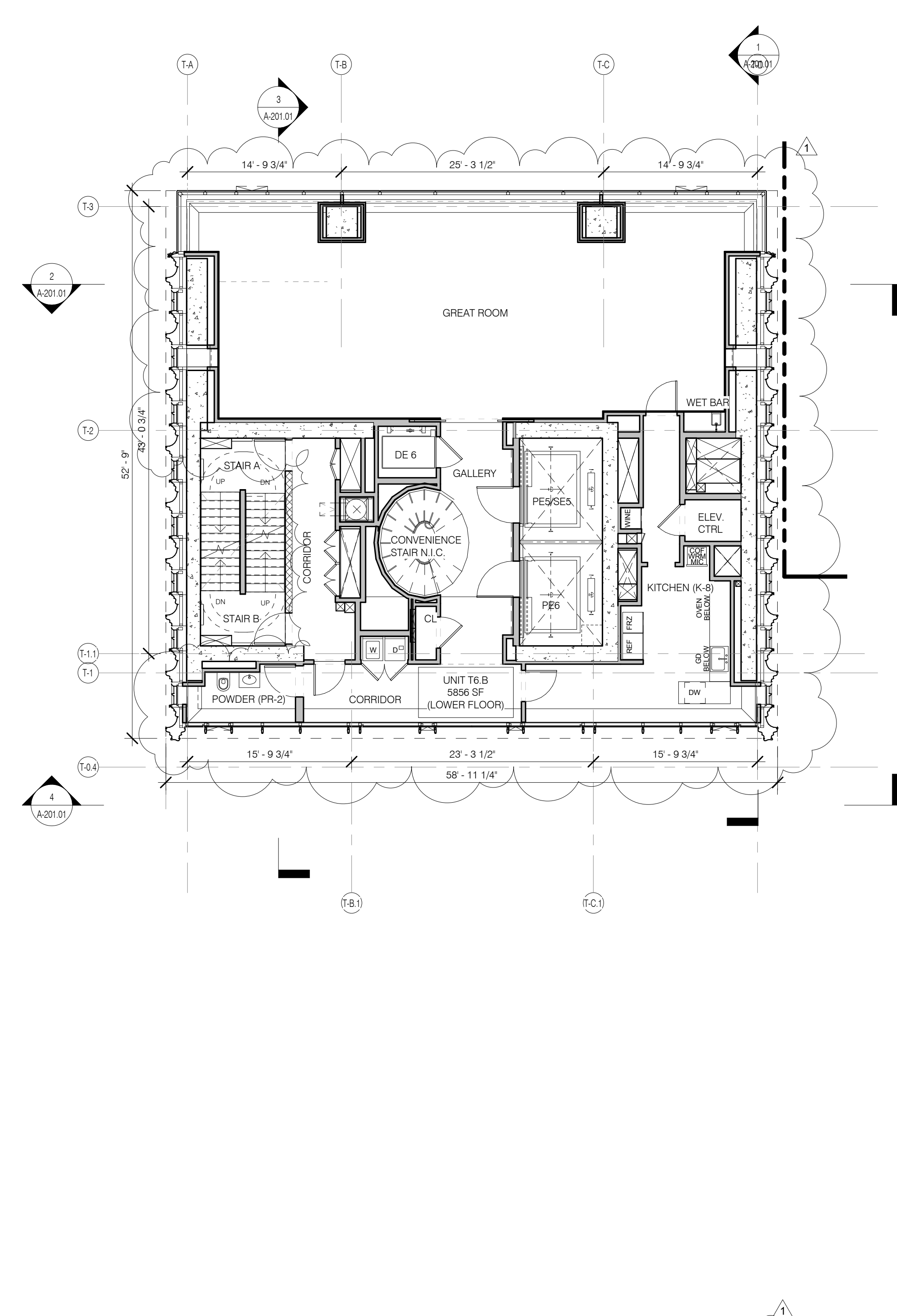
LEVEL 77 PLAN 1/8" = 1'-0" 06



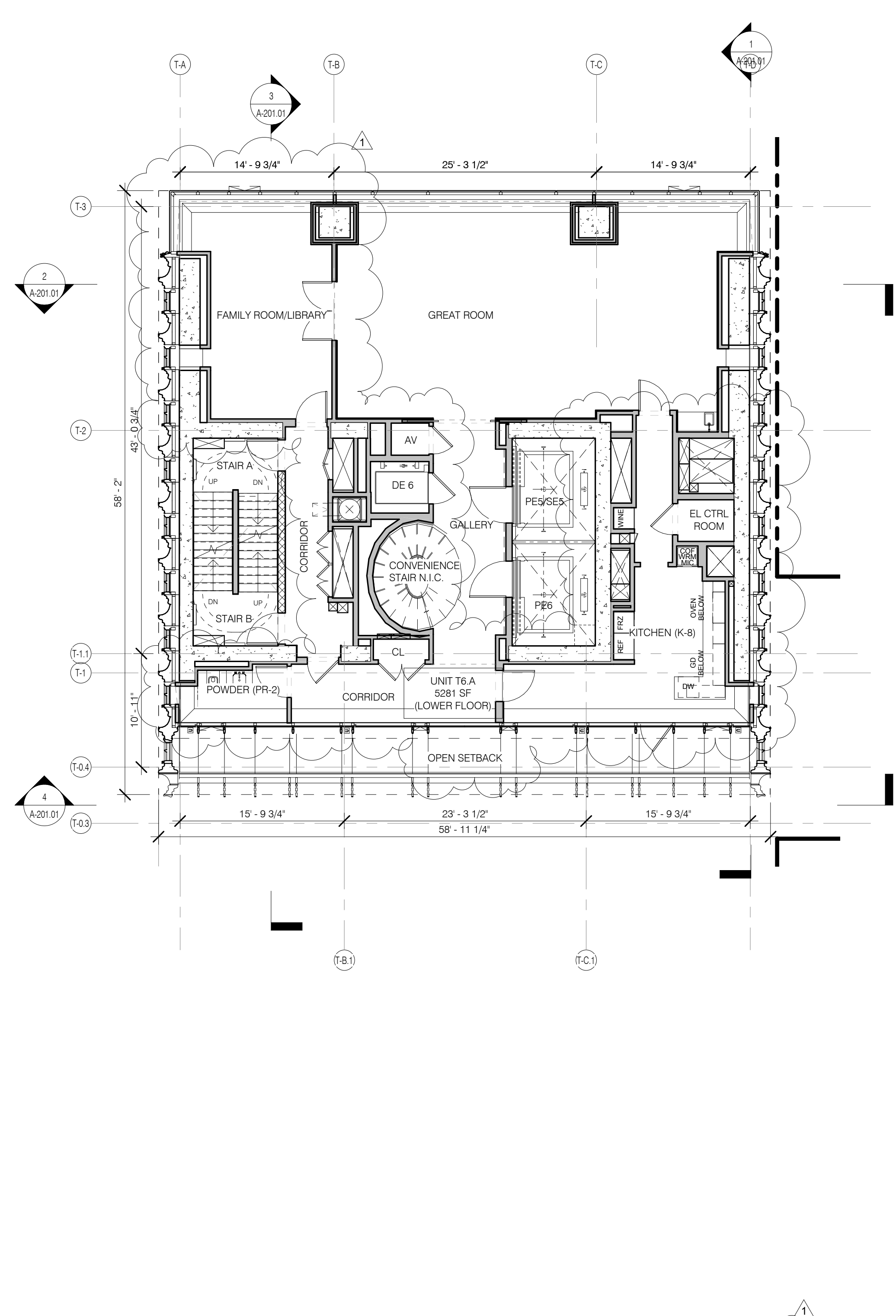
LEVEL 76 PLAN 1/8" = 1'-0" 4



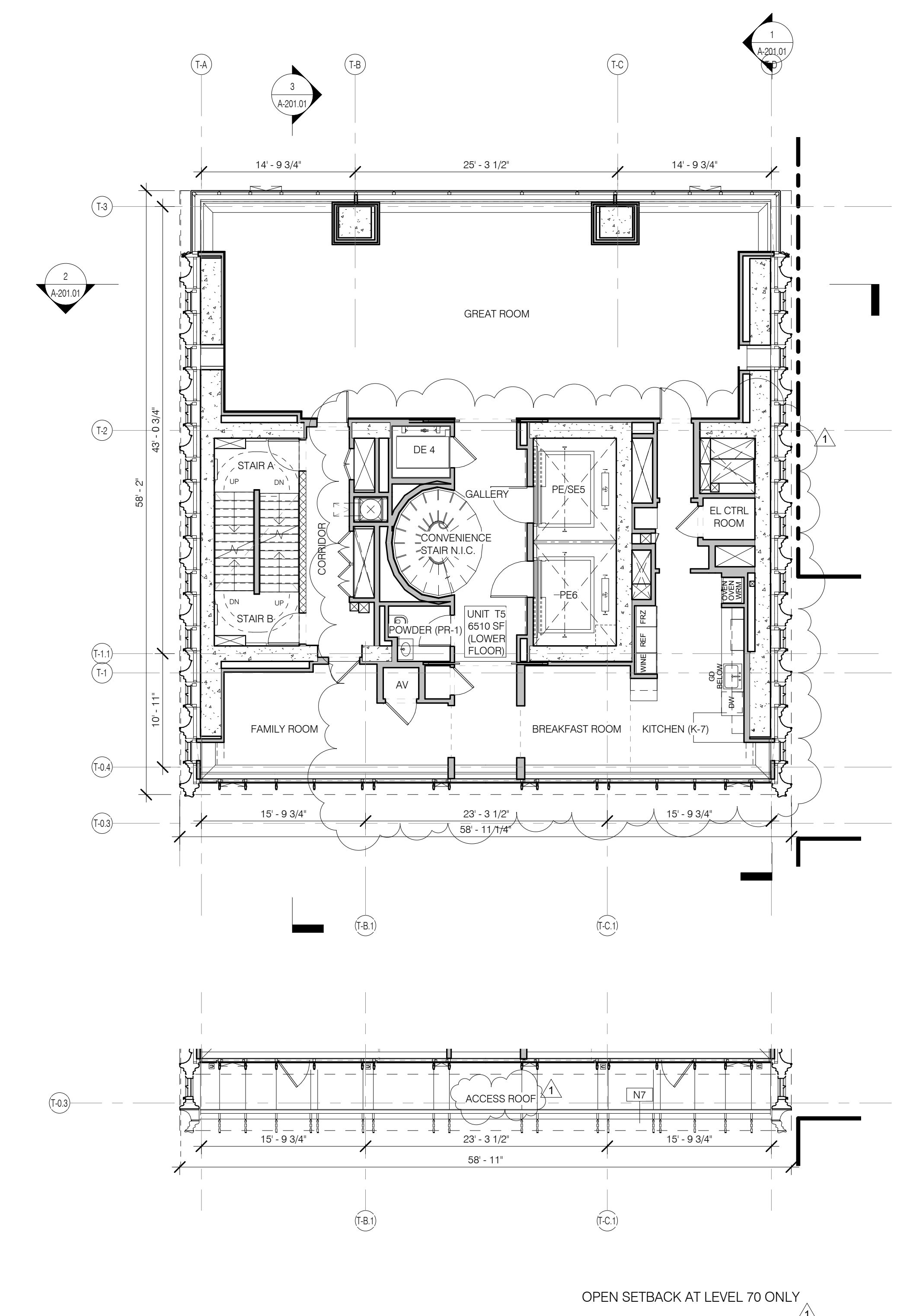
LEVEL 71/73 PLAN 1/8" = 1'-0" 2



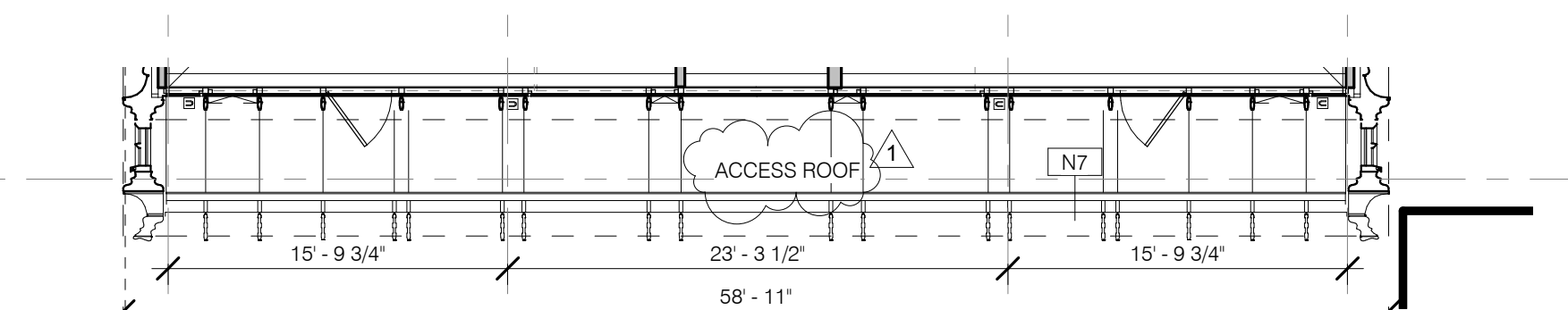
LEVEL 76 PLAN 1/8" = 1'-0" 5



LEVEL 74 PLAN 1/8" = 1'-0" 3



LEVEL 70/72 PLAN 1/8" = 1'-0" 1



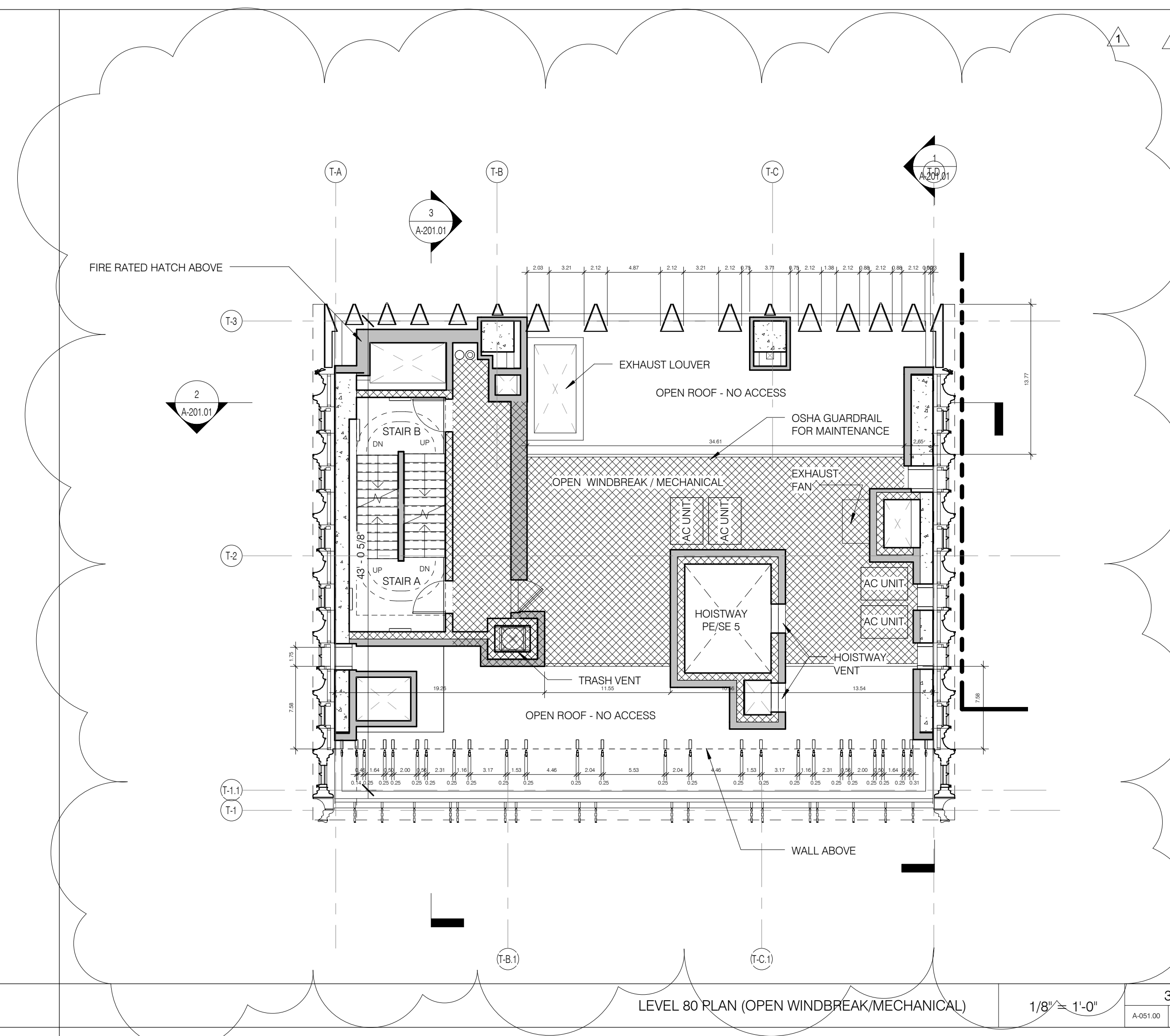
OPEN SETBACK AT LEVEL 70 ONLY

ARCHITECT	SHAP ARCHITECTS, P.C. 235 BROADWAY, 11TH FLOOR NEW YORK, NY 10007 TEL: 212.850.3000
STRUCTURAL ENGINEER	YUSEF GANTOR ENGINEERING 235 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212.851.5886
MEP ENGINEER	JARVIS, BALM & BOLLES 89 WEST STREET, 10TH FLOOR NEW YORK, NY 10006 TEL: 212.850.8000
CIVIL ENGINEER	ARUP ENGINEERING, P.C. 40 WEST 49TH STREET, 7TH FLOOR NEW YORK, NY 10018 TEL: 212.850.8000
ACOUSTIC	LONGMAN LINDSEY 40 WEST 49TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 212.850.8000
INTERIORS	STUDIOS 2050 FIELD 300 WAREHOUSE STREET NEW YORK, NY 10003 TEL: 212.475.3000
FAÇADE	BURROUGHS WAREFIELD 100 BROADWAY NEW YORK, NY 10002 TEL: 212.254.2025
VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 1 HENRIETTA STREET, SUITE 204 LARKSPER, NJ 07033 TEL: 973.984.8775
RESTORATION	JAN HRO POKORNY ASSOCIATES 20 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212.258.6482
GEO TECH	MACE 305 WEST 49TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 917.288.4900
LIGHTING	CONSERVATIVE INTERNATIONAL 105 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212.255.4463

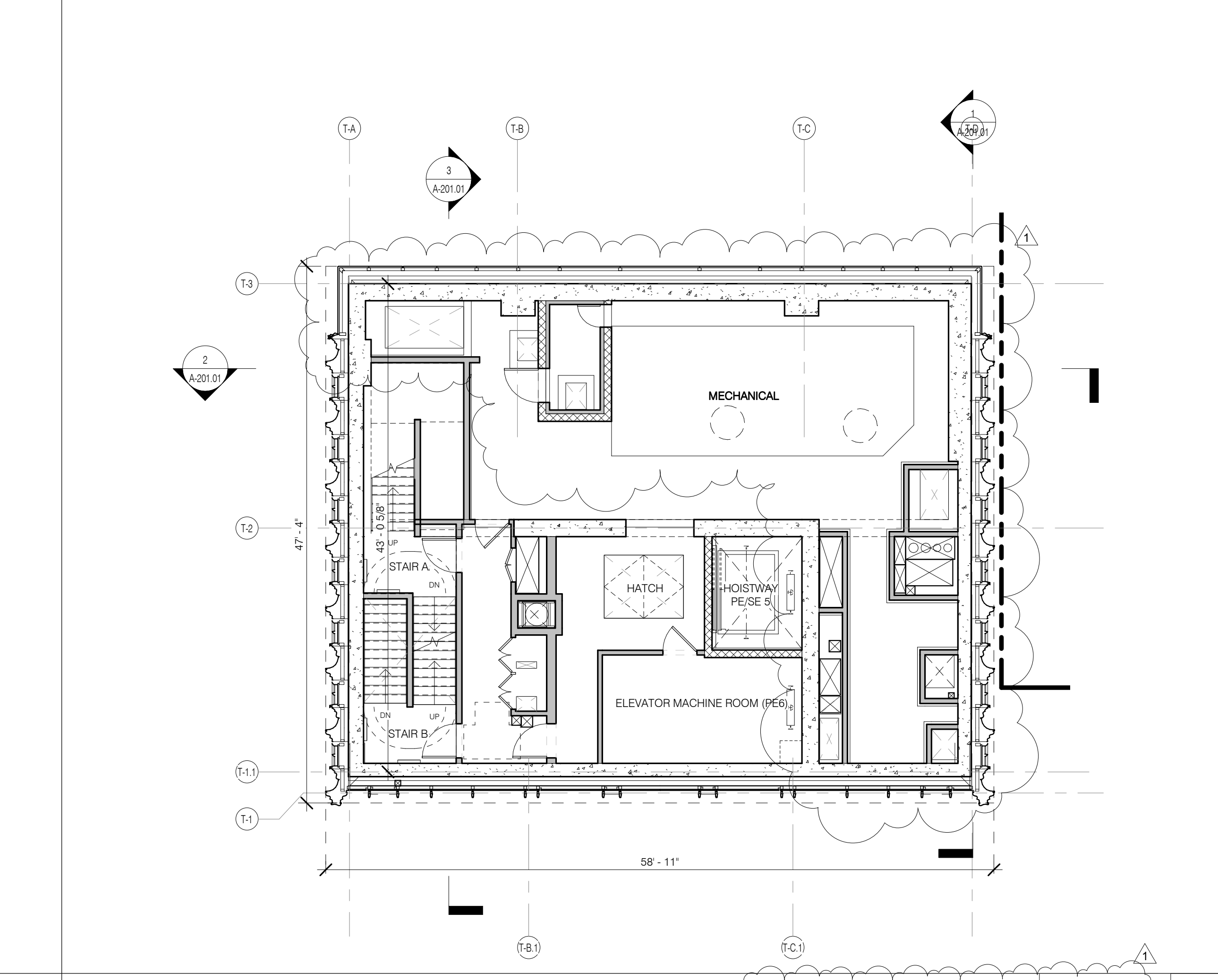
GENERAL NOTES

- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
- G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
- G3 PROJECT G-0 - 63.1 MBD.
- G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
- G5 REFER TO RESTORATION DRAWINGS (R-1) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION, AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT.
- G6 NON PRESSURIZED EGRESS STAIR THROUGHOUT.
- G7 ALL FLOOR ELEVATIONS IN STERWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC HIG DRAWINGS. ALL NEW SLAB IN STERWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB. FILL, UNO.
- G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
- G10 ALL ELEVATIONS ARE FROM TOP OF SLAB.
- G11 LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
- G12 SEE DRAWING G-0.00 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
- G13 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TEO.
- G14 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEPPF HANGING LOAD.
- G15 ALL UNIT INTERIOR PASSAGE DOORS ARE 36" WIDE, LON.

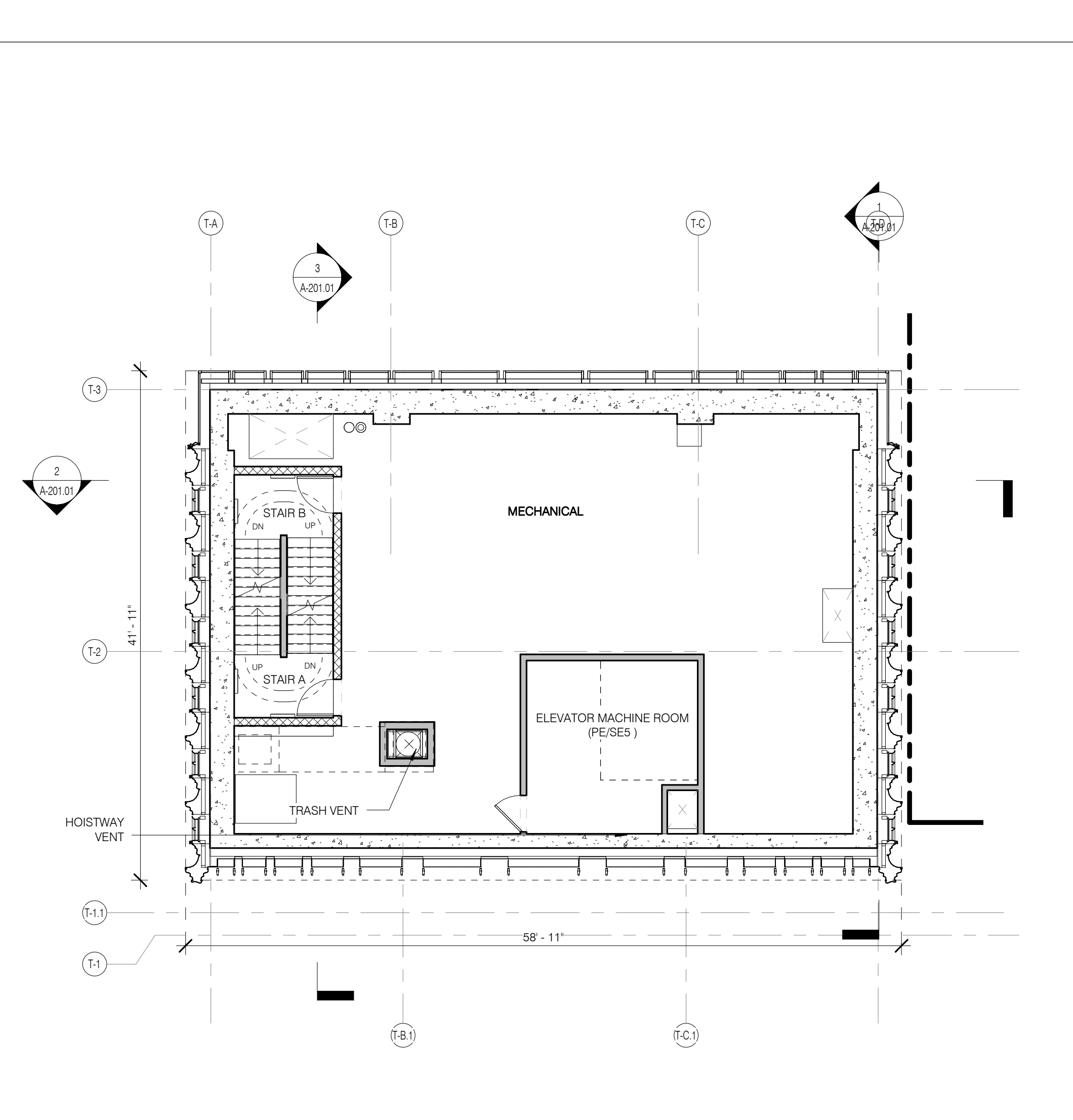
KEY NOTES



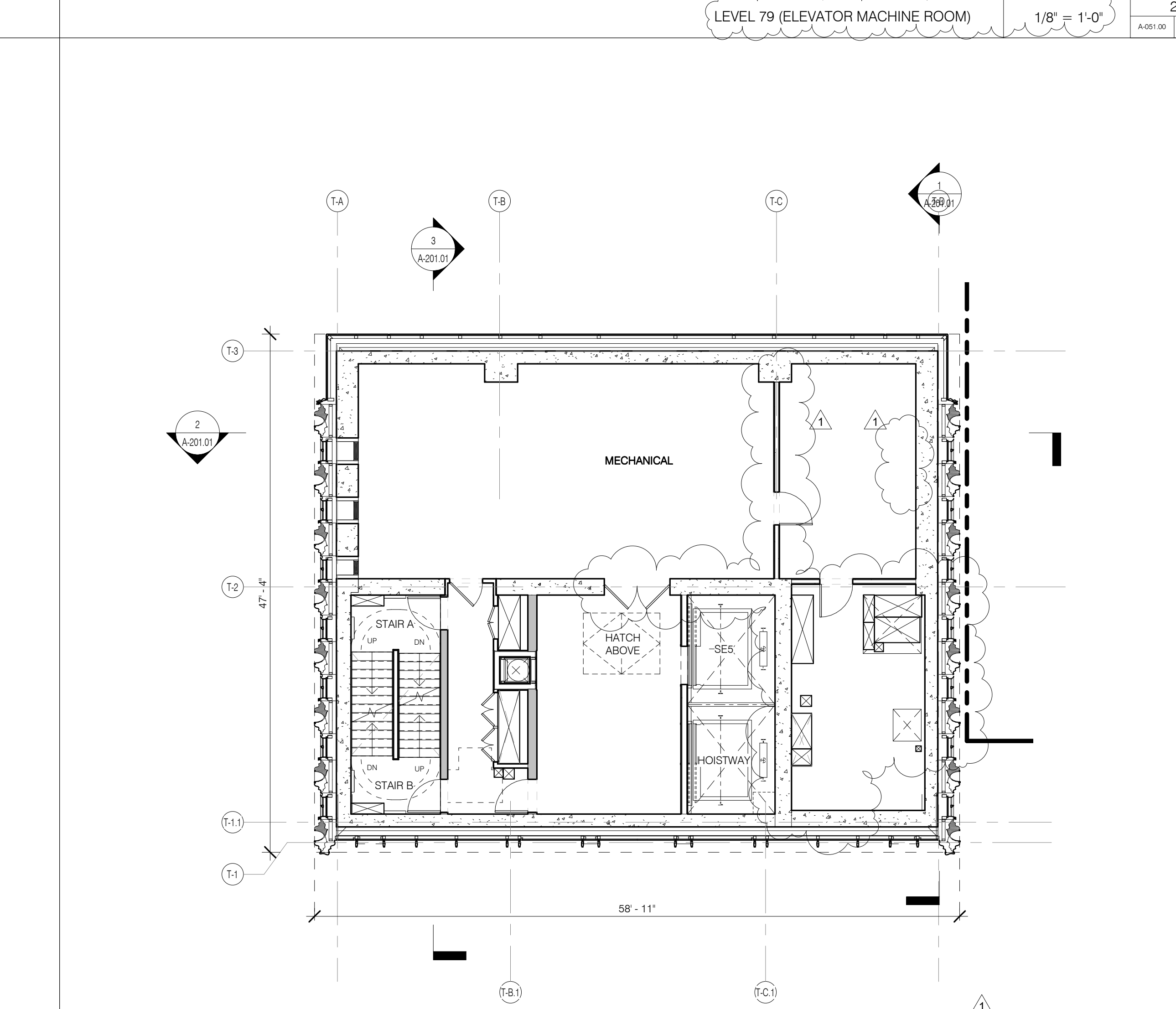
LEVEL 80 PLAN (OPEN WINDBREAK/MECHANICAL) 1/8" = 1'-0" 3 A114.0P



LEVEL 79 (ELEVATOR MACHINE ROOM) 1/8" = 1'-0" 2 A114.0P



LEVEL 81 (ELEVATOR MACHINE ROOM) 1/8" = 1'-0" 4 A114.0P



LEVEL 78 (MECHANICAL) 1/8" = 1'-0" 1 A114.0P

LEGEND

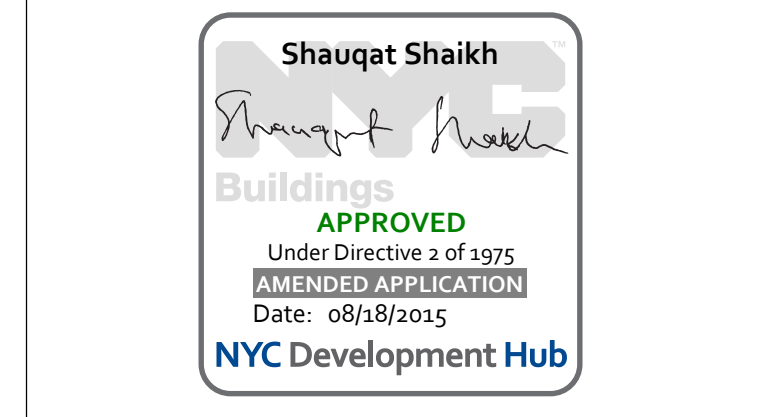
- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- RETAIL TENANT FITOUT
- INTERIOR LANDMARK
- NO CHANGE
- OPEN GRATING

0 2' 4' 6' 10'

PROPERTY MARKETS GROUP
3 EAST 17TH STREET, 2ND FLOOR
NEW YORK, NY 10003
TEL: 212.850.5000

CURRENT ISSUE

DOB PAA



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019

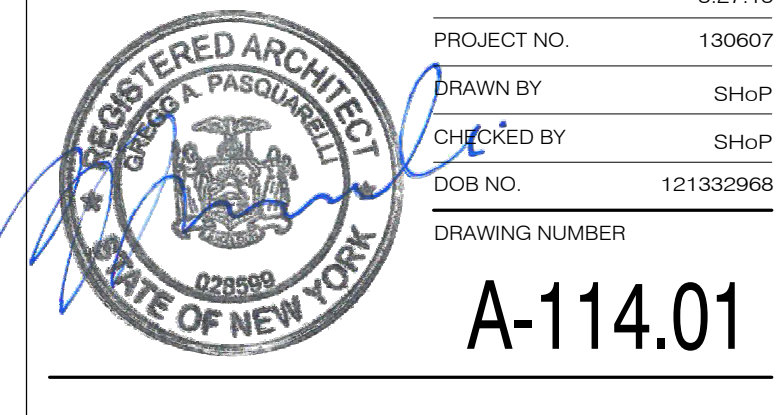


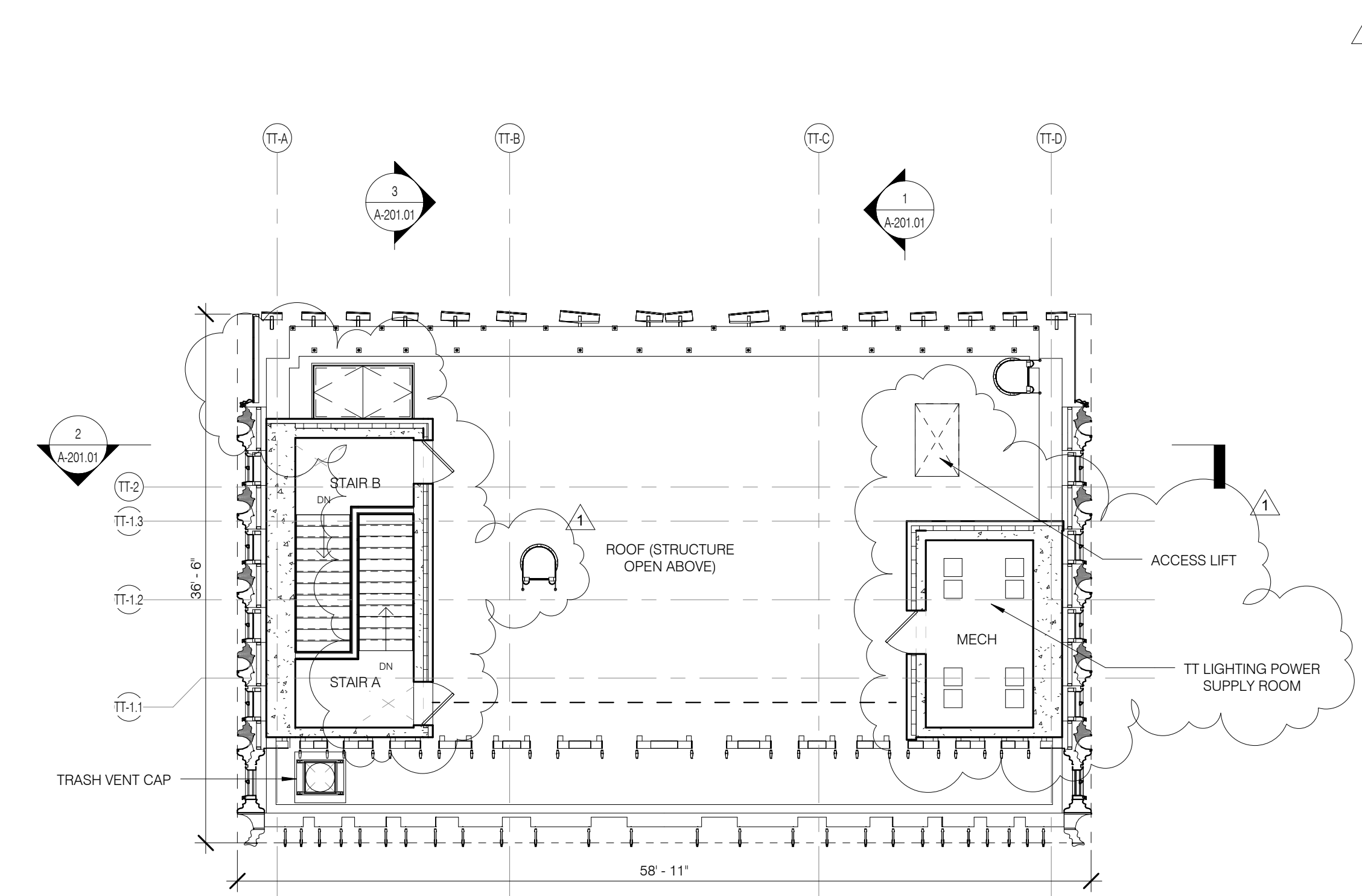
1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS, P.C. ALL RIGHTS RESERVED.

FLOOR KEY PLANS LEVELS 78-81

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130007	
DRAWN BY	SHAP	
CHECKED BY	SHAP	
DOB NO.	121332968	
DRAWING NUMBER	A-114.01	





- GENERAL NOTES
- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
 - G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
 - G3 PROJECT 0-0 = 83.1 MBD.
 - G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
 - G5 REFER TO RESTORATION DRAWINGS (R-1) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT.
 - G6 NON PRESSURIZED EGRESS STAR THROUGHOUT.
 - G7 ALL FLOOR ELEVATIONS IN STEREWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC HGS DRAWINGS. ALL NEW SLAB IN STEREWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL LINO.
 - G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
 - G9 ALL ELEVATIONS ARE FROM TOP OF SLAB LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
 - G10 SEE DRAWING G-000 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
 - G11 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TEO.
 - G12 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEPP/P HANGING LOAD.
 - G13 ALL UNIT INTERIOR PASSAGE DOORS ARE 36" WIDE LOKN.

KEY NOTES

JDS DEVELOPMENT GROUP
104 FIFTH AVENUE, 8TH FLOOR
NEW YORK, NY 10011
TEL: 212.880.8000

sh p

ARCHITECT
SHAP ARCHITECTS, P.C.
233 BROADWAY, 11TH FLOOR
NEW YORK, NY 10001
TEL: 212.880.8000

STRUCTURAL ENGINEER
YUSEF GANTOR BEKRIK
128 EAST 47TH STREET
NEW YORK, NY 10017
TEL: 212.897.5886

MEP ENGINEER
JANOSI, BAIAM & BOLLER
49 WINE STREET, 12TH FLOOR
NEW YORK, NY 10003
TEL: 212.880.8000

CIVIL ENGINEER
ARIF ENGINEERING, P.C.
40 W 104th AVE, 20TH FLOOR
NEW YORK, NY 10019
TEL: 212.880.8000

ACOUSTIC
LONGMAN LINDSEY
40 WEST 50TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 917.338.4300

INTERIORS
STUDIOS JENSEN
300 W 42ND STREET
NEW YORK, NY 10018
TEL: 212.475.3000

FAÇADE
BURDUMBERFELD
100 BROADWAY
NEW YORK, NY 10003
TEL: 212.254.2025

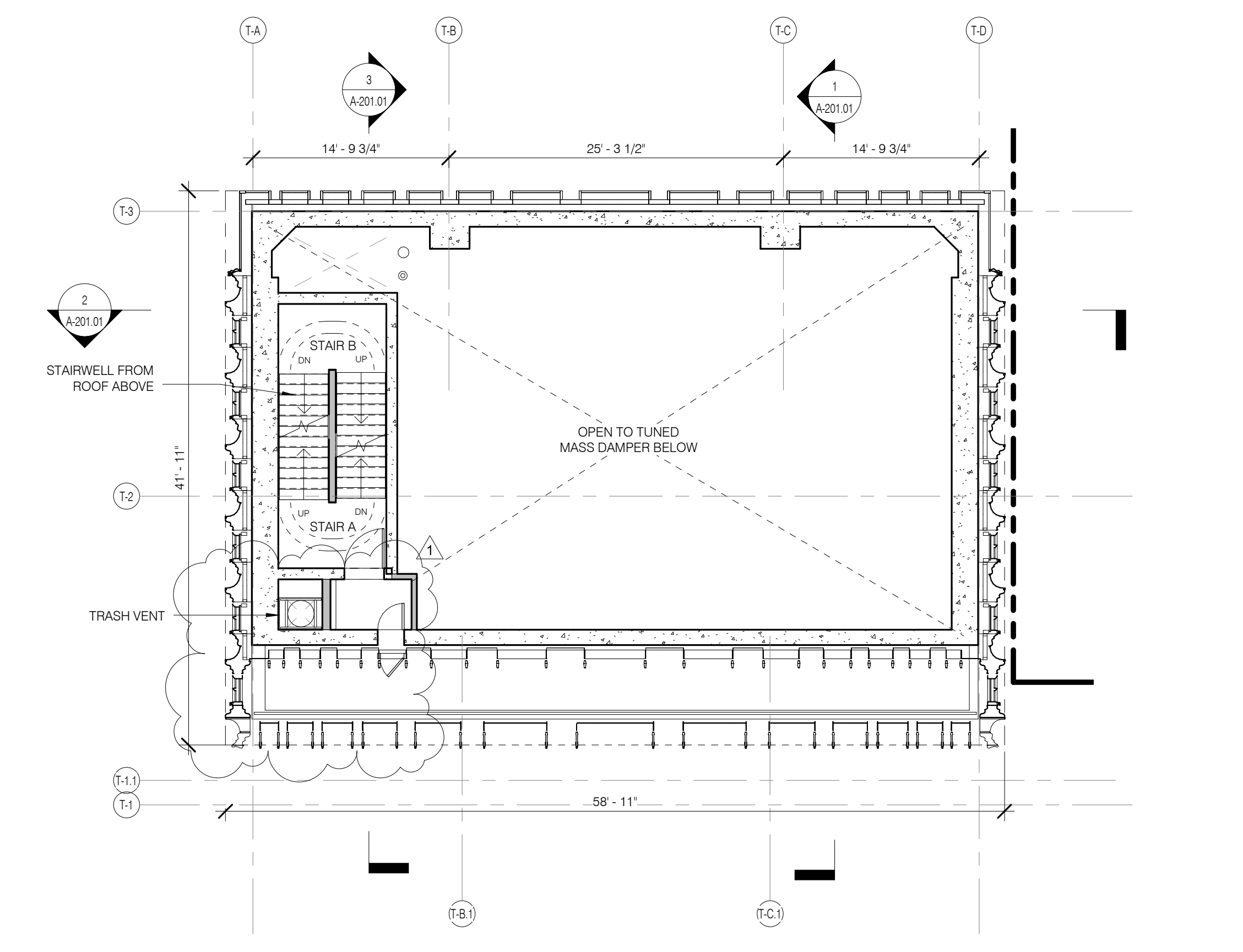
VERTICAL TRANSPORTATION
VAN DEUSEN & ASSOCIATES
1 HENRIETTA STREET, SUITE 204
LARKSPEN, NJ 07039
TEL: 973.984.8770

RESTORATION
JAN HIRSH FOKORNY ASSOCIATES
30 WEST 57TH STREET, 11TH FLR
NEW YORK, NY 10019
TEL: 212.258.6480

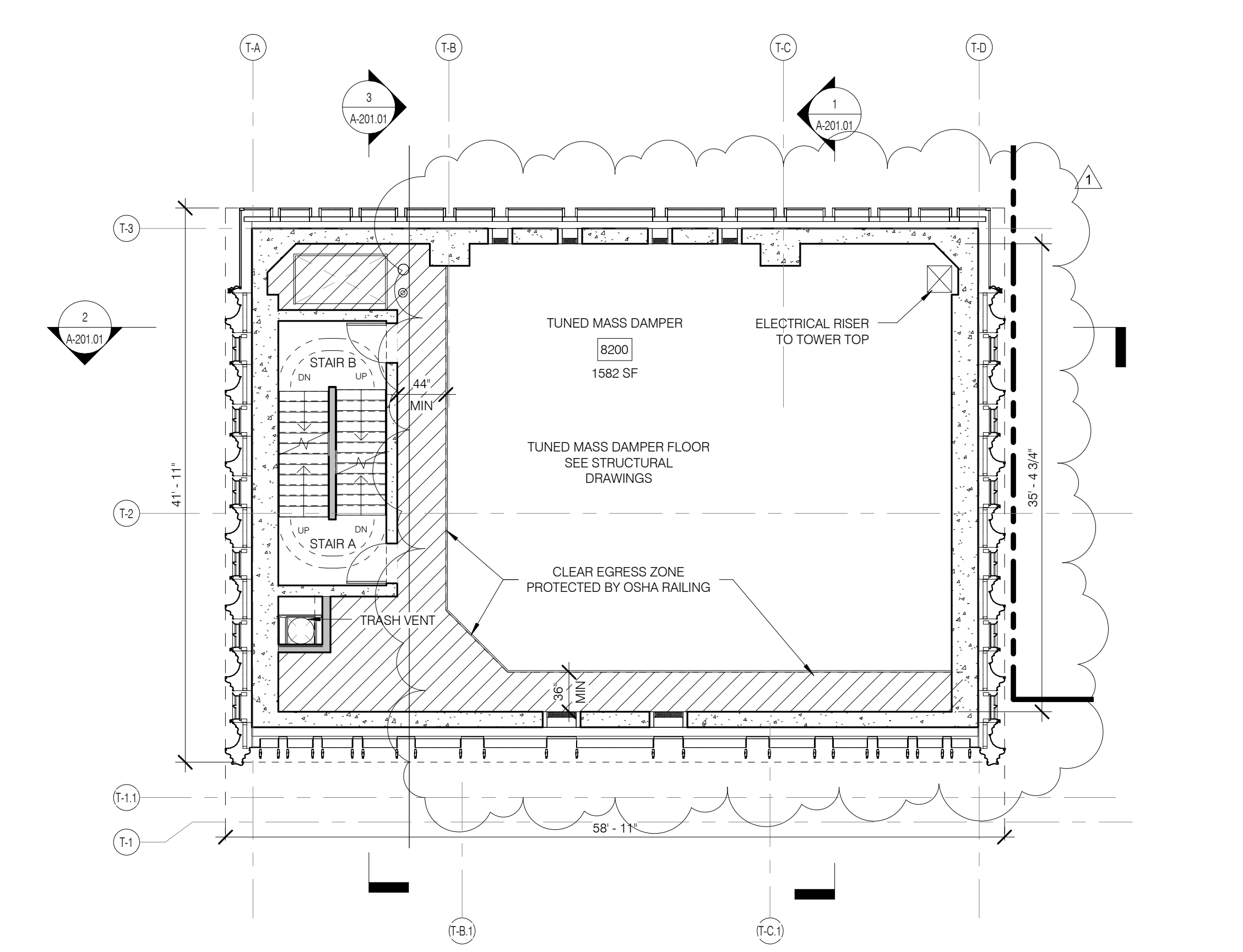
GEO TECH
MICE
305 WEST 50TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 917.338.4300

LIGHTING
CONSERVATIVE INTERNATIONAL
100 WALKER STREET, 7TH FLOOR EAST
NEW YORK, NY 10013
TEL: 212.255.4463

LEVEL 85 - ROOF PLAN 1/8" = 1'-0" 3



LEVEL 83 (TUNED MASS DAMPER) 1/8" = 1'-0" 2



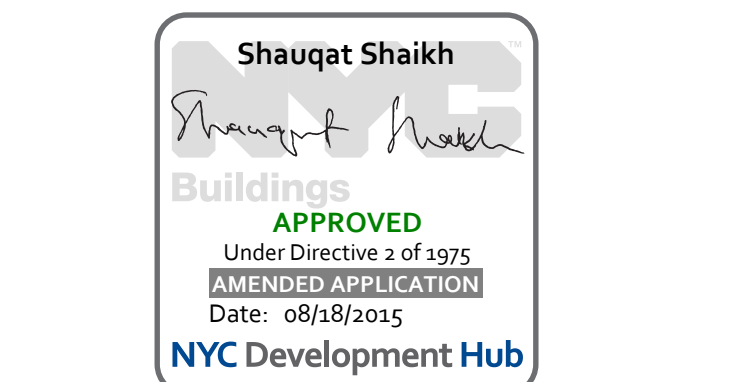
LEVEL 82 (TUNED MASS DAMPER) 1/8" = 1'-0" 1



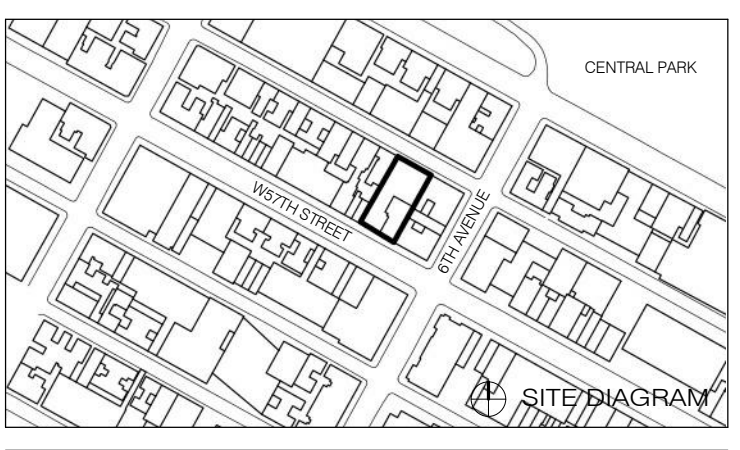
PROPERTY MARKETS GROUP
10 EAST 17TH STREET, 2ND FLOOR
NEW YORK, NY 10003
TEL: 212.899.9999

CURRENT ISSUE

DOB PAA



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



NO.	DATE	REVISION
1	3/27/15	DOB PAA

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JDS DEVELOPMENT GROUP. COPYRIGHT © 2015 SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.

DRAWING TITLE
FLOOR KEY PLANS LEVELS 82-ROOF

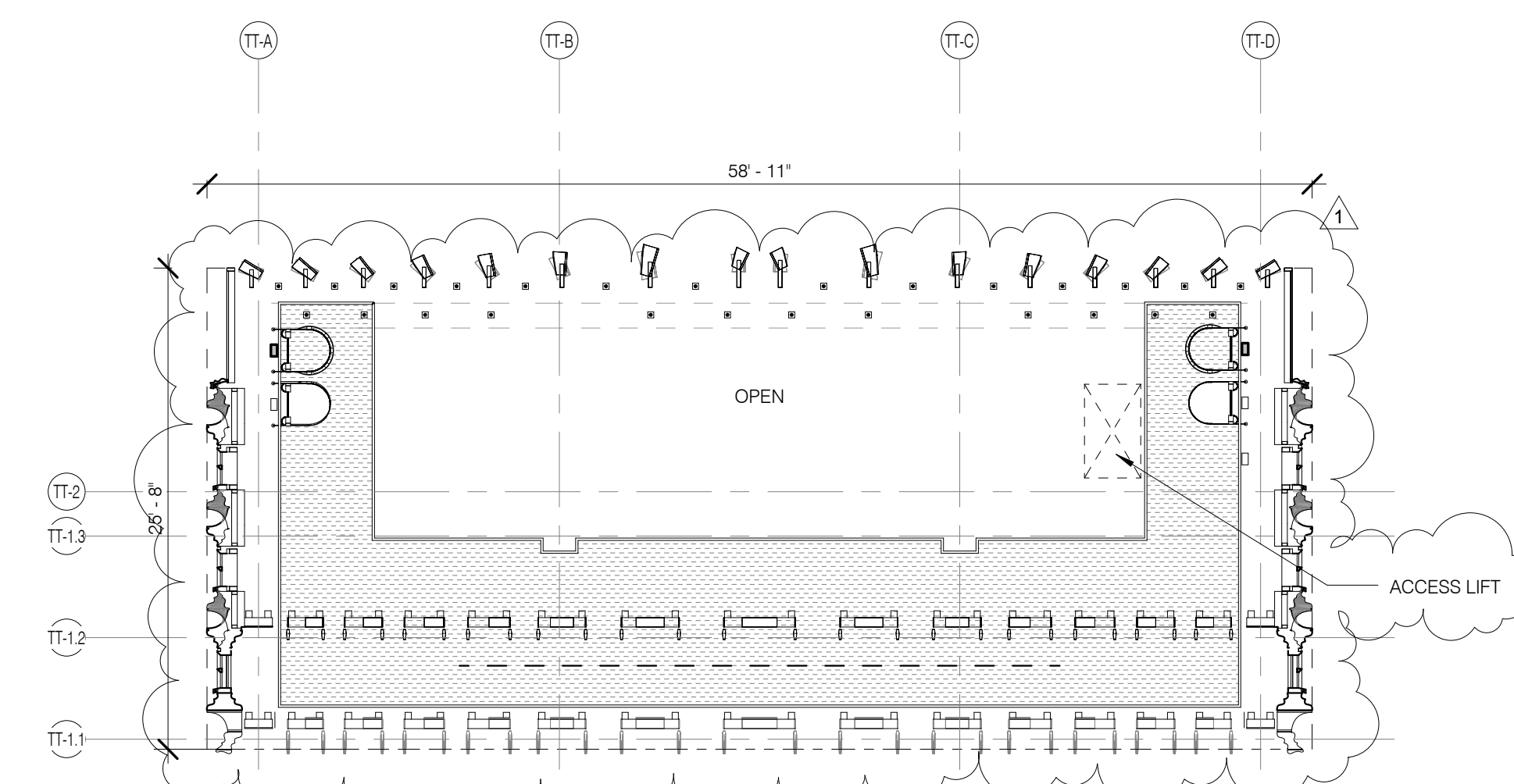
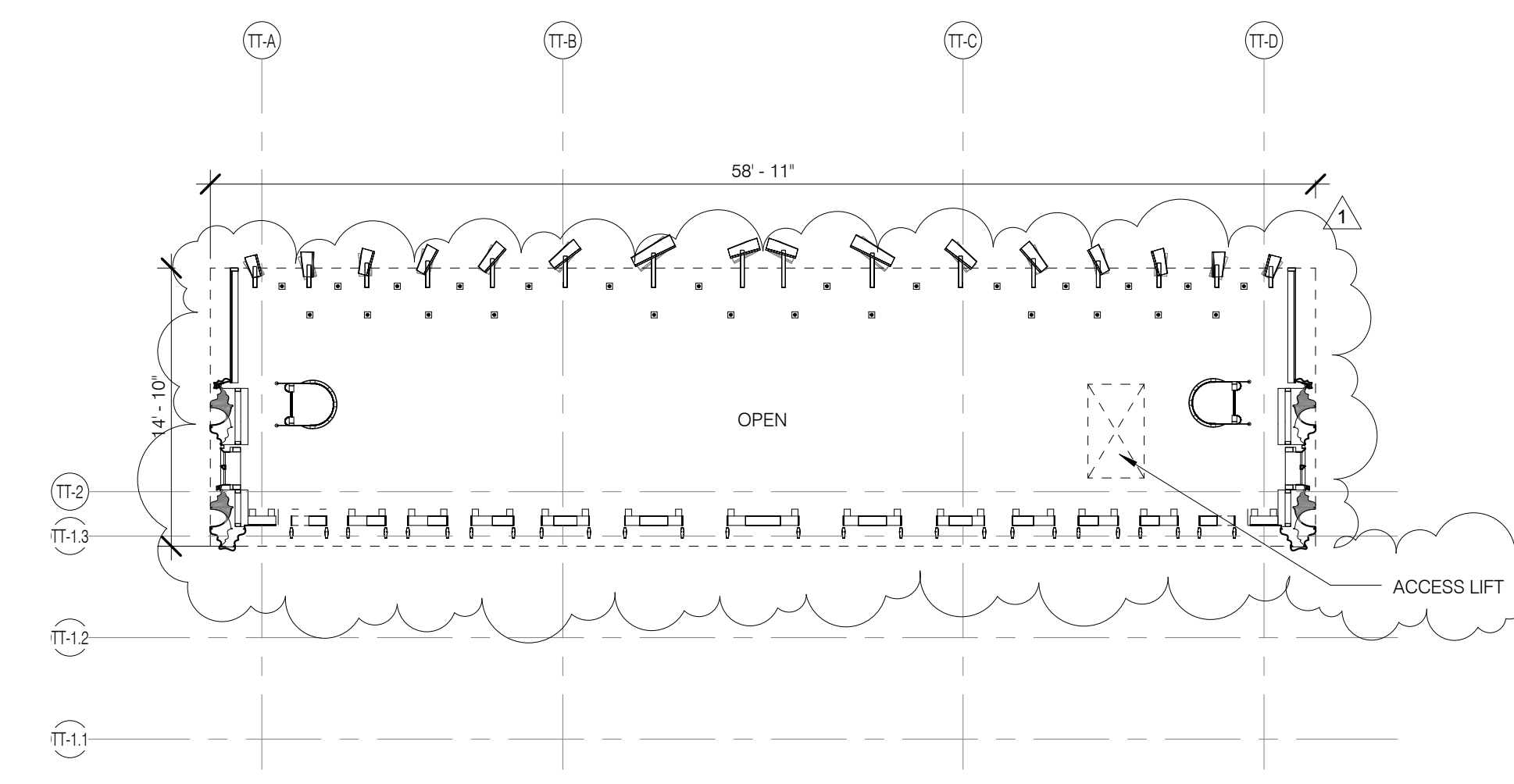
SEAL & SIGNATURE	DATE	3/27/15
PROJECT NO.	130007	
DRAWN BY	Author	
CHECKED BY	Checker	
DOB NO.		
DRAWING NUMBER		

A-115.01

ARCHITECT	SHAP ARCHITECTS, P.C. 233 BROADWAY, 11TH FLOOR NEW YORK, NY 10007 TEL: 212 869 9300	STRUCTURAL ENGINEER	YORP PARTNER REPAIR 238 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212 897 2886	MEP ENGINEER	JACOBI, BAUM & BOLLER 40 WEST STREET, 27TH FLOOR NEW YORK, NY 10006 TEL: 212 869 8000	CIVIL ENGINEER	AWR ENGINEERING, P.C. 40 WEST 44TH STREET, 7TH FLOOR NEW YORK, NY 10018 TEL: 212 268 8028	ACOUSTICS	LONGMAN LINDSEY 40 WEST 44TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 917 238 3389	INTERIORS	STUDIO JENSEN 200 WALKER STREET NEW YORK, NY 10013 TEL: 212 475 1300	FAÇADE	BURROUGHS 105 BROADWAY NEW YORK, NY 10005 TEL: 212 234 2025	VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 1 BROADWAY, SUITE 2014 LARKSPER, NJ 07033 TEL: 973 948 8770	RESTORATION	JAN HRO POKORNY ASSOCIATES 30 WEST 27TH STREET, 1 FLOOR, 2A NEW YORK, NY 10001 TEL: 212 238 6462	GEOTECH	MTC 305 WEST 45TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 917 238 4500	LIGHTING	CONSERVATIVE INTERNATIONAL 105 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10013 TEL: 212 252 4463
-----------	--	---------------------	--	--------------	--	----------------	--	-----------	--	-----------	---	--------	--	-------------------------	--	-------------	---	---------	---	----------	--

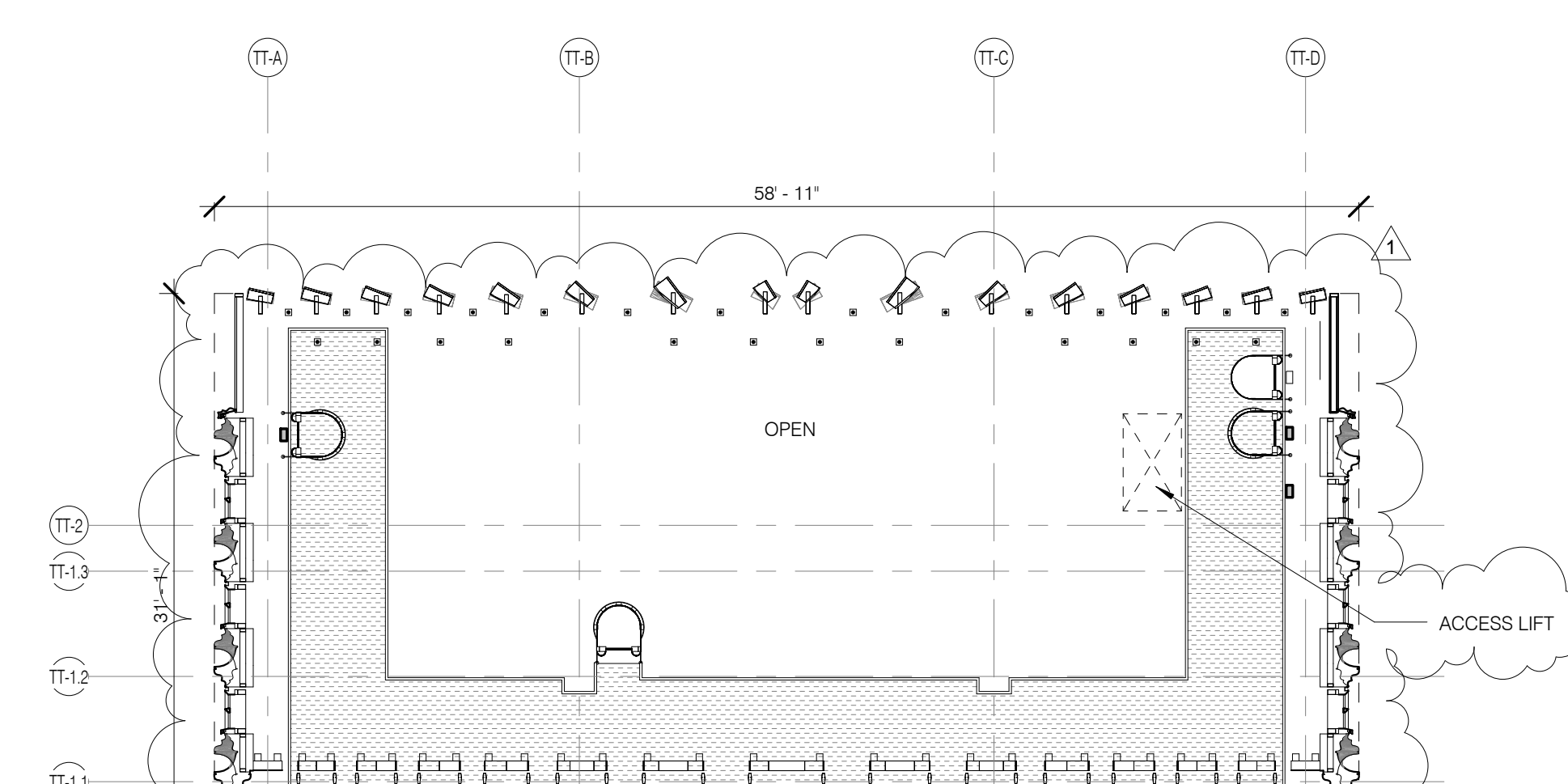
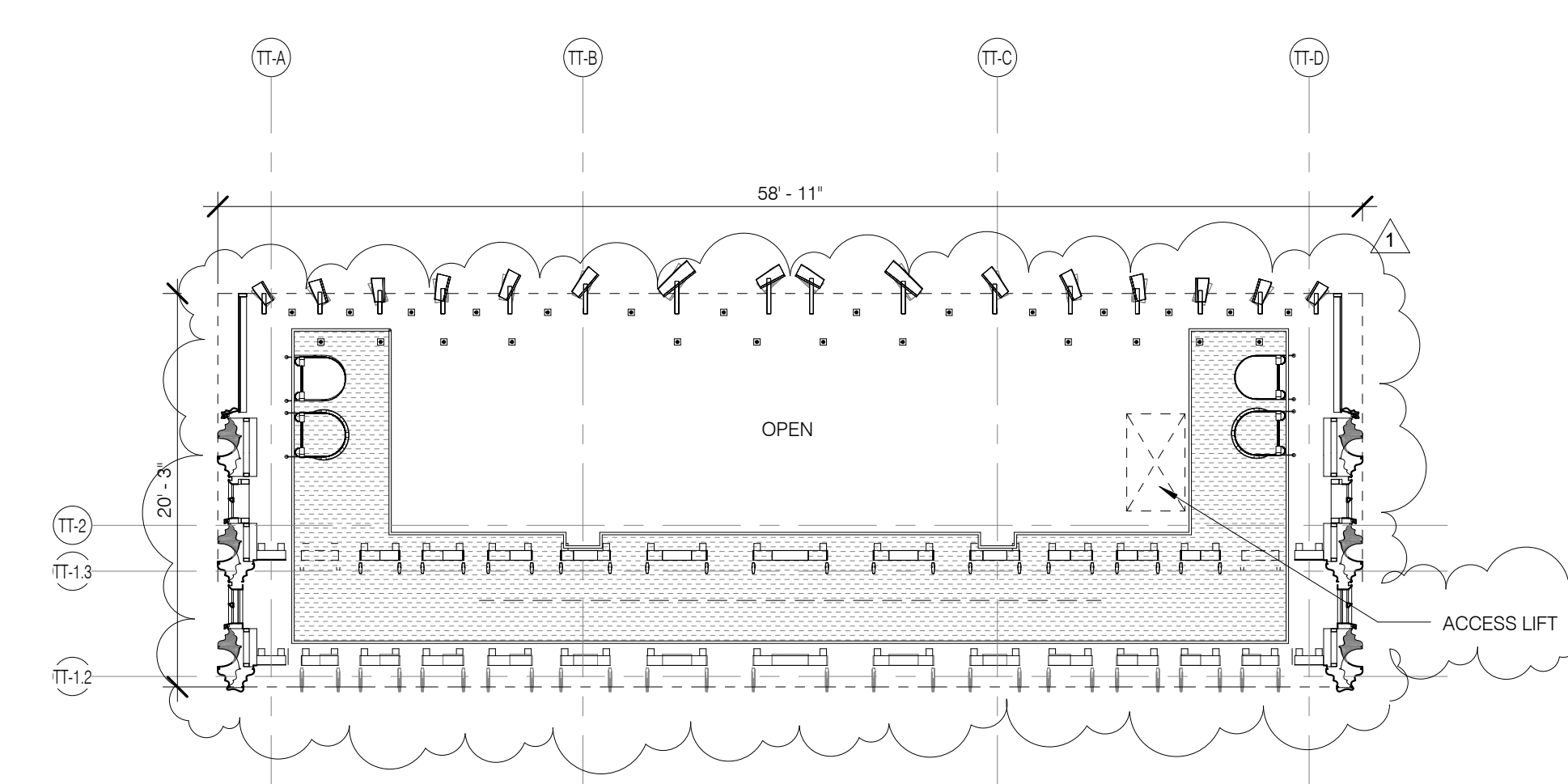
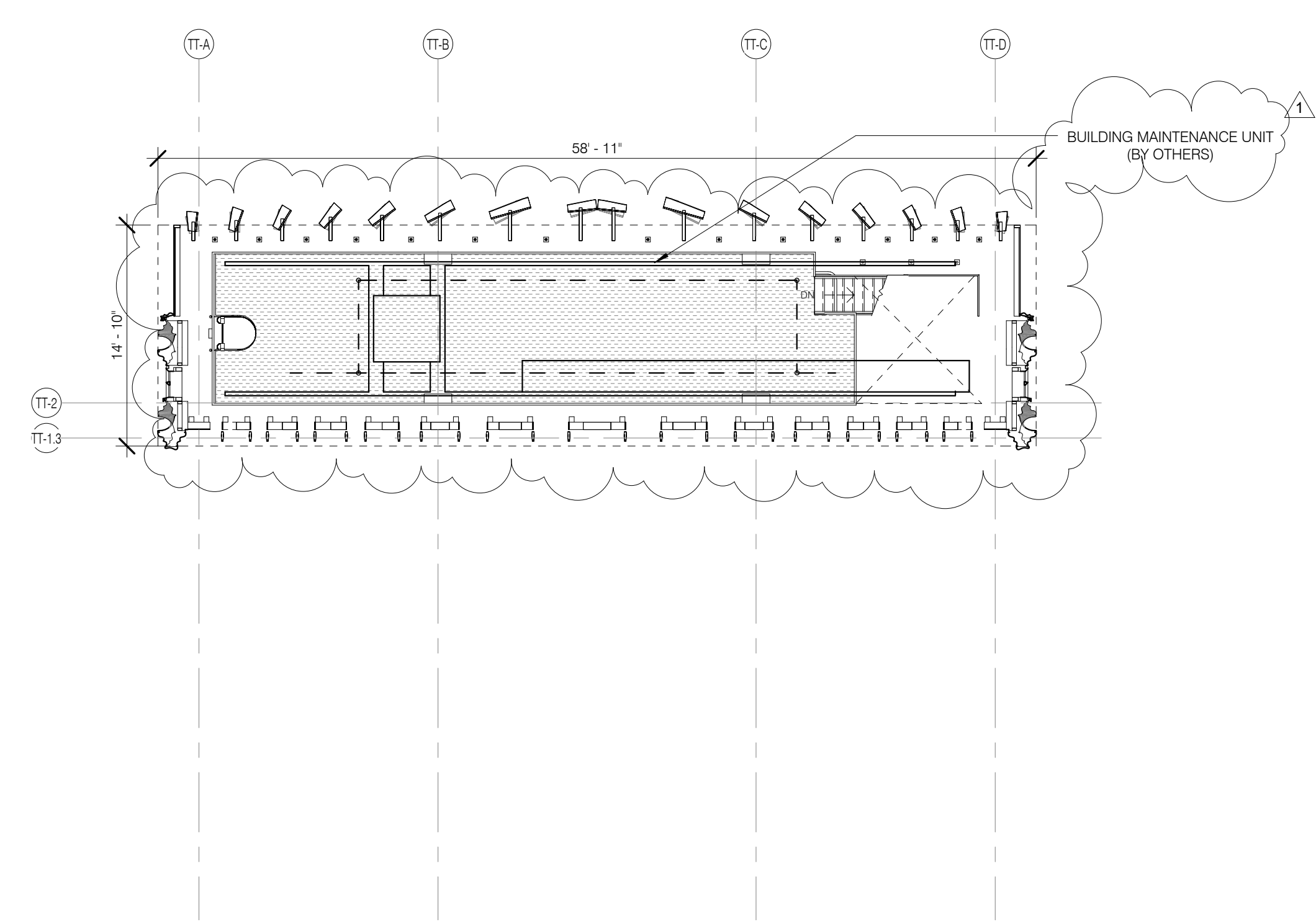
KEY NOTES

- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
- G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
- G3 PROJECT G.D. - 43.1 MBD.
- G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
- G5 REFER TO RESTORATION DRAWINGS (R-1) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT.
- G6 NON PRESSURIZED EGRESS STAR THROUGHOUT.
- G7 ALL FLOOR ELEVATIONS IN STEREWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC RECORDS. SEE ALL NEW SLAB IN STEREWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL, UNO.
- G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
- G10 ALL ELEVATIONS ARE FROM TOP OF SLAB.
- G11 LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
- G12 SEE DRAWING G-000 FOR ABBREVIATIONS, SYMBOLS AND MATERIAL LEGEND.
- G13 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TPO.
- G14 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEPPF HANGING LOAD.
- G15 ALL LIFT INTERIOR PASSAGE DOORS ARE 36" WIDE, LOK.



BLKHD LEVEL 3.5 PLAN (MAINTENANCE PLATFORM) 1/8" = 1'-0" 4 A-116.01

BLKHD LEVEL 2 PLAN (MAINTENANCE PLATFORM) 1/8" = 1'-0" 2 A-116.01



BLKHD LEVEL 4 PLAN (BMU) 1/8" = 1'-0" 5 A-116.01

BLKHD LEVEL 3 PLAN (MAINTENANCE PLATFORM) 1/8" = 1'-0" 3 A-116.01

BLKHD LEVEL 1 PLAN (MAINTENANCE PLATFORM) 1/8" = 1'-0" 1 A-116.01

LEGEND

0 2 4 6 10'

- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- RETAIL TENANT FITOUT
- INTERIOR LANDMARK
- NO CHANGE
- OPEN GRATING



111 WEST 57TH STREET
 111 WEST 57TH STREET
 NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

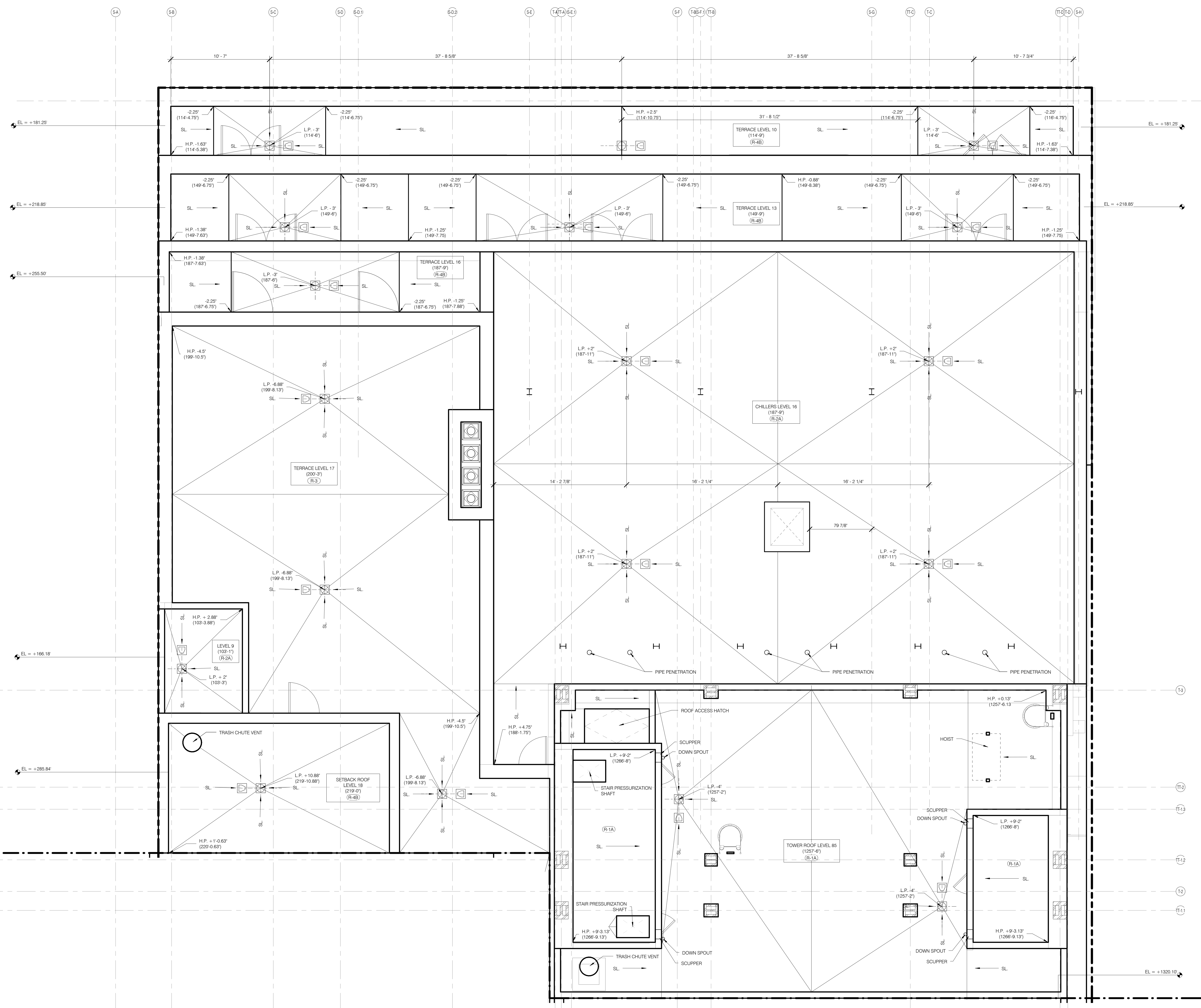
DRAWING TITLE

FLOOR KEY PLANS BLKHD LEVEL 1-TOP/STRUCT

SEAL & SIGNATURE DATE 3.27.15

PROJECT NO. 130007
 DRAWN BY SHAP
 CHECKED BY SHAP
 COOR. NO. 121332968
 DRAWING NUMBER

A-116.01



- GENERAL NOTES
- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEDUCTIONS NOT INCLUDED IN SET.
 - G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
 - G3 PROJECT 0-0 = 63.1 MGD.
 - G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
 - G5 REFER TO RESTORATION DRAWINGS (R-3) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO RESTORATION.
 - G6 NON-PRESSURIZED EGRESS STAIR THROUGHOUT.
 - G7 ALL FLOOR ELEVATIONS IN STERWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC RECORD DRAWINGS. ALL NEW SLAB IN STERWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL LINO.
 - G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING INDICATOR LOCATIONS. SEE SHEET A-120.00 FOR TOPPING AND DRAIN LOCATIONS.
 - G9 ALL ELEVATIONS ARE FROM TOP OF SLAB.
 - G10 LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
 - G11 SEE DRAWING 0-00 FOR ABBREVIATIONS, SYMBOLS AND MATERIAL LEGEND.
 - G12 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TPO.
 - G13 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING RISERS FOR ME/FP/F HANGING LOAD.
 - G14 ALL UNIT INTERIOR PASSAGE DOORS ARE 36" WIDE LOK.

JDS DEVELOPMENT GROUP
 64 WEST 57TH STREET, 6TH FLOOR
 NEW YORK, NY 10019
 TEL: 212.850.3600

sh p

ARCHITECT
shp architects, p.c.
 235 BROOKLYN AVENUE, 11TH FLOOR
 NEW YORK, NY 10002
 TEL: 212.850.3600

STRUCTURAL ENGINEER	MECHANICAL ENGINEER	MEP ENGINEER	CIVIL ENGINEER	ACoustics	INTERIORS
SEUNGHYUN KIM 39 EAST 41ST STREET NEW YORK, NY 10017 TEL: 212.867.8888	SEUNGHYUN KIM 39 EAST 41ST STREET NEW YORK, NY 10017 TEL: 212.867.8888	JAROSLAV BAUM & BOLLES 81 WINE STREET, 10TH FLOOR NEW YORK, NY 10003 TEL: 212.588.8000	ANWJ ENGINEERING, P.C. 440 PARK AVE SOUTH, 7TH FLOOR NEW YORK, NY 10003 TEL: 212.788.6463	LONGMAN LINDSEY 6 WEST 89TH STREET, 6TH FLOOR NEW YORK, NY 10024 TEL: 917.238.2300	FLORENZ SCHFIELD 260 SPURGEON STREET NEW YORK, NY 10002 TEL: 212.673.3300
FAÇADE	VERTICAL TRANSPORTATION	RESTORATION	GEOTECH	MECHANICAL	LIGHTINGS
SEUNGHYUN KIM 100 BROADWAY NEW YORK, NY 10005 TEL: 212.263.2623	VAN DEUSEN & ASSOCIATES 1480 6TH STREET, SUITE 204 LONGMEADOW, NY 10009 TEL: 212.263.2623	JAN HRD POKORNY ASSOCIATES 40 WEST 57TH STREET, FLOOR 10A NEW YORK, NY 10019 TEL: 212.788.6463	205 WEST 34TH STREET, 6TH FLOOR NEW YORK, NY 10001 TEL: 917.238.2300	205 WEST 34TH STREET, 6TH FLOOR NEW YORK, NY 10001 TEL: 917.238.2300	LODEWYCKE INTERNATIONAL 100 BROADWAY, 11TH FLOOR NEW YORK, NY 10005 TEL: 212.263.4483

PROPERTY MARKETS GROUP
 140 WEST 11TH STREET, 2ND FLOOR
 NEW YORK, NY 10003
 TEL: 212.810.2000

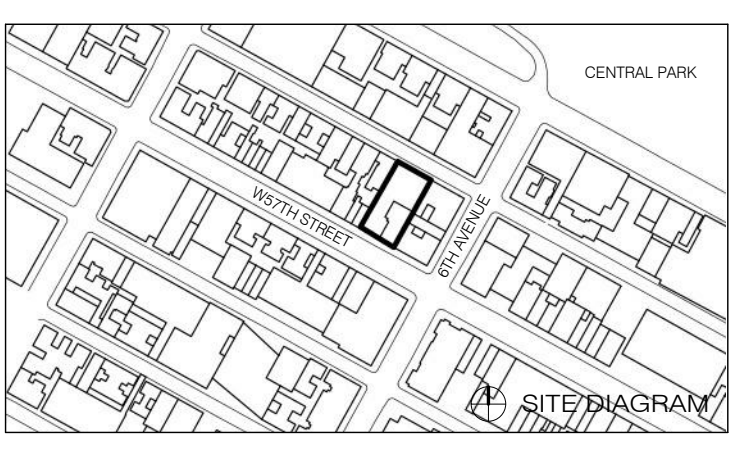
CURRENT ISSUE

DOB PAA

Shauqat Shaikh
 Building
 APPROVED
 Under Directive 2 of 1975
 DATED 05/24/2015
 Date: 05/24/2015
 NYC Development Hub

- LEGEND
- EXISTING WALL TO REMAIN
 - NEW CONSTRUCTION
 - MECHANICAL
 - RETAIL TENANT FITOUT
 - INTERIOR LANDMARK NO CHANGE
 - RISER SUPPORT, SEE MEP DRAWINGS
- PAVER TYPES LEGEND
- (PVR-1A) CONCRETE LOCKDOWN PAVER
 - (PVR-1B) CONCRETE PEDESTAL PAVER
 - (PVR-2A) STONE LOCKDOWN PAVER
 - (PVR-2C) STONE PEDESTAL PAVER STERWAY
 - (PVR-2C) STONE PEDESTAL PAVER AMENITY
 - (PVR-3) COBBLESTONE PAVER
 - (PVR-4) GLASS AND STEEL PLANK
- ROOF TYPES LEGEND
- (R-1A) TOWER #10A R-20 W/ CONCRETE LOCKDOWN PVR
 - (R-1B) TOWER #10A R-20 W/ STONE LOCKDOWN PVR
 - (R-2A) STERWAY EXG SLAB #10A R-20 W/ CONCRETE PEDESTAL PVR
 - (R-2B) STERWAY EXG SLAB #10A R-20 W/ STONE PEDESTAL PVR
 - (R-3) STERWAY NEW SLAB #10A R-20 W/ STONE PEDESTAL PVR
 - (R-4A) STERWAY EXG SLAB #10A R-10 W/ STONE PEDESTAL PVR
 - (R-4B) STERWAY EXG SLAB #10A R-10 W/ CONCRETE PEDESTAL PVR
 - (R-5) 78TH FLOOR MECH TRAFFIC COATINGS
 - (R-6) PORTE COCHERE COBBLESTONE PAVER

111 WEST 57TH STREET
 111 WEST 57TH STREET
 NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB FILING SET
NO.	DATE	REVISION
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE SUCH MAY NOT BE REUSED FOR OTHER PROJECTS WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.		
COPYRIGHT © 2015 SHP ARCHITECTS P.C. ALL RIGHTS RESERVED.		

DRAWINGS TITLE

ROOF DRAINAGE PLANS-NORTH

SEAL & SIGNATURE DATE 3.27.15

PROJECT NO. 130907

DRAWN BY SHUP

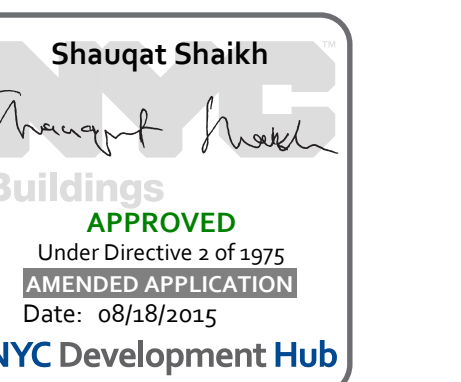
CHECKED BY SHUP

DOB NO. 121332968

DRAWING NUMBER

A-120A.01

REGISTERED ARCHITECT
 STATE OF NEW YORK



- GENERAL NOTES
- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
 - G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
 - G3 PROJECT 0-0 = 63.1 MBD.
 - G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
 - G5 REFER TO RESTORATION DRAWINGS (HP) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT.
 - G6 NON-PRESSURIZED EXPRESS STAIR THROUGHOUT.
 - G7 ALL FLOOR ELEVATIONS IN STEREWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC 1925 DRAWINGS. ME ALL NEW SLAB IN STEREWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL LIND.
 - G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS.
 - G9 SEE SHEET A-100 FOR TOPPING AND DRAIN LOCATIONS.
 - G10 ALL ELEVATIONS ARE FROM TOP OF SLAB. LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
 - G12 SEE DRAWING G-002 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
 - G13 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEP/FPP HANGING LOAD.
 - G14 ALL UNIT INTERIOR PASSAGE DOORS ARE 30" WIDE UNON.
 - G15

KEY NOTES

LEGEND

- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- MECHANICAL
- RETAIL TENANT FITOUT
- INTERIOR LANDMARK AND CHANGE
- RISER SUPPORT, SEE MEP DRAWINGS.

- PAVER TYPES LEGEND
- (PVR.1A) CONCRETE LOCKDOWN PAVER
 - (PVR.1B) CONCRETE PEDESTAL PAVER
 - (PVR.2A) STONE LOCKDOWN PAVER
 - (PVR.2C) STONE PEDESTAL PAVER STEREWAY
 - (PVR.2C) STONE PEDESTAL PAVER AMENITY
 - (PVR.3) COBBLESTONE PAVER
 - (PVR.4) GLASS AND STEEL PLANK

- ROOF TYPES LEGEND
- (R.1A) TOWER IRMA R-20 W/ CONCRETE LOCKDOWN PVR
 - (R.1B) TOWER IRMA R-20 W/ STONE LOCKDOWN PVR
 - (R.2A) STEREWAY EXG SLAB IRMA R-20 W/ CONCRETE PEDESTAL PVR
 - (R.2B) STEREWAY EXG SLAB IRMA R-20 W/ STONE PEDESTAL PVR
 - (R.3) STEREWAY NEW SLAB IRMA R-20 W/ STONE PEDESTAL PVR
 - (R.4A) STEREWAY EXG SLAB IRMA R-10 W/ STONE PEDESTAL PVR
 - (R.4B) STEREWAY EXG SLAB IRMA R-10 W/ CONCRETE PEDESTAL PVR
 - (R.5) 7TH FLOOR MECH TRAFFIC COATING
 - (R.6) PORTE COCHERE COBBLESTONE PAVER

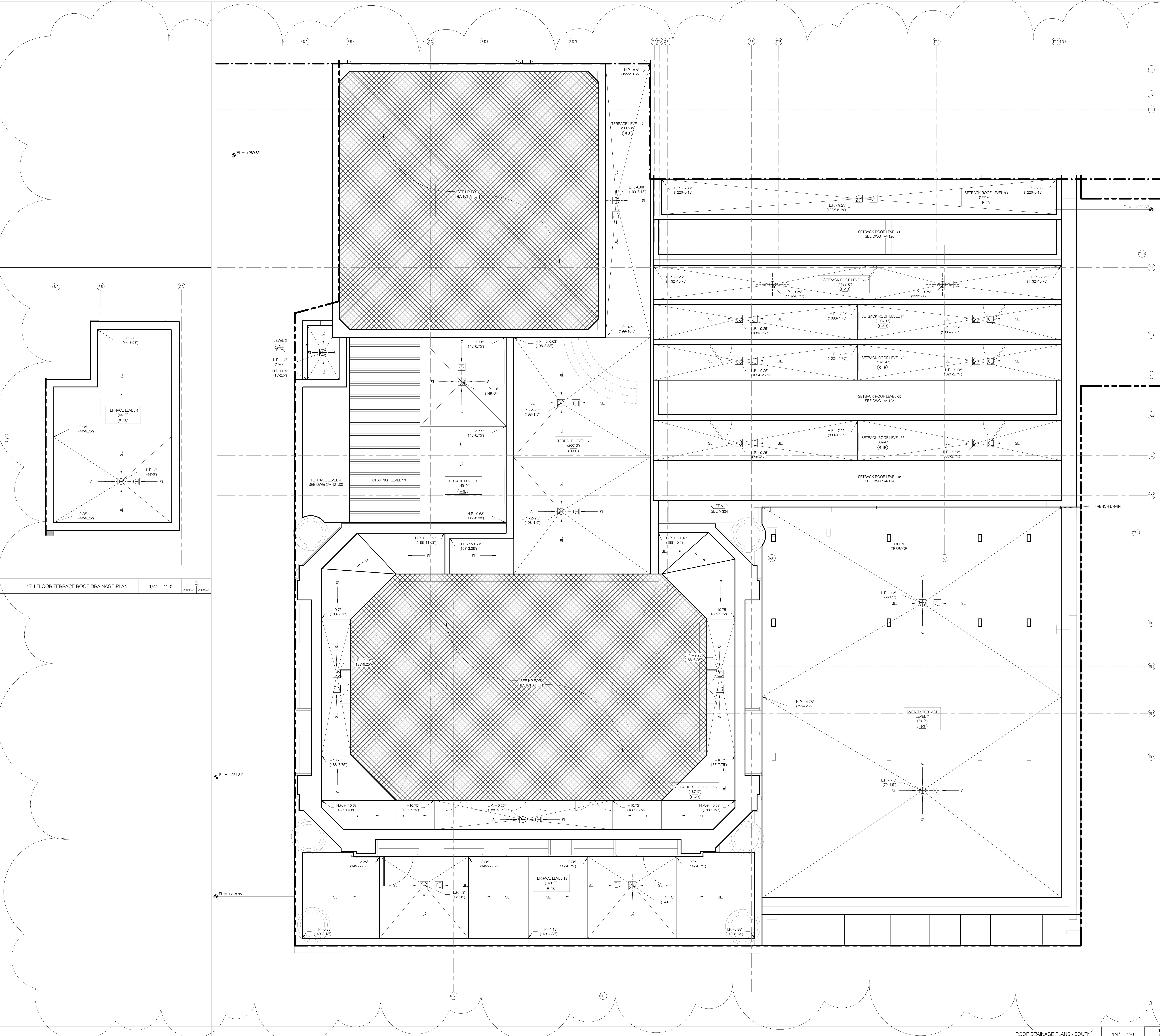
NO.	DATE	REVISION
1	3.27.15	DOB PAA

DRAWING TITLE
ROOF DRAINAGE PLANS - SOUTH

DATE: 3.27.15
PROJECT NO: 130007
DRAWN BY: SHAP
CHECKED BY: SHAP
JOB NO: 121120206
DRAWING NUMBER

APPROVED ARCHITECT
STATE OF NEW YORK

A-120B.01



4TH FLOOR TERRACE ROOF DRAINAGE PLAN 1/4" = 1'-0"

ARCHITECT
sh p ARCHITECTS, P.C.
25 BROADWAY, 11TH FLOOR
NEW YORK, NY 10004
TEL: 212 693 9300

STRUCTURAL ENGINEER
YUSEF GHAFFAR HANCOCK
225 EAST 47TH STREET
NEW YORK, NY 10017
TEL: 212 697 5886

MEP ENGINEER
JAMES SALAM & BOLLER
80 KING STREET, 12TH FLOOR
NEW YORK, NY 10038
TEL: 212 693 9300

CIVIL ENGINEER
ANIR ENGINEERING, P.C.
44 WEST 44TH STREET, 7TH FLOOR
NEW YORK, NY 10018
TEL: 800 288 2828

ACOUSTICIAN
LONGMAN LINDSEY
40 WEST 48TH STREET, 4TH FLOOR
NEW YORK, NY 10018
TEL: 917 238 2330

INTERIORS
STUDIO SCARFIELD
30 LAURETTE STREET
NEW YORK, NY 10001
TEL: 212 475 1300

FAÇADE
BURRO HARRPOLD
105 BROADWAY
NEW YORK, NY 10005
TEL: 212 254 2025

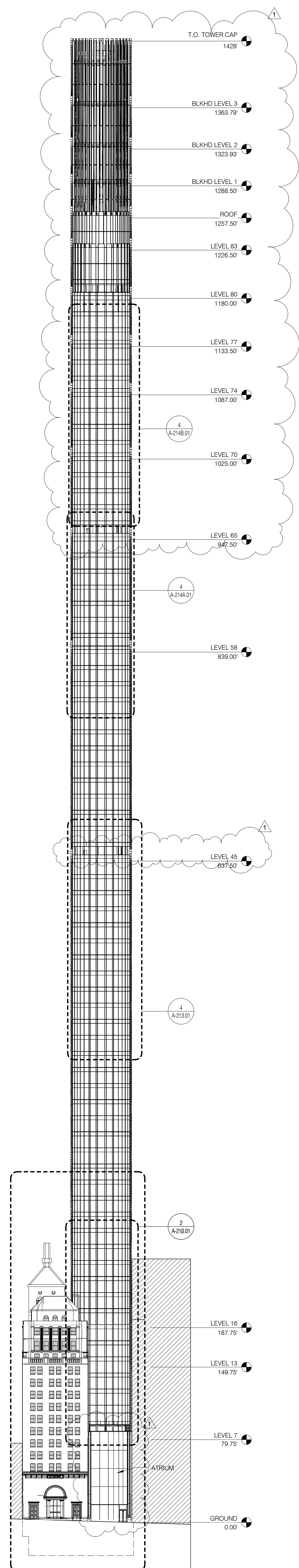
VERTICAL TRANSPORTATION
VAN DEUSEN & ASSOCIATES
1 BROADWAY, SUITE 200
LARKSPER, NJ 07033
TEL: 973 984 8770

RESTORATION
JAN HIRSH FOKORNY ASSOCIATES
30 WEST 47TH STREET, 7TH FLOOR
NEW YORK, NY 10018
TEL: 212 238 4442

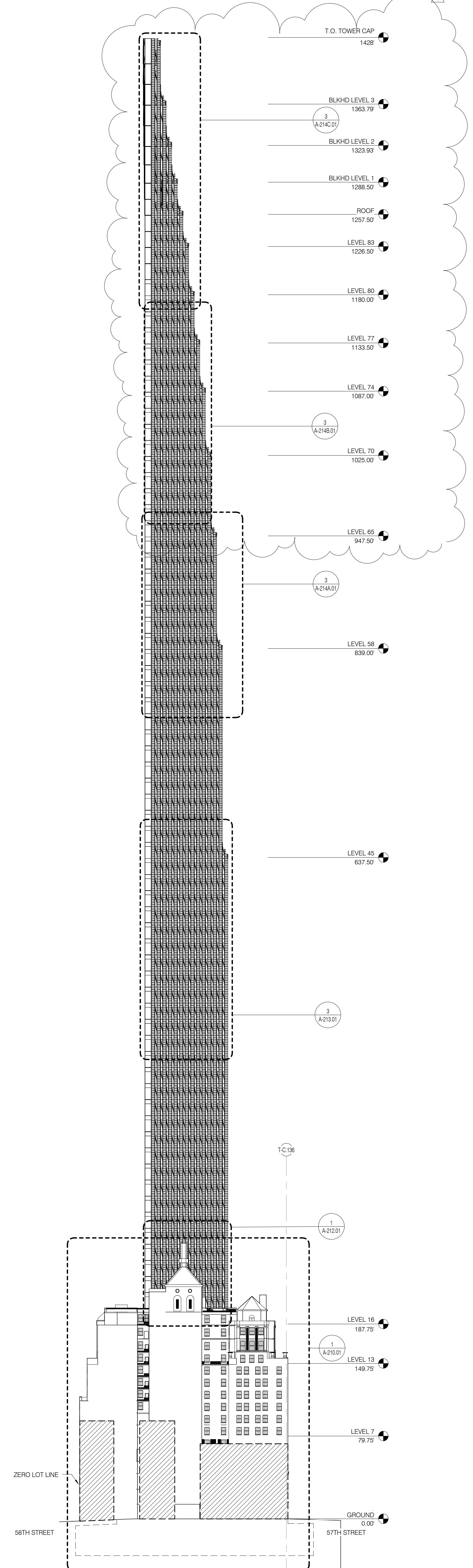
GEOTECH
MICE
305 WEST 48TH STREET, 4TH FLOOR
NEW YORK, NY 10018
TEL: 917 238 4900

LIGHTING
CONSERVATIVE INTERNATIONAL
105 WALL STREET, 7TH FLOOR EAST
NEW YORK, NY 10005
TEL: 212 255 4442

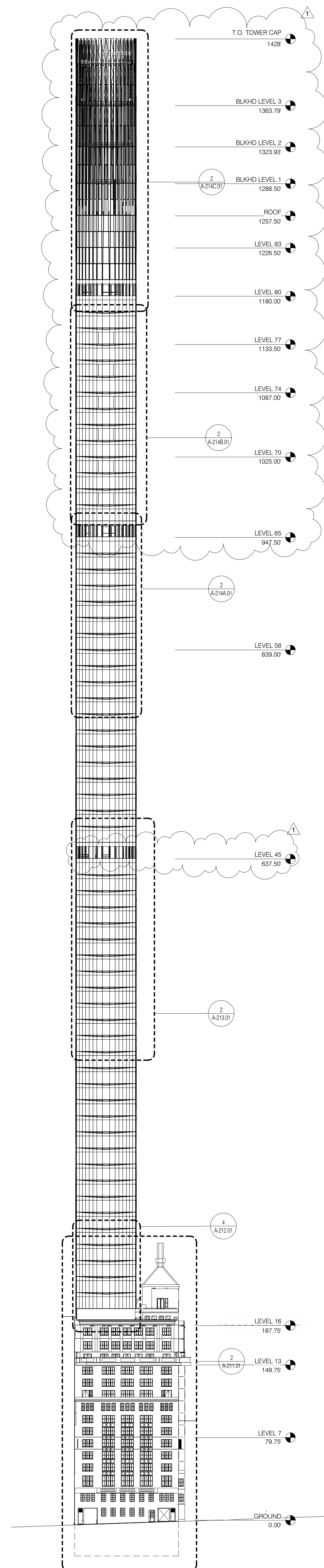
- GENERAL NOTES
- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
 - G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
 - G3 PROJECT 00 = 63.1 MBD.
 - G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
 - G5 REFER TO RESTORATION DRAWINGS (RFP) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT NON-PRESSURIZED EGRESS STAIR THROUGHOUT.
 - G6 NON-PRESSURIZED EGRESS STAIR THROUGHOUT.
 - G7 ALL FLOOR ELEVATIONS IN STAIRWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC 1925 DRAWINGS. VIF ALL NEW SLAB IN STAIRWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL AND.
 - G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING AND LOCATIONS.
 - G9 SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
 - G10 ALL ELEVATIONS ARE FROM TOP OF SLAB.
 - G11 LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
 - G12 SEE DRAWING G-002 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGENDS.
 - G13 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TEO.
 - G14 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEP/FP HANGING LOAD.
 - G15 ALL UNIT INTERIOR PASSAGE DOORS ARE 36" WIDE, LION.



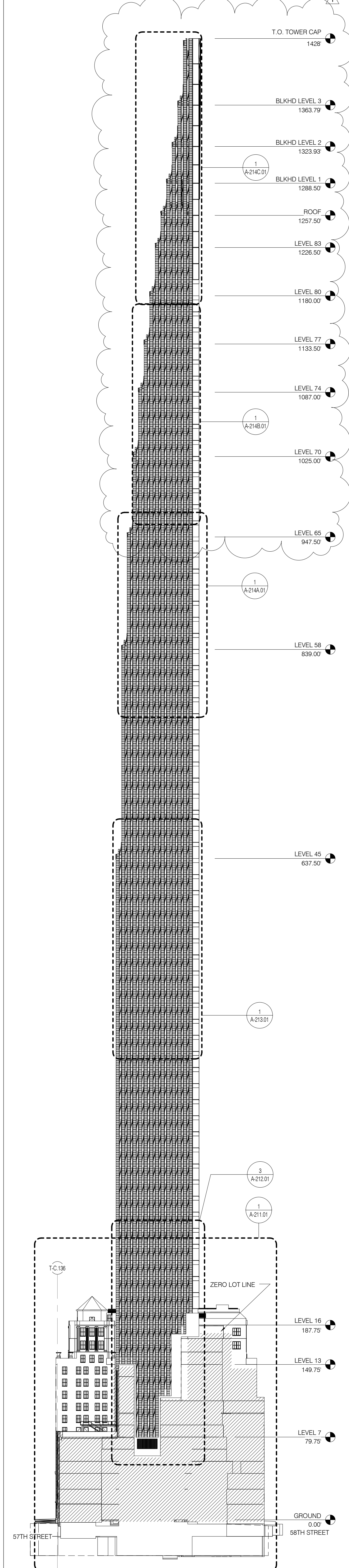
BUILDING ELEVATION - SOUTH 1" = 50'-0" 4 A-201.01 A-200.01



BUILDING ELEVATION - WEST 1" = 50'-0" 3 A-201.01 A-200.01



BUILDING ELEVATION - NORTH 1" = 50'-0" 2 A-201.01 A-200.01



BUILDING ELEVATION - EAST 1" = 50'-0" 1 A-201.01 A-200.01

PROPERTY MARKETS GROUP
15 EAST 17TH STREET AND FLOOR
NEW YORK, NY 10003
TEL: 212 693 9300

CURRENT ISSUE

DOB PAA



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB PLUNG SET
NO.	DATE	REVISION
13		

DRAWING TITLE
BUILDING ELEVATIONS OVERALL

SEAL & SIGNATURE
DATE: 3.27.15
PROJECT NO.: 130007
DRAWN BY: SH-P
CHECKED BY: SH-P
DOB NO.: 121332068
DRAWING NUMBER: A-200.01

ARCHITECT	SHAP ARCHITECTS, P.C. 235 BROADWAY, 11TH FLOOR NEW YORK, NY 10038 TEL: 212.869.9336	MEP ENGINEER	JANUS ENGINEERING, P.C. 40 WEST 40TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 212.254.2525
STRUCTURAL ENGINEER	YUSEF GANTOR BERKUP 228 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212.897.2886	CIVIL ENGINEER	ARUP ENGINEERING, P.C. 40 WEST 40TH STREET, 7TH FLOOR NEW YORK, NY 10018 TEL: 212.254.2525
MEP ENGINEER	JANUS ENGINEERING, P.C. 40 WEST 40TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 212.254.2525	RESTORATION	ARUP ENGINEERING, P.C. 40 WEST 40TH STREET, 7TH FLOOR NEW YORK, NY 10018 TEL: 212.254.2525
MEP ENGINEER	JANUS ENGINEERING, P.C. 40 WEST 40TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 212.254.2525	RESTORATION	ARUP ENGINEERING, P.C. 40 WEST 40TH STREET, 7TH FLOOR NEW YORK, NY 10018 TEL: 212.254.2525

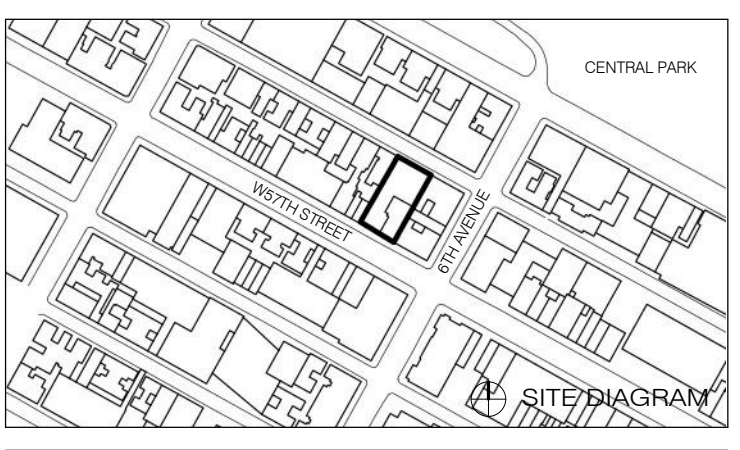


PROPERTY MARKETS GROUP
150 WEST 57TH STREET, 2ND FLOOR
NEW YORK, NY 10019
TEL: 212.869.9336

DOB PAA



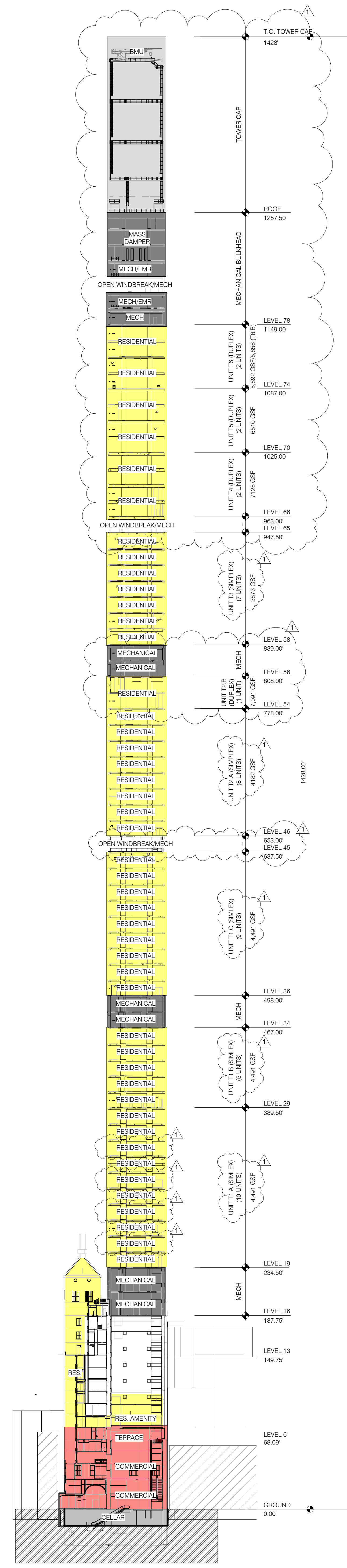
111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



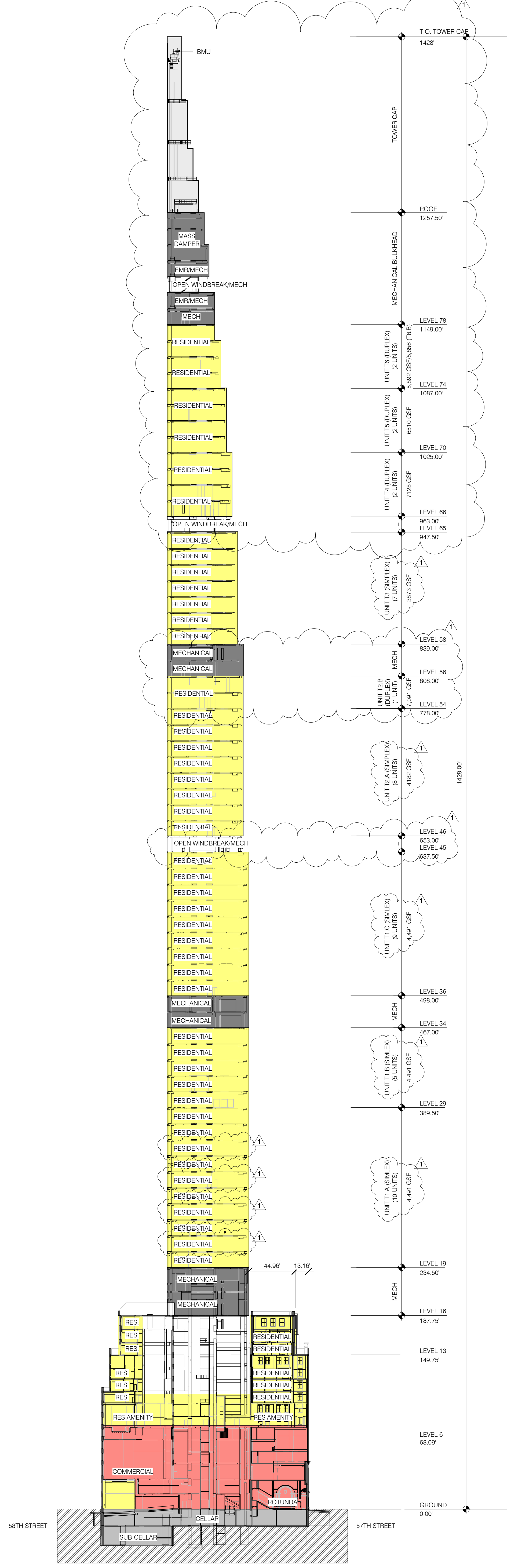
1	3.27.15	DOB PAA
2	5.1.14	DOB PLING SET

BUILDING SECTIONS OVERALL

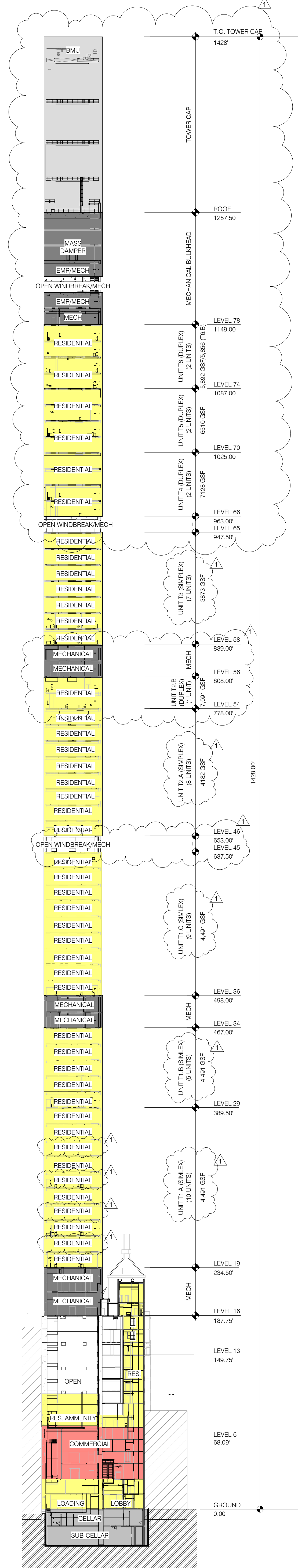
DATE: 3.27.15
PROJECT NO: 130007
DRAWN BY: SHAP
CHECKED BY: SHAP
DOB NO: 121332096
DRAWING NUMBER: A-201.01



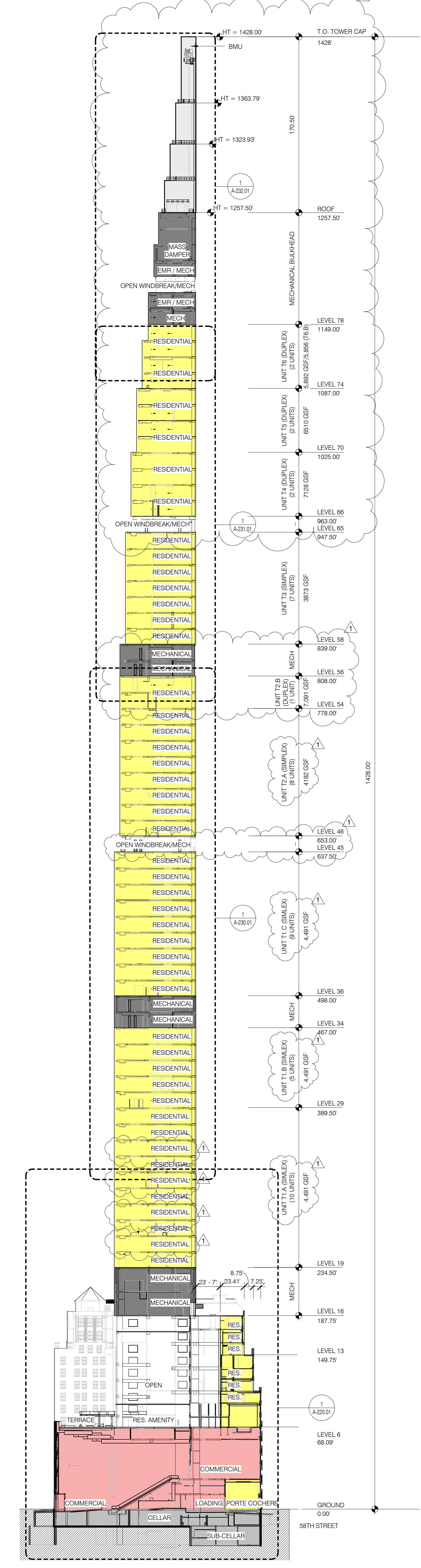
BUILDING SECTION 1' = 50'-0" 4



BUILDING SECTION 1' = 50'-0" 3



BUILDING SECTION 1' = 50'-0" 2



BUILDING SECTION 1' = 50'-0" 1

LEGEND

	VISION GLASS
	SHADOW BOX
	BRONZE PANEL / FLUGREE
	PAINTED METAL PANEL
	LOUVER
	ZERO LOT LINE BUILDING
	GALVANIZED STEEL GRATINGS

ARCHITECT
SH&P ARCHITECTS, P.C.
233 BROADWAY, 11TH FLOOR
NEW YORK, NY 10038
TEL: 212 869 9336

STRUCTURAL ENGINEER
YUSEF GANTO BEYRUT
228 EAST 47TH STREET
NEW YORK, NY 10017
TEL: 212 897 5886

MEP ENGINEER
JAVRO, BALM & BOLLER
40 WEST STREET, 12TH FLOOR
NEW YORK, NY 10005
TEL: 212 869 8333

CIVIL ENGINEER
ARIF ENGINEERING, P.C.
40 WEST 44TH STREET, 7TH FLOOR
NEW YORK, NY 10018
TEL: 646 288 8828

ACOUSTIC
LONGMAN LINDSEY
4 WEST 49TH STREET, 4TH FLOOR
NEW YORK, NY 10018
TEL: 917 288 3389

INTERIORS
STUDIO SCENEFIELD
30 WALKER STREET
NEW YORK, NY 10002
TEL: 212 475 3300

FAÇADE
BURRO HARRFIELD
105 BROADWAY
NEW YORK, NY 10003
TEL: 212 244 2025

VERTICAL TRANSPORTATION
VAN DEUSEN & ASSOCIATES
8 WEST STREET, SUITE 201
LARKSPER, NJ 07033
TEL: 973 944 9375

RESTORATION
JAN HRO POKORNY ASSOCIATES
20 WEST 37TH STREET, 4TH FLOOR
NEW YORK, NY 10018
TEL: 212 288 6482

GEOTECH
MICE
305 WEST 49TH STREET, 4TH FLOOR
NEW YORK, NY 10018
TEL: 917 288 4300

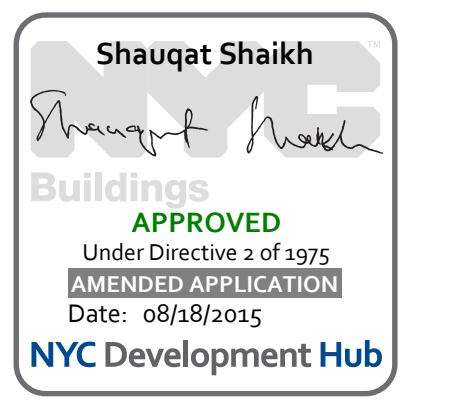
LIGHTING
CONSERVATORIE INTERNATIONAL
105 WALKER STREET, 7TH FLOOR EAST
NEW YORK, NY 10002
TEL: 212 255 4463



PROPERTY MARKETS GROUP
3 EAST 17TH STREET, 2ND FLOOR
NEW YORK, NY 10003
TEL: 212 899 9900

CURRENT ISSUE

DOB PAA



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



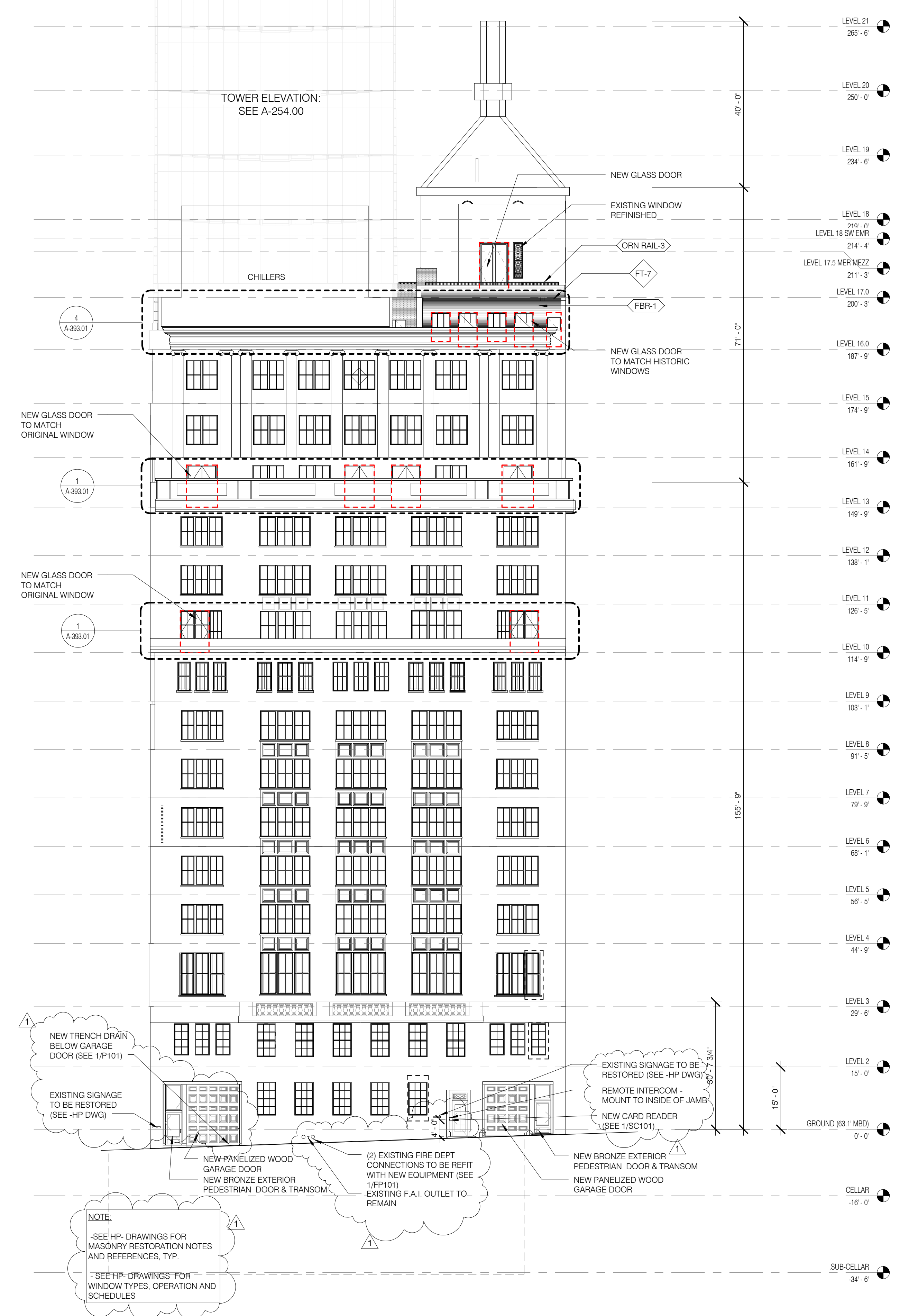
NO.	DATE	REVISION
1	3/27/15	DOB PAA

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SH&P ARCHITECTS P.C. ALL RIGHTS RESERVED.

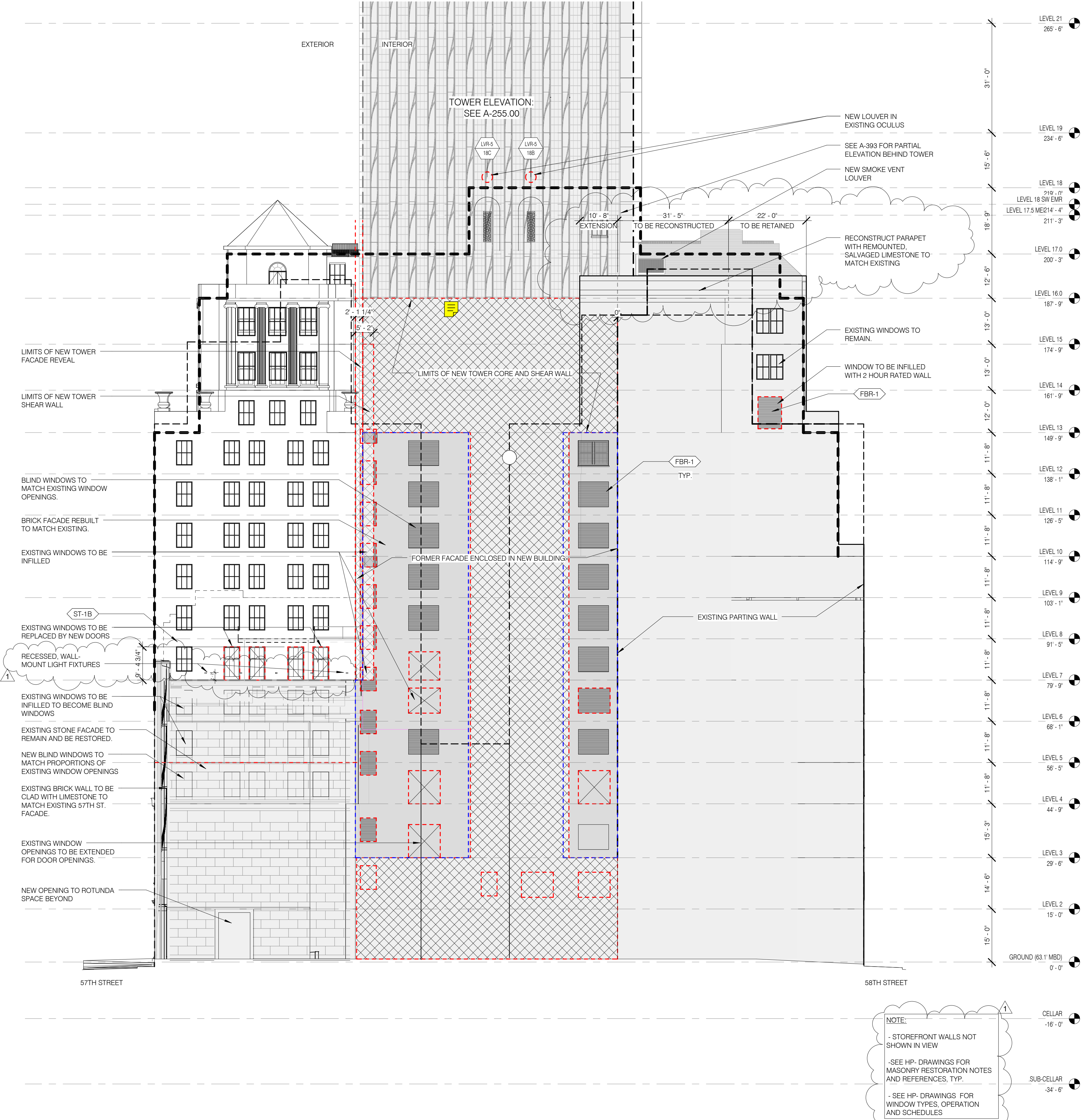
BUILDING ELEVATIONS - STEINWAY BUILDING EN

SEAL & SIGNATURE	DATE	3/27/15
PROJECT NO.	130907	
DRAWN BY	SH&P	
CHECKED BY	SH&P	
DOB NO.	121330296	
DRAWING NUMBER		

A-211.01



BUILDING ELEVATION NORTH - STEINWAY 1/16" = 1'-0" 2 A-209 A-210



BUILDING ELEVATION EAST - STEINWAY 1/16" = 1'-0" 1 A-208 A-210

ARCHITECT	SH&P ARCHITECTS, P.C. 225 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212.869.9300
STRUCTURAL ENGINEER	YUSEF GHAFFAR HEBBAR 225 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212.869.9300
MEP ENGINEER	JAMES BAUM & BOLLER 80 WEST STREET, SUITE 200 LAWRENCE, NJ 07044 TEL: 973.963.8300
CIVIL ENGINEER	AMR ENGINEERING, P.C. 40 WEST 40TH STREET, 17TH FLOOR NEW YORK, NY 10018 TEL: 212.724.6442
ACOUSTICIAN	LONGMAN LINDSEY 40 WEST 40TH STREET, 17TH FLOOR NEW YORK, NY 10018 TEL: 212.724.6442
INTERIORS	STUDIO SCARFIELD 300 WALKER STREET NEW YORK, NY 10013 TEL: 212.475.3300
FAÇADE	SH&P ARCHITECTS, P.C. 225 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212.869.9300
VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 80 WEST STREET, SUITE 200 LAWRENCE, NJ 07044 TEL: 973.963.8300
RESTORATION	JAN HRC FOKORNY ASSOCIATES 40 WEST 40TH STREET, 17TH FLOOR NEW YORK, NY 10018 TEL: 212.724.6442
GEOTECH	GEOTECH INTERNATIONAL 100 WALKER STREET, 17TH FLOOR EAST NEW YORK, NY 10013 TEL: 212.475.3300
LIGHTING	GEOTECH INTERNATIONAL 100 WALKER STREET, 17TH FLOOR EAST NEW YORK, NY 10013 TEL: 212.475.3300



PROPERTY MARKETS GROUP
100 WEST STREET, 17TH FLOOR
NEW YORK, NY 10013
TEL: 212.869.9300

CLIPMENT ISSUE

DOB PAA

Shauqat Shaikh
Buildings & More
APPROVED
Under Directive 2 of 1975
DATE: 08/28/2015
NYC Development Hub

111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB FLUNG SET
NO.	DATE	REVISION

TOWER ELEVATIONS ZONE 2

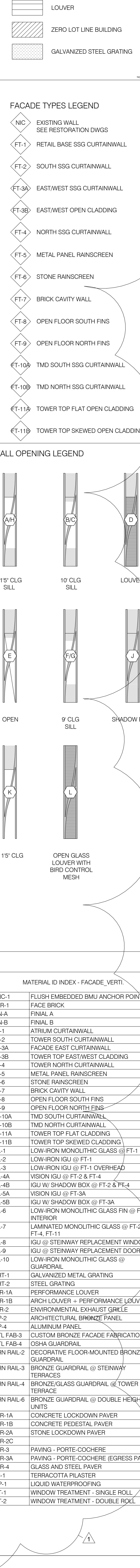
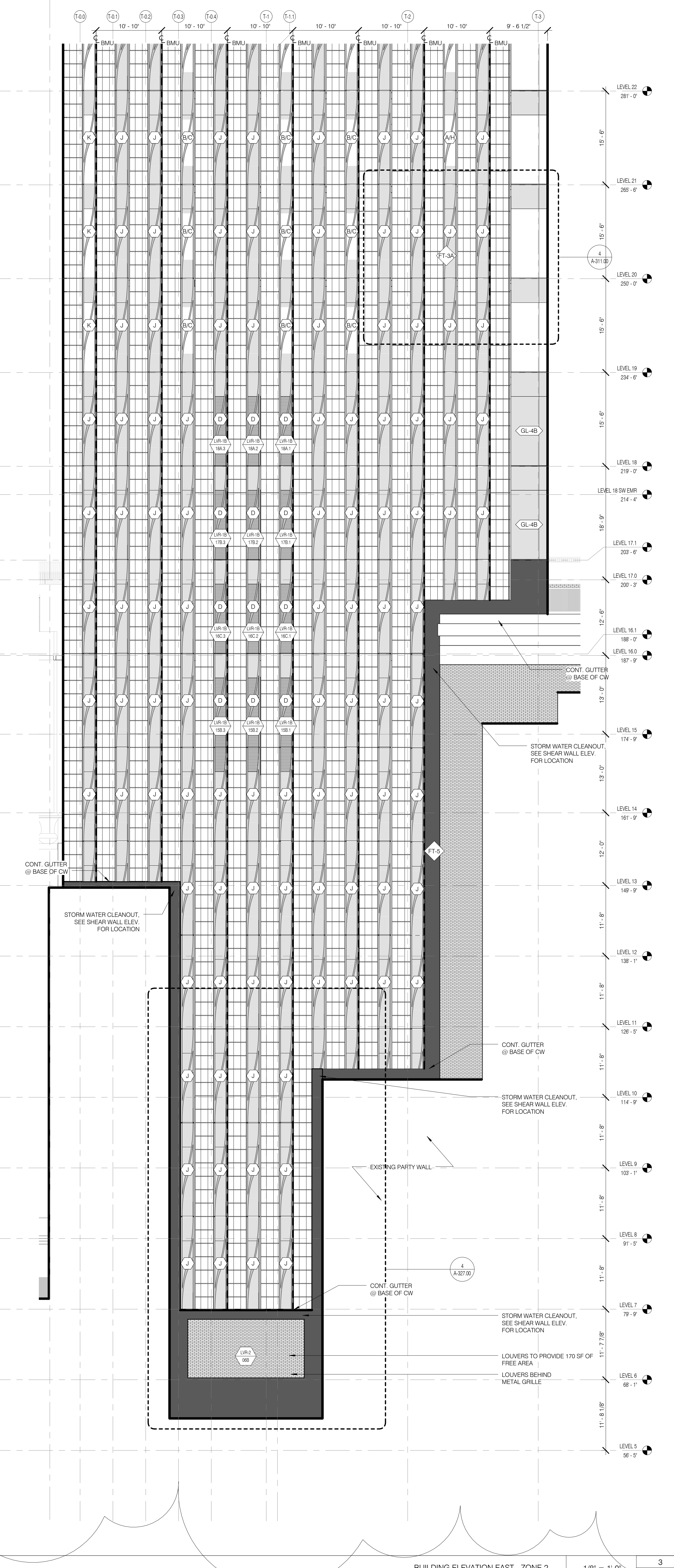
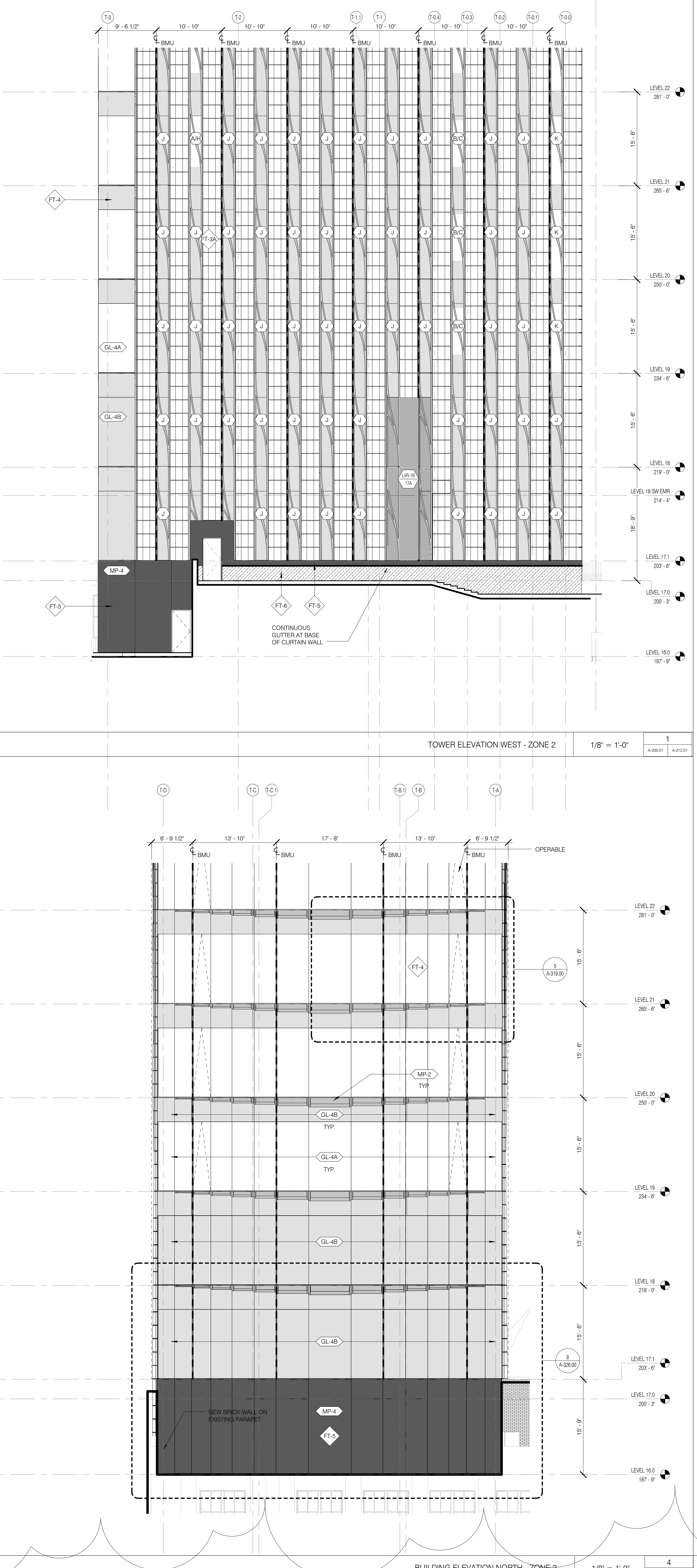
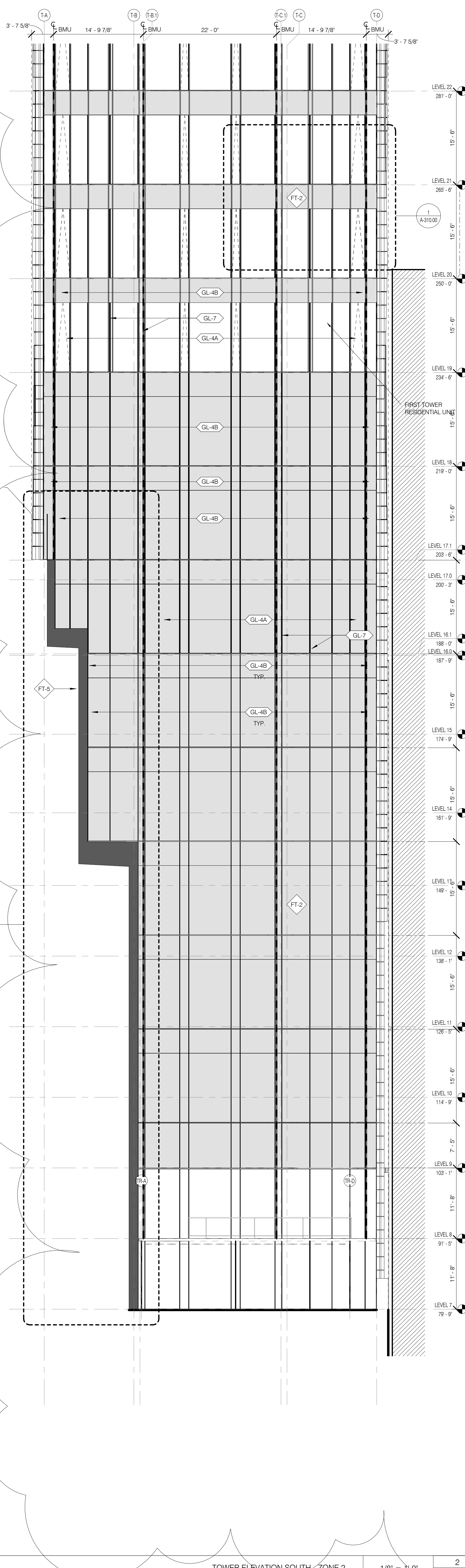
SEAL & SIGNATURE DATE 3.27.15
PROJECT NO. 130007
DRAWN BY SH&P
CHECKED BY SH&P
DOB NO. 121332068
DRAWING NUMBER
A-212.01

- LEGEND**
- VISION GLASS
 - SHADOW BOX
 - BRONZE PANEL / FLUGREE
 - PAINTED METAL PANEL
 - LOUVER
 - ZERO LOT LINE BUILDING
 - GALVANIZED STEEL GRATING

- FAÇADE TYPES LEGEND**
- EXISTING WALL SEE RESTORATION DWGS
 - FT-1 METAL BASE SSG CURTAINWALL
 - FT-2 SOUTH SSG CURTAINWALL
 - FT-3A EASTWEST SSG CURTAINWALL
 - FT-3B EASTWEST OPEN CLADDING
 - FT-4 NORTH SSG CURTAINWALL
 - FT-5 METAL PANEL RAINSCREEN
 - FT-6 STONE RAINSCREEN
 - FT-7 BRICK CAVITY WALL
 - FT-8 OPEN FLOOR SOUTH FINS
 - FT-9 OPEN FLOOR NORTH FINS
 - FT-10A TMD SOUTH SSG CURTAINWALL
 - FT-10B TMD NORTH SSG CURTAINWALL
 - FT-11A TOWER TOP FLAT OPEN CLADDING
 - FT-11B TOWER TOP SKEWED OPEN CLADDING

- WALL OPENING LEGEND**
- 11" CLG SILL
 - 10" CLG SILL
 - LOUVER
 - OPEN
 - 9" CLG SILL
 - SHADOW BOX
 - 11" CLG
 - OPEN GLASS LOUVER WITH BIRD CONTROL MESH

- MATERIAL ID INDEX - FAÇADE_VERT**
- ANC-1 FLUSH EMBEDDED BMU ANCHOR POINT
 - FBR-1 FACE BRICK
 - FRN-A FRNAL A
 - FRN-B FRNAL B
 - FT-1 ATRIUM CURTAINWALL
 - FT-2 TOWER SOUTH CURTAINWALL
 - FT-3A FAÇADE EAST CURTAINWALL
 - FT-3B TOWER TOP EASTWEST CLADDING
 - FT-4 TOWER NORTH CURTAINWALL
 - FT-5 METAL PANEL RAINSCREEN
 - FT-6 STONE RAINSCREEN
 - FT-7 BRICK CAVITY WALL
 - FT-8 OPEN FLOOR SOUTH FINS
 - FT-9 OPEN FLOOR NORTH FINS
 - FT-10A TMD SOUTH CURTAINWALL
 - FT-10B TMD NORTH CURTAINWALL
 - FT-11A TOWER TOP FLAT CLADDING
 - FT-11B TOWER TOP SKEWED CLADDING
 - GL-1 LOW-IRON MONOLITHIC GLASS @ FT-1
 - GL-2 LOW-IRON IGU @ FT-1 OVERHEAD
 - GL-3 VISION IGU @ FT-2 & FT-4
 - GL-4A IGU W/ SHADOW BOX @ FT-2 & FT-4
 - GL-4B IGU W/ SHADOW BOX @ FT-3A
 - GL-5A VISION IGU @ FT-3A
 - GL-5B IGU W/ SHADOW BOX @ FT-3A
 - GL-6 LOW-IRON MONOLITHIC GLASS FIN @ FT-4 INTERIOR
 - GL-7 LAMINATED MONOLITHIC GLASS @ FT-2
 - GL-8 IGU @ STERWAY REPLACEMENT WINDOW
 - GL-9 IGU @ STERWAY REPLACEMENT WINDOW
 - GL-10 LOW-IRON MONOLITHIC GLASS @ GUARDRAIL
 - GRT-1 GALVANIZED METAL GRATING
 - GRT-2 STEEL GRATING
 - LVR-1 PERFORMANCE LOUVER
 - LVR-2 ENVIRONMENTAL EXHAUST SCREEN
 - MP-2 ARCHITECTURAL BRONZE PANEL
 - MP-4 ALUMINUM PANEL
 - MFL-FAB-3 CUSTOM BRONZE FAÇADE FABRICATIONS
 - MFL-FAB-4 COPA GUARDRAIL
 - ORN-RAL-2 DECORATIVE FLOOR MOUNTED BRONZE GUARDRAIL
 - ORN-RAL-3 BRONZE GUARDRAIL @ STERWAY TERRACE
 - ORN-RAL-4 BRONZE GLASS GUARDRAIL @ TOWER TERRACE
 - ORN-RAL-5 BRONZE GUARDRAIL @ DOUBLE HEIGHT LITE
 - PVR-1A CONCRETE LOCKDOWN PAVEN
 - PVR-1B CONCRETE PEDESTAL PAVEN
 - PVR-2A STONE LOCKDOWN PAVEN
 - PVR-2C STONE LOCKDOWN PAVEN
 - PVR-3 PAVING - PORTE-COCHERE
 - PVR-4A PAVING - PORTE-COCHERE (JESSUP PATH)
 - PVR-4B GLASS AND STEEL PAVEN
 - TC-1 TERRACOTTA PLASTER
 - WT-1 LIQUID WATERPROOFING
 - WT-2 WINDOW TREATMENT - SINGLE ROLL
 - WT-3 WINDOW TREATMENT - DOUBLE ROLL



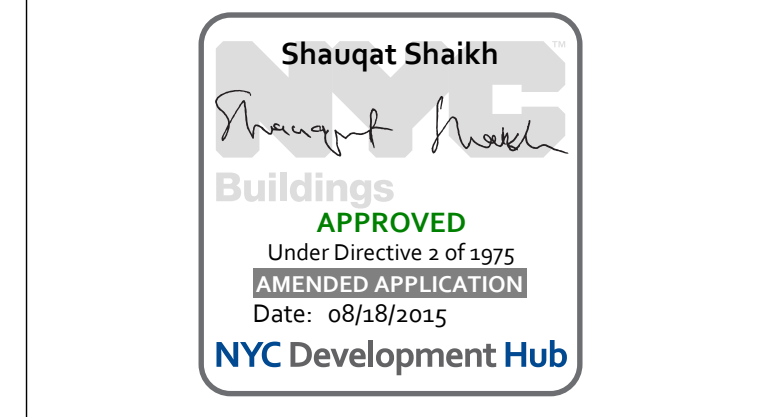
ARCHITECT	SHAP ARCHITECTS, P.C.	225 BROADWAY, 17TH FLOOR NEW YORK, NY 10038	PHONE: 212.889.8999
STRUCTURAL ENGINEER	SEIF CENTER GROUP	228 EAST 47TH STREET NEW YORK, NY 10017	PHONE: 212.867.8888
MEP ENGINEER	JARVIS, BAIAM & COLLES	89 WEST STREET, 17TH FLOOR NEW YORK, NY 10038	PHONE: 212.889.8999
CIVIL ENGINEER	AKRF ENGINEERING, P.C.	40 WEST 34TH STREET, 17TH FLOOR NEW YORK, NY 10018	PHONE: 212.889.8999
ACOUSTICIST	LONGMAN LINDESEY	42 WEST 34TH STREET, 4TH FLOOR NEW YORK, NY 10018	PHONE: 212.889.8999
INTERIORS	STUDIOS 20/20	200 WALKER STREET, 17TH FLOOR EAST NEW YORK, NY 10002	PHONE: 212.675.1306
FAÇADE	DESIGN TRANSPLOY	100 BROADWAY, 17TH FLOOR NEW YORK, NY 10038	PHONE: 212.889.8999
VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES	8 BROADWAY, 10TH FLOOR NEW YORK, NY 10003	PHONE: 212.889.8999
RESTORATION	JAN HRO POKORNY ASSOCIATES	30 WEST 34TH STREET, 4TH FLOOR NEW YORK, NY 10018	PHONE: 212.889.8999
LIGHTING	COOPERATIVE INTERNATIONAL	100 WALKER STREET, 17TH FLOOR EAST NEW YORK, NY 10002	PHONE: 212.889.8999



PROPERTY MARKETS GROUP
100 WALKER STREET, 17TH FLOOR
NEW YORK, NY 10002
PHONE: 212.889.8999

CURRENT ISSUE

DOB PAA



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

DRAWING TITLE
TOWER ELEVATIONS ZONE 3

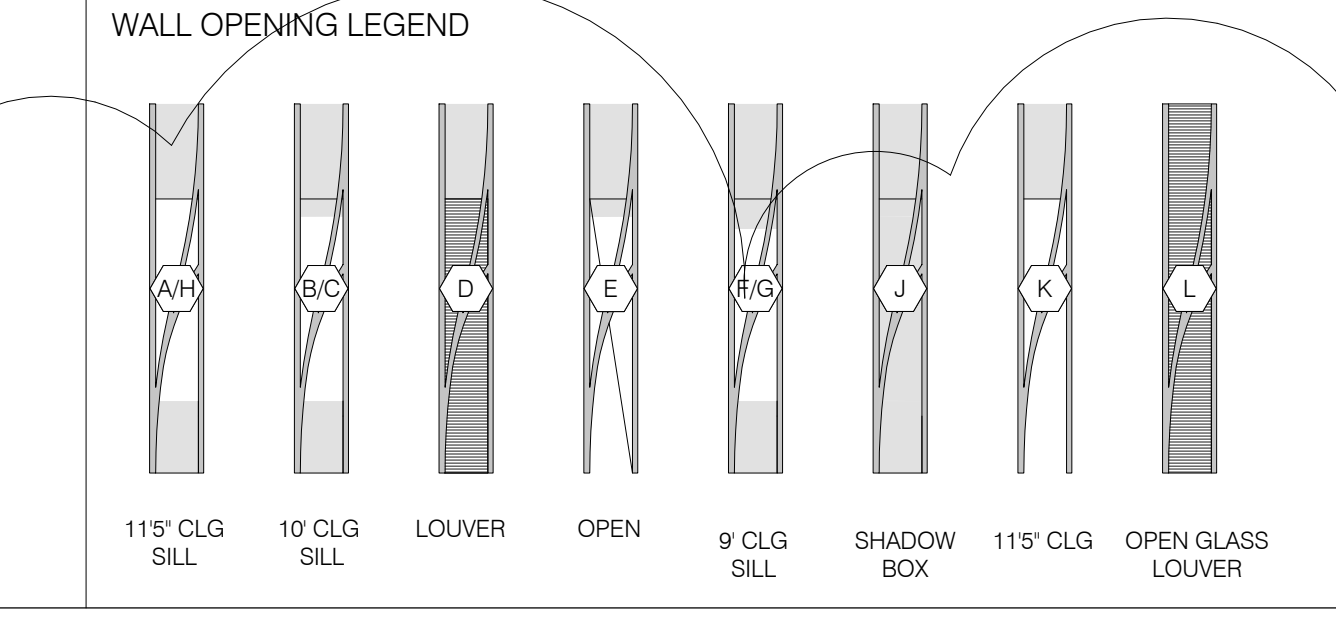
SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130607	
DRAWN BY	SHAP	
CHECKED BY	SHAP	
DATE	12.13.2014	
DRAWING NUMBER	A-213.01	

LEGEND

[Symbol]	VISION GLASS
[Symbol]	SHADOW BOX
[Symbol]	BROWSE PANEL / FLGURE
[Symbol]	PAINTED METAL PANEL
[Symbol]	LOUVER
[Symbol]	ZERO LOT LINE BUILDING
[Symbol]	GALVANIZED STEEL GRATING

FAÇADE TYPES LEGEND

[Symbol]	EXISTING WALL	[Symbol]	METAL PANEL RAINSCREEN
[Symbol]	SEE RESTRICTION DWG	[Symbol]	TMD SOUTH SSG CURTAINWALL
[Symbol]	RETAL BASE SSG CURTAINWALL	[Symbol]	TMD NORTH SSG CURTAINWALL
[Symbol]	SOUTH SSG CURTAINWALL	[Symbol]	TOWER TOP FLAT OPEN CLADDING
[Symbol]	EASTWEST SSG CURTAINWALL	[Symbol]	TOWER TOP SKEWED OPEN CLADDING
[Symbol]	EASTWEST OPEN CLADDING	[Symbol]	OPEN FLOOR SOUTH FINS
[Symbol]	NORTH SSG CURTAINWALL	[Symbol]	OPEN FLOOR NORTH FINS

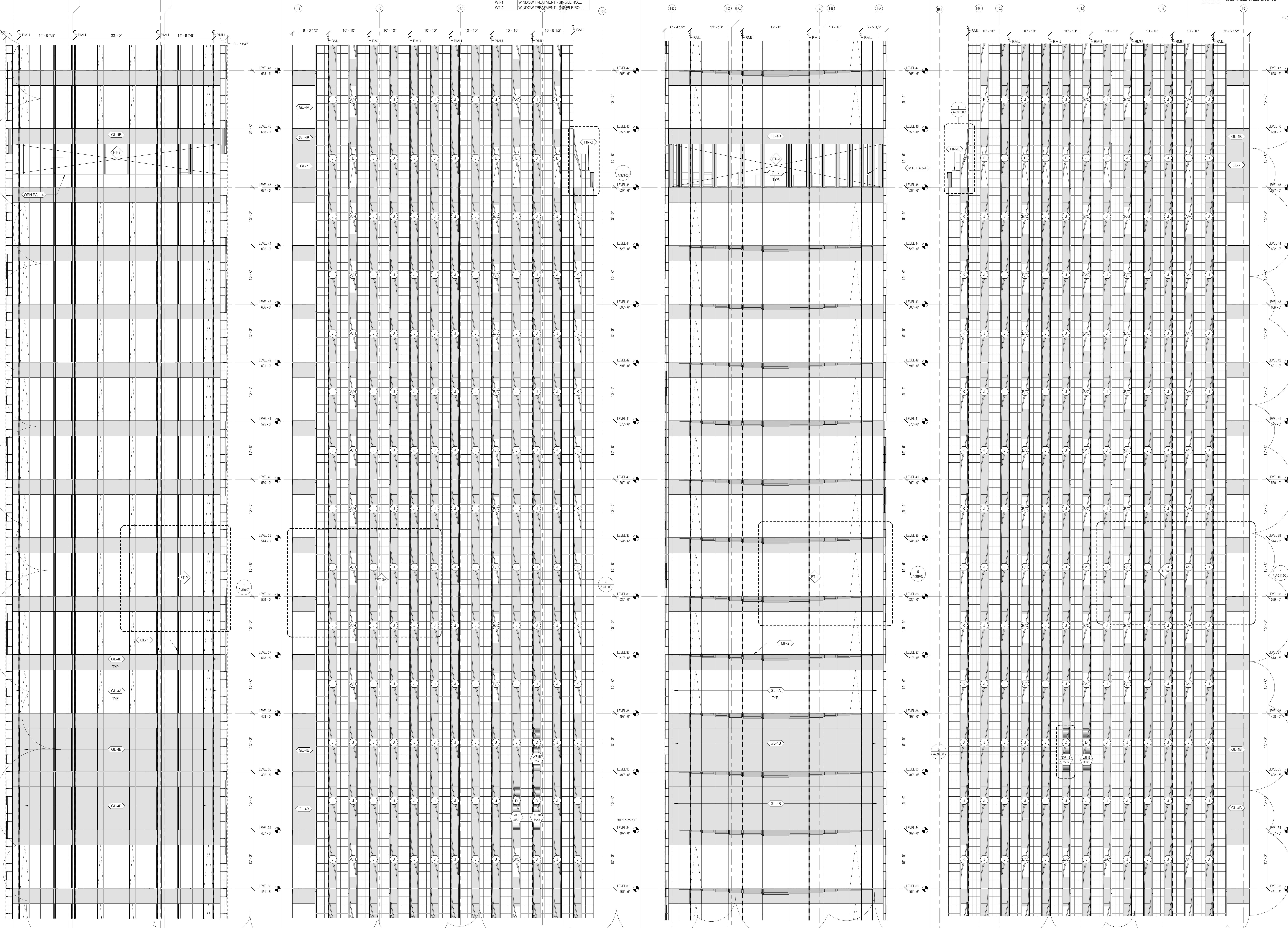


MATERIAL ID INDEX - FAÇADE

GL-1	FLUSH EMBEDDED BMU ANCHOR POINT	GL-8	IGU @ STEINWAY REPLACEMENT WINDOW
FIN-1	FACE BRICK	GL-9	IGU @ STEINWAY REPLACEMENT DOOR
FIN-2	PANEL A	GL-10	LOW IRON MONOLITHIC GLASS @ QUADRANT
FIN-3	FINAL B	GL-11	LOW IRON MONOLITHIC GLASS @ FT.1
GL-1	LOW IRON MONOLITHIC GLASS @ FT.1	GL-12	LOW IRON IGU @ FT.1 OVER-HEAD
GL-2	LOW IRON IGU @ FT.1	GL-13	LOW IRON IGU @ FT.1 COVER-HEAD
GL-3	LOW IRON IGU @ FT.1	GL-14	VISION IGU @ FT.2 & FT.4
GL-4	VISION IGU @ FT.2 & FT.4	GL-15	IGU W/ SHADOW BOX @ FT.2 & FT.4
GL-5	IGU W/ SHADOW BOX @ FT.2 & FT.4	GL-16	VISION IGU @ FT.3A
GL-6	VISION IGU @ FT.3A	GL-17	IGU W/ SHADOW BOX @ FT.3A
GL-7	LOW IRON MONOLITHIC GLASS FIN @ FT.4 INTERIOR	GL-18	LOW IRON MONOLITHIC GLASS FIN @ FT.4 INTERIOR
GL-7	LAMINATED MONOLITHIC GLASS @ FT.2, FT.4, FT.1	GL-19	LAMINATED MONOLITHIC GLASS @ FT.2, FT.4, FT.1

MATERIAL ID INDEX - FAÇADE

ORN-RAL-2	DECORATIVE FLOOR-MOUNTED BRONZE QUADRANT	ORN-RAL-6	BRONZE GLAZIERIAL @ DOUBLE HEIGHT UNITS
ORN-RAL-3	BRONZE GLAZIERIAL @ STEINWAY TERRACES	PVR-1A	CONCRETE LOCKDOWN PAVER
ORN-RAL-4	BRONZE GLAZIERIAL @ TOWER TERRACE	PVR-1B	CONCRETE PEDESTAL PAVER
ORN-RAL-5	BRONZE GLAZIERIAL @ TOWER TERRACE	PVR-2A	STONE LOCKDOWN PAVER
PVR-1A	CONCRETE LOCKDOWN PAVER	PVR-2C	PAVING - PORTE COCHERE
PVR-1B	CONCRETE PEDESTAL PAVER	PVR-3	PAVING - PORTE COCHERE (EGRESS PATH)
PVR-2A	STONE LOCKDOWN PAVER	PVR-3A	GLASS AND STEEL PAVES
PVR-2C	PAVING - PORTE COCHERE	TC-1	TERRAZZITA PLASTER
PVR-3	PAVING - PORTE COCHERE (EGRESS PATH)	MP-1	LIQUID WATERPROOFING
PVR-3A	GLASS AND STEEL PAVES	WT-1	WINDOW TREATMENT - SINGLE ROLL
TC-1	TERRAZZITA PLASTER	WT-2	WINDOW TREATMENT - DOUBLE ROLL



ARCHITECT
SNAP ARCHITECTS, P.C.
200 W. 42ND STREET, 11TH FLOOR
NEW YORK, NY 10018
TEL: 212.693.8800

STRUCTURAL ENGINEER
WSP PARTNER BENKIN
300 W. 42ND STREET
NEW YORK, NY 10018
TEL: 212.693.8800

MEP ENGINEER
JACOBS BAIM & ROLLER
80 W. 42ND STREET
NEW YORK, NY 10018
TEL: 212.693.8800

CIVIL ENGINEER
ANOFF ENGINEERING, P.C.
440 PARK AVE SOUTH 7TH FLOOR
NEW YORK, NY 10014
TEL: 486.366.5555

ACOUSTICS
LONGMAN LINDSEY
40 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 472.293.2200

INTERIORS
STUDIO SCHFIELD
80 W. 42ND STREET
NEW YORK, NY 10018
TEL: 212.693.1000

FAÇADE
BUNO HAPFOLD
100 W. 42ND STREET
NEW YORK, NY 10018
TEL: 212.693.8800

VERTICAL TRANSPORTATION
VAN DEUSEN & ASSOCIATES
140 WEST 57TH STREET, 5TH FLOOR
NEW YORK, NY 10019
TEL: 212.261.6462

RESTORATION
JEN HING FORKORNY ASSOCIATES
100 WEST 57TH STREET, FLOOR 5A
NEW YORK, NY 10019
TEL: 212.261.6462

GEOTECH
MPCE
220 WEST 45TH STREET, 4TH FLOOR
NEW YORK, NY 10018
TEL: 212.228.4444

LIGHTING
LABORATORIE INTERNATIONAL
120 W. 42ND STREET, 7TH FLOOR EAST
NEW YORK, NY 10018
TEL: 212.228.4444

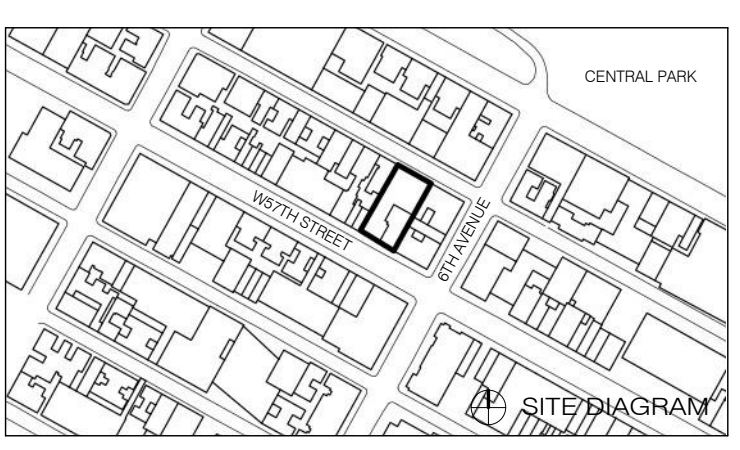


PROPERTY MARKETS GROUP
1 EAST 57TH STREET, 2ND FLOOR
NEW YORK, NY 10022
TEL: 212.613.2800
CURRENT ISSUE

DOB PAA

Shauqat Shaikh
Buildings & More
APPROVED
Under Directive 2 of 1975
DESIGNED PARTICIPATION
DATE: 08/28/2016
NYC Development Hub

111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



1	3.27.15	DOB PAA
2	5.1.14	DOB FILING SET
NO.	DATE	REVISION
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS, P.C.		
COPYRIGHT © 2016 SHAP ARCHITECTS, P.C. ALL RIGHTS RESERVED.		

DRAWING TITLE
TOWER ELEVATIONS ZONE 4

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130907	
DESIGNED BY	SHAP	
CHECKED BY	SHAP	
DRAWN BY	1213202006	
DRAWING NUMBER		

A-214A.01

MATERIAL ID INDEX - FAÇADE

ANC-1 FLUSH EMBEDDED BMU ANCHOR POINT
FBR-1 FACE BRICK
FBR-2 FACE BRICK
FBR-3 FACE BRICK
FBR-4 FACE BRICK
GL-1 LOW-IRON MONOLITHIC GLASS @ FT-1
GL-2 LOW-IRON IGU @ FT-1
GL-3 LOW-IRON IGU @ FT-1 OVERHEAD
GL-4A VISION IGU @ FT-2 & FT-4
GL-4B IGU W/ SHADOW BOX @ FT-2 & FT-4
GL-5A VISION IGU @ FT-3A
GL-5B IGU W/ SHADOW BOX @ FT-3A
GL-6 LOW-IRON MONOLITHIC GLASS FIN @ FT-4 INTERIOR
GL-7 LAMINATED MONOLITHIC GLASS @ FT-2, FT-4, FT-11

MATERIAL ID INDEX - FAÇADE

GL-4 IGU @ STENWAY REPLACEMENT WINDOW
GL-9 IGU @ STENWAY REPLACEMENT DOOR
GL-10 LOW-IRON MONOLITHIC GLASS @ STENWAY REPLACEMENT DOOR
GRT-1 GALVANIZED METAL GRATING
GRT-2 STEEL GRATING
LVR-1A PERFORMANCE LOUVER
LVR-1B ARCH LOUVER + PERFORMANCE LOUVER
LVR-2 ENVIRONMENTAL EVALUATOR GRILLE
MP-2 ARCHITECTURAL BRONZE PANEL
MP-4 ALUMINUM PANEL
MTL FAB-3 CUSTOM BRONZE FAÇADE FABRICATIONS
MTL FAB-4 OSHA GUARDRAIL

MATERIAL ID INDEX - FAÇADE

ORN RAIL-2 DECORATIVE FLOOR MOUNTED BRONZE GUARDRAIL
ORN RAIL-3 BRONZE GUARDRAIL @ STENWAY TERRACE
ORN RAIL-4 BRONZE GUARDRAIL @ TOWER TERRACE
ORN RAIL-5 BRONZE GUARDRAIL @ DOUBLE HEIGHT LINES
PVR-1A CONCRETE LOCKDOWN PAVER
PVR-1B CONCRETE PEDESTAL PAVER
PVR-2A STONE LOCKDOWN PAVER
PVR-2C
PVR-3 PAVING - PORTE COCHERE
PVR-3A PAVING - PORTE COCHERE (EGRESS PATH)
PVR-4 GLASS AND STEEL PAVER
TC-1 TERRAZZOTA PLASTER
WP-1 LIQUID WATERPROOFING
WT-1 WINDOW TREATMENT - SINGLE ROLL
WT-2 WINDOW TREATMENT - DOUBLE ROLL

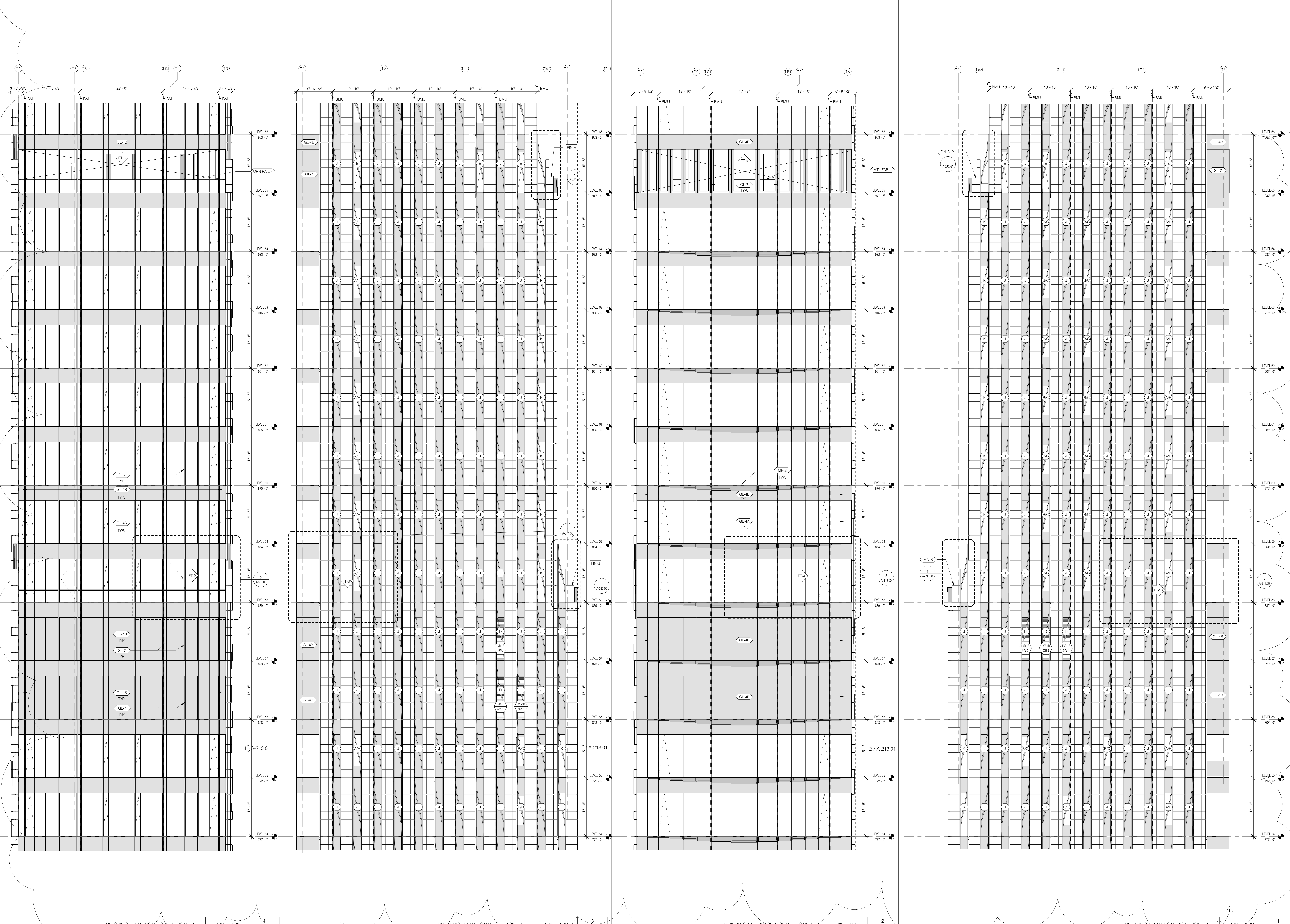
WALL OPENING LEGEND

FAÇADE TYPES LEGEND

FT-1 EXISTING WALL / SEE RESTORATION DWGS
FT-11 RETAIL BASE SSG CURTAINWALL
FT-2 SOUTH SSG CURTAINWALL
FT-3A EASTWEST SSG CURTAINWALL
FT-3B EASTWEST OPEN CLADDING
FT-4 NORTH SSG CURTAINWALL
FT-5 METAL PANEL RAINSCREEN
FT-6 STONE RAINSCREEN
FT-7 BRICK CAVITY WALL
FT-8 OPEN FLOOR SOUTH FINS
FT-9 OPEN FLOOR NORTH FINS
FT-10A TMD SOUTH SSG CURTAINWALL
FT-10B TMD NORTH SSG CURTAINWALL
FT-11A TOWER TOP FLAT OPEN CLADDING
FT-11B TOWER TOP SKEWED OPEN CLADDING

LEGEND

VISION GLASS
SHADOW BOX
BRONZE PANEL / FLUOREE
PAINTED METAL PANEL
LOUVER
ZERO FOOT LINE BUILDING
GALVANIZED STEEL GRATING



BUILDING ELEVATION SOUTH - ZONE 4 1/8" = 1'-0" 4 A-213.01 A-214A.01
 BUILDING ELEVATION WEST - ZONE 4 1/8" = 1'-0" 3 A-213.01 A-214A.01
 BUILDING ELEVATION NORTH - ZONE 4 1/8" = 1'-0" 2 A-213.01 A-214A.01
 BUILDING ELEVATION EAST - ZONE 4 1/8" = 1'-0" 1 A-213.01 A-214A.01

ARCHITECT
 SHAP ARCHITECTS, P.C.
 200 W. 57th Street, 11th Floor
 New York, NY 10019
 Tel: 212.850.8000

STRUCTURAL ENGINEER
 WSP PARTNER BENKIN
 200 W. 57th Street, 11th Floor
 New York, NY 10019
 Tel: 212.850.8000

MEP ENGINEER
 JACOBS BAIM & ROLLER
 400 West 57th Street, 11th Floor
 New York, NY 10019
 Tel: 212.850.8000

CIVIL ENGINEER
 ANEP ENGINEERING, P.C.
 440 Park Ave South, 7th Floor
 New York, NY 10014
 Tel: 212.253.2000

ACUSTICS
 LONGMAN LINDSEY
 400 West 57th Street, 11th Floor
 New York, NY 10019
 Tel: 212.850.8000

INTERIORS
 STUDIO SOFIELD
 120 Broadway Street, 7th Floor
 New York, NY 10038
 Tel: 212.673.1000

FAÇADE
 BURD HOFFPOLD
 48 Broadway
 New York, NY 10005
 Tel: 212.693.0000

VERTICAL TRANSPORTATION
 VAN DEUSEN & ASSOCIATES
 400 West 57th Street, Suite 604
 New York, NY 10019
 Tel: 917.841.8000

RESTORATION
 JEN HING FORKNER ASSOCIATES
 40 West 57th Street, Floor 5A
 New York, NY 10019
 Tel: 212.758.6400

GEO TECH
 MPCE
 220 West 57th Street, 6th Floor
 New York, NY 10019
 Tel: 212.253.2000

LIGHTING
 LOEWSERATOR INTERNATIONAL
 120 Broadway Street, 7th Floor East
 New York, NY 10038
 Tel: 212.228.4444

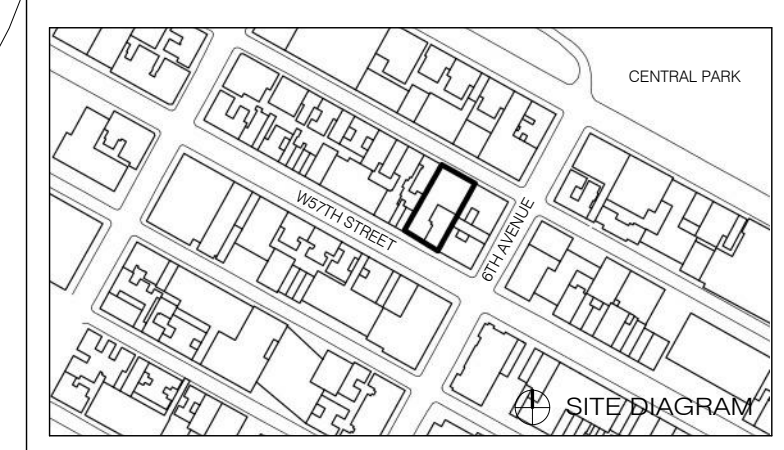


PROPERTY MARKETS GROUP
 1 EAST 57th STREET, 2ND FLOOR
 NEW YORK, NY 10022
 Tel: 212.613.2000

DOB PAA



111 WEST 57TH STREET
 111 WEST 57TH STREET
 NEW YORK, NY 10019



1	1.27.15	DOB PAA
1	1.14	DOB FILING SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS, P.C.

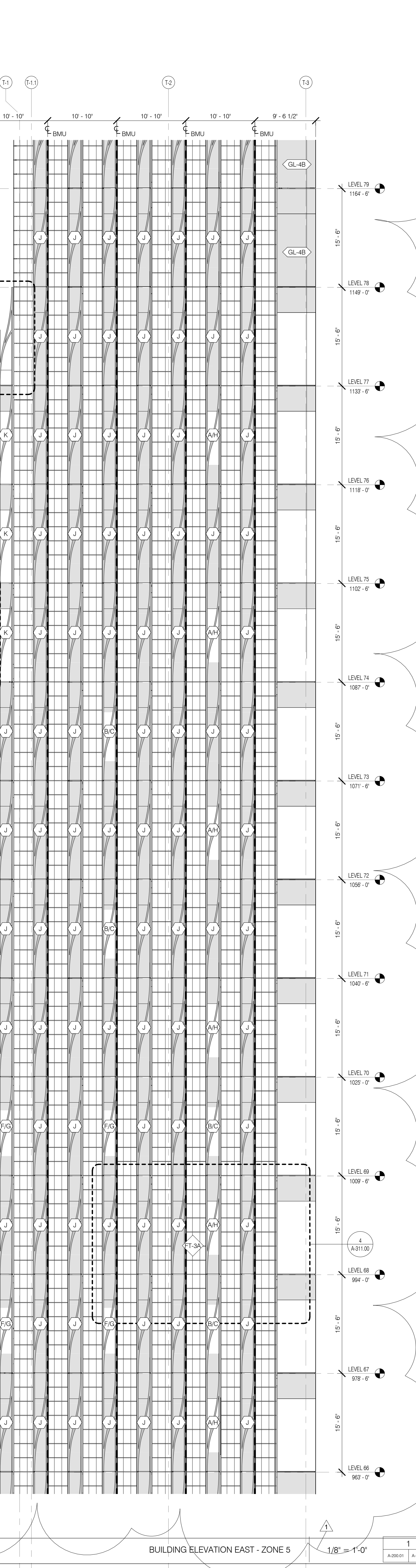
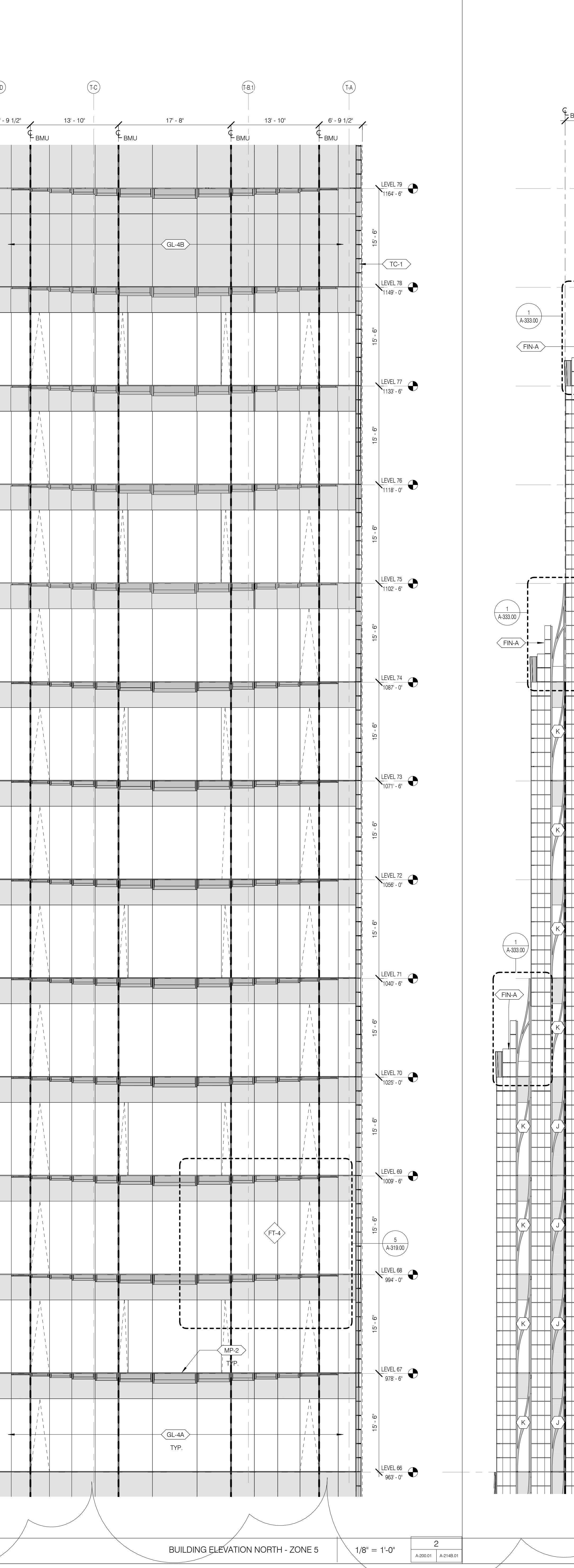
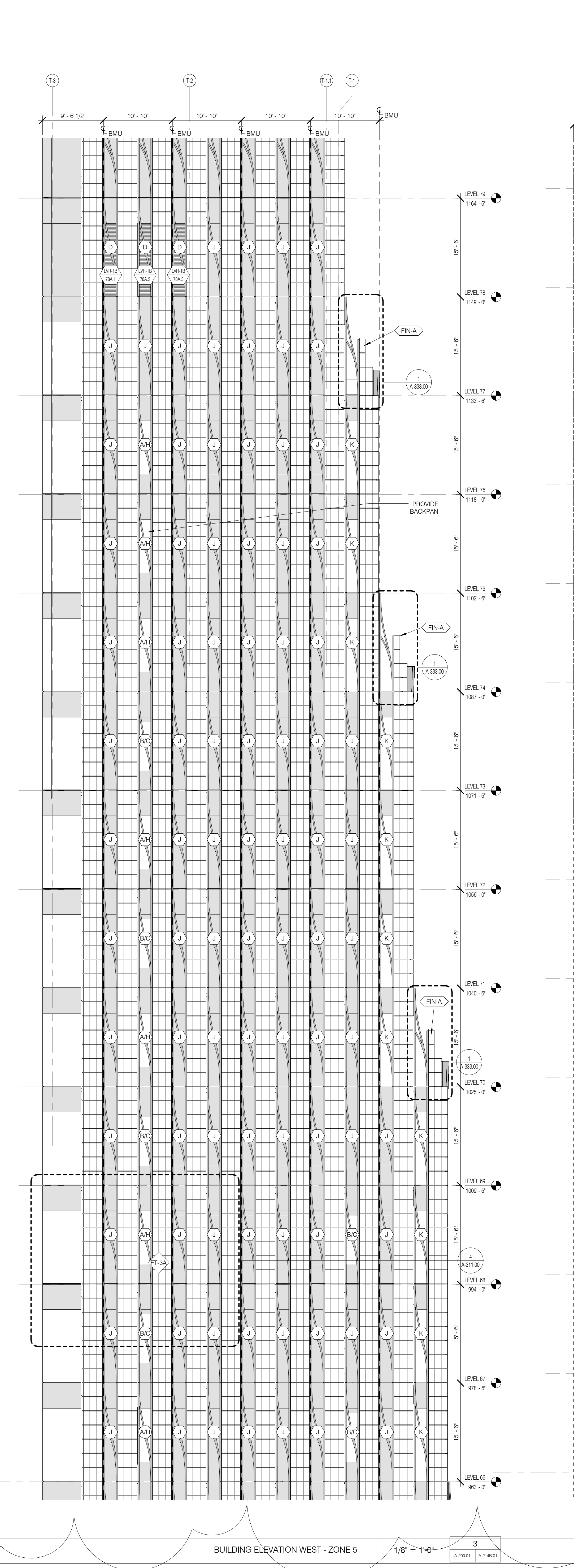
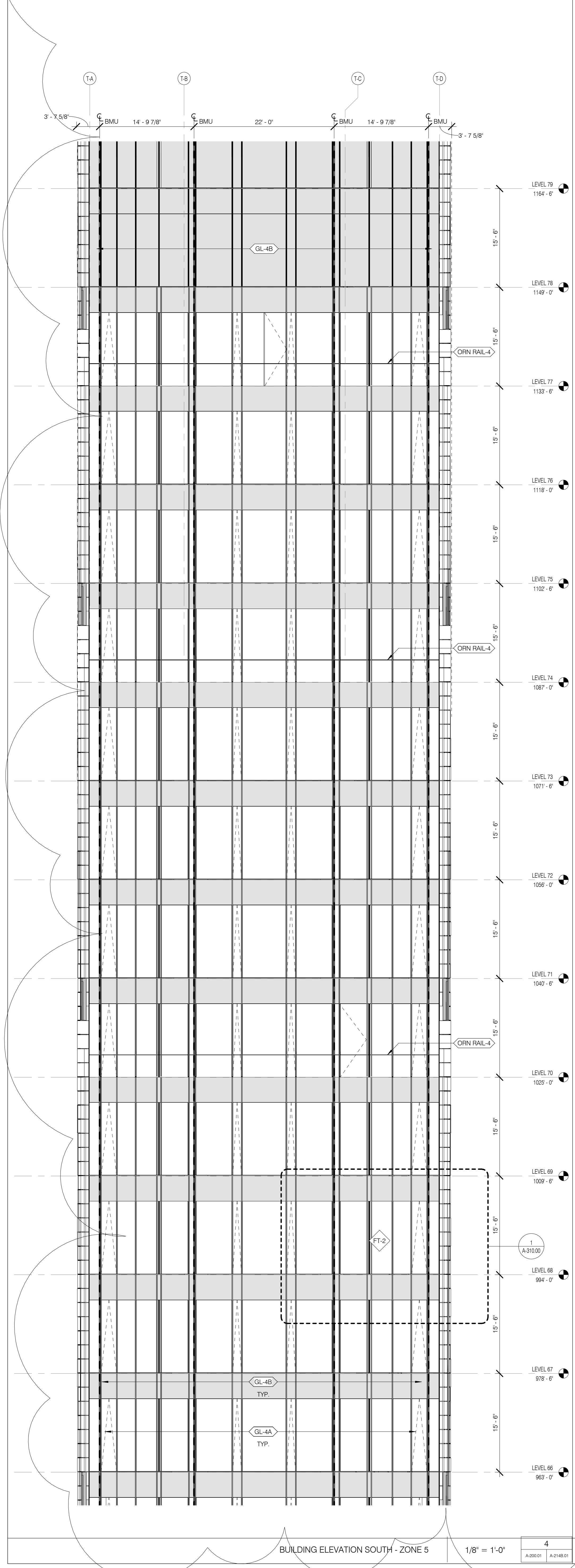
COPYRIGHT © 2015 SHAP ARCHITECTS, P.C. ALL RIGHTS RESERVED.

DRAWING TITLE
TOWER ELEVATIONS ZONE 5

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130907	
DESIGNED BY	SHAP	
CHECKED BY	SHAP	
DRAWN BY	SHAP	
DRAWING NUMBER	121232306	
DRAWING NUMBER		

A-214B.01

MATERIAL ID INDEX - FAÇADE		MATERIAL ID INDEX - FAÇADE		MATERIAL ID INDEX - FAÇADE		WALL OPENING LEGEND		FAÇADE TYPES LEGEND		LEGEND	
ANC-1	FLUSH EMBEDDED BMU ANCHOR POINT	GL-8	IGU @ STEINWAY REPLACEMENT WINDOW	OSN-RAIL-2	DECORATIVE FLOOR-MOUNTED BRONZE GUARDRAIL	11'-0" CLG SILL	11'-0" CLG SILL	FT-5	METAL PANEL RAINSCREEN	FT-10A	TMD SOUTH SSG CURTAINWALL
NBR-1	FACE BRICK	GL-9	IGU @ STEINWAY REPLACEMENT DOOR	OSN-RAIL-3	BRONZE GUARDRAIL @ STEINWAY TERRACE	10' CLG SILL	LOUVER	FT-6	STONE RAINSCREEN	FT-10B	TMD NORTH SSG CURTAINWALL
FIN-A	FINISH	GL-10	LOW-IRON MONOLITHIC GLASS @ QUADRANT	OSN-RAIL-4	BRONZE GLASS GUARDRAIL @ TOWER TERRACE	OPEN	OPEN	FT-7	RETAL BASE SSG CURTAINWALL	FT-11A	TOWER TOP FLAT OPEN CLADDING
FIN-B	FINISH	GL-11	LOW-IRON MONOLITHIC GLASS @ FT-1	PVR-1A	CONCRETE LOCKDOWN PAVER	9' CLG SILL	SHADOW BOX	FT-8	SOUTH SSG CURTAINWALL	FT-11B	TOWER TOP SKEWED OPEN CLADDING
GL-2	LOW-IRON IGU @ FT-1	GL-12	LOW-IRON IGU @ FT-1 OVERHEAD	PVR-1B	CONCRETE PEDESTAL PAVER	11'-0" CLG SILL	OPEN GLASS LOUVER	FT-9	EASTWEST SSG CURTAINWALL	FT-12	OPEN FLOOR SOUTH FNS
GL-3	LOW-IRON IGU @ FT-2 & FT-4	GL-13	IGU W/ SHADOW BOX @ FT-2 & FT-4	PVR-2C	STONE LOCKDOWN PAVER			FT-10	EASTWEST OPEN CLADDING	FT-13	OPEN FLOOR NORTH FNS
GL-4A	VISION IGU @ FT-2 & FT-4	GL-14	IGU W/ SHADOW BOX @ FT-3A	PVR-3	PAVING - PORTE-COCHERE			FT-11	NORTH SSG CURTAINWALL		
GL-4B	VISION IGU @ FT-3A	GL-15	LOW-IRON MONOLITHIC GLASS FN @ FT-4 INTERIOR	PVR-3A	PAVING - PORTE-COCHERE (EGRESS PATH)						
GL-5A	VISION IGU @ FT-3A	GL-16	LOW-IRON MONOLITHIC GLASS FN @ FT-4 INTERIOR	PVR-4	GLASS AND STEEL PAVER						
GL-5B	VISION IGU @ FT-3A	GL-17	LAMINATED MONOLITHIC GLASS @ FT-2, FT-3, FT-11	TC-1	TERRACOTTA PLASTER						
GL-6	LOW-IRON MONOLITHIC GLASS FN @ FT-4 INTERIOR			WP-1	LIQUID WATERPROOFING						
GL-7	LAMINATED MONOLITHIC GLASS @ FT-2, FT-3, FT-11			WT-1	WINDOW TREATMENT - SINGLE ROLL						
				WT-2	WINDOW TREATMENT - DOUBLE ROLL						
				MTL-FAB-3	CUSTOM BRONZE FAÇADE FABRICATIONS						
				MTL-FAB-4	OSHA GUARDRAIL						



LEGEND

- VISION GLASS
- SHADOW BOX
- BRONZE PANEL / FILIGREE
- PAINTED METAL PANEL
- LOUVER
- ZERO LOT LINE BUILDING
- GALVANIZED STEEL GRATING

FACADE TYPES LEGEND

- EXISTING WALL - SEE RESTORATION DWGS
- RETAL BASE SSG CURTAINWALL
- SOUTH SSG CURTAINWALL
- EASTWEST SSG CURTAINWALL
- EASTWEST OPEN CLADDING
- METAL PANEL RAINSCREEN
- STONE RAINSCREEN
- BRICK CAVITY WALL
- OPEN FLOOR SOUTH FINIS
- OPEN FLOOR NORTH FINIS
- TMD SOUTH SSG CURTAINWALL
- TMD NORTH SSG CURTAINWALL
- TOWER TOP FLAT OPEN CLADDING
- TOWER TOP SKEWED OPEN CLADDING

WALL OPENING LEGEND

- 11'9" CLG SILL
- 10' CLG SILL
- LOUVER
- OPEN
- 9' CLG SILL
- SHADOW BOX
- 11'9" CLG
- OPEN GLASS LOUVER WITH BIRD CONTROL MESH

MATERIAL ID INDEX - FACADE, VERT.

- ANC-1 FLUSH EMBEDDED BMU ANCHOR POINT
- FBR-1 FACE BRICK
- FINA A FINIAL A
- FINA B FINIAL B
- FT-1 ATRILUM CURTAINWALL
- FT-2 TOWER SOUTH CURTAINWALL
- FT-3A FACADE EAST CURTAINWALL
- FT-3B TOWER TOP EASTWEST CLADDING
- FT-4 TOWER NORTH CURTAINWALL
- FT-6 METAL PANEL RAINSCREEN
- FT-6 STONE RAINSCREEN
- FT-7 BRICK CAVITY WALL
- FT-8 OPEN FLOOR SOUTH FINIS
- FT-9 OPEN FLOOR NORTH FINIS
- FT-10A TMD SOUTH CURTAINWALL
- FT-10B TMD NORTH CURTAINWALL
- FT-11A TOWER TOP FLAT CLADDING
- FT-11B TOWER TOP SKEWED CLADDING
- GL-1 LOW IRON MONOLITHIC GLASS @ FT-1
- GL-2 LOW IRON IGU @ FT-1 OVERHEAD
- GL-3 LOW IRON IGU @ FT-2 & FT-4
- GL-4A VISION IGU @ FT-2 & FT-4
- GL-4B IGU W/ SHADOW BOX @ FT-2 & FT-4
- GL-5A VISION IGU @ FT-3A
- GL-5B IGU W/ SHADOW BOX @ FT-3A
- GL-6 LOW IRON MONOLITHIC GLASS FRI @ FT-4 INTERIOR
- GL-7 LAMINATED MONOLITHIC GLASS @ FT-2, FT-4, FT-11
- GL-8 IGU @ STENWAY REPLACEMENT WINDOW
- GL-9 IGU @ STENWAY REPLACEMENT DOOR
- GL-10 LOW IRON MONOLITHIC GLASS @ GUARDRAIL
- GRT-1 GALVANIZED METAL GRATING
- GRT-2 STEEL GRATING
- LVR-1A PERFORMANCE LOUVER
- LVR-1B ARCH LOUVER - PERFORMANCE LOUVER
- LVR-2 ENVIRONMENTAL EXHAUST GRILLE
- MP-1 ARCHITECTURAL BRONZE PANEL
- MP-2 ARCHITECTURAL BRONZE PANEL
- MP-3 ALUMINUM PANEL
- MTL FAB-3 CUSTOM BRONZE FACADE FABRICATIONS
- MTL FAB-4 OSHA GUARDRAIL
- ORN RAIL-2 DECORATIVE FLOOR-MOUNTED BRONZE GUARDRAIL
- ORN RAIL-3 BRONZE GUARDRAIL @ STENWAY TERRACE
- ORN RAIL-4 BRONZE GLASS GUARDRAIL @ TOWER TERRACE
- ORN RAIL-6 BRONZE GUARDRAIL @ DOUBLE HEIGHT UNITS
- PVR-1A CONCRETE LOCKDOWN PAVER
- PVR-1B CONCRETE PEDestal PAVER
- PVR-2A STONE LOCKDOWN PAVER
- PVR-2C STONE LOCKDOWN PAVER
- PVR-3 PAVING - PORTE-COCHERE
- PVR-3A PAVING - PORTE-COCHERE (EGRESS PATH)
- PVR-4 GLASS AND STEEL PAVER
- TC-1 TERRAZZOTA PAVER
- WP-1 LIQUID WATERPROOFING
- WT-1 WINDOW TREATMENT - SINGLE ROLL
- WT-2 WINDOW TREATMENT - DOUBLE ROLL

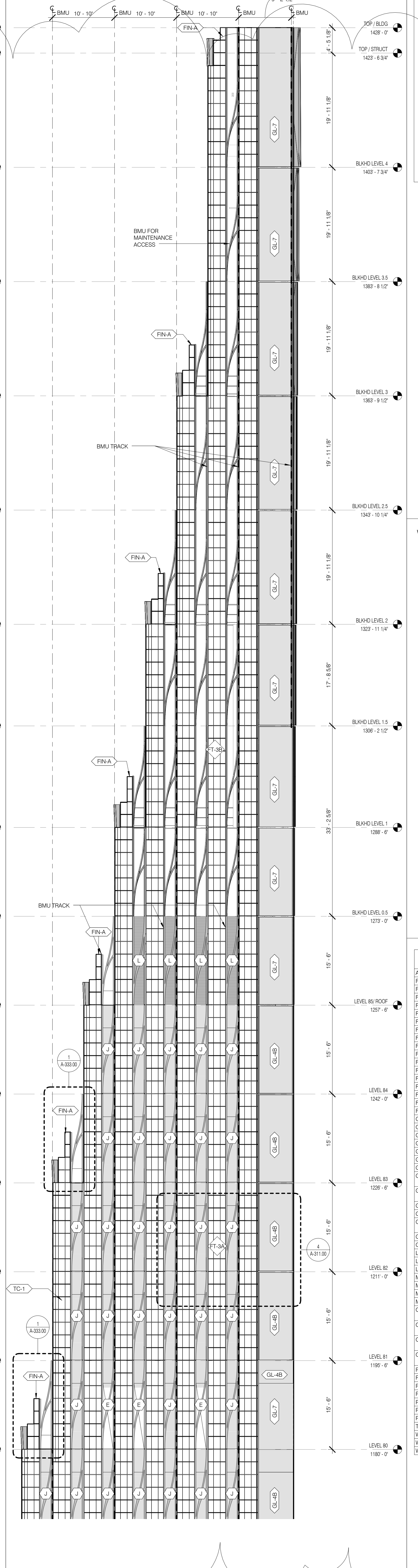
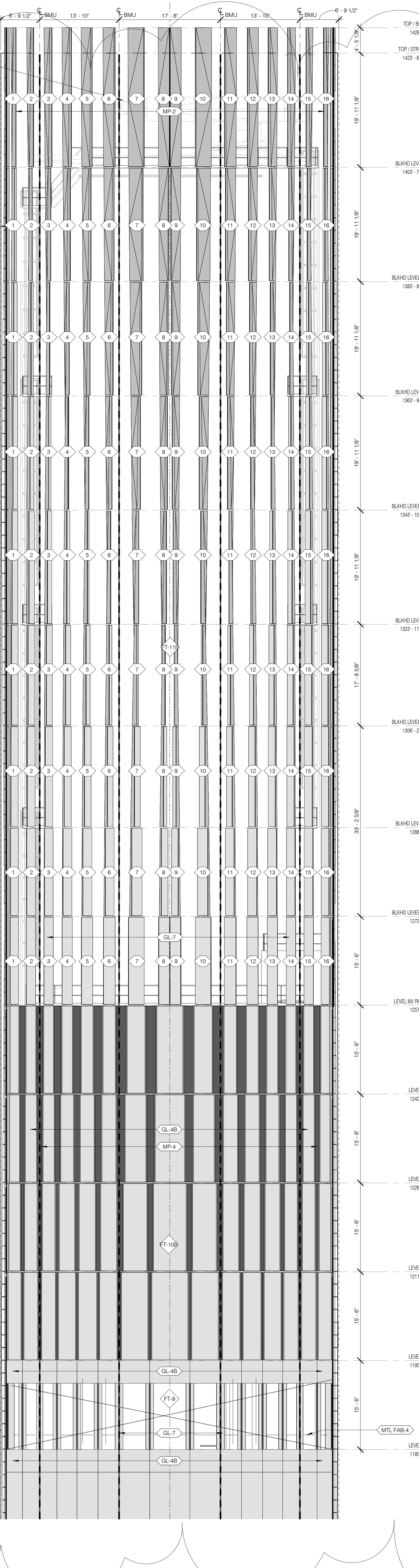
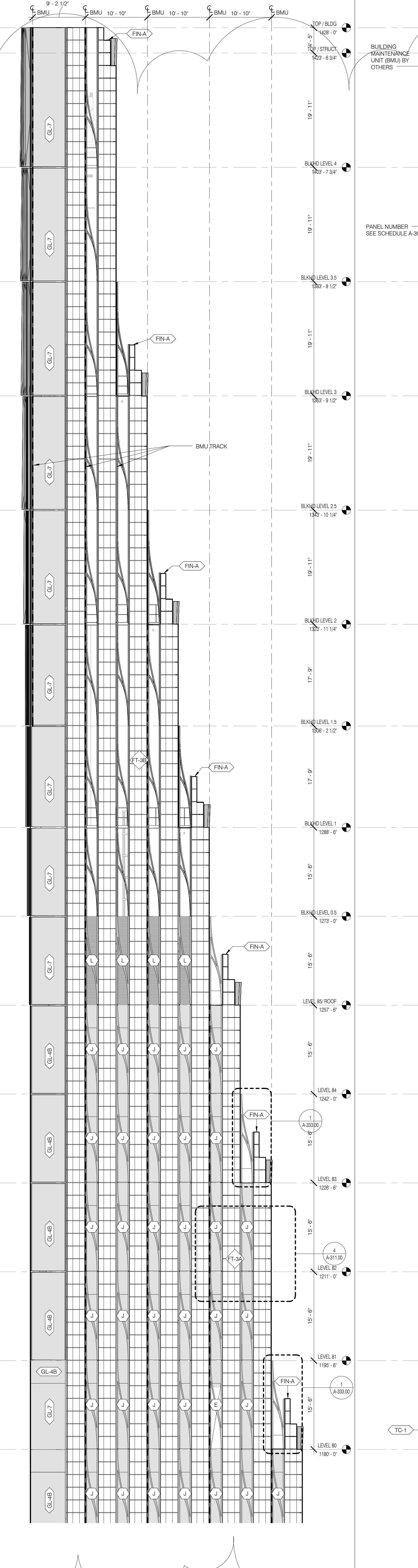
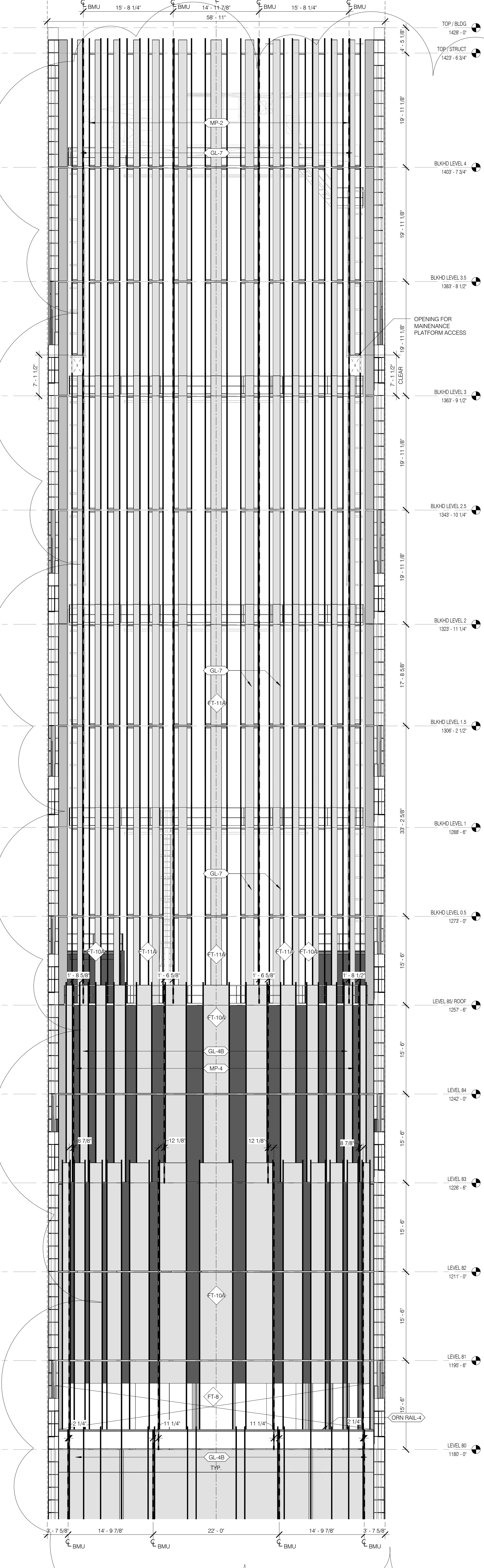
1 3.27.15 DOB PAA
5.1.14 DOB FILING SET

NO. DATE REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

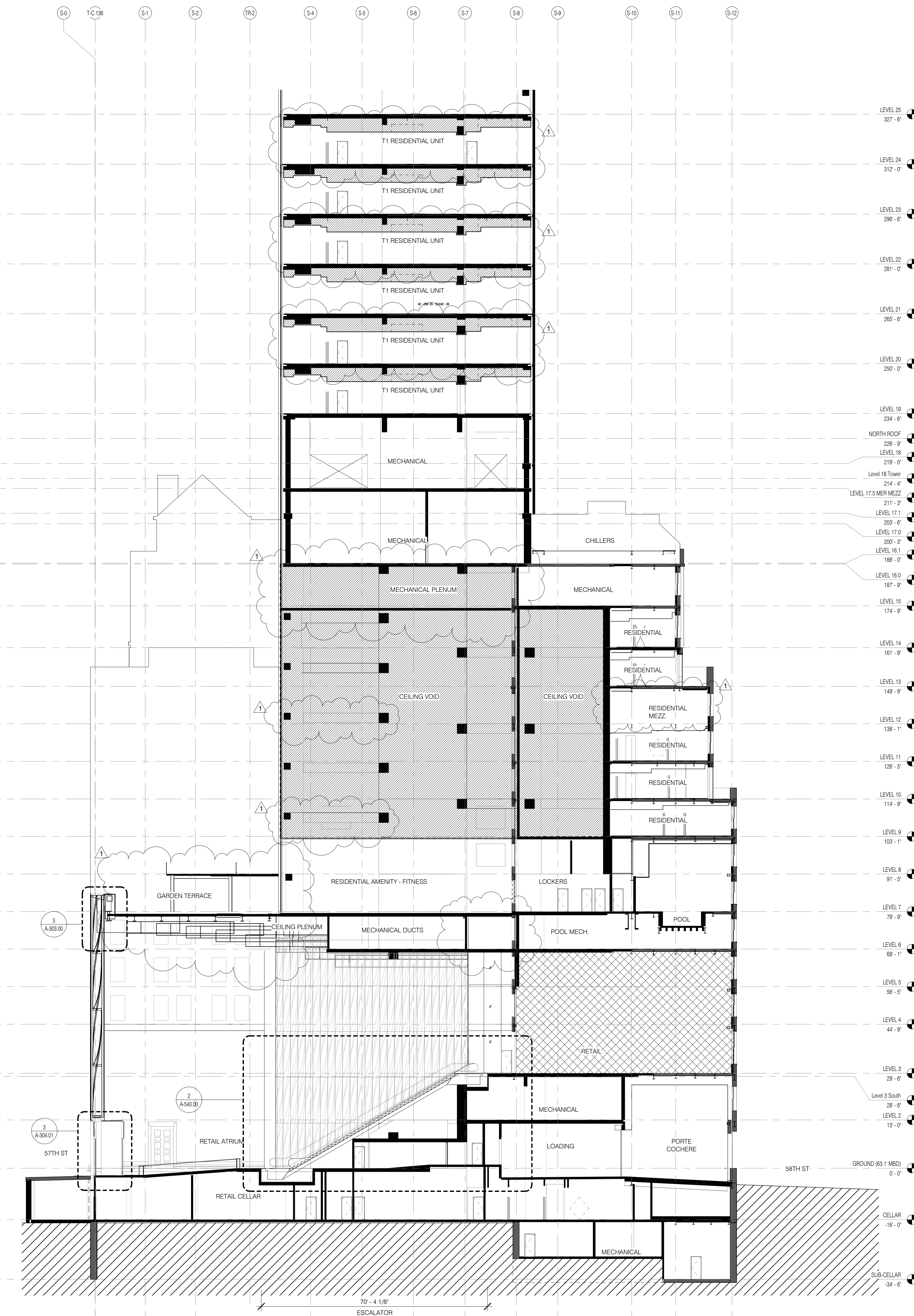
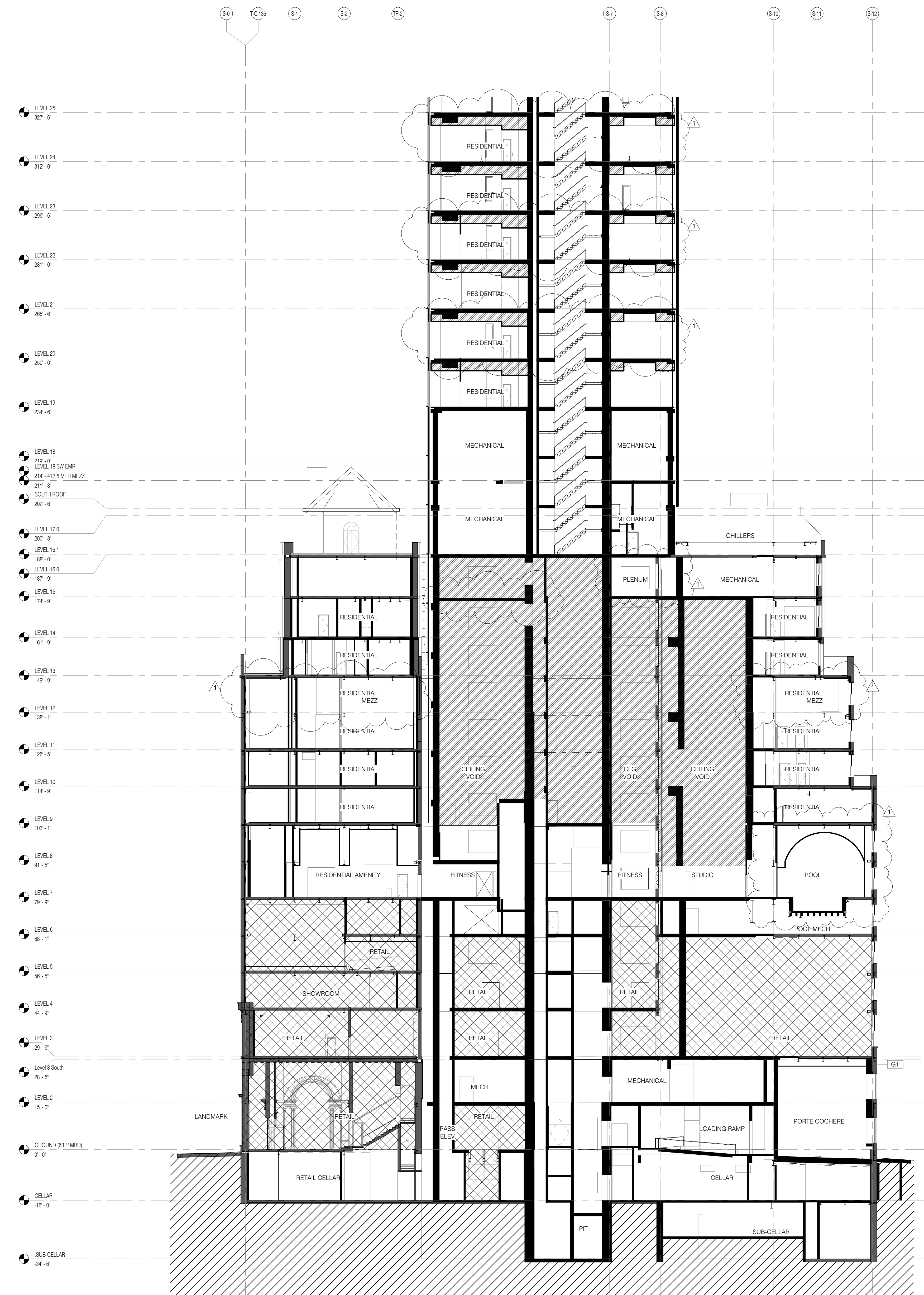
DRAWING TITLE
TOWER ELEVATIONS ZONE 6 (TOP)

DATE 3.27.15
PROJECT NO. 130907
DRAWN BY SHAP
CHECKED BY SHAP
DATE 5.1.14
DRAWING NO. 12132906
DRAWING NUMBER



- GENERAL NOTES
- ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
 - INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
 - PROJECT 0.0 - 63.1 MBD
 - STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
 - REFER TO RESTORATION DRAWINGS (RHS) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT.
 - NON-PRESSURIZED EGRESS STAIR THROUGHOUT.
 - ALL FLOOR ELEVATIONS IN STENWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC 1920 DRAWINGS. WF, ALL NEW SLAB IN STENWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FULL LINK.
 - SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
 - ALL ELEVATIONS ARE FROM TOP OF SLAB.
 - LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
 - SEE DRAWING G-000 FOR ABBREVIATIONS, SYMBOLS AND MATERIAL LEGEND.
 - ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM T80.
 - CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEPPFP HANGING LOAD.
 - ALL LIFT INTERIOR PASSAGE DOORS ARE 36" WIDE, LCN.

- KEY NOTES
- ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.



BUILDING SECTION BASE N-S (B) 1/16" = 1'-0" 2

BUILDING SECTION BASE N-S (A) 1/16" = 1'-0" 1

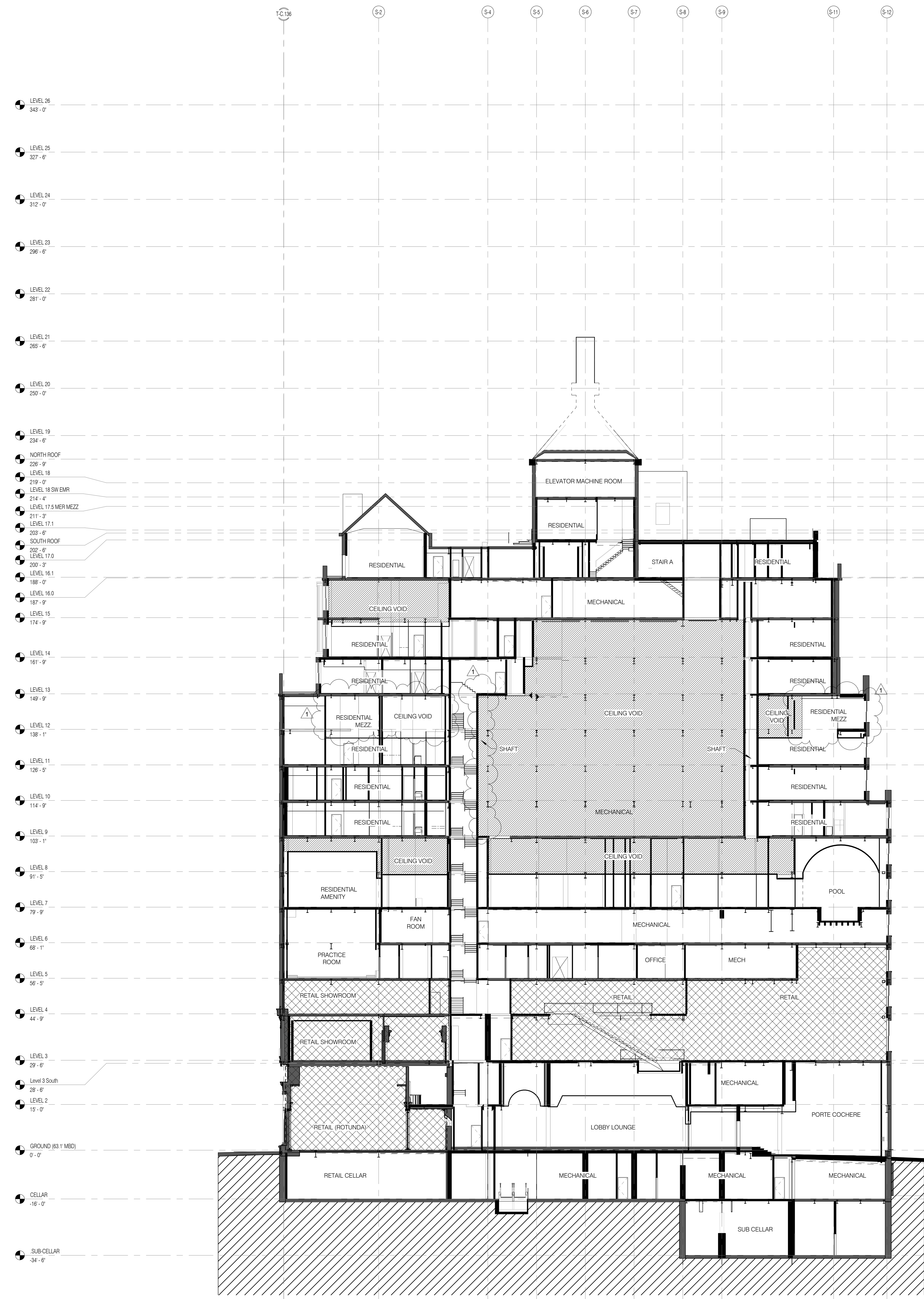
LEGEND

- EXISTING STENWAY BUILDING
- PROPOSED NEW CONSTRUCTION
- RETAIL T.C.O.
- CEILING VOID

- GENERAL NOTES**
- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
 - G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
 - G3 PROJECT 0-0 = 63.1 MBD.
 - G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
 - G5 REFER TO RESTORATION DRAWINGS (R1) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT.
 - G6 NON-PRESSURIZED EGRESS STAIR THROUGHOUT.
 - G7 ALL FLOOR ELEVATIONS IN STERWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC 1920 DRAWINGS. ALL NEW SLAB IN STERWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB. FILL UNO.
 - G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
 - G10 ALL ELEVATIONS ARE FROM TOP OF SLAB. LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
 - G12 SEE DRAWING G-002 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
 - G13 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TPO.
 - G14 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEPPF HANGING LOAD.
 - G15 ALL UNIT INTERIOR PASSAGE DOORS ARE 36" WIDE LOK.

KEY NOTES

STRUCTURAL ENGINEER	MECHANICAL ENGINEER	MEP ENGINEER	CIVIL ENGINEER	ACOUSTICS	INTERIORS
TOPIC CONTRACTOR 238 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212.697.5886	BURROUGHS 105 BROADWAY NEW YORK, NY 10005 TEL: 212.244.2025	JACOBI, BALK & BOLLER 400 WEST STREET, 12TH FLOOR NEW YORK, NY 10006 TEL: 212.693.8333	AVIR ENGINEERING, P.C. 200 WEST 17TH STREET, 11TH FLOOR NEW YORK, NY 10011 TEL: 212.244.4444	LONGMAN LINDSEY 40 WEST 40TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 917.238.2389	STUDIO SCARFIELD 360 LAURETTA STREET NEW YORK, NY 10001 TEL: 212.475.3300
ARCHITECT	MECHANICAL ENGINEER	MEP ENGINEER	CIVIL ENGINEER	ACOUSTICS	INTERIORS
SHAP ARCHITECTS, P.C. 233 BROADWAY, 11TH FLOOR NEW YORK, NY 10005 TEL: 212.693.9336	BURROUGHS 105 BROADWAY NEW YORK, NY 10005 TEL: 212.244.2025	JACOBI, BALK & BOLLER 400 WEST STREET, 12TH FLOOR NEW YORK, NY 10006 TEL: 212.693.8333	AVIR ENGINEERING, P.C. 200 WEST 17TH STREET, 11TH FLOOR NEW YORK, NY 10011 TEL: 212.244.4444	LONGMAN LINDSEY 40 WEST 40TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 917.238.2389	STUDIO SCARFIELD 360 LAURETTA STREET NEW YORK, NY 10001 TEL: 212.475.3300



- LEVEL 25 327'-0"
- LEVEL 24 327'-6"
- LEVEL 24 312'-0"
- LEVEL 23 296'-6"
- LEVEL 22 281'-0"
- LEVEL 21 265'-6"
- LEVEL 20 250'-0"
- LEVEL 19 234'-6"
- NORTH ROOF 229'-0"
- LEVEL 18 213'-0"
- LEVEL 18 SWEMR 214'-4"
- LEVEL 17.5 MER MEZZ 211'-2"
- LEVEL 17.1 207'-0"
- SOUTH ROOF 202'-0"
- LEVEL 17.0 200'-0"
- LEVEL 16.1 187'-0"
- LEVEL 16.0 187'-0"
- LEVEL 15 174'-0"
- LEVEL 14 161'-0"
- LEVEL 13 149'-0"
- LEVEL 12 136'-1"
- LEVEL 11 123'-0"
- LEVEL 10 114'-0"
- LEVEL 9 107'-1"
- LEVEL 8 91'-0"
- LEVEL 7 79'-0"
- LEVEL 6 66'-1"
- LEVEL 5 56'-0"
- LEVEL 4 44'-0"
- LEVEL 3 29'-0"
- Level 3 South 28'-6"
- LEVEL 2 19'-0"
- GROUND (63.1 MBD) 0'-0"
- CELLAR -10'-0"
- SUBCELLAR -34'-6"

LEGEND

- EXISTING STERWAY BUILDING
- PROPOSED NEW CONSTRUCTION
- RETAIL T.C.O.
- CEILING VOID

BUILDING SECTIONS BASE N/S

NO.	DATE	REVISION
1	3.27.15	DOB PAA
2	5.1.14	DOB PLING SET

SEAL & SIGNATURE: [Signature] DATE: 3.27.15
 PROJECT NO.: 130607
 DRAWN BY: SHAP
 CHECKED BY: SHAP
 JOB NO.: 121332968
 DRAWING NUMBER: A-221.01

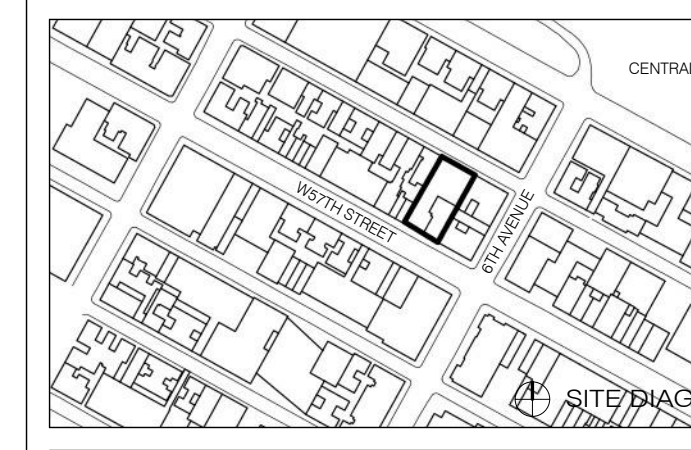


PROPERTY MARKETS GROUP
 3 EAST 17TH STREET, 2ND FLOOR
 NEW YORK, NY 10003
 TEL: 212.693.9336
 CURRENT ISSUE

DOB PAA



111 WEST 57TH STREET
 111 WEST 57TH STREET
 NEW YORK, NY 10019



NO.	DATE	REVISION
1	3.27.15	DOB PAA
2	5.1.14	DOB PLING SET

BUILDING SECTIONS BASE N/S

SEAL & SIGNATURE: [Signature] DATE: 3.27.15
 PROJECT NO.: 130607
 DRAWN BY: SHAP
 CHECKED BY: SHAP
 JOB NO.: 121332968
 DRAWING NUMBER: A-221.01

ARCHITECT: SHAP ARCHITECTS, P.C.
230 BROADWAY, 11TH FLOOR
NEW YORK, NY 10038
TEL: 212.869.8936

STRUCTURAL ENGINEER: SHAP ARCHITECTS, P.C.
230 BROADWAY, 11TH FLOOR
NEW YORK, NY 10038
TEL: 212.869.8936

MEP ENGINEER: JAVORSKI, SALAM & BOLLER
400 WEST STREET, 12TH FLOOR
NEW YORK, NY 10038
TEL: 212.869.8936

CIVIL ENGINEER: ANIR ENGINEERING, P.C.
230 BROADWAY, 11TH FLOOR
NEW YORK, NY 10038
TEL: 212.869.8936

ACOUSTICIAN: LONGMAN LINDSEY
40 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212.869.8936

INTERIORS: STUDIO SCARFIELD
300 WALKER STREET
NEW YORK, NY 10013
TEL: 212.475.1300

FAÇADE: BURKH HARRPOLD
100 BROADWAY
NEW YORK, NY 10038
TEL: 212.244.2025

VERTICAL TRANSPORTATION: VAN DEUSEN & ASSOCIATES
100 WEST STREET, SUITE 2014
LARKSPER, NJ 07033
TEL: 973.946.8775

RESTORATION: JAN HRO POKORNY ASSOCIATES
30 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212.268.6462

GEOTECH: MTRC
305 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 917.288.8900

LIGHTING: COSMOPOLITAN INTERNATIONAL
100 WALKER STREET, 7TH FLOOR EAST
NEW YORK, NY 10013
TEL: 212.255.4453

- GENERAL NOTES
- ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
 - INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
 - PROJECT G.O.D. - 03.1.1 MBD.
 - STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
 - REFER TO RESTORATION DRAWINGS (R-1) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT.
 - NON-PRESSURIZED EGRESS STAIR THROUGHOUT.
 - ALL FLOOR ELEVATIONS IN STEREWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC 1920 DRAWINGS. ALL NEW SLAB IN STEREWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB. FILL, UNO.
 - SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
 - ALL ELEVATIONS ARE FROM TOP OF SLAB.
 - LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
 - SEE DRAWING G-002 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
 - ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TPO.
 - CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEPP/HANGING LOAD.
 - ALL UNIT INTERIOR PASSAGE DOORS ARE 36" WIDE LOCK.

KEY NOTES

PROPERTY MARKETS GROUP
3 EAST 17TH STREET, 2ND FLOOR
NEW YORK, NY 10003
TEL: 212.869.8936

CURRENT ISSUE

DOB PAA

Shauqat Shaikh
Shauqat Shaikh
APPROVED
Under Directive 2 of 1975
DATE: 08/28/2015
NYC Development Hub

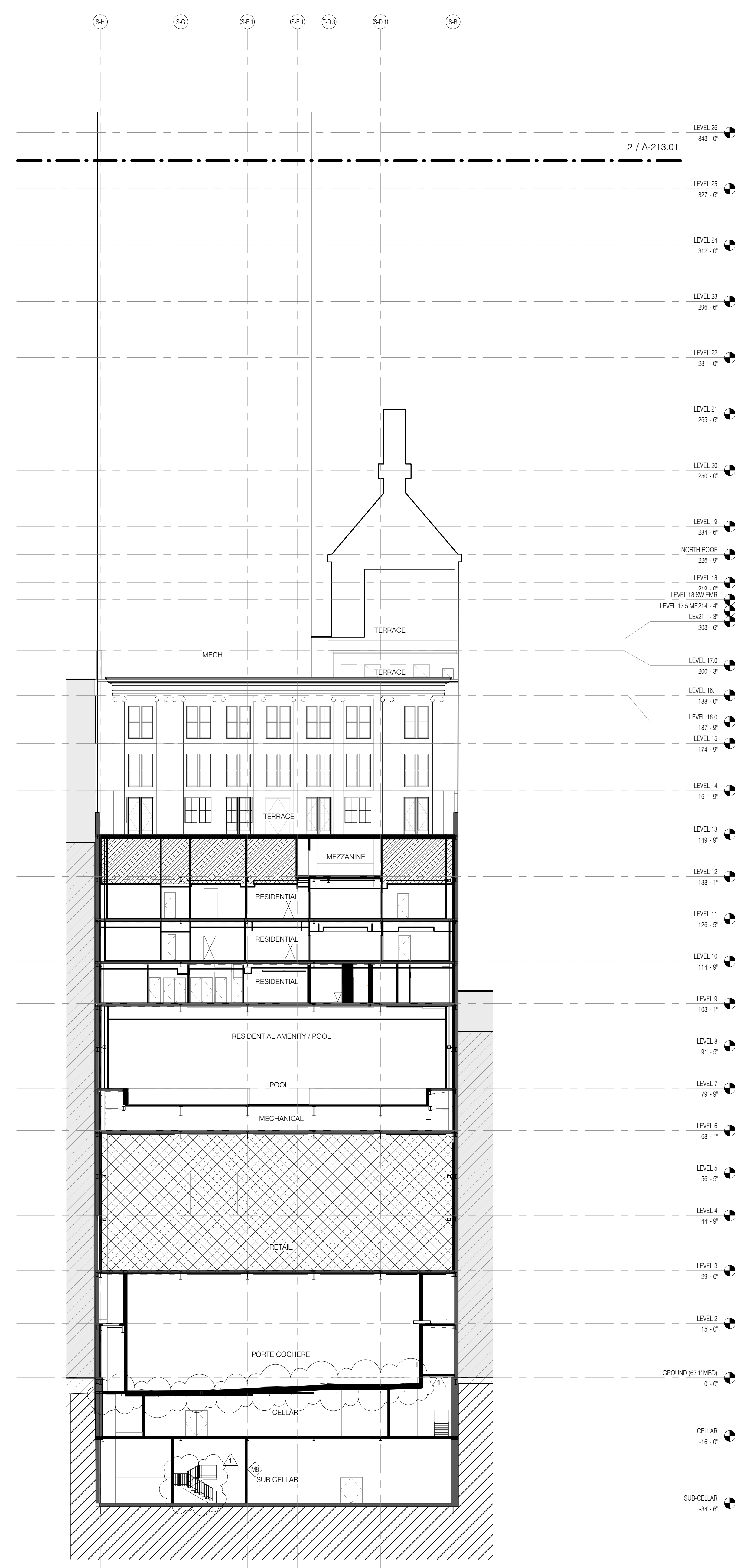
111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



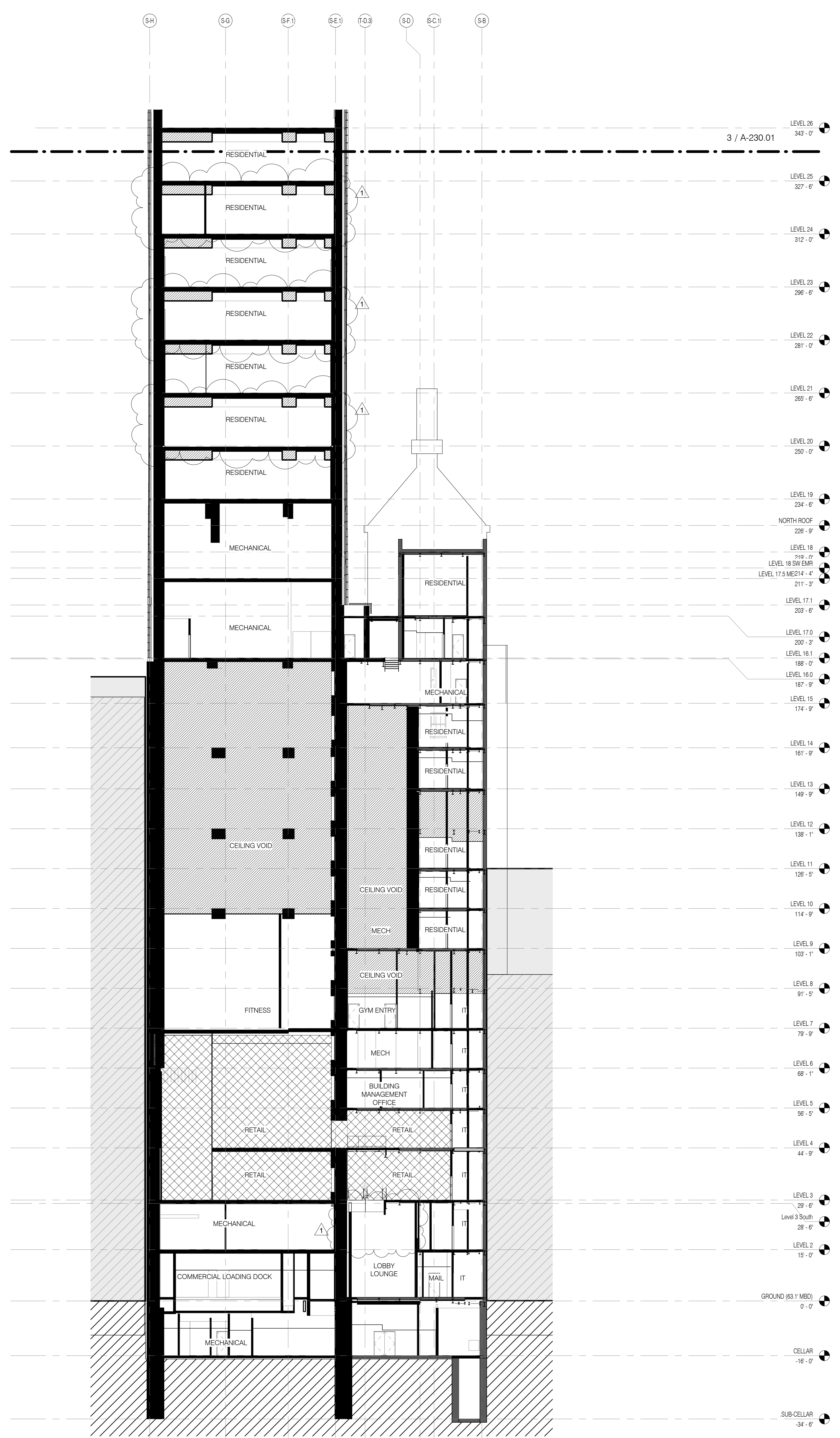
NO.	DATE	REVISION
1	3/27/15	DOB PAA

DRAWING TITLE: BUILDING SECTIONS BASE E/W

SEAL & SIGNATURE: [Signature]
DATE: 3/27/15
PROJECT NO.: 130607
DRAWN BY: SHAP
CHECKED BY: SHAP
DOB NO.: 121332068
DRAWING NUMBER: A-222.01



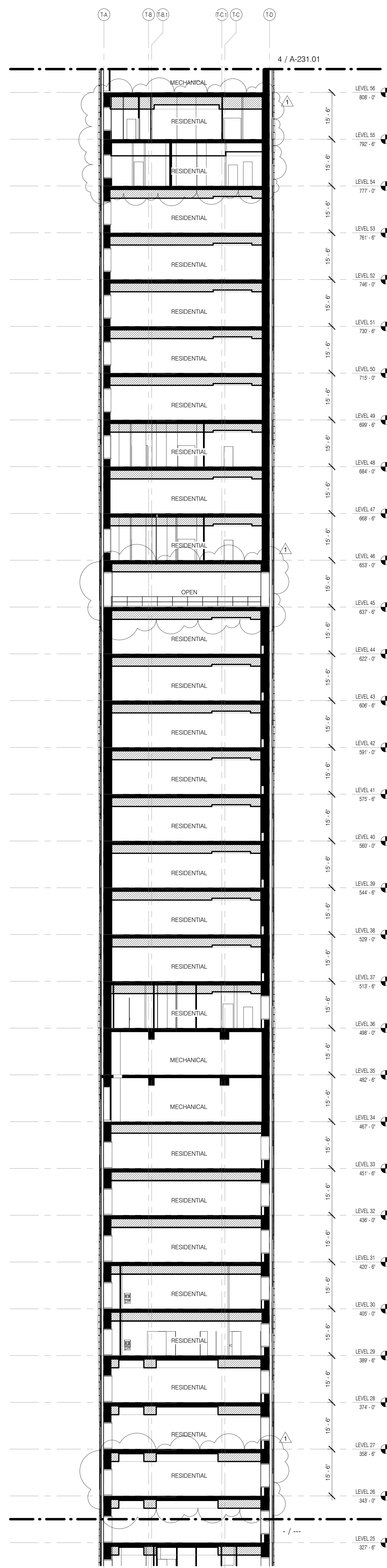
BUILDING SECTION BASE E-W (4) 1/16" = 1'-0" 2 A-222.01 A-222.01



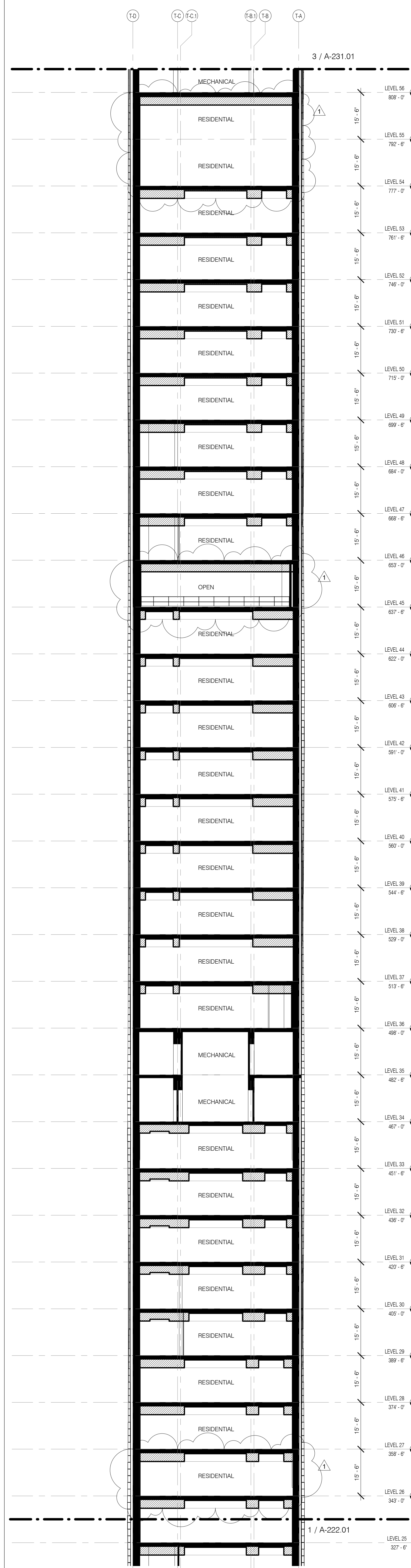
BUILDING SECTION BASE E-W (3) 1/16" = 1'-0" 1 A-222.01 A-222.01

LEGEND

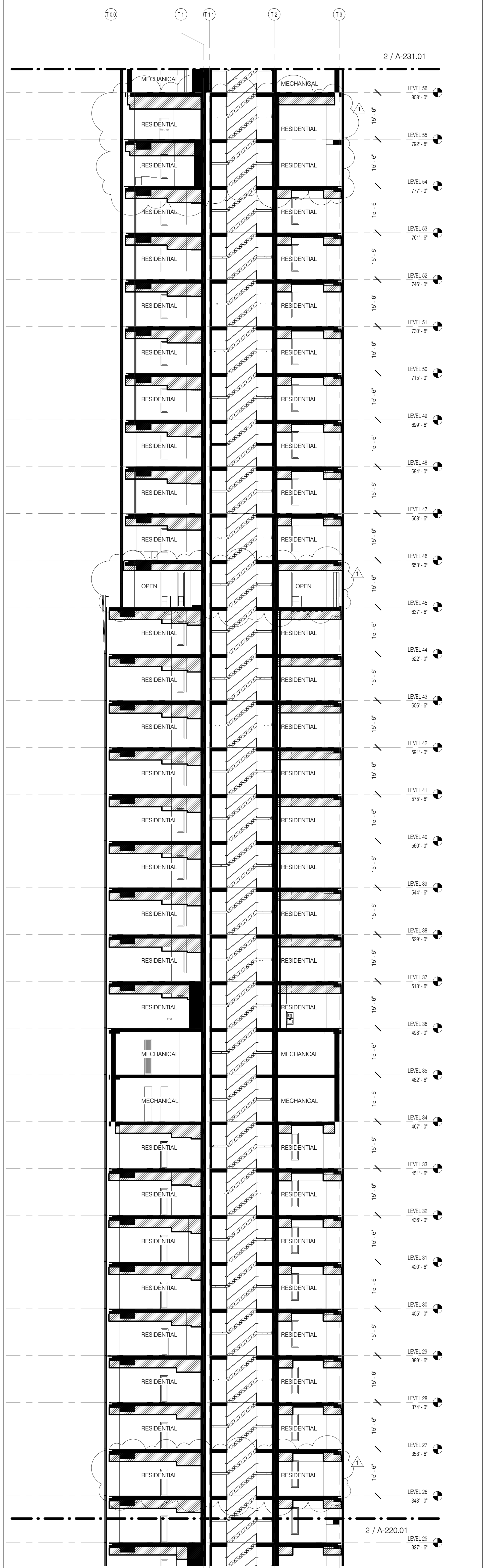
- EXISTING STEREWAY BUILDING
- PROPOSED NEW CONSTRUCTION
- RETAIL T.C.O.
- CEILING VOID



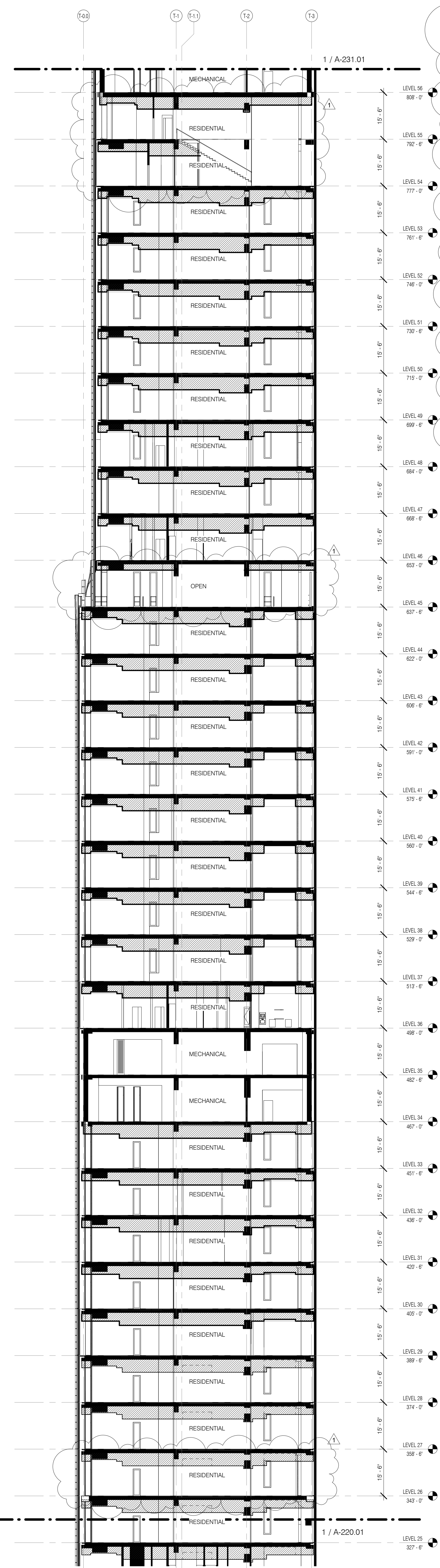
EAST/WEST BUILDING SECTION 2 - ZONE 2 1/16" = 1'-0" 4 A-231.01



NORTH/SOUTH BUILDING SECTION 2 - ZONE 2 1/16" = 1'-0" 3 A-231.01



EAST/WEST BUILDING SECTION 1 - ZONE 2 1/16" = 1'-0" 2 A-231.01



NORTH/SOUTH BUILDING SECTION 1 - ZONE 2 1/16" = 1'-0" 1 A-231.01

- GENERAL NOTES
- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
 - G2 INTERIOR FINISH NOT INCLUDED IN DESIGN SET.
 - G3 PROJECT 0-0 = 63.1 MBD.
 - G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
 - G5 REFER TO RESTORATION DRAWINGS (R-1) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION, AND ANY HAZARDOUS MATERIALS RELATED TO RESTORATION.
 - G6 NON PRESSURIZED EGRESS STAIR THROUGHOUT.
 - G7 ALL FLOOR ELEVATIONS IN STAIRWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR OUTLINE PER HISTORIC DRAWINGS. ALL NEW SLAB IN STAIRWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB-FILL LINO.
 - G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
 - G9 ALL ELEVATIONS ARE FROM TOP OF SLAB. LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
 - G10 SEE DRAWING G-000 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
 - G11 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD.
 - G12 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEPPF HANGING LOAD.
 - G13 ALL UNIT INTERIOR PASSAGE DOORS ARE 36" WIDE LOKN.

JDS DEVELOPMENT GROUP

111 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212.254.2025

sh p

ARCHITECT
sh p ARCHITECTS, P.C.
230 BROADWAY, 11TH FLOOR
NEW YORK, NY 10007
TEL: 212.869.8336

STRUCTURAL ENGINEER
TOPIC CIVIL/ENR/ENR/ENR
230 EAST 47TH STREET
NEW YORK, NY 10017
TEL: 212.897.2886

MEP ENGINEER
JACOBS, BAUM & BOLLES
PARKING STREET, 12TH FLOOR
NEW YORK, NY 10005
TEL: 212.850.8333

CIVIL ENGINEER
ARUP ENGINEERING, P.C.
400 WEST 59TH STREET, 17TH FLOOR
NEW YORK, NY 10019
TEL: 212.260.2828

ACOUSTIC
LONGMAN LINDSEY
40 WEST 59TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212.260.2828

INTERIORS
STUDIO SCENEFIELD
300 PARKETTE STREET
NEW YORK, NY 10001
TEL: 212.475.3300

FAÇADE
BURROUGHS WELLS
100 BROADWAY
NEW YORK, NY 10005
TEL: 212.254.2025

VERTICAL TRANSPORTATION
VAN DEUSEN & ASSOCIATES
180 WEST STREET, SUITE 200
LAKESHORE, NJ 07033
TEL: 201.984.5175

RESTORATION
JAN HRO POKORNY ASSOCIATES
30 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212.254.4402

GEOTECH
MTC
305 WEST 59TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212.254.4402

LIGHTING
CONSERVATORIE INTERNATIONAL
100 WALKER STREET, 7TH FLOOR EAST
NEW YORK, NY 10002
TEL: 212.255.4453

PROPERTY MARKETS GROUP
300 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212.899.8336

CURRENT ISSUE

DOB PAA

Shauqat Shaikh
Building
APPROVED
Under Directive 2 of 1975
DATE: 08/28/2015
NYC Development Hub

111 WEST 57TH STREET
NEW YORK, NY 10019

SITE DIAGRAM

LEGEND

- EXISTING STEINWAY BUILDING
- PROPOSED NEW CONSTRUCTION
- RETAIL T.C.O.
- CEILING VOID

DRAWING TITLE
BUILDING SECTIONS TOWER ZONE 2

DATE: 3/27/15
PROJECT NO: 130007
DRAWN BY: sh p
CHECKED BY: sh p
DOB NO: 121332068
DRAWING NUMBER: A-230.01

111 WEST 57TH STREET
NEW YORK, NY 10019

SITE DIAGRAM

LEGEND

- EXISTING STEINWAY BUILDING
- PROPOSED NEW CONSTRUCTION
- RETAIL T.C.O.
- CEILING VOID

DRAWING TITLE
BUILDING SECTIONS TOWER ZONE 2

DATE: 3/27/15
PROJECT NO: 130007
DRAWN BY: sh p
CHECKED BY: sh p
DOB NO: 121332068
DRAWING NUMBER: A-230.01

- GENERAL NOTES
- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
 - G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
 - G3 PROJECT 0-0 = 83.1 MBD.
 - G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
 - G5 REFER TO RESTORATION DRAWINGS (R1) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT.
 - G6 NON PRESSURIZED EGRESS STAIR THROUGHOUT.
 - G7 ALL FLOOR ELEVATIONS IN STEREWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC 1920 DRAWINGS. ALL NEW SLAB IN STEREWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB/FILL LINO.
 - G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
 - G9 ALL ELEVATIONS ARE FROM TOP OF SLAB LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
 - G10 SEE DRAWING G-000 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
 - G11 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TPO.
 - G12 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESSETS FOR MEPPFP HANGING LOAD.
 - G13 ALL UNIT INTERIOR PASSAGE DOORS ARE 36" WIDE LOWN.

JDS DEVELOPMENT GROUP
 100 WEST 57TH STREET, 4TH FLOOR
 NEW YORK, NY 10019
 TEL: 212.880.9300

sh p

ARCHITECT: SHAP ARCHITECTS, P.C.
 230 BROADWAY, 11TH FLOOR
 NEW YORK, NY 10007
 TEL: 212.880.9300

STRUCTURAL ENGINEER	MEP ENGINEER	CIVIL ENGINEER	ACUSTIC	GEOTECH	INTERIORS
TOPIC PARTNER GROUP 230 EAST 43RD STREET NEW YORK, NY 10017 TEL: 212.881.2886	JORDI, BALM & BOLLES 89 WEST STREET, 10TH FLOOR NEW YORK, NY 10005 TEL: 212.880.9300	ARIF ENGINEERING, P.C. 40 FIFTH AVE, 20TH FLOOR NEW YORK, NY 10003 TEL: 212.880.9300	LONGMAN LINDSEY 40 WEST 59TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917.288.4900	CONSERVATIVE INTERNATIONAL 105 MANHATTAN STREET, 7TH FLOOR EAST NEW YORK, NY 10005 TEL: 212.255.4463	CONSERVATIVE INTERNATIONAL 105 MANHATTAN STREET, 7TH FLOOR EAST NEW YORK, NY 10005 TEL: 212.255.4463

PROPERTY MARKETS GROUP
 230 EAST 43RD STREET
 NEW YORK, NY 10017
 TEL: 212.880.9300

CURRENT ISSUE

DOB PAA

Shauqat Shaikh
 Building
 APPROVED
 Under Directive 2 of 1975
 PLANNING DEPARTMENT
 Date: 08/28/2015
 NYC Development Hub

111 WEST 57TH STREET
 111 WEST 57TH STREET
 NEW YORK, NY 10019

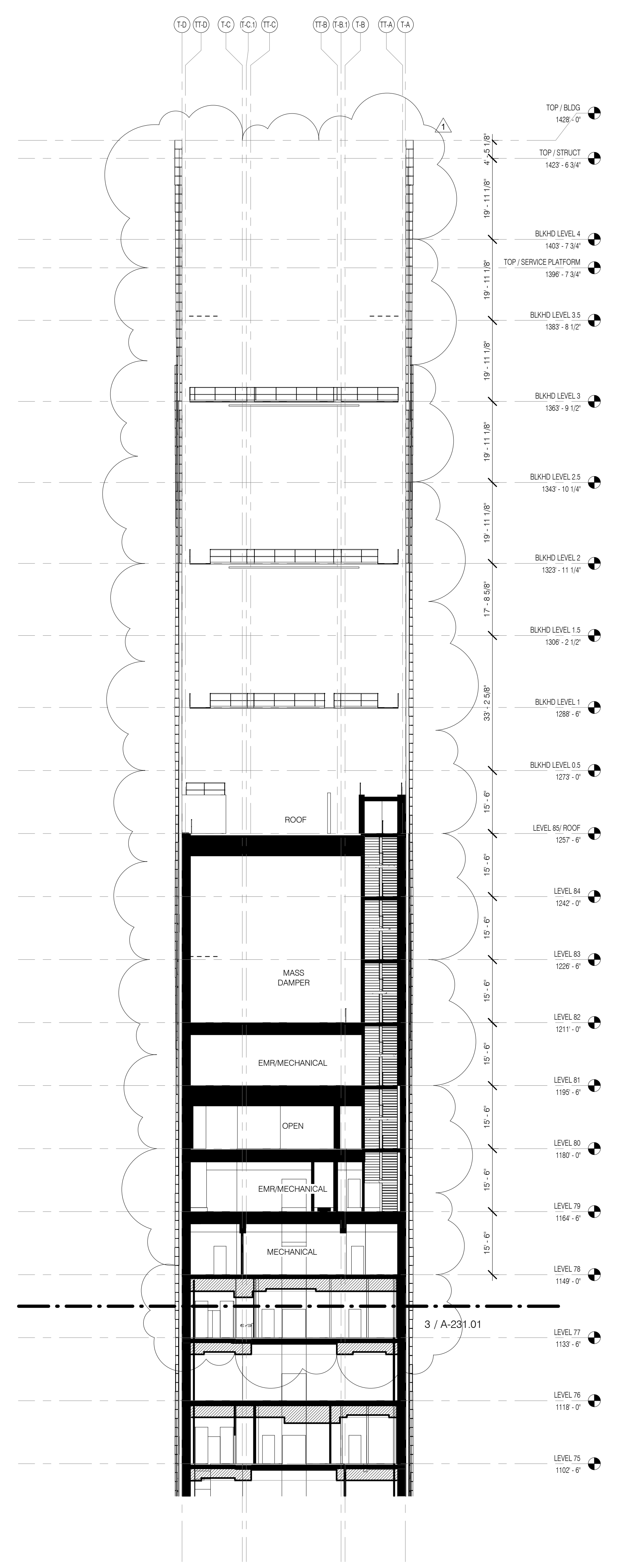
BUILDING SECTIONS TOWER ZONE 4

NO.	DATE	REVISION
1	3.27.15	DOB PAA
2	5.1.14	DOB PLING SET

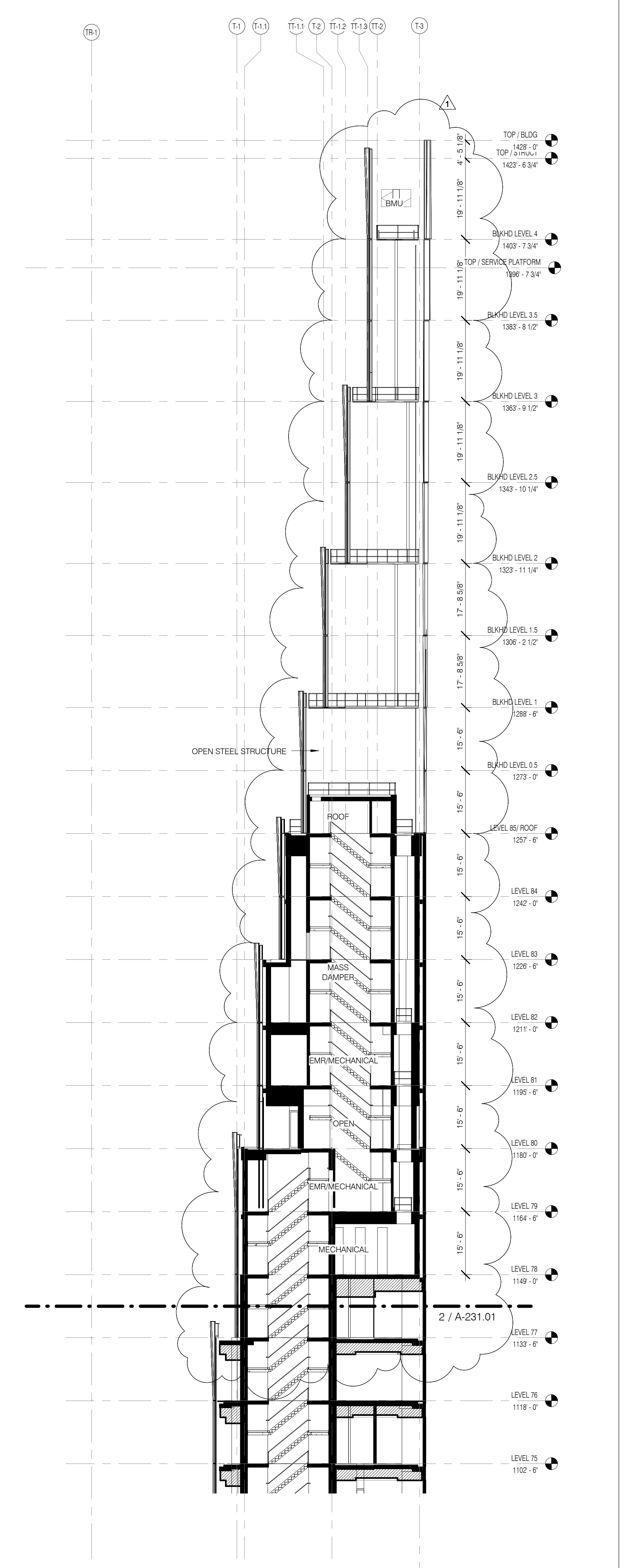
LEGEND

- EXISTING STEREWAY BUILDING
- PROPOSED NEW CONSTRUCTION
- RETAIL T.C.O.
- CEILING VOID

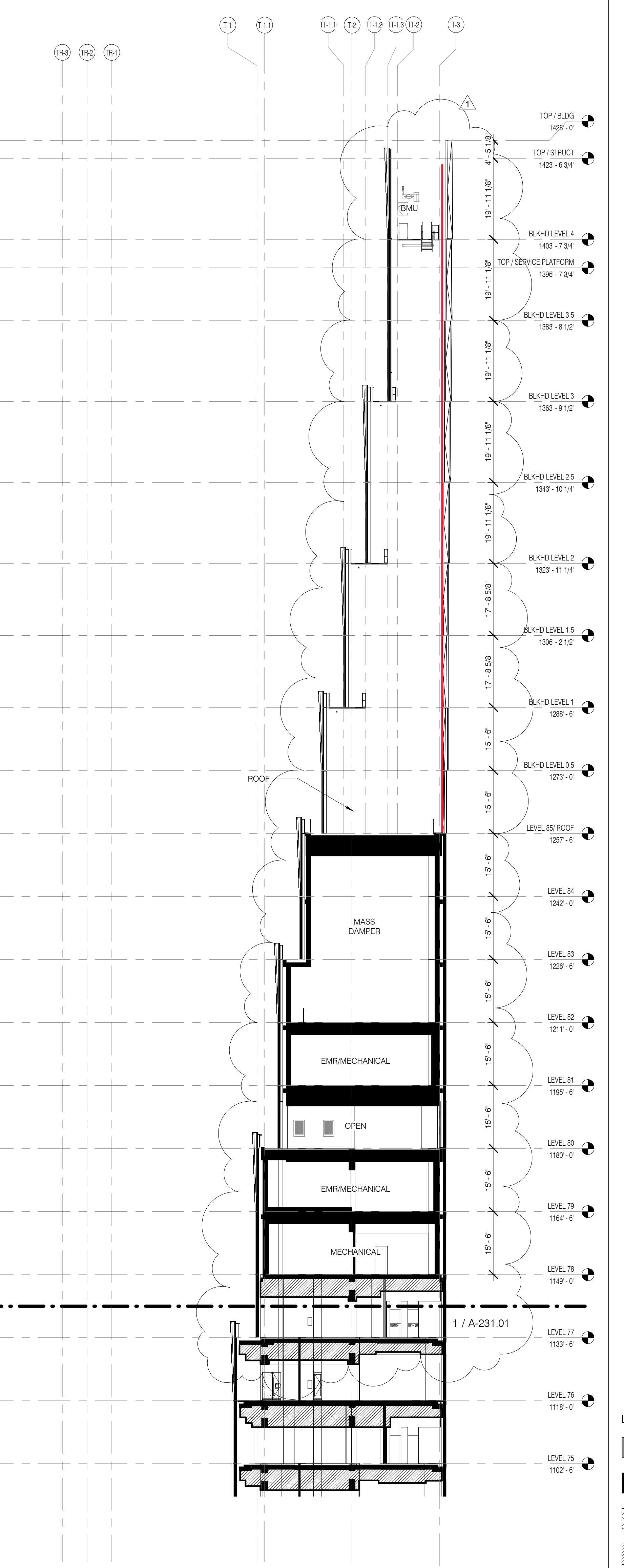
SEAL & SIGNATURE: [Signature] DATE: 3.27.15
 PROJECT NO: 130007
 DRAWN BY: SHAP
 CHECKED BY: SHAP
 DATE: 08/28/2015
 DRAWING NUMBER: A-232.01



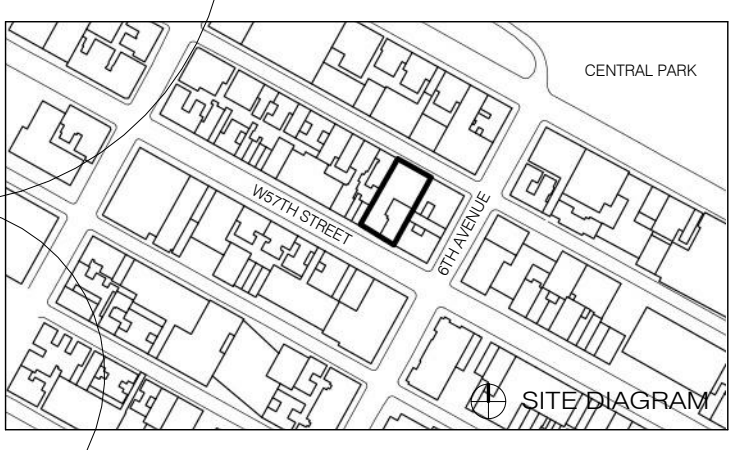
BUILDING SECTION - TOWER TOP LOOKING SOUTH 1/16" = 1'-0" 3



BUILDING SECTION - TOWER TOP LOOKING EAST 1/16" = 1'-0" 2



BUILDING SECTION - TOWER TOP LOOKING WEST 1/16" = 1'-0" 1



1	3.27.15	DOB PAA
	5.1.14	DOB FILING SET
NO.	DATE	REVISION
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR COPIED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF SHIP ARCHITECTS, P.C.		
COPYRIGHT © 2015 SHIP ARCHITECTS, P.C. ALL RIGHTS RESERVED.		

FAÇADE TYPES LEGEND

MC	EXISTING WALL SEE RESTORATION DWGS	FT-10	METAL PANEL RAINSCREEN	FT-10B	TMD SOUTH SSG CURTAINWALL
FT-1	RETAL BASE SSG CURTAINWALL	FT-11	STONE RAINSCREEN	FT-10B	TMD NORTH SSG CURTAINWALL
FT-2	SOUTH SSG CURTAINWALL	FT-12	BRICK CAVITY WALL	FT-11A	TOWER TOP FLAT OPEN CLADDING
FT-3A	EASTWEST SSG CURTAINWALL	FT-13	OPEN FLOOR SOUTH FINS	FT-11B	TOWER TOP SKEWED OPEN CLADDING
FT-3B	EASTWEST OPEN CLADDING	FT-14	OPEN FLOOR NORTH FINS		
FT-4	NORTH SSG CURTAINWALL				

MATERIAL ID INDEX - FAÇADE

ANC-1	FLUSH EMBEDDED ANCHOR POINT
FBR-1	FACE BRICK
FIN-A	FINIAL A
FIN-B	FINIAL B
GL-1	LOW-IRON MONOLITHIC GLASS @ FT-1
GL-2	LOW-IRON IGU @ FT-1
GL-3	LOW-IRON IGU @ FT-1 OVERHEAD
GL-4A	VISION IGU @ FT-2 & FT-4
GL-4B	IGU W/ SHADOW BOX @ FT-2 & FT-4
GL-5A	VISION IGU @ FT-3A
GL-5B	IGU W/ SHADOW BOX @ FT-3A
GL-6	LOW-IRON MONOLITHIC GLASS FIN @ FT-4 INTERIOR
GL-7	LAMINATED MONOLITHIC GLASS @ FT-2, FT-4, FT-11

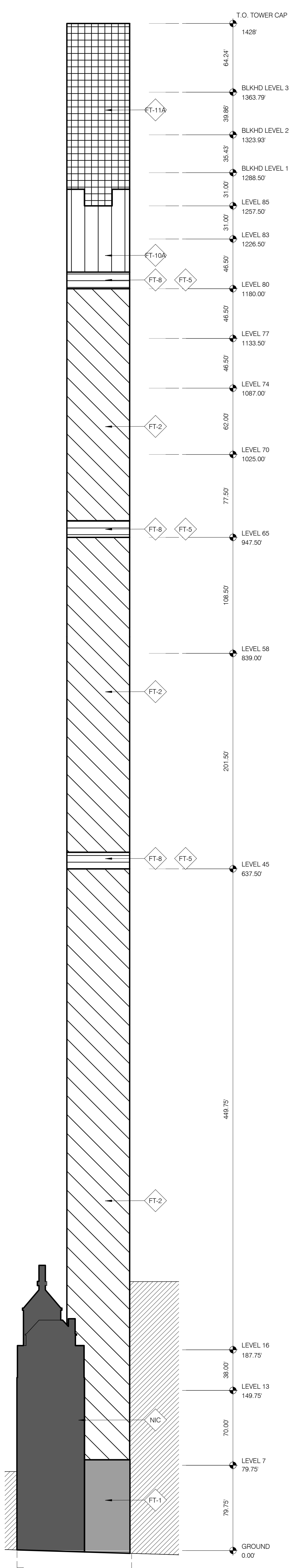
MATERIAL ID INDEX - FAÇADE

GL-8	IGU @ STENWAY REPLACEMENT WINDOW
GL-9	IGU @ STENWAY REPLACEMENT DOOR
GL-10	LOW-IRON MONOLITHIC GLASS @ GUARDRAIL
GRT-1	GALVANIZED METAL GRATING
LVR-1	STEEL GRATING
LVR-1A	PERFORMANCE LOUVER
LVR-1B	ARCH LOUVER + PERFORMANCE LOUVER
LVR-2	ENVIRONMENTAL EXHAUST GRILLE
MP-2	ARCHITECTURAL BRONZE PANEL
MP-4	ALUMINUM PANEL
MTL-FAB-3	CUSTOM BRONZE FAÇADE FABRICATIONS
MTL-FAB-4	CSHA GUARDRAIL

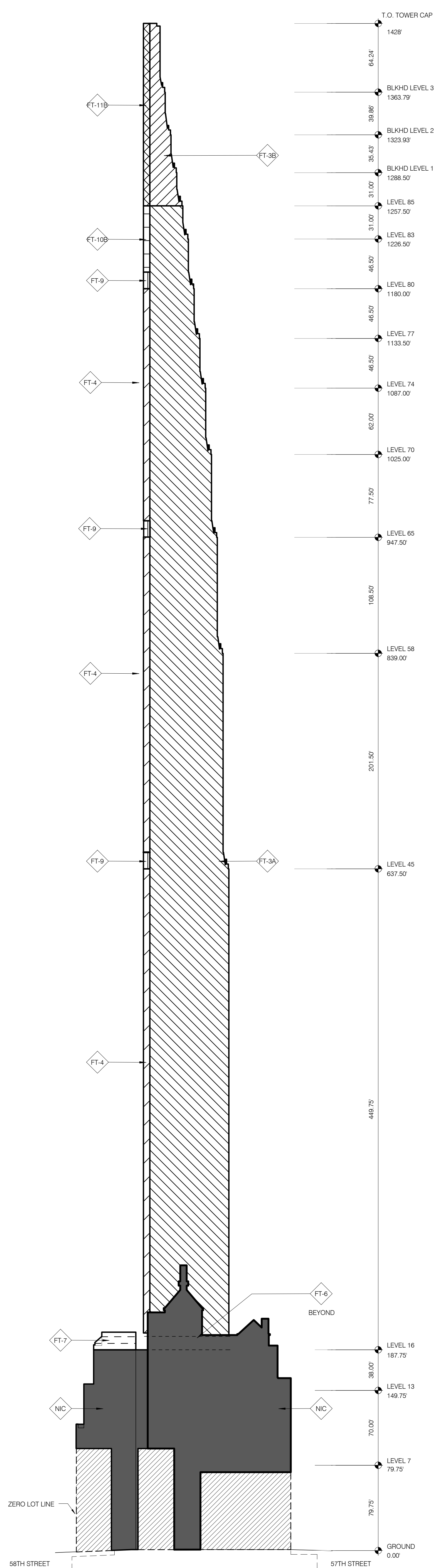
MATERIAL ID INDEX - FAÇADE

ORN-RAIL-2	DECORATIVE FLOOR MOUNTED BRONZE GUARDRAIL
ORN-RAIL-3	BRONZE GUARDRAIL @ STENWAY TERRACES
ORN-RAIL-4	BRONZE GLASS GUARDRAIL @ TOWER TERRACE
ORN-RAIL-5	BRONZE GUARDRAIL @ DOUBLE HEIGHT UNITS
PVR-1A	CONCRETE LOCKDOWN PAVER
PVR-1B	CONCRETE PEDESTAL PAVER
PVR-2A	STONE LOCKDOWN PAVER
PVR-2C	
PVR-3	PAVING - PORTE-COCHERE
PVR-3A	PAVING - PORTE-COCHERE (EGRESS PATH)
PVR-4	GLASS AND STEEL PAVER
TC-1	TERAZZOTTA PLASTER
WP-1	LIQUID WATERPROOFING
WT-1	WINDOW TREATMENT - SINGLE ROLL
WT-2	WINDOW TREATMENT - DOUBLE ROLL

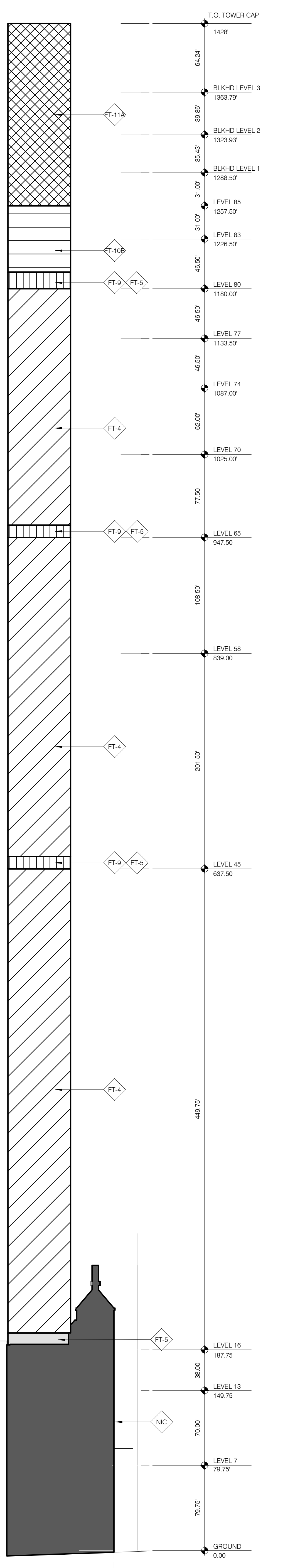
NOTES:
SEE G-040 FOR WIND LOADS
BIRD MESH TO BE PROVIDED AT ALL LOUVERS
BIRD WIRE TO BE PROVIDED AT ALL OPEN FLOOR SILLS



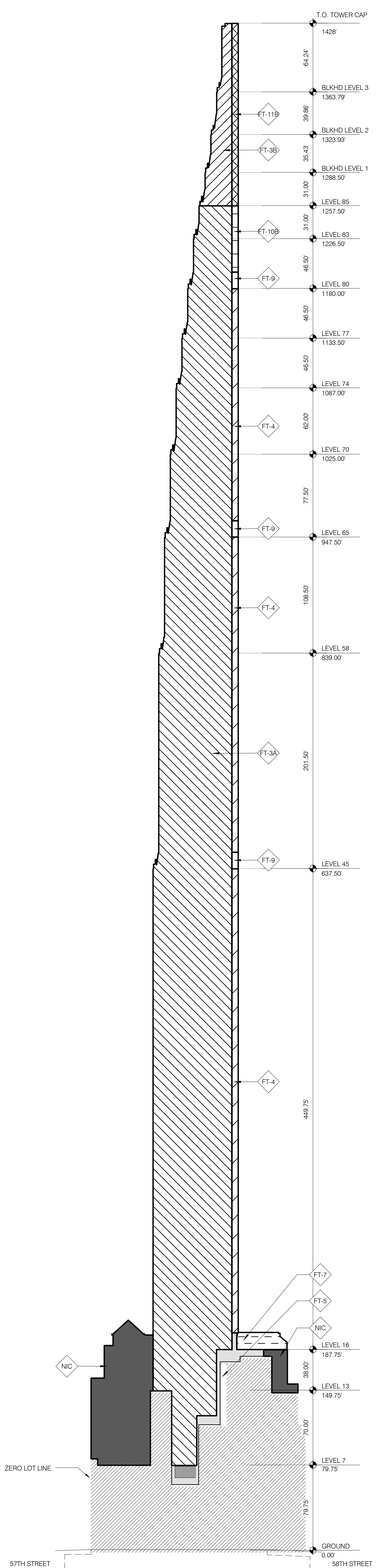
EXT WALL TYPES - SOUTH ELEVATION 1" = 50'-0" 4 A-300.01



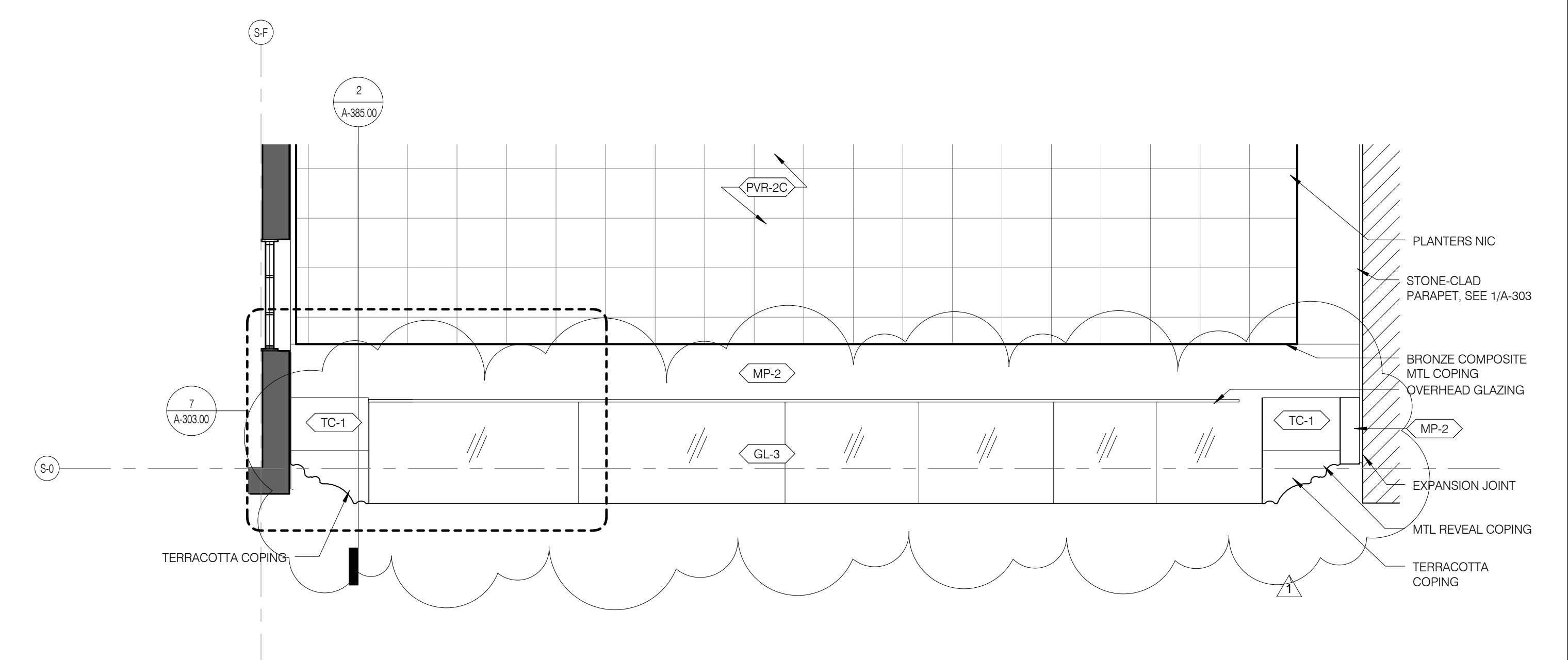
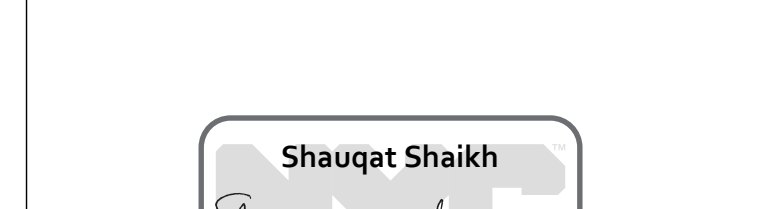
EXT WALL TYPES - WEST ELEVATION 1" = 50'-0" 3 A-300.01



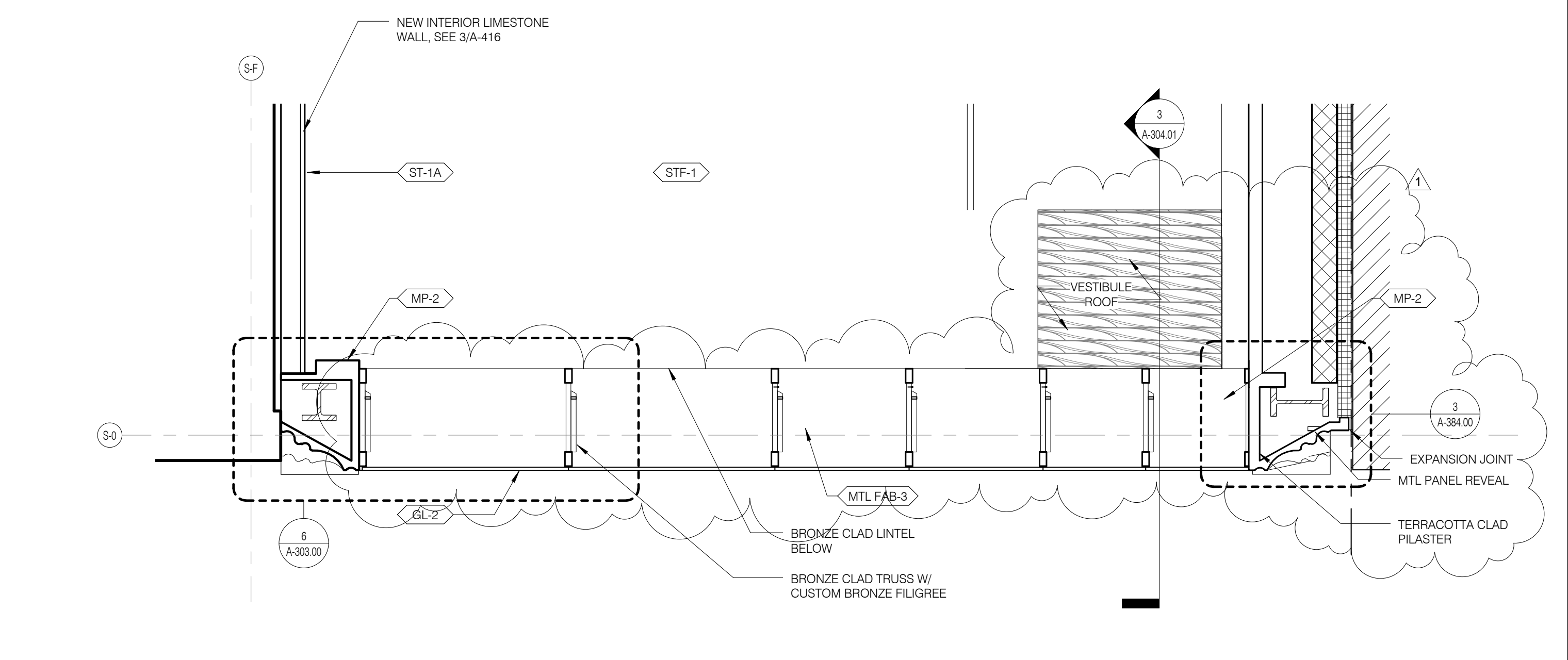
EXT WALL TYPES - NORTH ELEVATION 1" = 50'-0" 2 A-300.01



EXT WALL TYPES - EAST ELEVATION 1" = 50'-0" 1 A-300.01



FT-1 - COPING PLAN 1/4" = 1'-0" 6

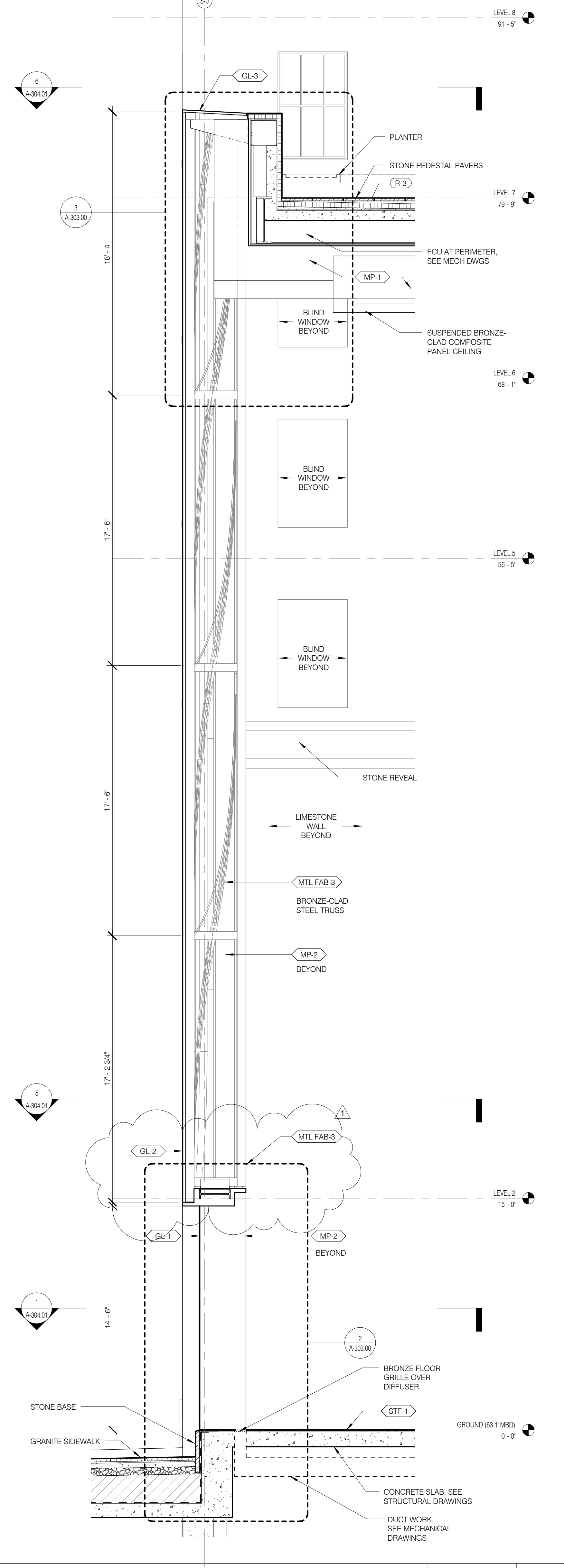


FT-1 - SECOND FLOOR PLAN 1/4" = 1'-0" 5

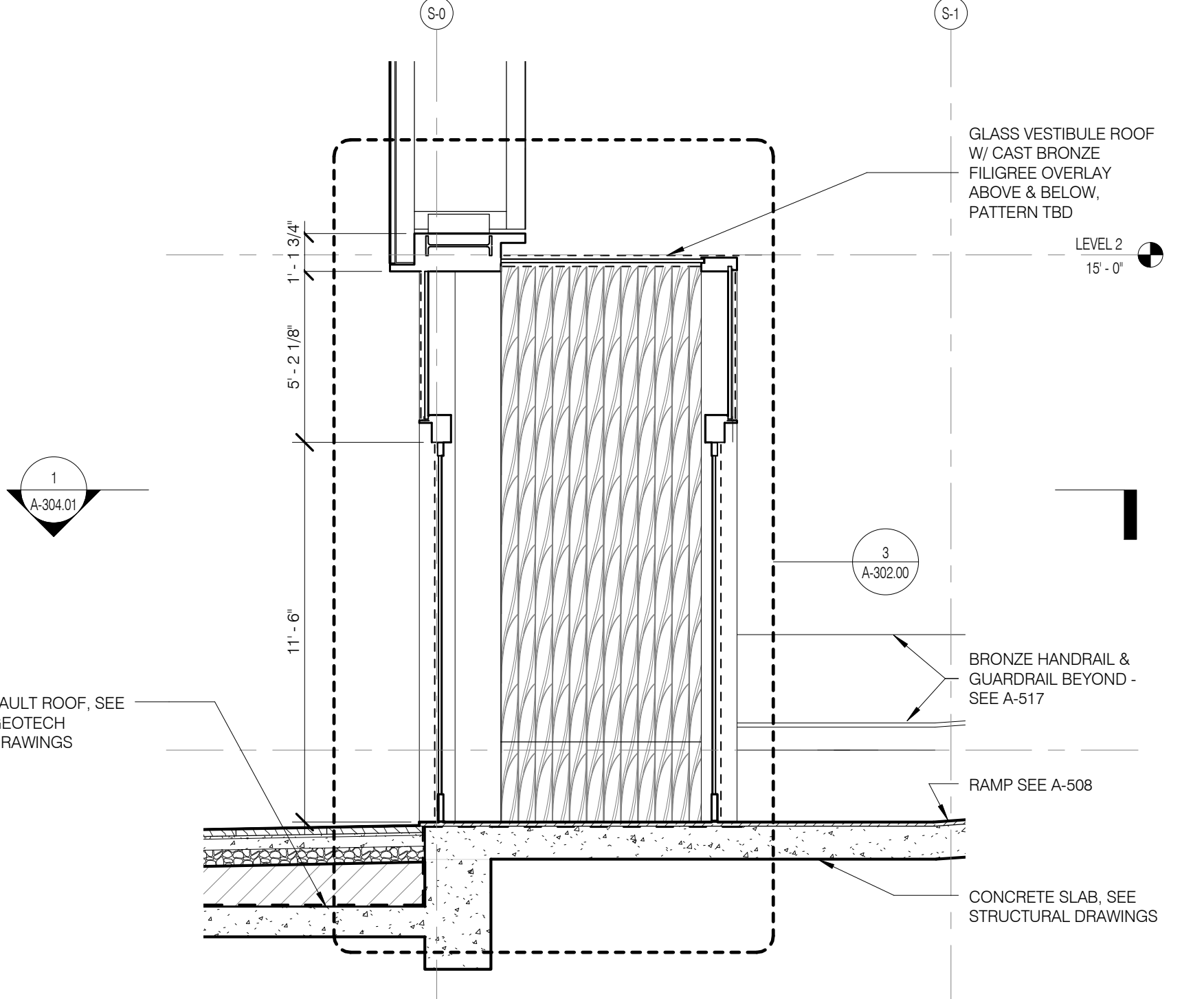
MATERIAL ID INDEX - FACADE, VERT.	
ANC-1	FLUSH EMBEDDED BMU ANCHOR POINT
FBH-1	FACE BRICK
FIN-A	FINAL A
FIN-B	FINAL B
FT-1	TRIUM CURTAINWALL
FT-2	TOWER SOUTH CURTAINWALL
FT-3A	FACADE EAST CURTAINWALL
FT-3B	TOWER TOP EAST WEST CLADDING
FT-4	TOWER NORTH CURTAINWALL
FT-5	METAL PANEL MANSCHREIN
FT-6	STONE MANSCHREIN
FT-7	BRICK CAVITY WALL
FT-8	OPEN FLOOR SOUTH FINIS
FT-9	OPEN FLOOR NORTH FINIS
FT-10A	TMS SOUTH CURTAINWALL
FT-10B	TMS NORTH CURTAINWALL
FT-11A	TOWER TOP PLAT CLADDING
FT-11B	TOWER TOP SKIVED CLADDING
GL-1	LOW-IRON MONOLITHIC GLASS @ FT-1
GL-2	LOW-IRON IGU @ FT-1
GL-3	LOW-IRON IGU @ FT-1 OVERHEAD
GL-4A	VISION IGU @ FT-2 & FT-4
GL-4B	IGU W/ SHADOW BOX @ FT-2 & FT-4
GL-5A	VISION IGU @ FT-3A
GL-5B	IGU W/ SHADOW BOX @ FT-3A
GL-6	LOW-IRON MONOLITHIC GLASS FIN @ FT-4 INTERIOR
GL-7	LAMINATED MONOLITHIC GLASS @ FT-2, FT-4, FT-11
GL-8	IGU @ STENWAY REPLACEMENT WINDOW
GL-9	IGU @ STENWAY REPLACEMENT DOOR
GL-10	LOW-IRON MONOLITHIC GLASS @ GUARDRAIL
GRT-1	GALVANIZED METAL GRATING
GRT-2	STEEL GRATING
LVR-1A	PERFORMANCE LOUVER
LVR-1B	ARCH LOUVER - PERFORMANCE LOUVER
LVR-2	ENVIRONMENTAL EXHAUST GRILLE
MP-2	ARCHITECTURAL BRONZE PANEL
MP-4	ALUMINUM PANEL
MTL FAB-3	CUSTOM BRONZE FACADE FABRICATIONS
MTL FAB-4	OSHA GUARDRAIL
OPN RAIL-2	DECORATIVE FLOOR-MOUNTED BRONZE GUARDRAIL
OPN RAIL-3	BRONZE GUARDRAIL @ STENWAY TERRACES
OPN RAIL-4	BRONZE GLASS GUARDRAIL @ TOWER TERRACE
OPN RAIL-6	BRONZE GUARDRAIL @ DOUBLE HEIGHT UNITS
PVR-1A	CONCRETE LOCKDOWN PAVER
PVR-1B	CONCRETE PEDESTAL PAVER
PVR-2A	STONE LOCKDOWN PAVER
PVR-2C	PAVING - PORTE COCHERIE
PVR-3	PAVING - PORTE COCHERIE (EGRESS PATH)
PVR-3A	PAVING - PORTE COCHERIE (EGRESS PATH)
PVR-4	GLASS AND STEEL PAVER
TC-1	TERRACOTTA PLASTER
WP-1	LIQUID WATERPROOFING
WT-1	WINDOW TREATMENT - SINGLE ROLL
WT-2	WINDOW TREATMENT - DOUBLE ROLL

GENERAL NOTES	
ELEVATIONS AND PLANS MIRRORED ABOUT BUILDING CENTERLINE	
VERTICAL CAVITIES CAPPED EVERY FIFTH FLOOR @ FT-3A	
REFER TO ELEVATIONS FOR CONDITIONS OF ALL FACADE TYPES	
SEE A-600 FOR TYP CLG DTLs	
SEE A-700 FOR TYP FLOOR DTLs	
SEE A-300 FOR MATERIAL ID LEGEND	

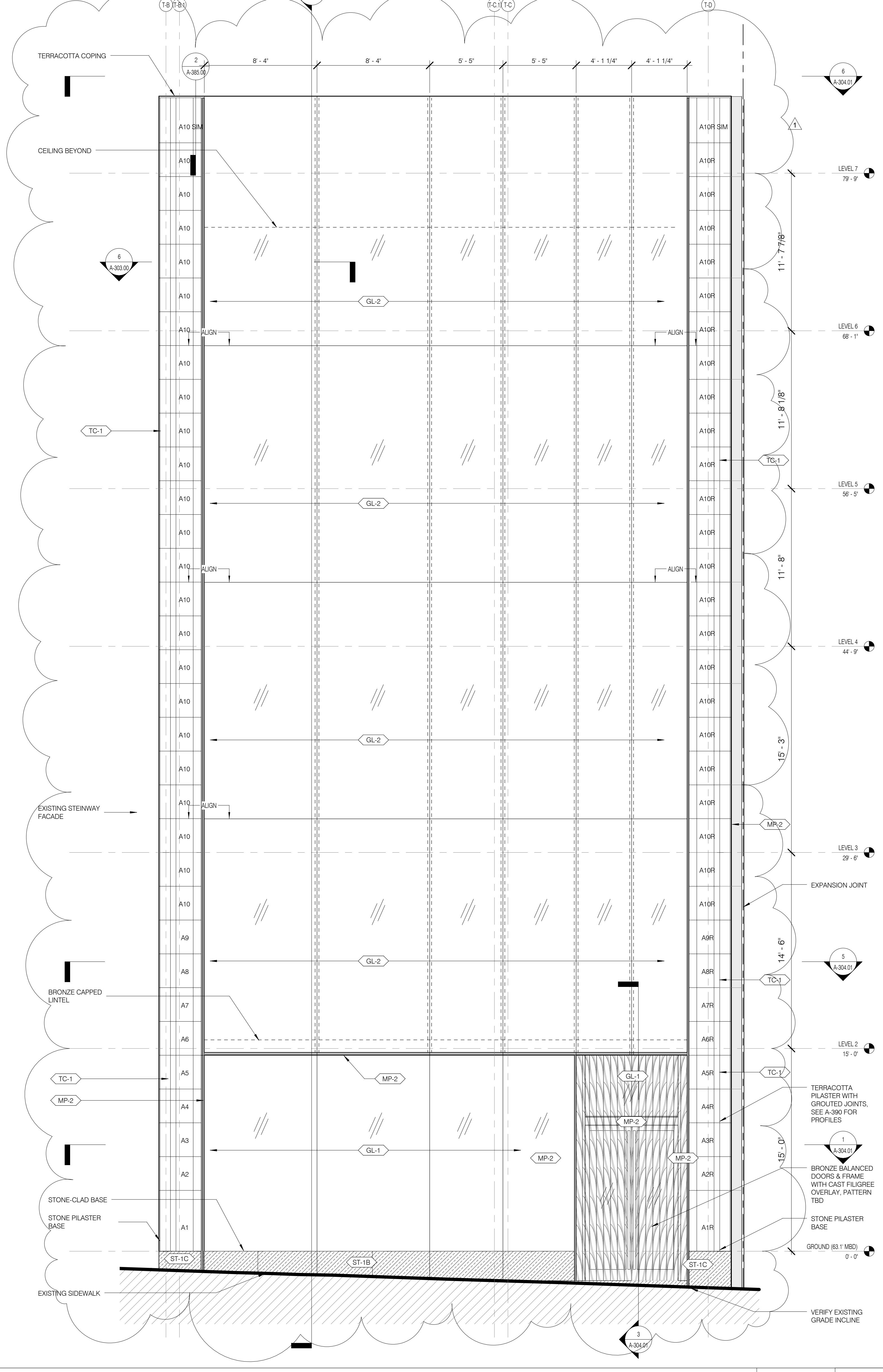
LEGEND	
[Symbol]	VISION GLASS
[Symbol]	SHADOW BOX
[Symbol]	BRONZE PANEL / FIGURIE
[Symbol]	PAINTED METAL PANEL
[Symbol]	LOUVER
[Symbol]	ZERO LOT LINE BUILDING
[Symbol]	GALVANIZED STEEL GRATING



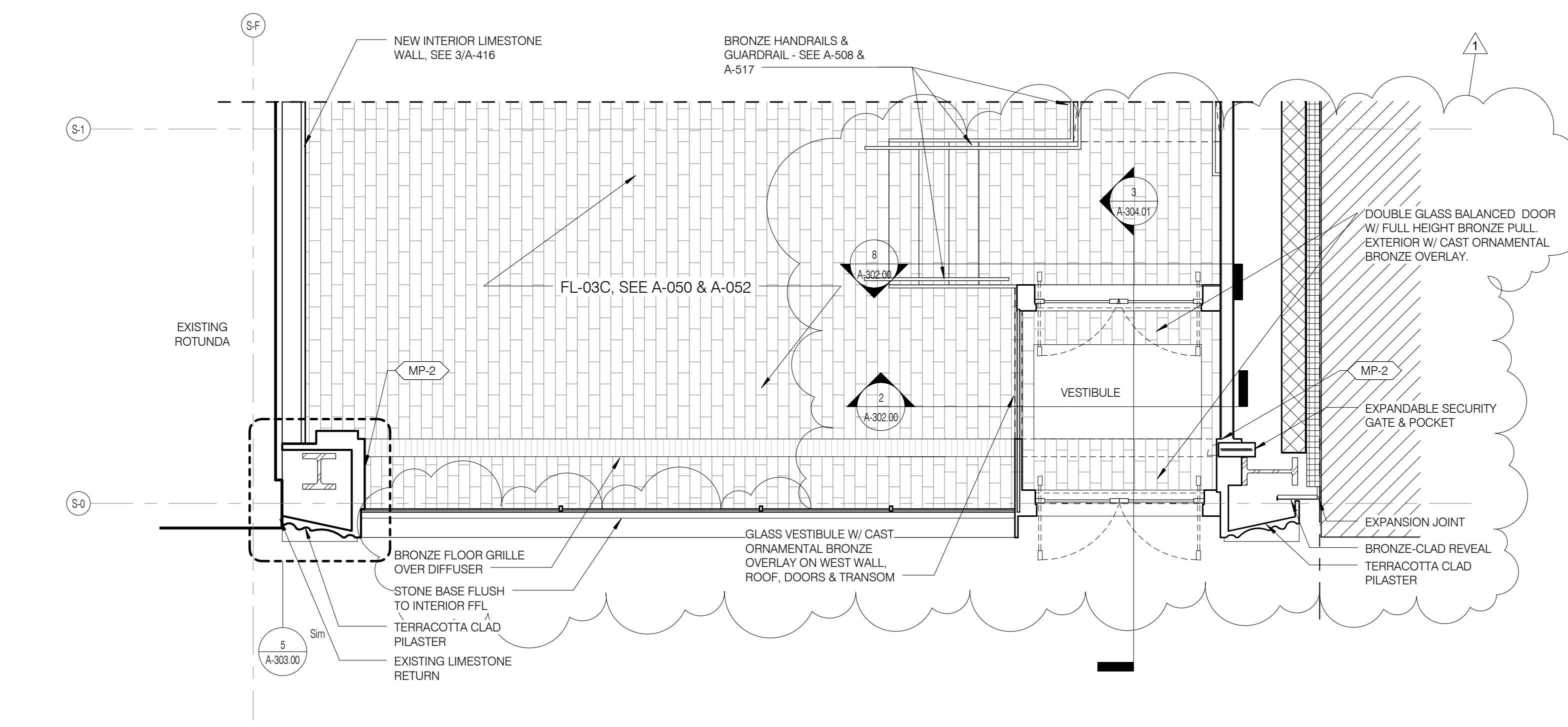
FT-1 - WALL SECTION 1/4" = 1'-0" 4



FT-1 - SECTION @ ENTRY 1/4" = 1'-0" 3



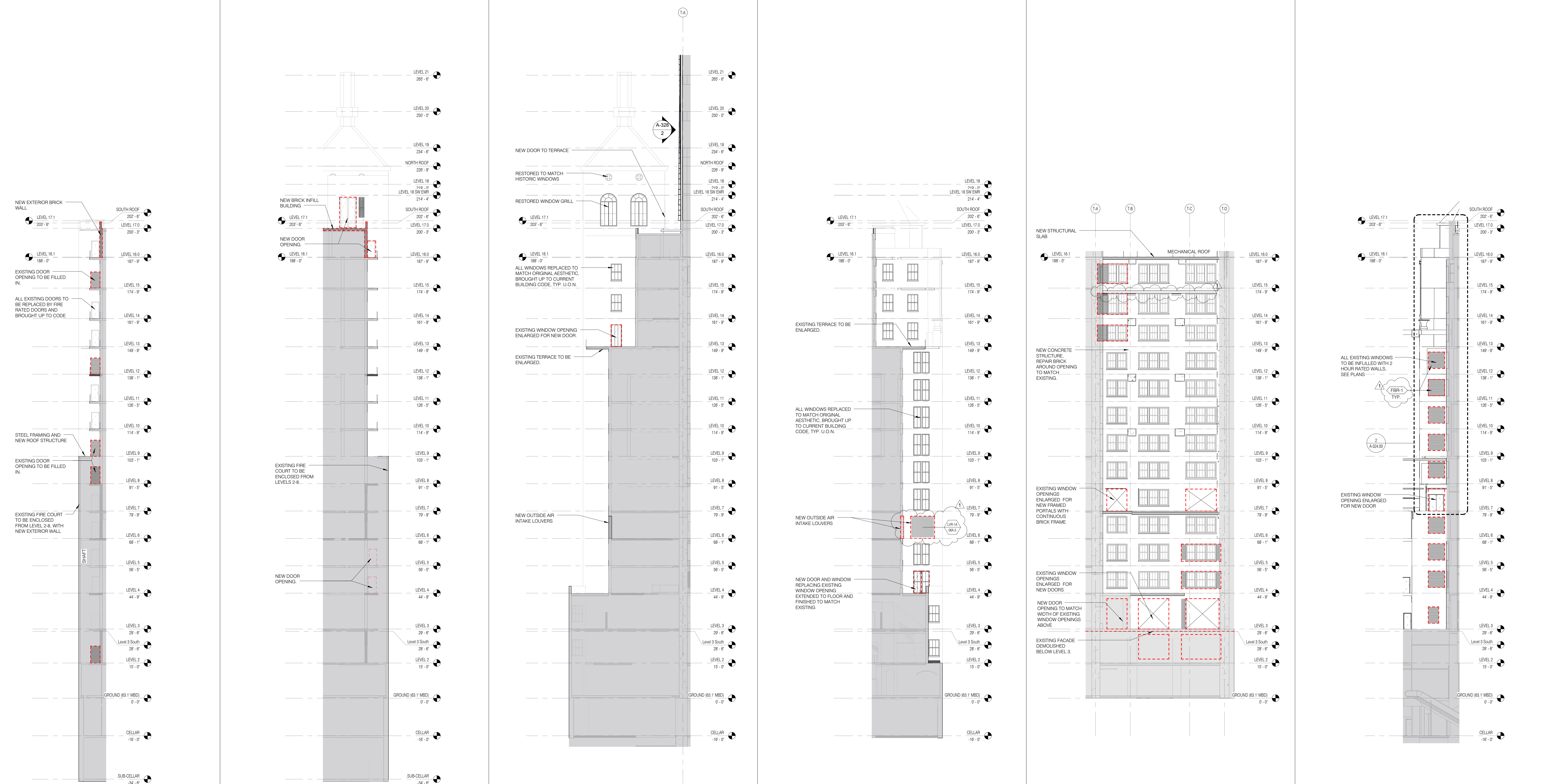
FT-1 - ELEVATION 1/4" = 1'-0" 2



FT-1 - GROUND FLOOR PLAN 1/4" = 1'-0" 1

ARCHITECT	SHIP ARCHITECTS, P.C. 230 BROADWAY, 17TH FLOOR NEW YORK, NY 10007 TEL: 212-689-9336	ARCHITECT	SHIP ARCHITECTS, P.C. 230 BROADWAY, 17TH FLOOR NEW YORK, NY 10007 TEL: 212-689-9336
STRUCTURAL ENGINEER	YUSEF GANTAWI ENGINEERING 228 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212-697-5886	MEP ENGINEER	JORDIS, BAUM & BOLLER 40 WOOD AVE SOUTH 7TH FLOOR NEW YORK, NY 10013 TEL: 646-288-8928
MEP ENGINEER	JORDIS, BAUM & BOLLER 40 WOOD AVE SOUTH 7TH FLOOR NEW YORK, NY 10013 TEL: 646-288-8928	ACQUISITION	LONGMAN LINDSEY 40 WEST 49TH STREET 4TH FLOOR NEW YORK, NY 10018 TEL: 917-238-2389
INTERIORS	STUDIOS 357 FIELD 30 LAURENCE STREET NEW YORK, NY 10013 TEL: 212-475-3200	PROPERTY MARKETS GROUP	30 EAST 11TH STREET AND FLOOR NEW YORK, NY 10003 TEL: 212-693-8939
PAVING	SHUBO HARPOLD 105 BROOKWAY NEW YORK, NY 10002 TEL: 212-254-2025	VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 1 WOOD STREET SUITE 204 LARKSPUR, NJ 07033 TEL: 973-943-9375
RESTORATION	JAN HIRSH FOKORNY ASSOCIATES 20 WEST 10TH STREET 1 FLOOR 2A NEW YORK, NY 10011 TEL: 212-258-6482	GEOTECH	MTICE 205 WEST 40TH STREET 4TH FLOOR NEW YORK, NY 10018 TEL: 917-238-4900
LIGHTING	CONSERVATORIE INTERNATIONAL 105 WALKER STREET 7TH FLOOR EAST NEW YORK, NY 10013 TEL: 212-255-4463		

- KEY**
- NEW BRICK INFILL WALL
 - NEW OPENING, TYPICALLY IN EXISTING WINDOW
- GENERAL NOTES**
- ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
 - INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
 - PROJECT 0-0 = 63.1 MBD.
 - STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
 - REFER TO RESTORATION DRAWINGS (RPI) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPAIR/DEMOLITION.
 - NON-PRESSURIZED EGRESS STAIR THROUGHOUT.
 - ALL FLOOR ELEVATIONS IN STENWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC 1925 DRAWINGS. VIF ALL NEW SLAB IN STENWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FULL LING.
 - SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS.
 - SEE SHEET A-100.00 FOR TOPINGS AND DRAIN LOCATIONS.
 - ALL ELEVATIONS ARE FROM TOP OF SLAB.
 - LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
 - SEE DRAWING G-002 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
 - ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD.
 - CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEP/FP.
 - ALL UNIT INTERIOR PASSAGE DOORS ARE 36" WIDE UCN.

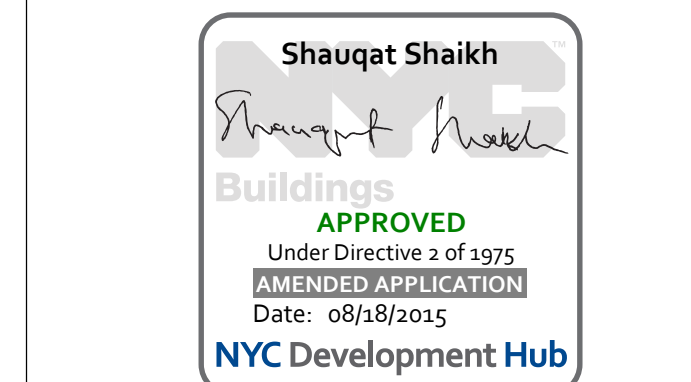


FIRE COURT - SOUTH ELEVATION 1/16" = 1'-0" 3 A-100.00 A-300.01
 FIRE COURT - NORTH ELEVATION 1/16" = 1'-0" 4 A-100.00 A-300.01
 SIDE COURT - SOUTH ELEVATION 1/16" = 1'-0" 1 A-100.00 A-300.01
 TOWER - NORTH ELEVATION - WEST 1/16" = 1'-0" 2 A-100.00 A-300.01
 COURT - SOUTH ELEVATION 1/16" = 1'-0" 6 A-100.00 A-300.01
 TOWER - NORTH ELEVATION - EAST 1/16" = 1'-0" 5 A-100.00 A-300.01

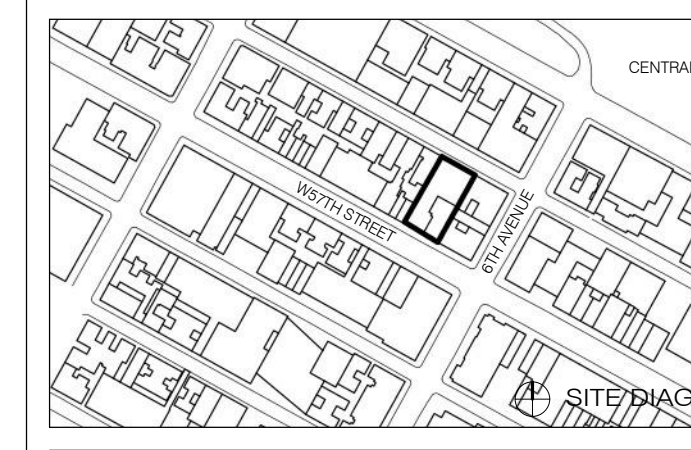


PROPERTY MARKETS GROUP
30 EAST 11TH STREET AND FLOOR
NEW YORK, NY 10003
TEL: 212-693-8939

CURRENT ISSUE
DOB PAA



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

DRAWING TITLE
PARTIAL ELEVATIONS - STEINWAY BUILDING

SEAL & SIGNATURE DATE 3.27.15
 PROJECT NO. 130007
 DRAWN BY SHIP
 CHECKED BY SHIP
 DATE 12.13.2008
 DRAWING NUMBER
A-392.01

NOTE

- SEE HP DRAWINGS FOR MASONRY RESTORATION NOTES AND REFERENCES. TYP.
- SEE HP DRAWINGS FOR WINDOW TYPES, OPERATION AND SCHEDULES.

KEY

- NEW BRICK INFILL WALL
- NEW OPENING, TYPICALLY IN EXISTING WINDOW

- GENERAL NOTES**
- ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
 - INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
 - PROJECT 0-0 = 63.1 MBD
 - STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS
 - REFER TO RESTORATION DRAWINGS (R-P) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT
 - NON-PRESSURIZED EGRESS STAIR THROUGHOUT
 - ALL FLOOR ELEVATIONS IN STEINWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC 1925 DRAWINGS. VP ALL NEW SLAB IN STEINWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL LAND
 - SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS
 - SEE SHEET A-120.00 FOR TOPPING AND DRAIN LOCATIONS
 - ALL ELEVATIONS ARE FROM TOP OF SLAB
 - LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR
 - SEE DRAWING G-202 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND
 - ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD
 - CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEP/FP HANGING LOAD
 - ALL LIFT INTERIOR PASSAGE DOORS ARE 36" WIDE, U/LON

JDS DEVELOPMENT GROUP
104 FIFTH AVENUE, 8TH FLOOR
NEW YORK, NY 10011
TEL: 484-832-3600

ARCHITECT
sh p architects, p.c.
230 BROOKLYN AVENUE, 11TH FLOOR
NEW YORK, NY 10002
TEL: 212-889-9336

STRUCTURAL ENGINEER
YUSEF GANTOR BERKUP
230 EAST 47TH STREET
NEW YORK, NY 10017
TEL: 212-897-9886

MEP ENGINEER
JANOSI, BALM & BOLLER
89 WINE STREET, 12TH FLOOR
NEW YORK, NY 10038
TEL: 212-869-8323

CIVIL ENGINEER
ARIF ENGINEERING, P.C.
40 W 104th AVE, 20TH FLOOR
NEW YORK, NY 10025
TEL: 646-288-8828

ACOUSTIC
LONGMAN LINDSEY
40 WEST 58TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 917-238-3389

INTERIORS
STUDIO JOSEPH
30 WALKER STREET
NEW YORK, NY 10013
TEL: 212-475-1300

FAÇADE
BURROUGHS WERFIELD
105 BROADWAY
NEW YORK, NY 10038
TEL: 212-254-2025

VERTICAL TRANSPORTATION
VAN DEUSEN & ASSOCIATES
1 WOOD STREET, SUITE 204
LARKSPUR, NJ 07033
TEL: 973-984-9775

RESTORATION
JAN HEDRICH ASSOCIATES
30 WEST 57TH STREET, 11TH FLR
NEW YORK, NY 10019
TEL: 212-268-6482

GEOTECH
MICE
205 WEST 58TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 917-238-4300

LIGHTING
CONSERVATORIE INTERNATIONAL
105 WALKER STREET, 7TH FLOOR EAST
NEW YORK, NY 10013
TEL: 212-254-4443



PROPERTY MARKETS GROUP
230 EAST 47TH STREET, 11TH FLOOR
NEW YORK, NY 10017
TEL: 212-899-9336

DOB PAA



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019

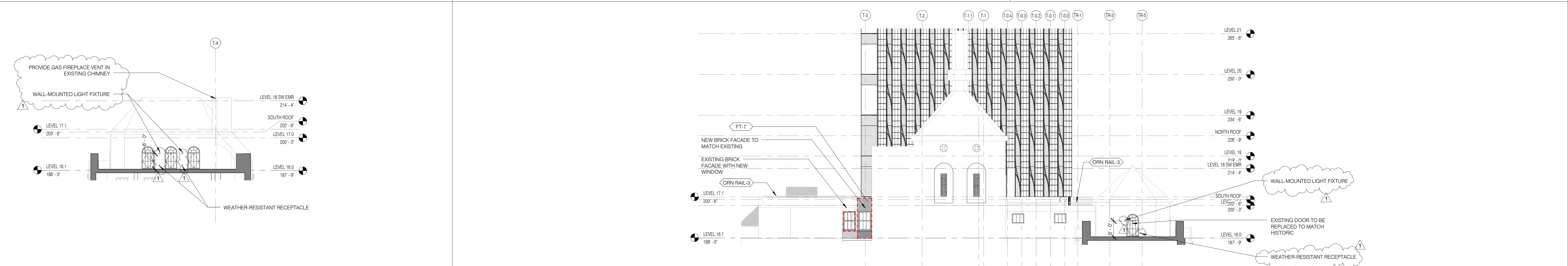


1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JDS DEVELOPMENT GROUP.

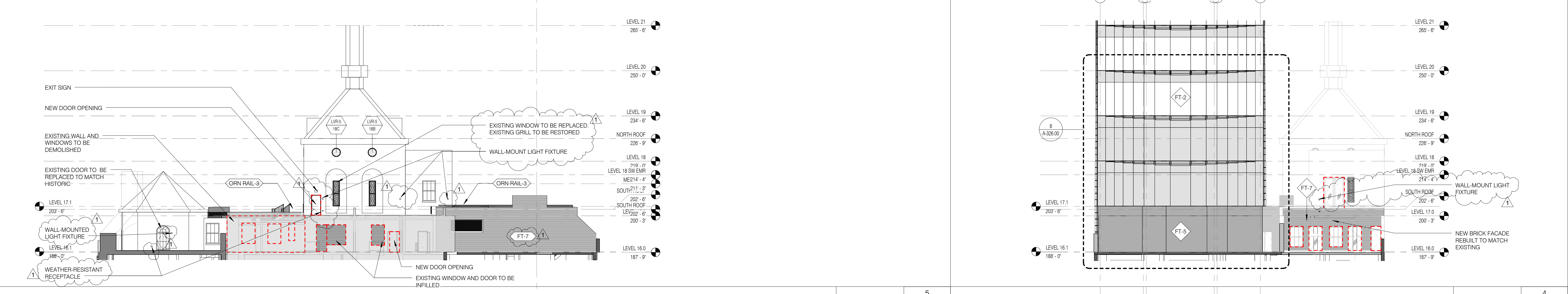
PARTIAL ELEVATIONS - STEINWAY BUILDING

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130907	
DRAWN BY	SH/p	
CHECKED BY	SH/p	
DOB NO.	121330268	
DRAWING NUMBER	A-393.01	



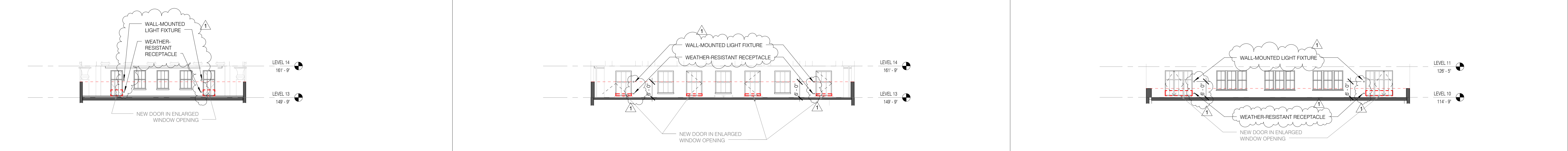
STEINWAY DETAIL ELEVATION - 16TH FLOOR SOUTH 1/16" = 1'-0" 7 A-194.00 A-393.01

STEINWAY DETAIL ELEVATION - 16TH FLOOR WEST 1/16" = 1'-0" 6 A-194.00 A-393.01



STEINWAY DETAIL ELEVATION - 16TH FLOOR EAST 1/16" = 1'-0" 5 A-194.00 A-393.01

STEINWAY DETAIL ELEVATION - 16TH FLOOR NORTH 1/16" = 1'-0" 4 A-194.00 A-393.01



STEINWAY DETAIL ELEVATION - 13TH FLOOR SOUTH 1/16" = 1'-0" 3 A-194.00 A-393.01

STEINWAY DETAIL ELEVATION - 13TH FLOOR NORTH 1/16" = 1'-0" 2 A-194.00 A-393.01

STEINWAY DETAIL ELEVATION - 10TH FLOOR NORTH 1/16" = 1'-0" 1 A-194.00 A-393.01

NOTE:

- SEE HP DRAWINGS FOR MASONRY RESTORATION NOTES AND REFERENCES, TYP.
- SEE HP DRAWINGS FOR WINDOW TYPES, OPERATION AND SCHEDULES.

ROOM FINISH SCHEDULE - CD

Table with columns: NO., NAME, FLOOR TYPE, CEILING TYPE, WALL FINISH, MTL, BASE FINISH, UNIT TYPE, BATHKIT TYPE. Includes levels 5 through 11.

ROOM FINISH SCHEDULE - CD

Table with columns: NO., NAME, FLOOR TYPE, CEILING TYPE, WALL FINISH, MTL, BASE FINISH, UNIT TYPE, BATHKIT TYPE. Includes levels 11 through 16.

ROOM FINISH SCHEDULE - CD

Table with columns: NO., NAME, FLOOR TYPE, CEILING TYPE, WALL FINISH, MTL, BASE FINISH, UNIT TYPE, BATHKIT TYPE. Includes levels 16 through 21.

KITCHEN TYPES BY UNIT

Table with columns: KIT TYPE, TYR LEVEL, RM NUMBER, RM NAME. Lists kitchen types for various units.

BATH TYPES BY UNIT

Table with columns: BATH TYPE, TYR LEVEL, RM NUMBER, RM NAME. Lists bathroom types for various units.

JDS DEVELOPMENT GROUP logo and contact information.

shp logo.

ARCHITECT, STRUCTURAL ENGINEER, MECHANICAL ENGINEER, CIVIL ENGINEER, etc. list of professionals.

PROPERTY MARKETS GROUP logo and contact information.

DOB PAAP logo and contact information.

Shauqat Shaikh logo and contact information.

111 WEST 57TH STREET logo and address.

Site diagram showing building layout and site details.

ROOM SCHEDULE & FINISHES table with columns: UNIT TYPE, AREA PER UNIT, UNITS, TOTAL AREA.

Professional seals and signatures for architects and engineers.

KEY

	EXISTING TO REMAIN
	NEW CONSTRUCTION
	RETAIL TENANT FITOUT
	INTERIOR LANDMARK NO CHANGE

- GENERAL NOTES**
- ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
 - INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
 - PROJECT 0.0 - 63.1 MBD.
 - STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
 - REFER TO RESTORATION DRAWINGS (R/P) FOR RESTORATION WORK ON EXISTING BUILDING, INCLUDING BUT NOT LIMITED TO: REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT.
 - NON-PRESSURIZED EGRESS STAR THROUGHOUT.
 - ALL FLOOR ELEVATIONS IN STEINWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC 1925 DRAWINGS. VP: ALL NEW SLAB IN STEINWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FULL LINO.
 - SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS.
 - SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
 - ALL ELEVATIONS ARE FROM TOP OF SLAB.
 - LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
 - SEE DRAWINGS G-000 FOR ABBREVIATIONS, SYMBOLS AND MATERIAL LEGEND.
 - ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD.
 - CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR ME/FP/PP HANGING LOAD.
 - ALL UNIT INTERIOR PASSAGE DOORS ARE 36" WIDE, 80"

ARCHITECT
SH&P ARCHITECTS, P.C.
235 BROADWAY, 11TH FLOOR
NEW YORK, NY 10038
TEL: 212.869.9336

STRUCTURAL ENGINEER
YUSEF GANTOR BENKUR
235 EAST 47TH STREET
NEW YORK, NY 10017
TEL: 212.897.9886

MEP ENGINEER
JAVROS, BAHAM & BOLLER
89 WINE STREET, 12TH FLOOR
NEW YORK, NY 10038
TEL: 212.869.9336

CIVIL ENGINEER
ARIF ENGINEERING, P.C.
40 W 46TH ST 10TH FLOOR
NEW YORK, NY 10019
TEL: 800.288.8029

ACOUSTIC
LONGMAN LINDSEY
40 WEST 58TH STREET 4TH FLOOR
NEW YORK, NY 10019
TEL: 917.288.8300

INTERIORS
TUDOR JOSEPH FIELD
30 WALKER STREET
NEW YORK, NY 10013
TEL: 212.475.1300

FAÇADE
BURROUGHS WERFIELD
105 BROADWAY
NEW YORK, NY 10038
TEL: 212.254.2025

VERTICAL TRANSPORTATION
VAN DEUSEN & ASSOCIATES
180 WEST STREET, SUITE 2014
LARKSPUR, NJ 07033
TEL: 973.986.8775

RESTORATION
JAN HROD POKORNY ASSOCIATES
30 WEST 57TH STREET, 7TH FLOOR
NEW YORK, NY 10019
TEL: 212.254.6462

GEOTECH
GEO TECH
305 WEST 58TH STREET 4TH FLOOR
NEW YORK, NY 10019
TEL: 917.288.8300

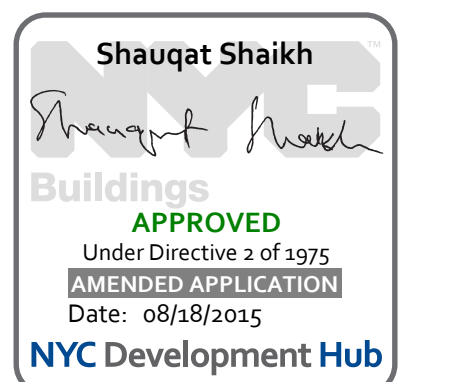
LIGHTING
CONSERVATORIE INTERNATIONAL
105 WALKER STREET, 7TH FLOOR EAST
NEW YORK, NY 10013
TEL: 212.254.6462



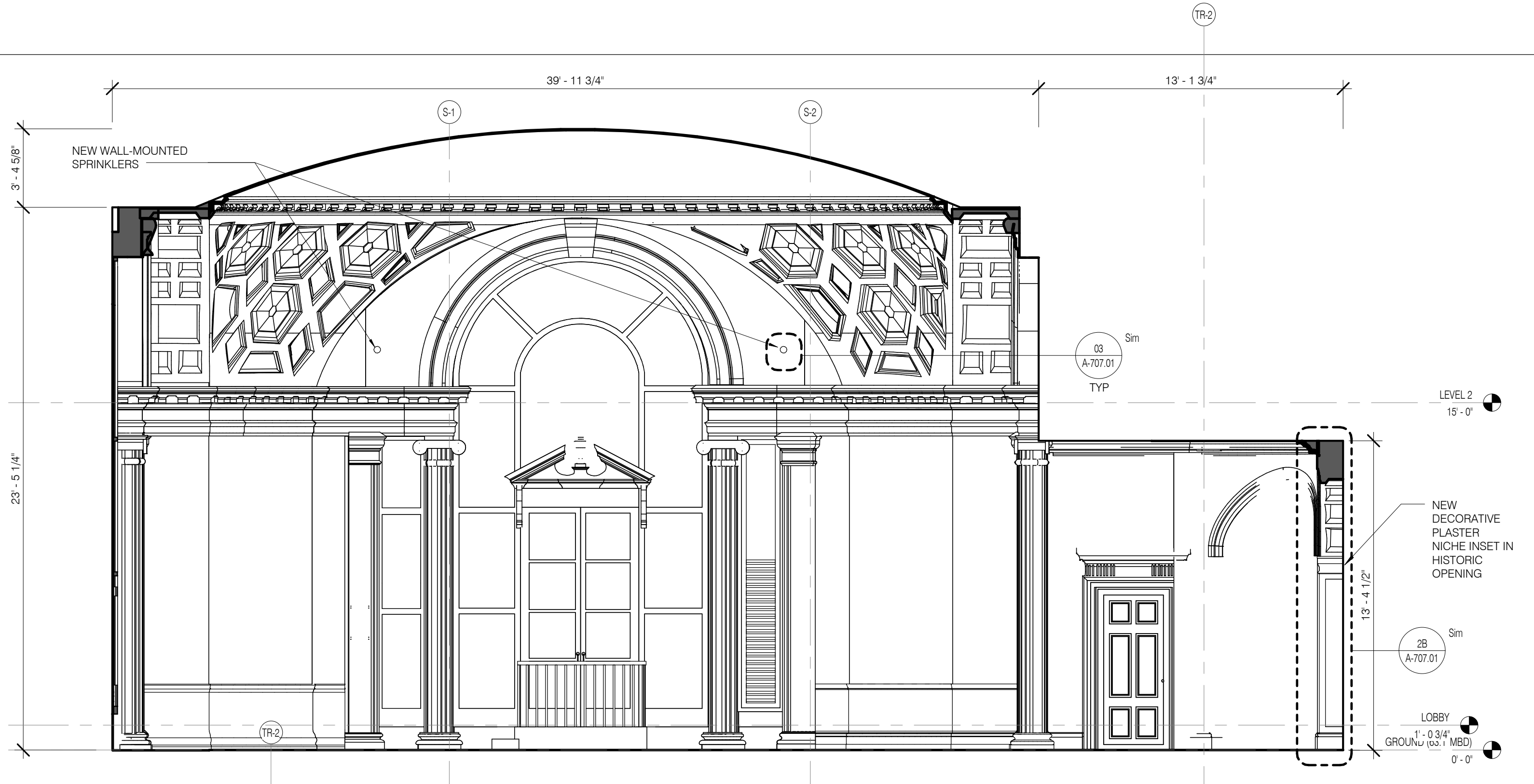
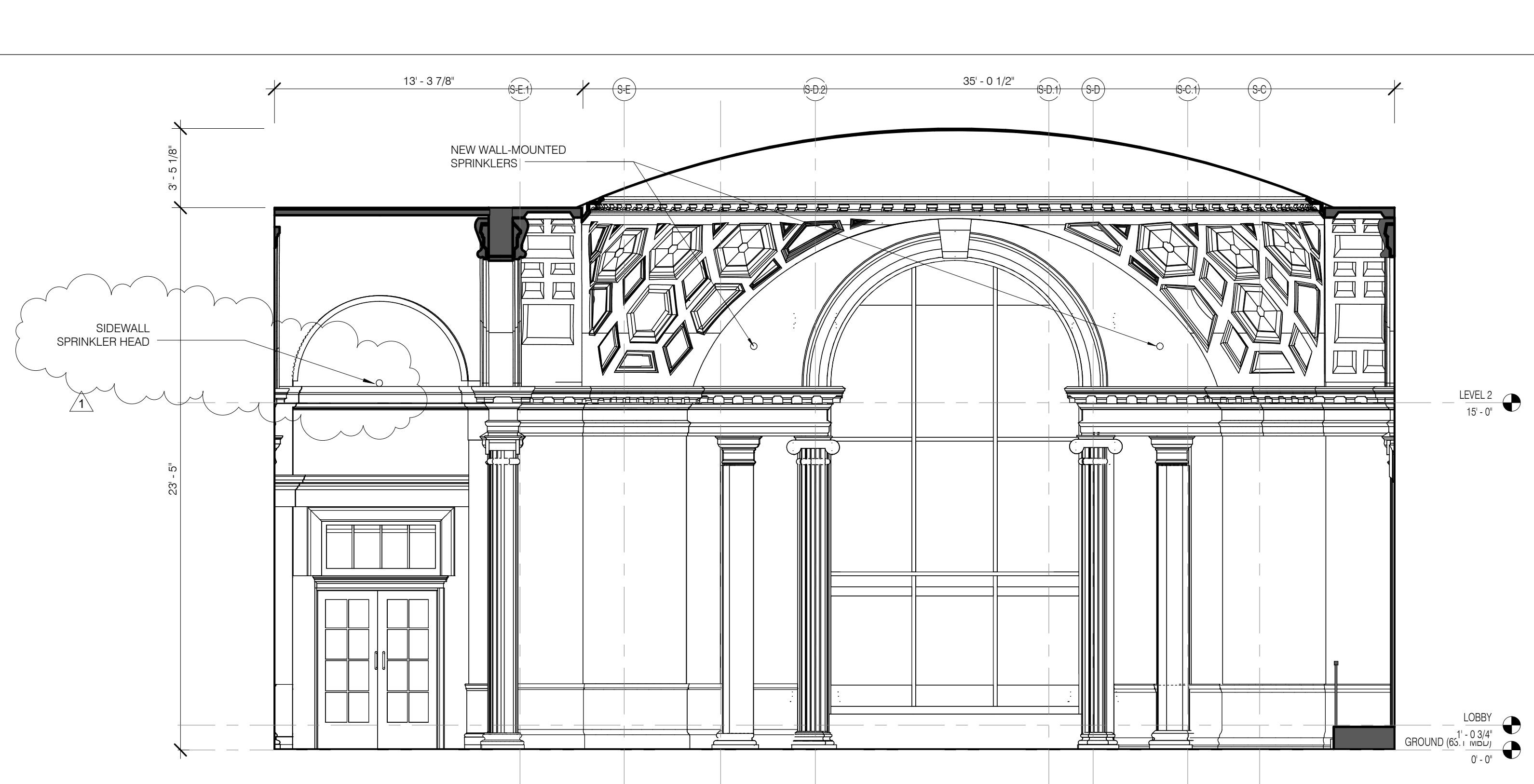
PROPERTY MARKETS GROUP
3 EAST 17TH STREET, 2ND FLOOR
NEW YORK, NY 10003
TEL: 212.899.9999

CURRENT ISSUE

DOB PAA

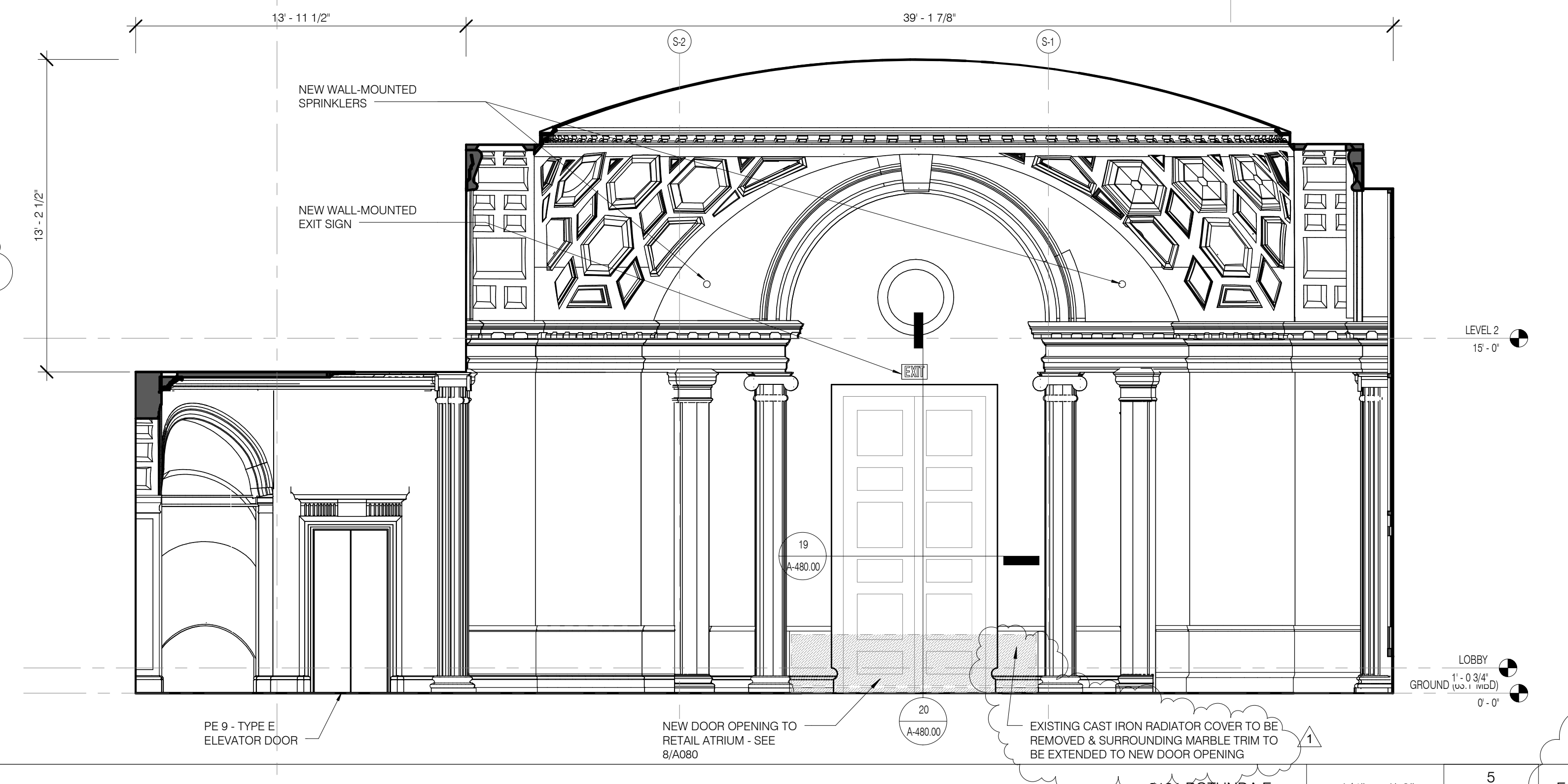
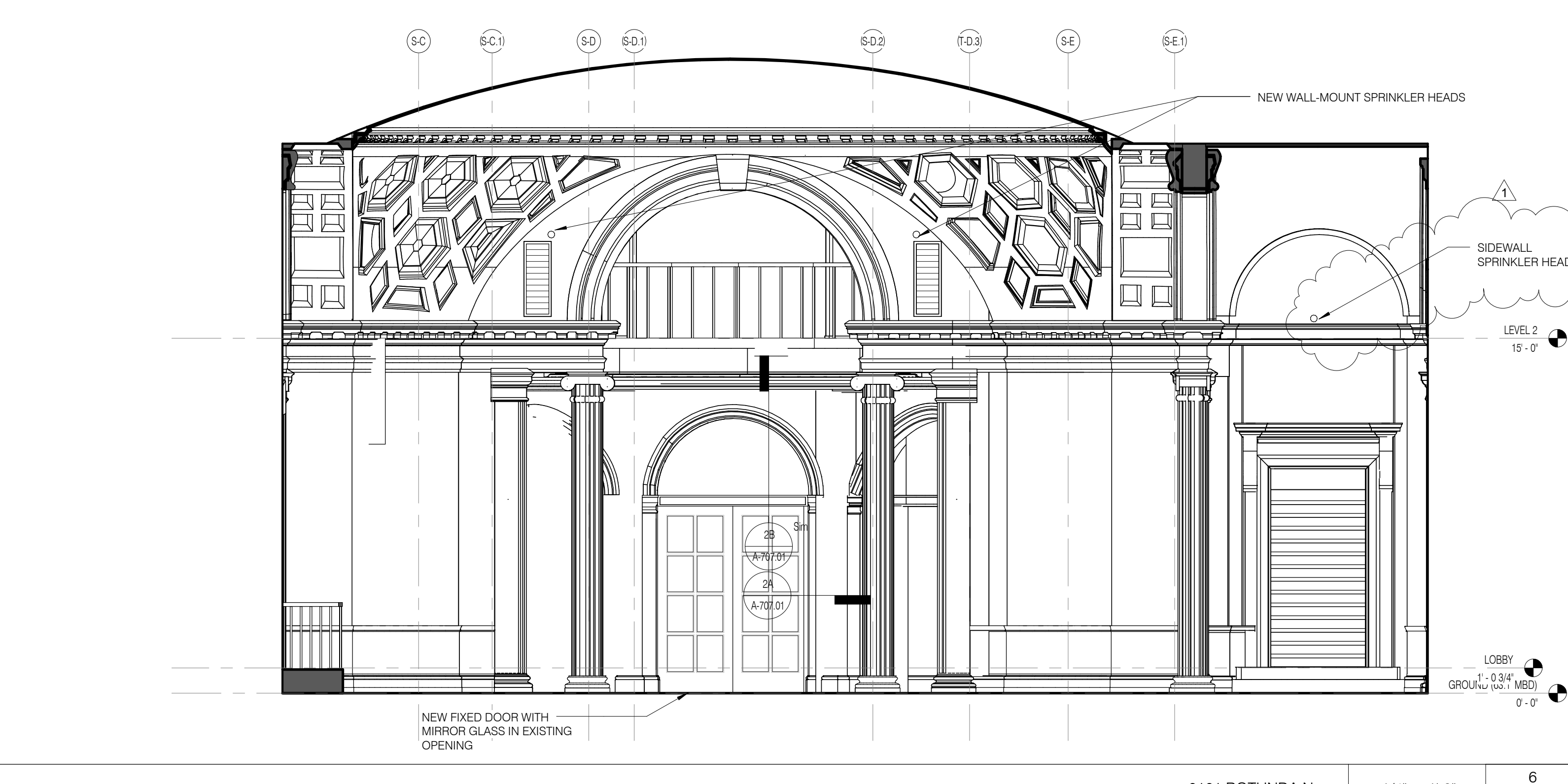


111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



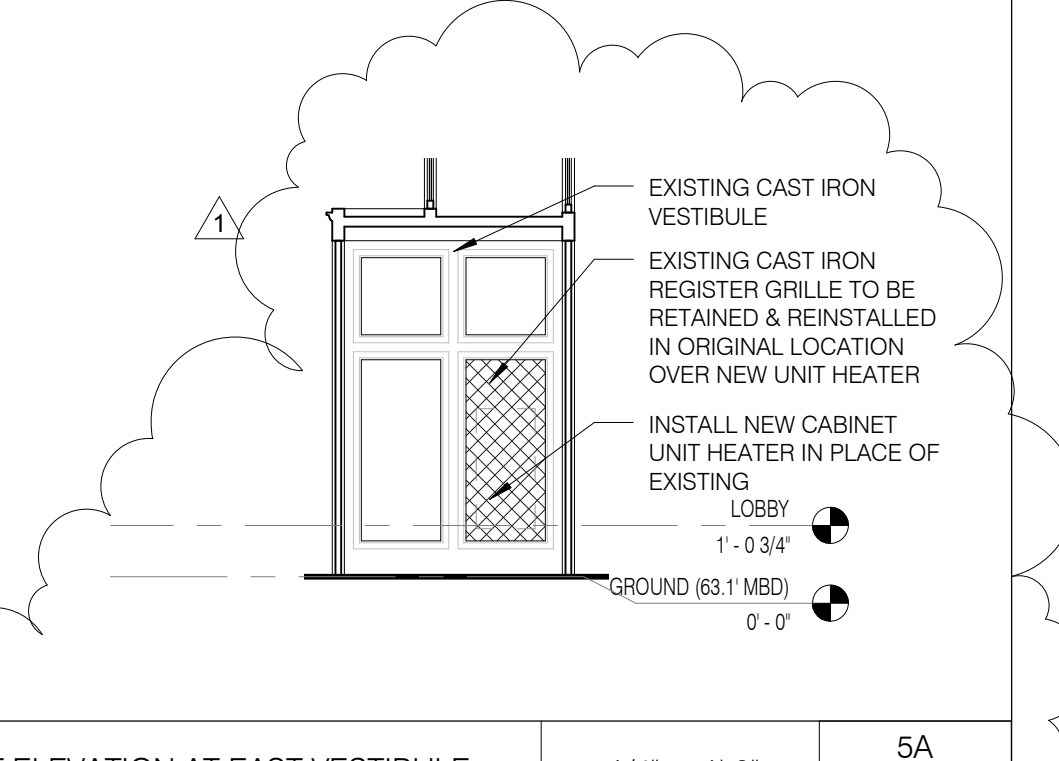
0101 ROTUNDA S 1/4" = 1'-0" 8 A-410.01

0101 ROTUNDA W 1/4" = 1'-0" 7 A-410.01

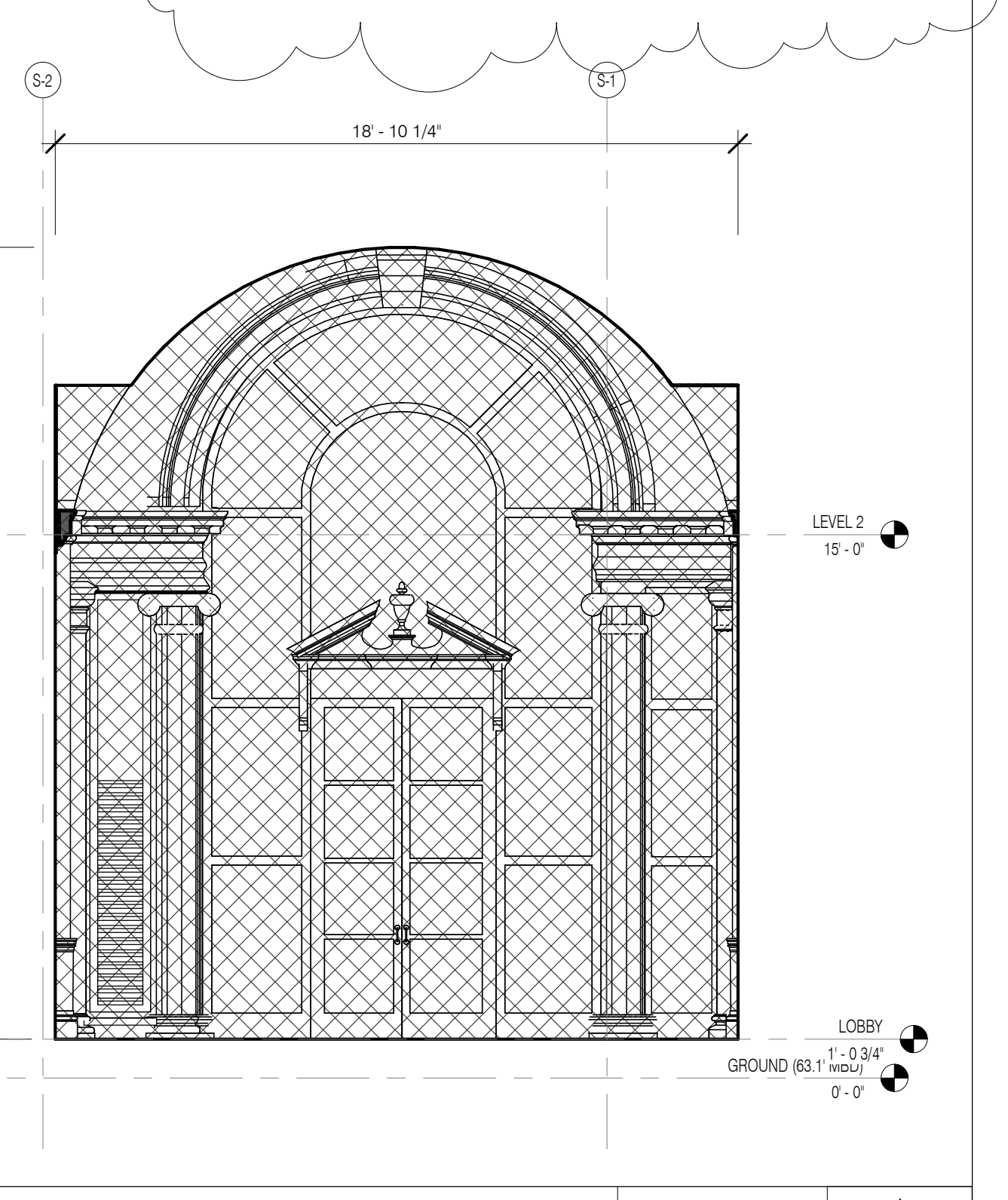
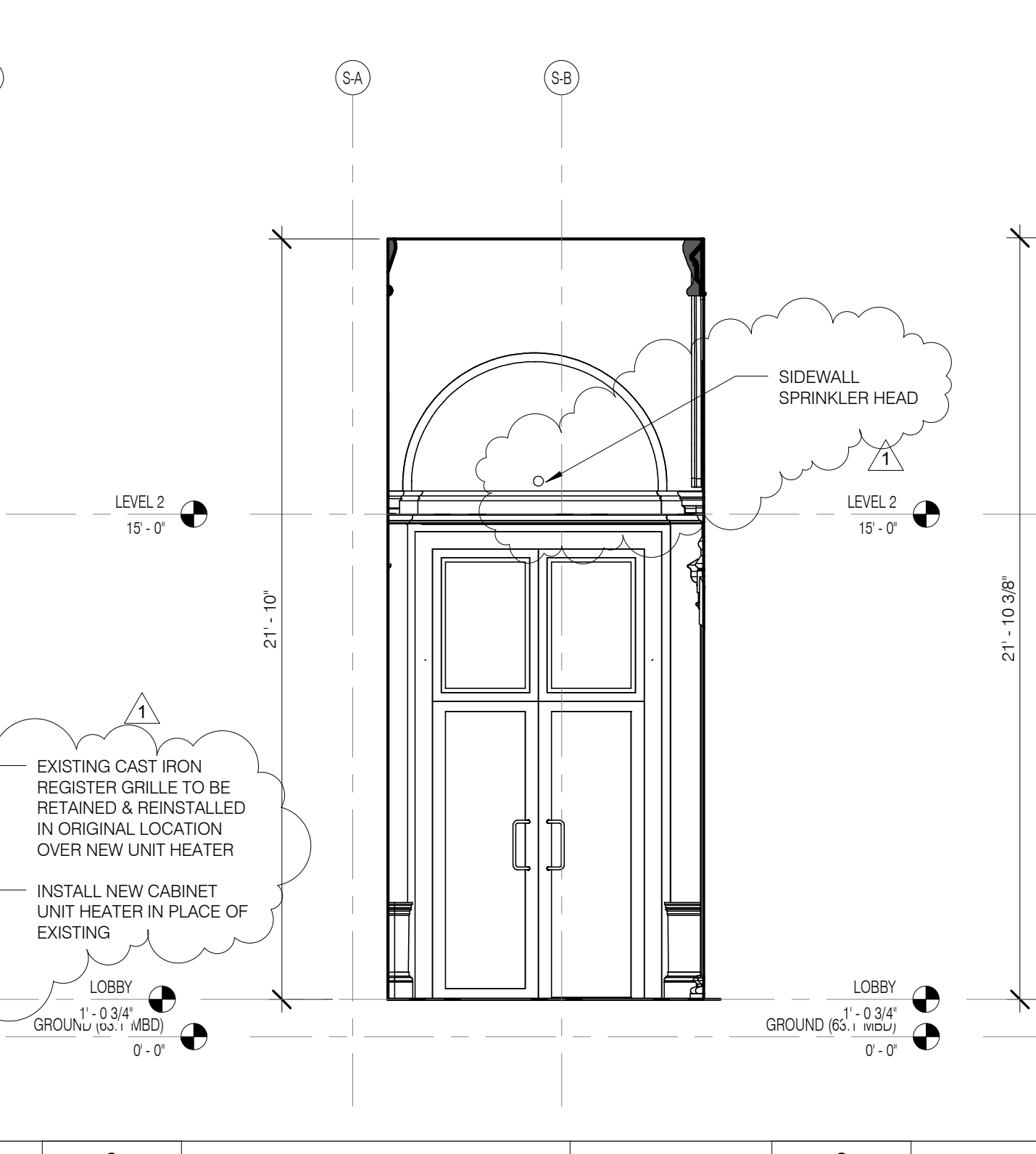
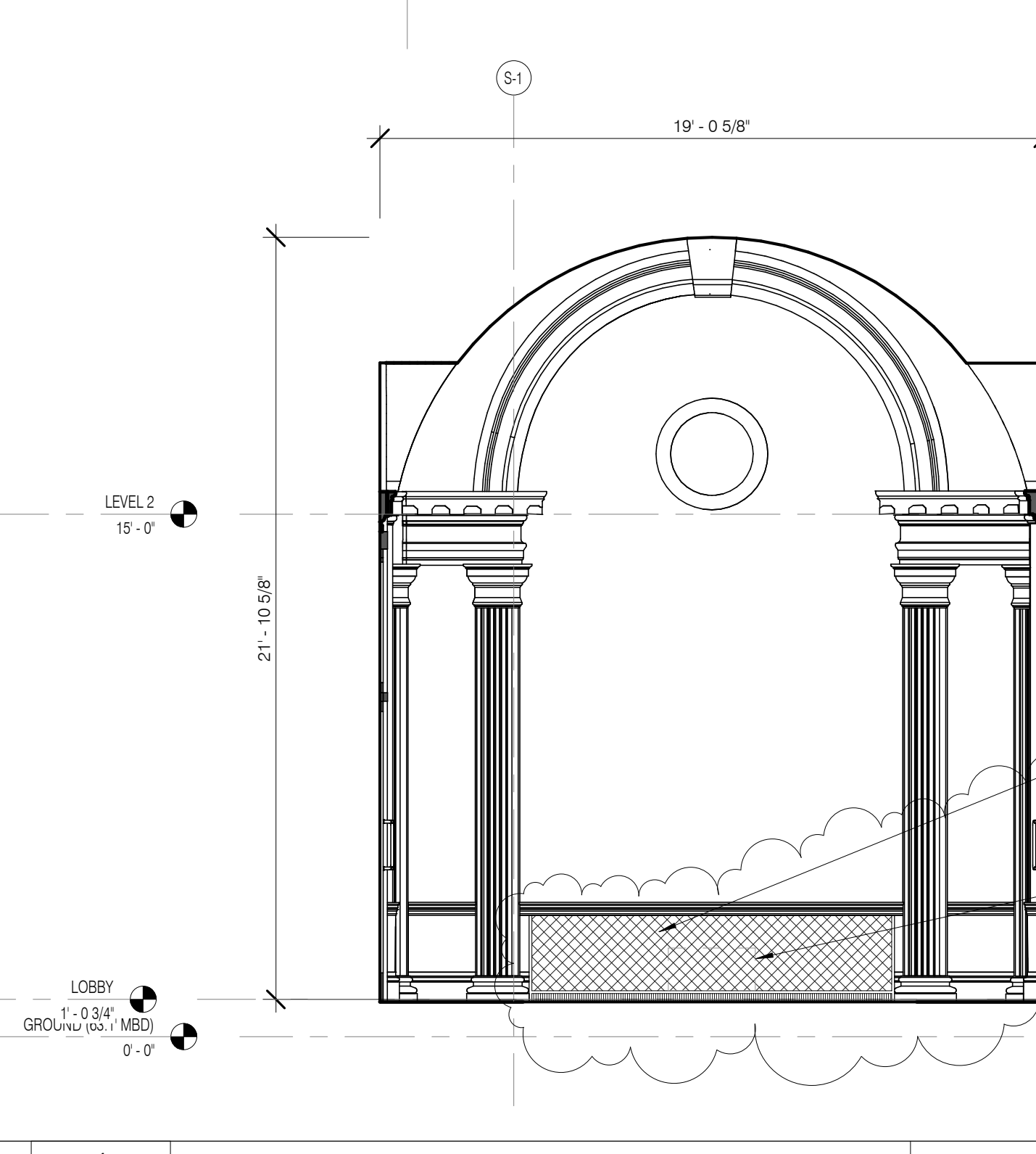
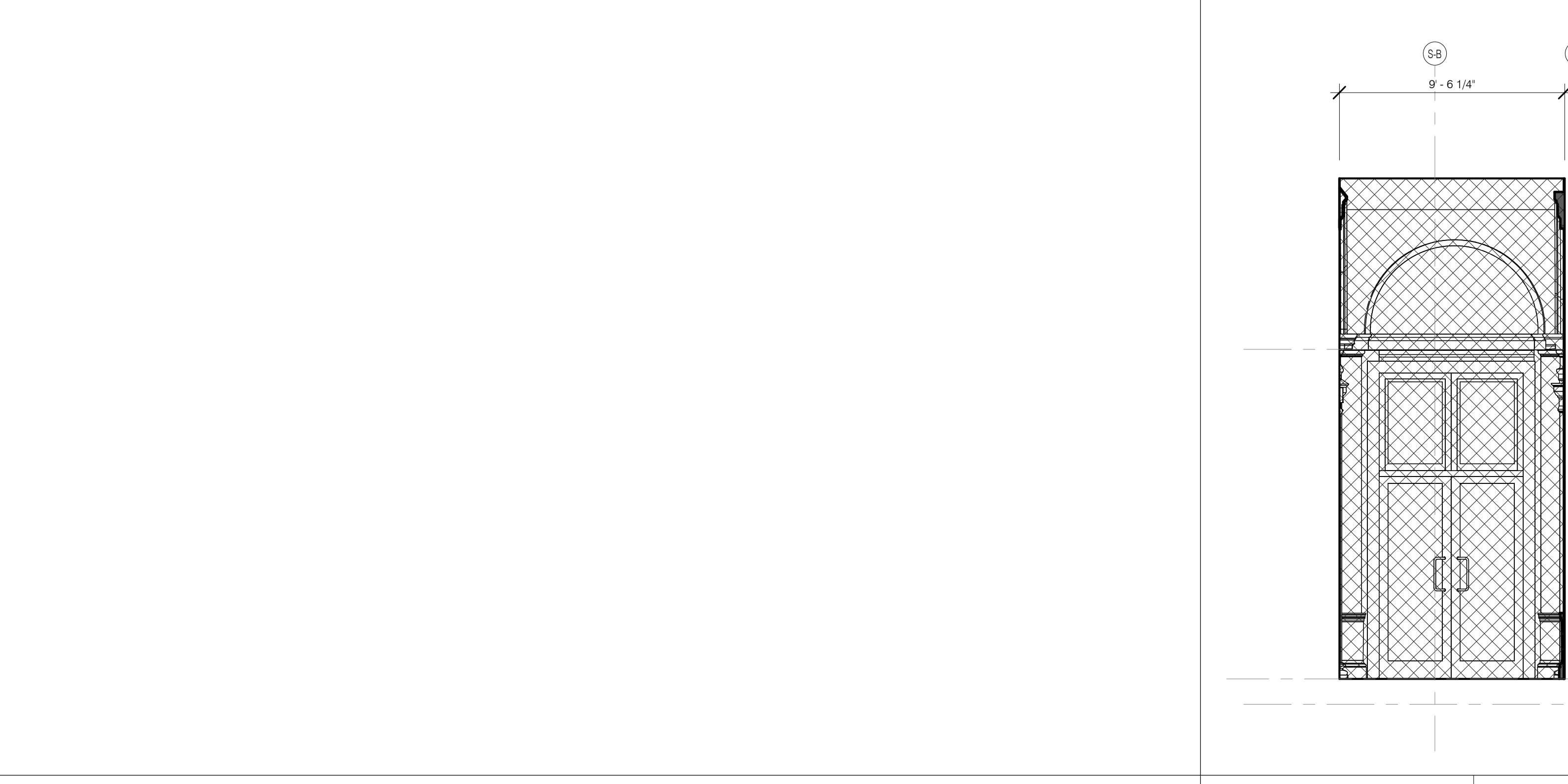


0101 ROTUNDA N 1/4" = 1'-0" 6 A-410.01

0101 ROTUNDA E 1/4" = 1'-0" 5 A-410.01



EAST ELEVATION AT EAST VESTIBULE 1/4" = 1'-0" SA A-410.01



0100 VESTIBULE S 1/4" = 1'-0" 4 A-410.01

0100 VESTIBULE W 1/4" = 1'-0" 3 A-410.01

0100 VESTIBULE N 1/4" = 1'-0" 2 A-410.01

0100 VESTIBULE E 1/4" = 1'-0" 1 A-410.01

NO.	DATE	REVISION
1	3/27/15	DOB PAA

LEVEL 1 ROTUNDA INTERIOR ELEVATIONS

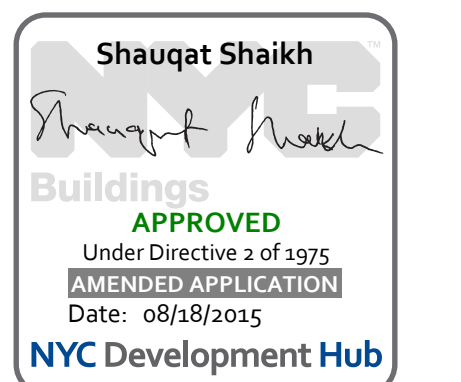
SEAL & SIGNATURE DATE 2.20.15
PROJECT NO. 130077
DRAWN BY SH&P
CHECKED BY SH&P
JOB NO. 121330206
DRAWING NUMBER A-410.01

ARCHITECT	SH&P ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10005 TEL: 212.869.9300
STRUCTURAL ENGINEER	YUSEF GANTOY REYNOLDS 230 EAST 43RD STREET NEW YORK, NY 10017 TEL: 212.897.5886
MEP ENGINEER	JACOBS, BAUM & BOLLER 80 WINE STREET, 12TH FLOOR NEW YORK, NY 10038 TEL: 212.869.9300
CIVIL ENGINEER	AKRF ENGINEERING, P.C. 60 FIFTH AVE, 20TH FLOOR NEW YORK, NY 10011 TEL: 212.869.9300
ACOUSTICIAN	LONGMAN LINDSEY 40 WEST 58TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917.288.8389
INTERIORS	STUDIOS 2050 FIELD 30 WALKER STREET NEW YORK, NY 10002 TEL: 212.475.1300
FAÇADE	BURTON HARRFIELD 100 SPENCER ST. NEW YORK, NY 10002 TEL: 212.254.2025
VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 1 BROADWAY STREET, SUITE 204 LARKSPRING, NJ 07033 TEL: 973.944.8725
RESTORATION	JAN HRO POKORNY ASSOCIATES 30 WEST 47TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212.759.6462
GEOTECH	MTC 305 WEST 47TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917.288.8389
LIGHTING	CONSERVATORIE INTERNATIONAL 100 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212.254.4443



PROPERTY MARKETS GROUP
100 WEST 47TH STREET, 2ND FLOOR
NEW YORK, NY 10019
TEL: 212.869.9300
CURRENT ISSUE

DOB PAA



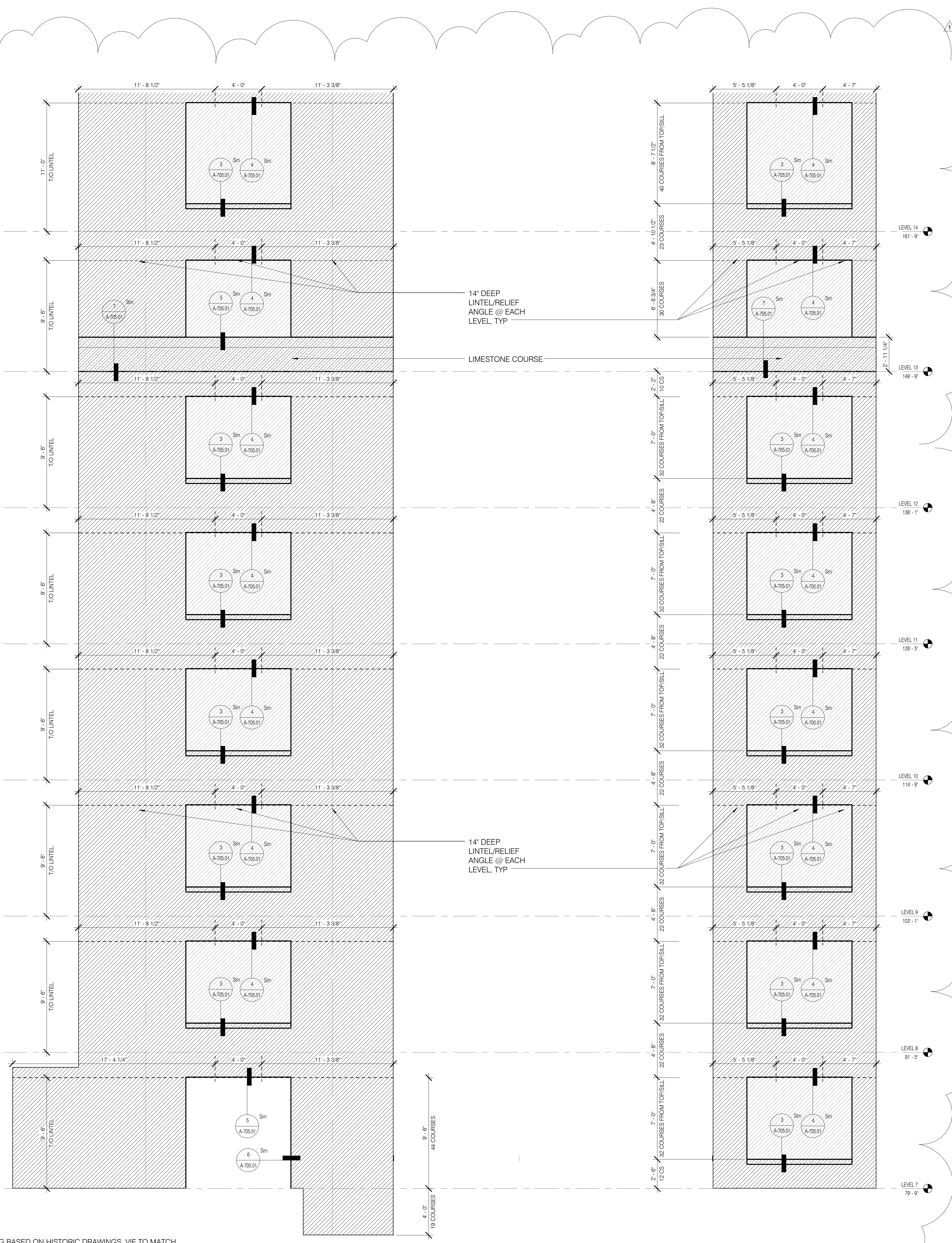
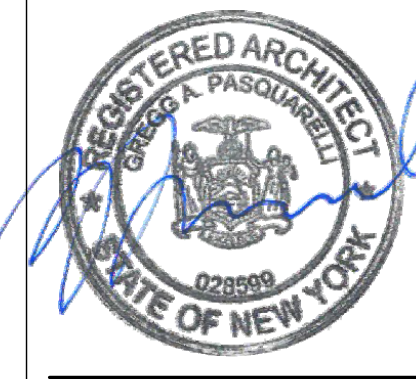
111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



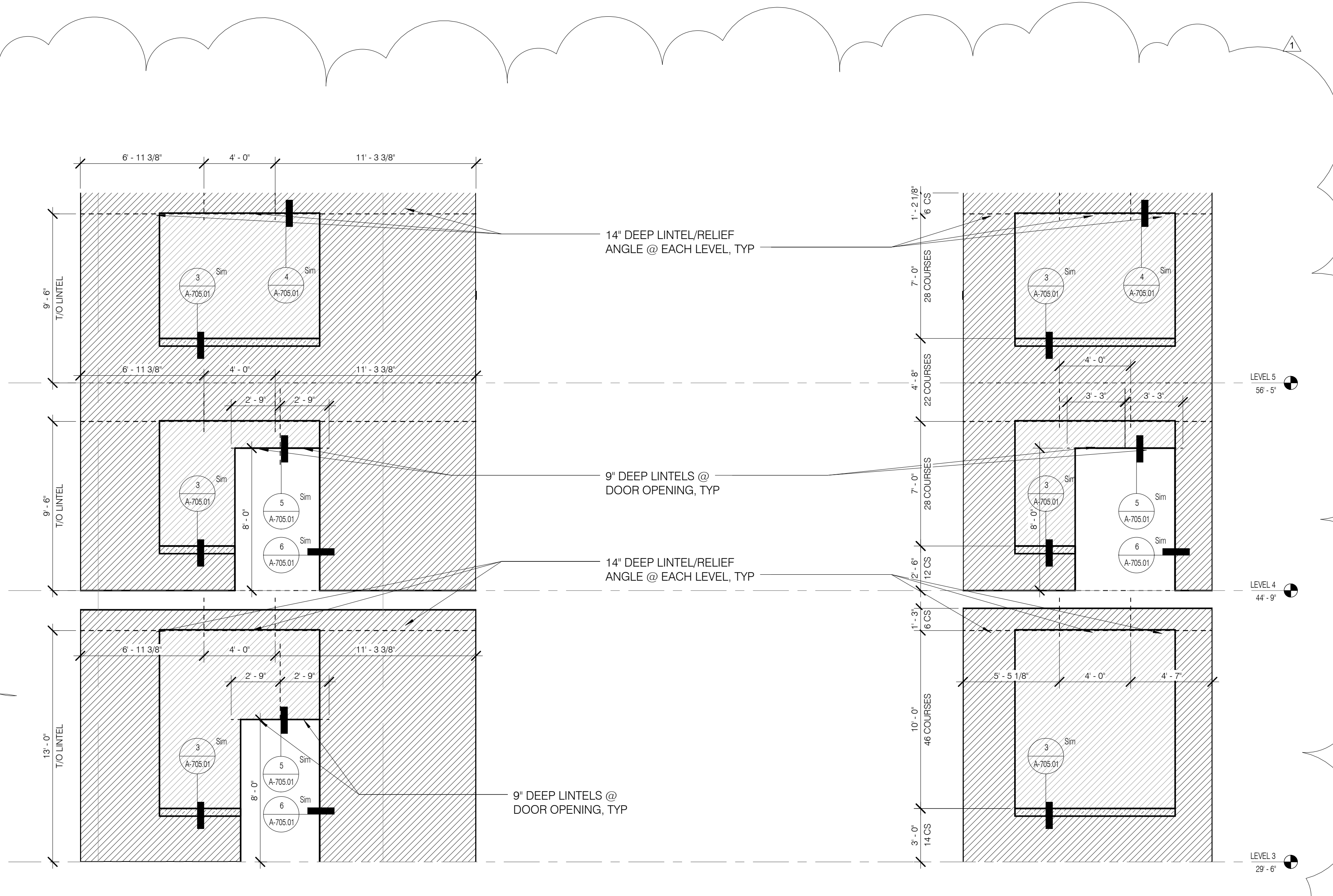
1	3/27/15	DOB PAA	REVISION
NO.	DATE	BY	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SH&P ARCHITECTS P.C. ALL RIGHTS RESERVED.

DRAWING TITLE	ELEVATION @ RESTORED BRICK COURTYARD WALL
DATE	3/27/15
PROJECT NO.	130007
DRAWN BY	SH&P
CHECKED BY	SH&P
DCR NO.	121332068
DRAWING NUMBER	A-420.01



ELEVATION @ RESTORED BRICK COURTYARD WALL LEVELS 7-15 1/4" = 1'-0" 2 A-420.01



ELEVATION @ RESTORED BRICK COURTYARD WALL LEVELS 3-5 1/4" = 1'-0" 1 A-420.01

Unit Type	Level	Number	Name
LEVEL 5	0508A	MECHANICAL	
LEVEL 9	0533	MECH	
05A	LEVEL 9	0901.C	KITCHEN (SK1)
05A	LEVEL 9	0901.N	MASTER BATH (SMB1)
05A	LEVEL 9	0901.J	BATH 1 (SB3)
05A	LEVEL 9	0901.M	TYPE A BATH (SB1)
05A	LEVEL 9	0901.G	PR (SP1)
05A	LEVEL 9	0901.E	BATH 2 (SB4)
09B	LEVEL 9	0902.E	BATH (SB7)
09B	LEVEL 9	0902.B	KITCHEN (SK8)
09C	LEVEL 9	0903.D	BATH (SB7)
09C	LEVEL 9	0903.B	KITCHEN (SK9)
09D	LEVEL 9	0904.E	BATH (SB7)
09D	LEVEL 9	0904.B	KITCHEN (SK10)
09E	LEVEL 9	0905.C	BATH (SB7)
09E	LEVEL 9	0905.B	KITCHEN (SK11)
10A	LEVEL 10	1001.D	KITCHEN (SK1)
10A	LEVEL 10	1001.V	MASTER BATH (SMB1)
10A	LEVEL 10	1001.W	BATH 1 (SB3)
10A	LEVEL 10	1001.X	TYPE A BATH (SB1)
10A	LEVEL 10	1001.Y	PR (SP1)
10A	LEVEL 10	1001.D	BATH 2 (SB4)
10B	LEVEL 10	1002.Q	MASTER BATH (SMB2)
10B	LEVEL 10	1002.H	TYPE A BATH (SB1)
10B	LEVEL 10	1002.L	BATH 2 (SB3)
10B	LEVEL 10	1002.C	KITCHEN (SK2)
11A	LEVEL 11	1101.N	MASTER BATH (SMB1)
11A	LEVEL 11	1101.J	TYPE A BATH (SB1)
11A	LEVEL 11	1101.G	PR (SP1)
11A	LEVEL 11	1101.M	BATH 1 (SB3)
11A	LEVEL 11	1101.C	KITCHEN (SK3)
11A	LEVEL 11	1101.E	BATH 2 (SB4)
11B	LEVEL 11	1102.Q	MASTER BATH (SMB2)
11B	LEVEL 11	1102.H	TYPE A BATH (SB1)
11B	LEVEL 11	1102.L	BATH 2 (SB3)
11B	LEVEL 11	1102.C	KITCHEN (SK2)
11B	LEVEL 11	1102.B	PR (SP3)
13A	LEVEL 13	1301.N	MASTER BATH (SMB3)
13A	LEVEL 13	1301.C	KITCHEN (SK4)
13A	LEVEL 13	1301.L	BATH 2 (SB3)
13A	LEVEL 13	1301.H	TYPE A BATH (SB1)
13A	LEVEL 13	1301.E	PR (SP2)
13B	LEVEL 13	1302.G	MASTER BATH (SMB4)
13B	LEVEL 13	1302.F	TYPE A BATH (SB1)
13B	LEVEL 13	1302.B	PR (SP3)
13B	LEVEL 13	1302.C	KITCHEN (SK5)
14A	LEVEL 14	1401.C	MASTER BATH (SMB5)
14A	LEVEL 14	1401.H	KITCHEN (SK6)
14A	LEVEL 14	1401.E	TYPE A BATH (SB1)
14A	LEVEL 14	1401.U	BATH 2 (SB5)
14A	LEVEL 14	1401.M	PR (SP2)
14B	LEVEL 14	1402.K	MASTER BATH (SMB4)
14B	LEVEL 14	1402.H	TYPE A BATH (SB1)
14B	LEVEL 14	1402.B	PR (SP3)
14B	LEVEL 14	1402.Z	KITCHEN (SK5)
16PH	LEVEL 16.0	1601.B	PR (SP3)
16PH	LEVEL 16.0	1601.M	BATH 2 (SB3)
16PH	LEVEL 16.0	1601.Q	TYPE A BATH (SB1)
16PH	LEVEL 16.0	1601.H	KITCHEN
16PH	LEVEL 16.0	1601.S	POWDER (SP3)
16PH	LEVEL 16.0	1601.V	BUTLER PANTRY
16PH	LEVEL 17.0	1702	MASTER BATH (SMB6)
NR2	LEVEL 5	0505.A	UNISEX WC (U-5A)
NR2	LEVEL 5	0505.C	UNISEX WC (U-5C)
NR2	LEVEL 5	0505.A	UNISEX WC (U-5B)
NR2	LEVEL 5	0505.D	UNISEX WC (U-5B)
RC	LEVEL 7	0720.A	WC (U-7C)
RC	LEVEL 7	0724	WC (U-7A)
RC	GROUND	0110	UNISEX WC (U-1A)
RC	LEVEL 7	0708	WC (U-7A)
RC	LEVEL 7	0709	WC(U-7A)
RC	LEVEL 7	0716.D	WC (U-7B)
RC	GROUND	0103.B	UNISEX WC (U-1B)
RC	LEVEL 7	0716.A	WC (U-7D)
RC	LEVEL 7	0716.C	WC (U-7A)

JDS DEVELOPMENT GROUP

111 WEST 57TH STREET
NEW YORK, NY 10019

sh p

ARCHITECT
SHP ARCHITECTS P.C.
300 W. 42ND ST., 11TH FLOOR
NEW YORK, NY 10018
TEL: 212.693.8000

STRUCTURAL ENGINEER
VAN DEUSEN & ASSOCIATES
110 WEST 57TH STREET, SUITE 204
MANHATTAN, NY 10019
TEL: 212.693.8000

MEP ENGINEER
VAN DEUSEN & ASSOCIATES
110 WEST 57TH STREET, SUITE 204
MANHATTAN, NY 10019
TEL: 212.693.8000

CIVIL ENGINEER
RESTORATION
110 WEST 57TH STREET, SUITE 204
MANHATTAN, NY 10019
TEL: 212.693.8000

ACoustICS
GEOTECH
110 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212.693.8000

INTERIORS
LODESPATORE INTERNATIONAL
110 WEST 57TH STREET, 7TH FLOOR EAST
NEW YORK, NY 10013
TEL: 212.693.8000

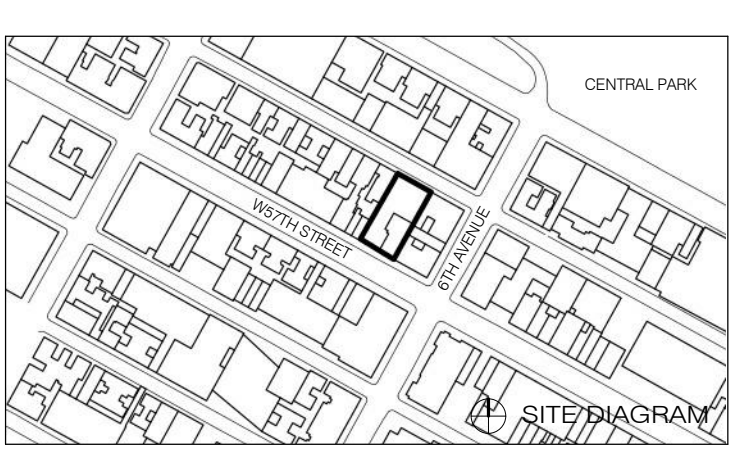


PROPERTY MARKETS GROUP
110 WEST 57TH STREET AND FLOOR
NEW YORK, NY 10019
TEL: 212.693.8000

DOB PAA

Shauqat Shaikh
Buildings Department
APPROVED
Under Directive 2 of 1995
DATE: 08/25/2015
NYC Development Hub

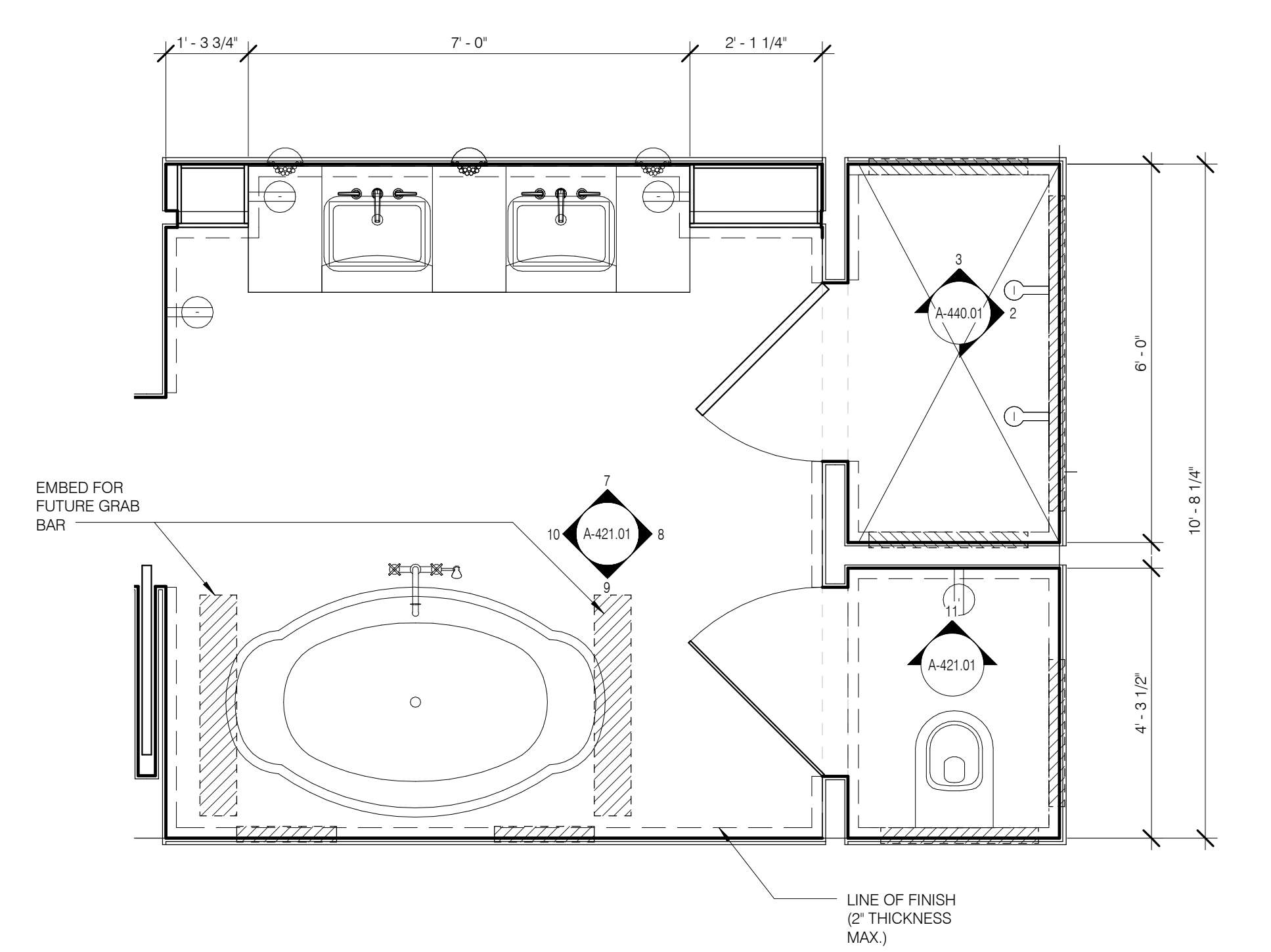
111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



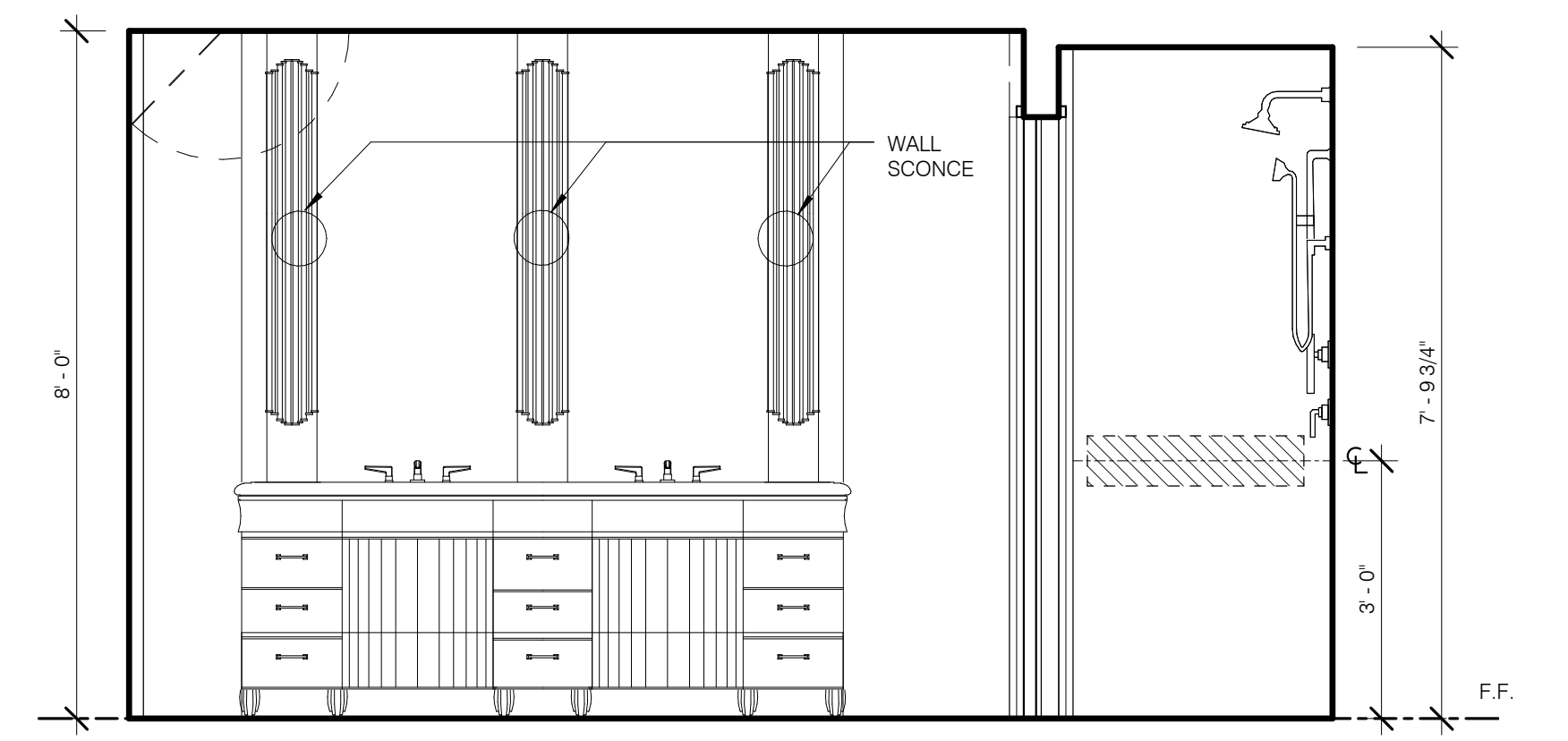
1	3/27/15	DOB PAA
	5/1/14	DOB PLUMB SET
NO.	DATE	REVISION

BATHROOMS - STEINWAY ENLARGED PLANS AND ELEVATIONS

DATE: 9/27/15
PROJECT NO: 130007
DRAWN BY: SHAP
CHECKED BY: SHAP
DOB NO: 121932066
DRAWING NUMBER: A-421.01

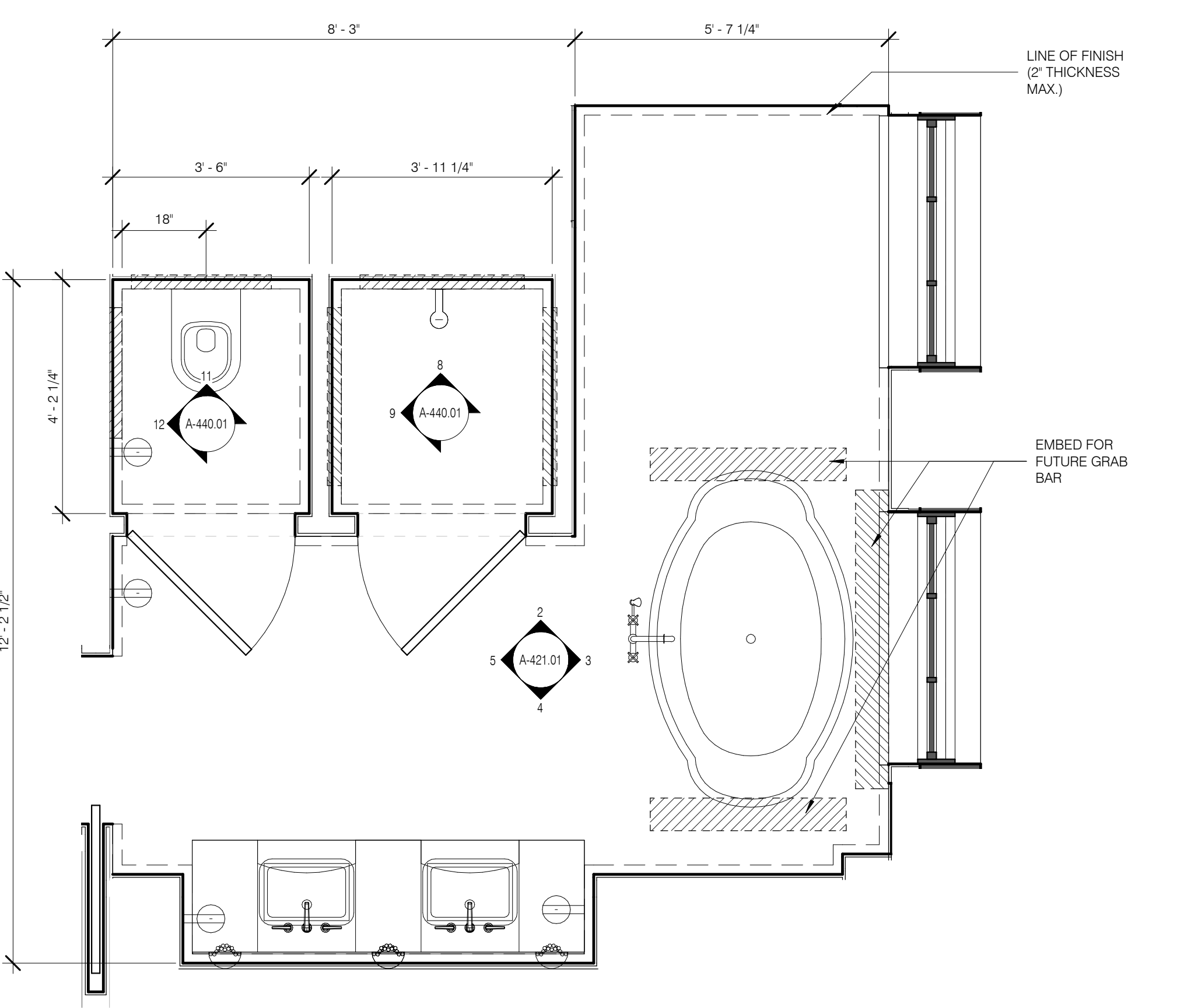


SMB-2 MASTER BATH S 1/2" = 1'-0" 9

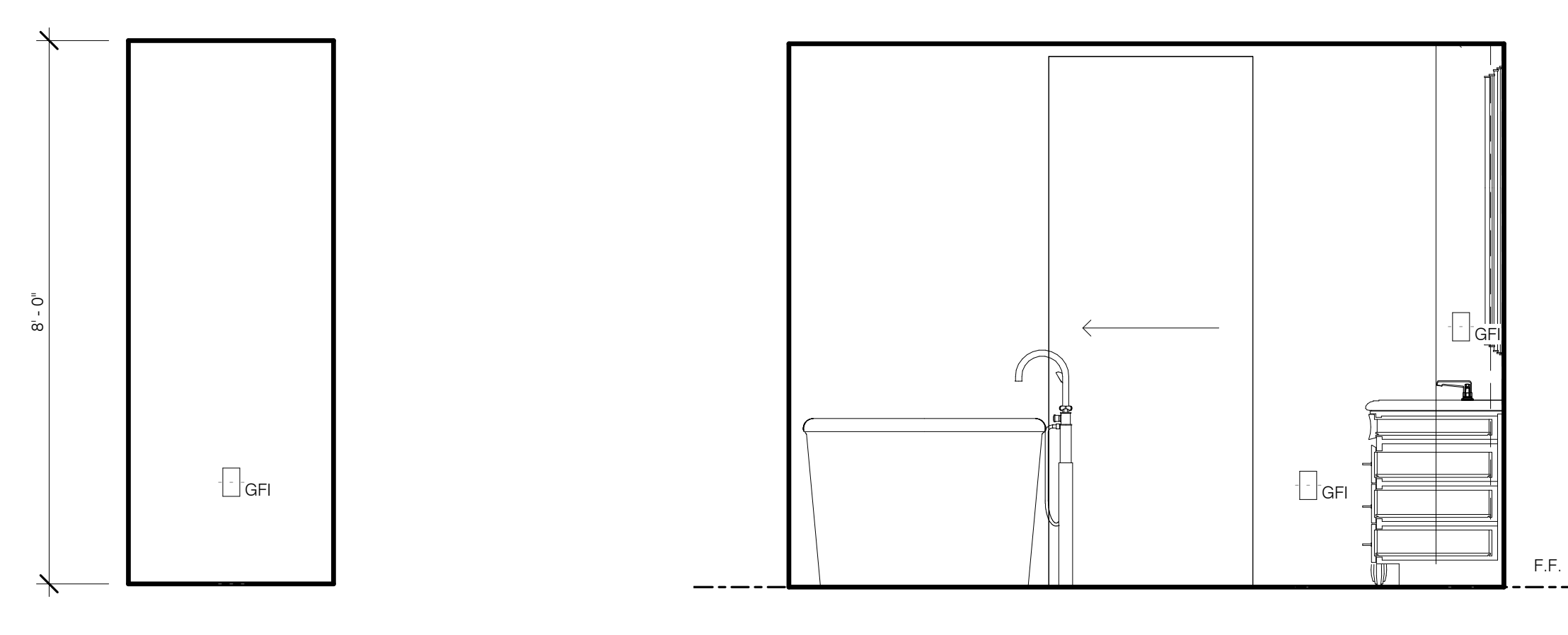


SMB-2 MASTER BATH N 1/2" = 1'-0" 7

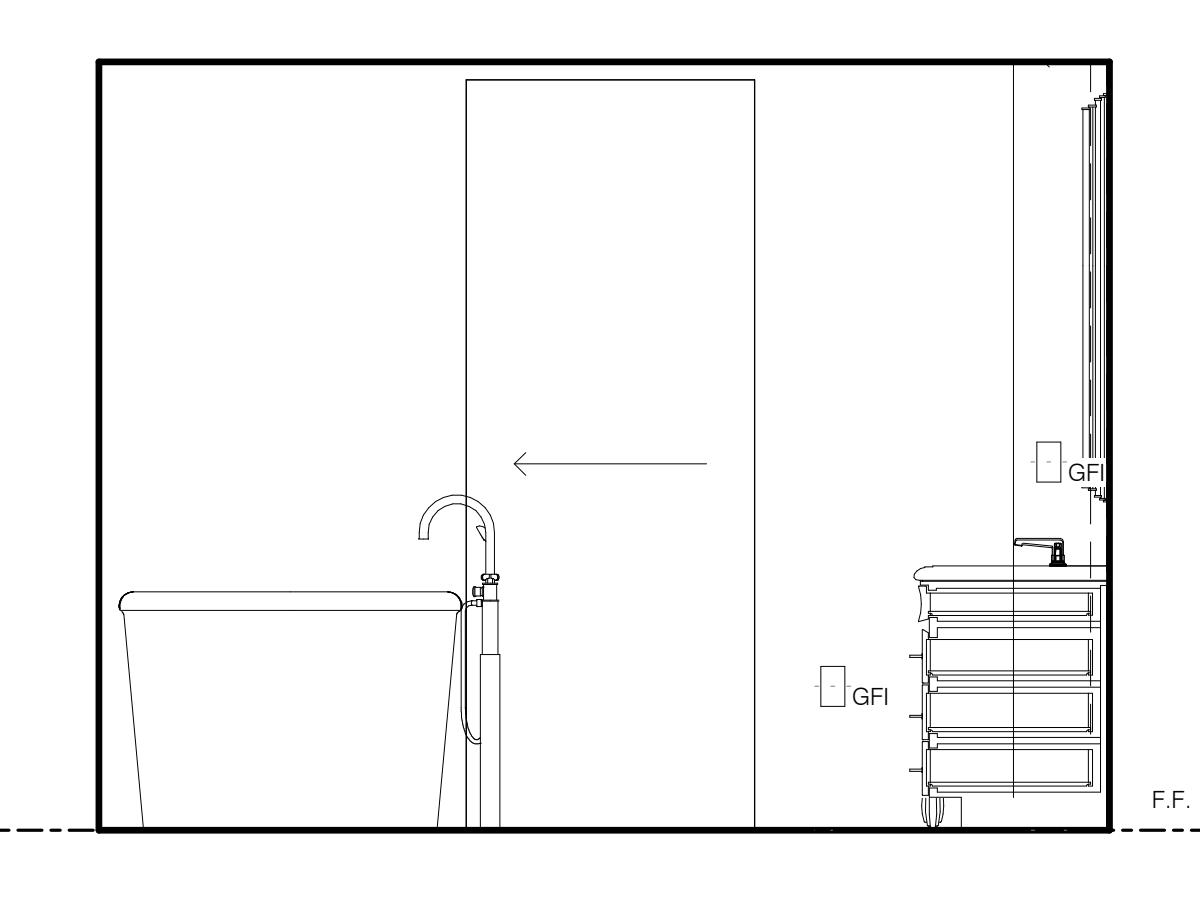
SMB-2 MASTER BATH (TYP.) 1/2" = 1'-0" 6



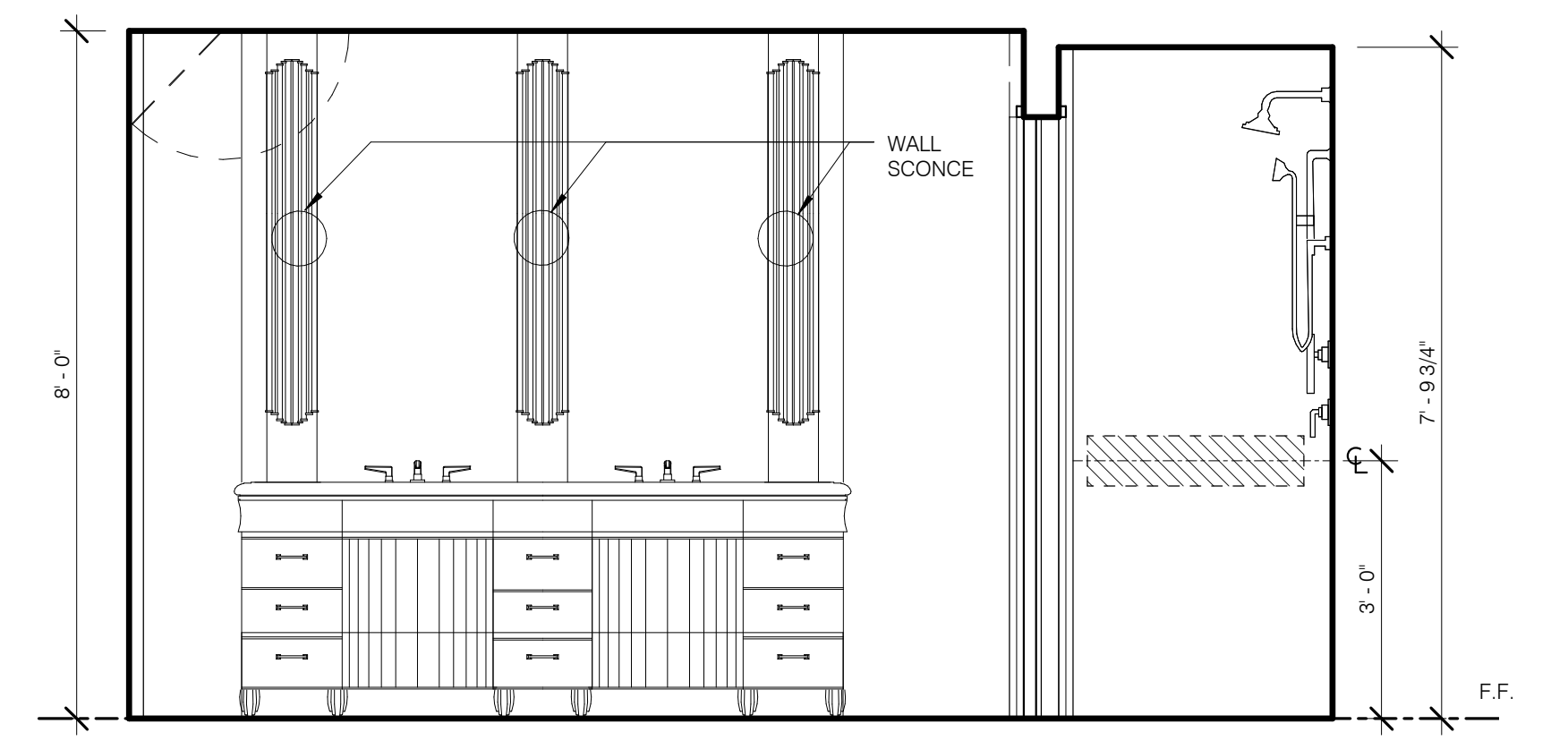
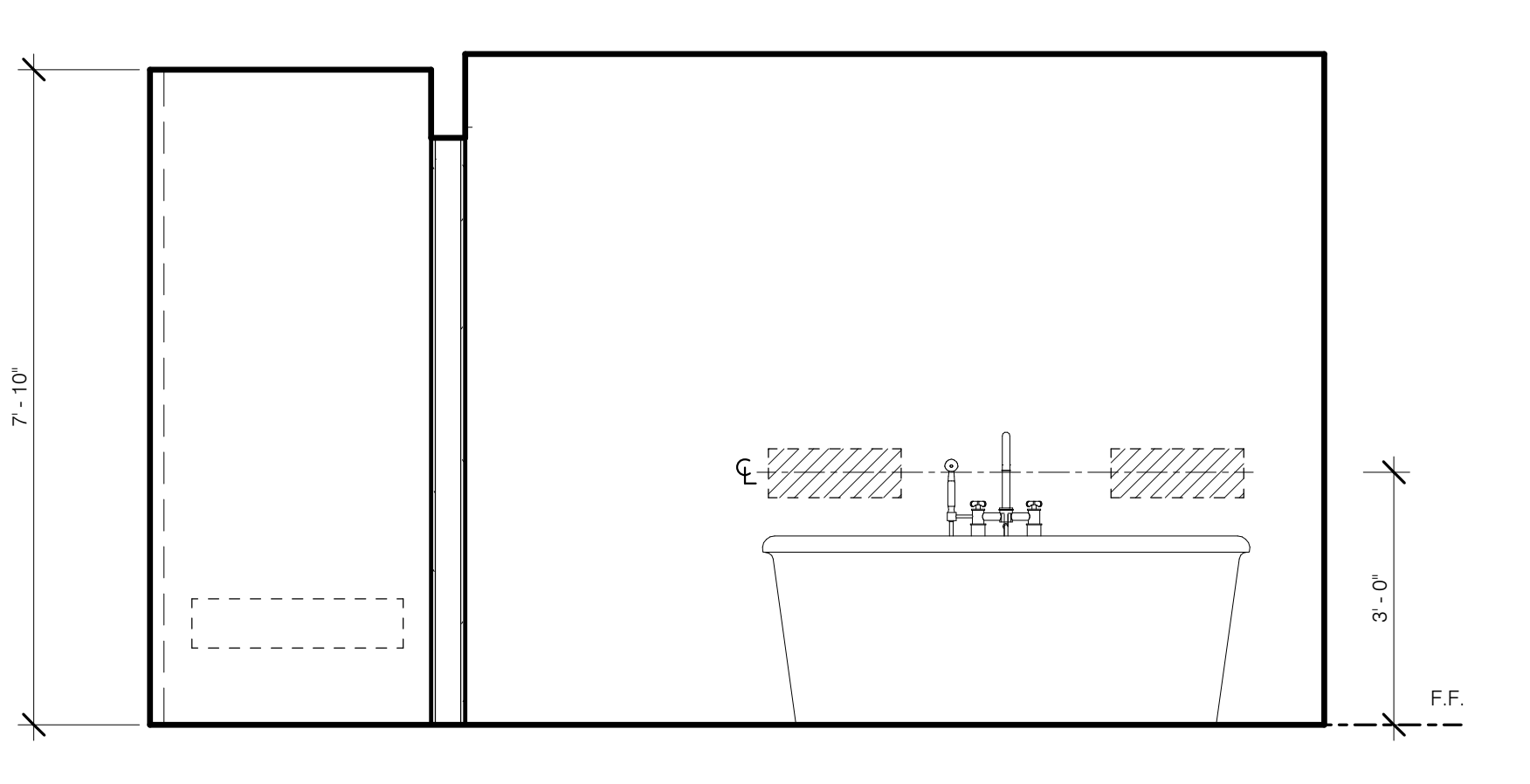
SMB-2 MASTER BATH (TYP.) 1/2" = 1'-0" 1



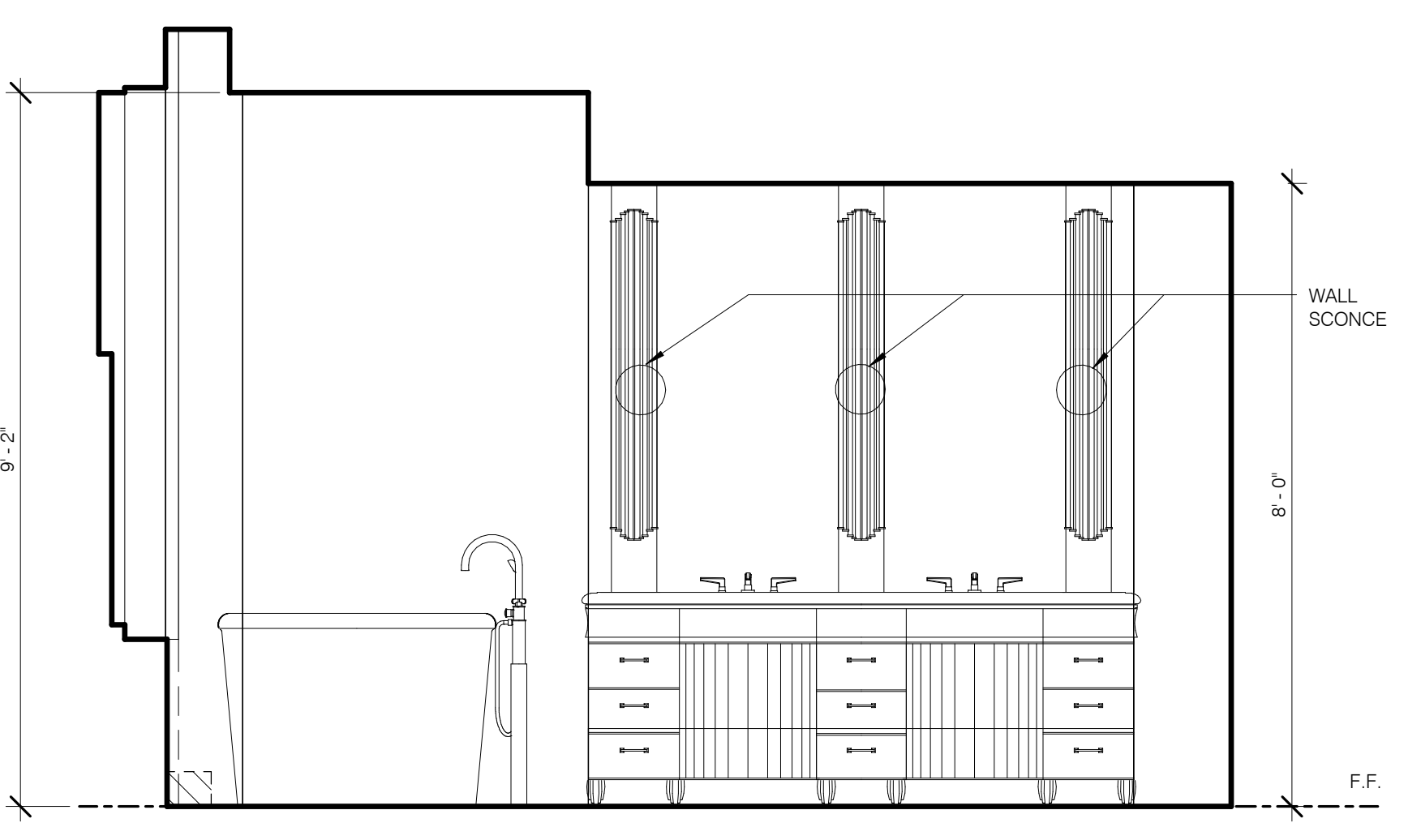
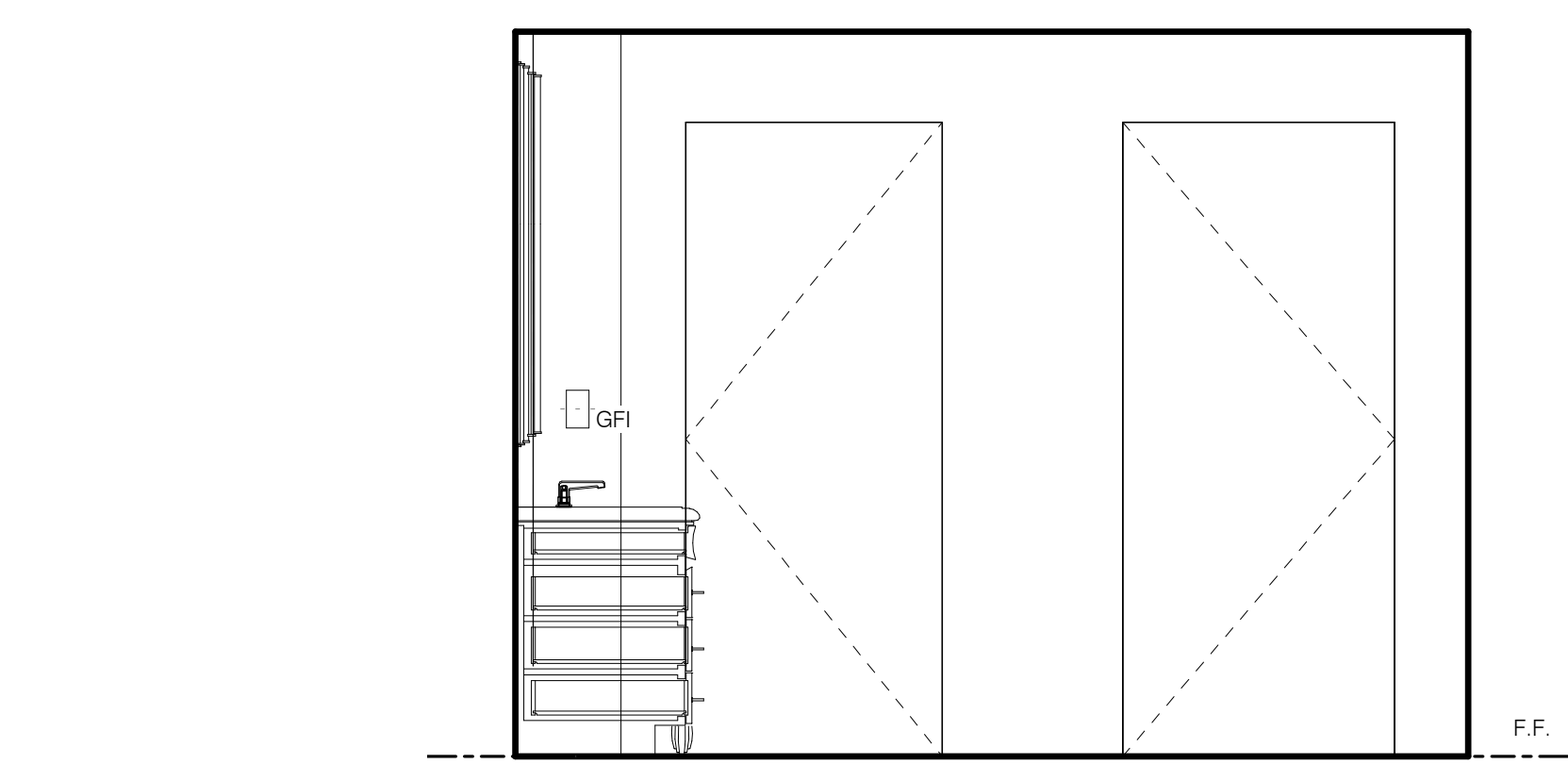
SMB-2 MASTER BATH N1 1/2" = 1'-0" 11



SMB-2 MASTER BATH W 1/2" = 1'-0" 10

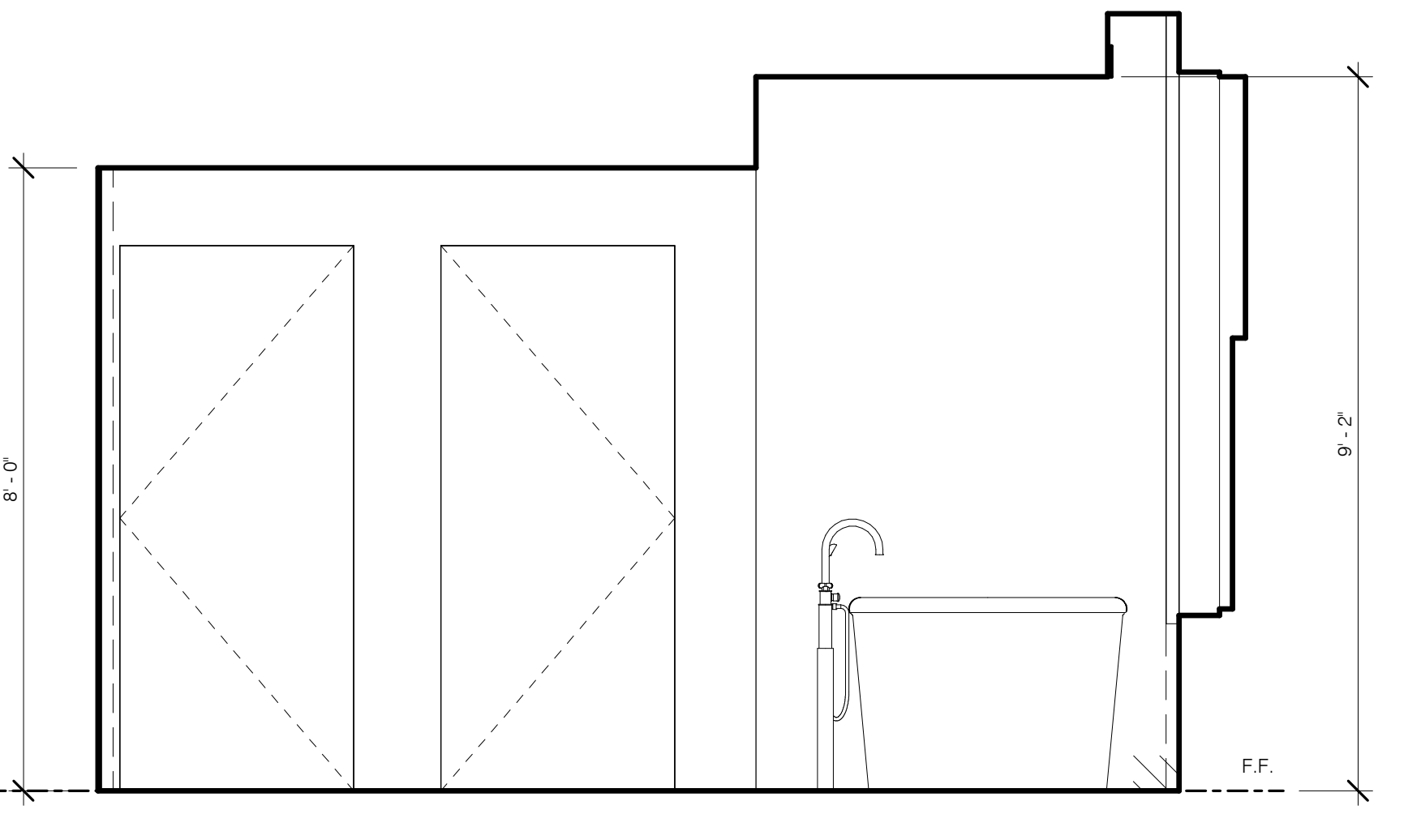
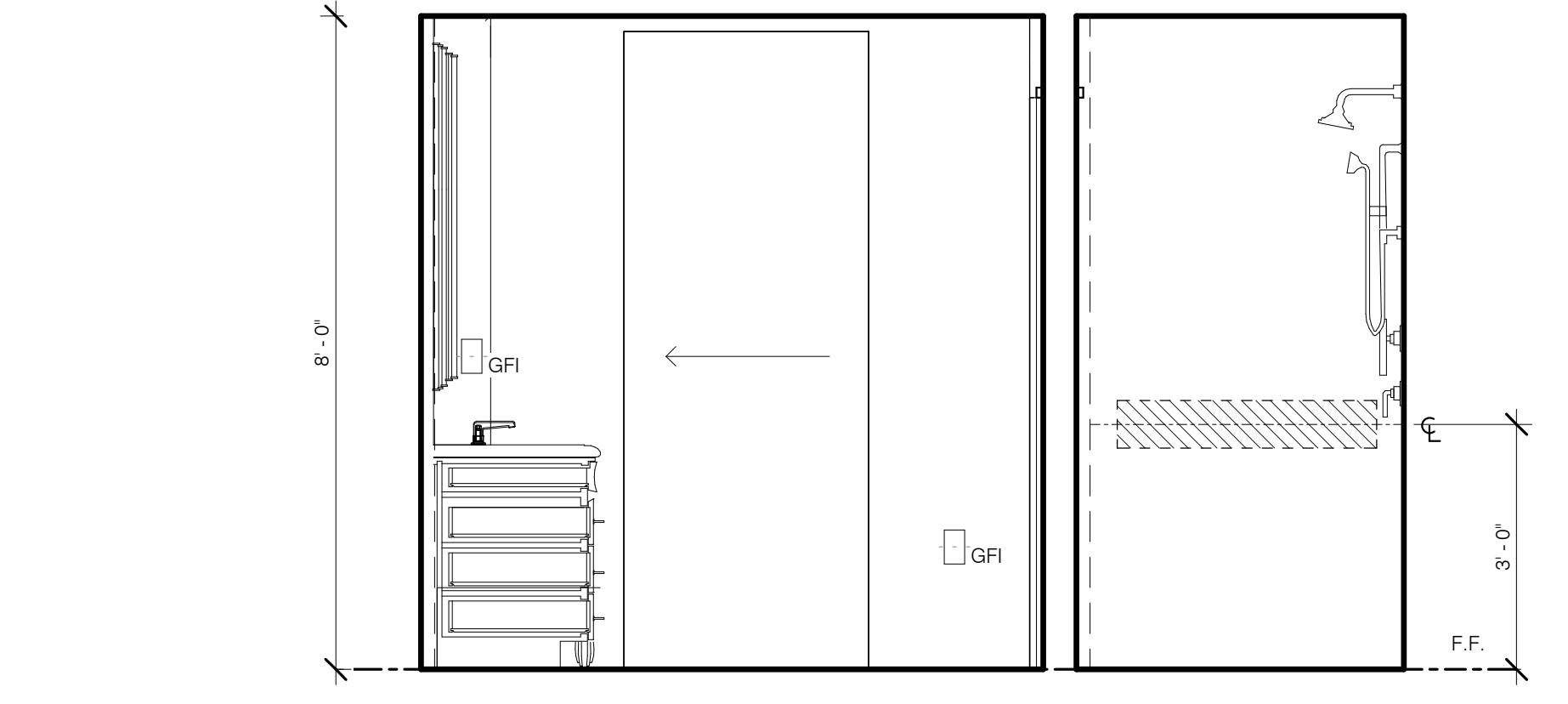


SMB-2 MASTER BATH E 1/2" = 1'-0" 8

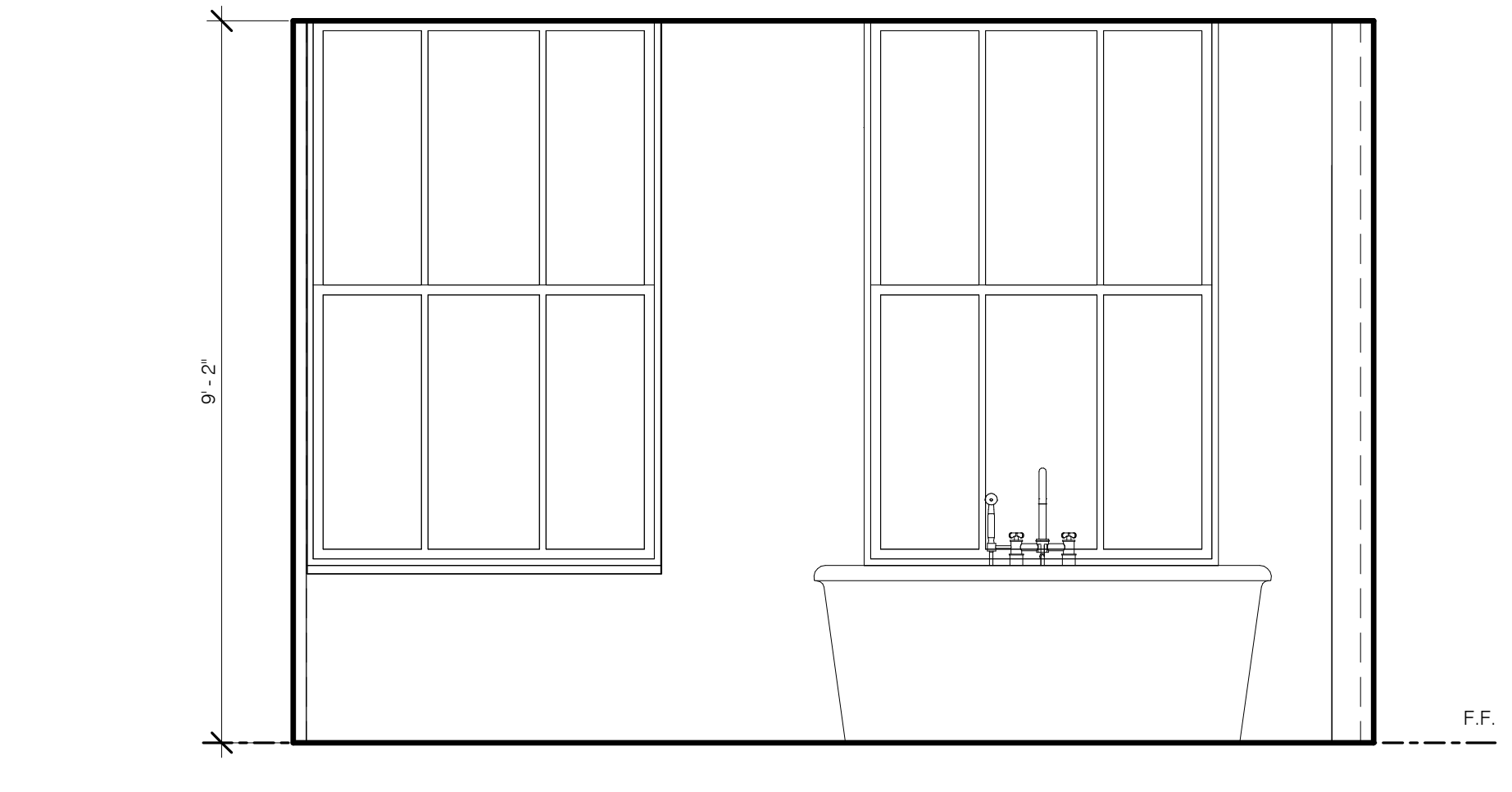


SMB-1 MASTER BATH S 1/2" = 1'-0" 4

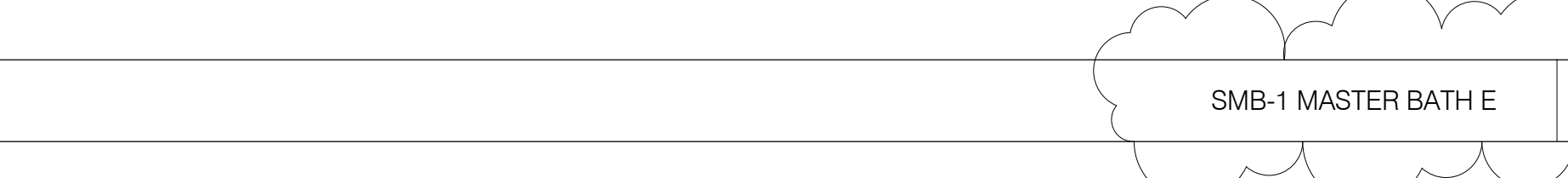
SMB-1 MASTER BATH W 1/2" = 1'-0" 5



SMB-1 MASTER BATH N 1/2" = 1'-0" 2



SMB-1 MASTER BATH E 1/2" = 1'-0" 3



SMB-1 MASTER BATH (TYP.) 1/2" = 1'-0" 1

FOR ALL BATHROOM MILLWORK SEE INTERIOR DESIGN PACKAGE

ARCHITECT
 SHIP ARCHITECTS P.C.
 350 W. 42ND STREET, 11TH FLOOR
 NEW YORK, NY 10018
 TEL: 212.512.0222

STRUCTURAL ENGINEER
 VSP CONSULTING
 100 W. 42ND STREET, SUITE 204
 NEW YORK, NY 10018
 TEL: 212.512.0222

M/E/P ENGINEER
 JORDS BAUM & BOLLES
 300 WEST 57TH STREET, 4TH FLOOR
 NEW YORK, NY 10019
 TEL: 212.512.0222

MECHANICAL ENGINEER
 JORDS BAUM & BOLLES
 300 WEST 57TH STREET, 4TH FLOOR
 NEW YORK, NY 10019
 TEL: 212.512.0222

ACoustics
 LONCHAMAIN DESIGN
 100 W. 42ND STREET, 11TH FLOOR
 NEW YORK, NY 10018
 TEL: 212.512.0222

INTERIORS
 STUDIO SCHEIDT
 100 W. 42ND STREET, 11TH FLOOR EAST
 NEW YORK, NY 10018
 TEL: 212.512.0222

PROPERTY MARKETS GROUP
 140 W. 42ND STREET, 11TH FLOOR
 NEW YORK, NY 10018
 TEL: 212.512.0222

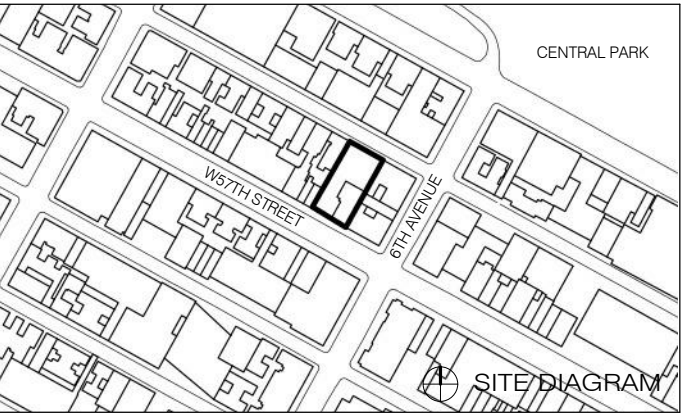
CURRENT ISSUE



DOB PAA

Shauqat Shaikh
 Building
 APPROVED
 Under Directive 2 of 2015
 DATED 08/25/2015
 NYC Development Hub

111 WEST 57TH STREET
 111 WEST 57TH STREET
 NEW YORK, NY 10019

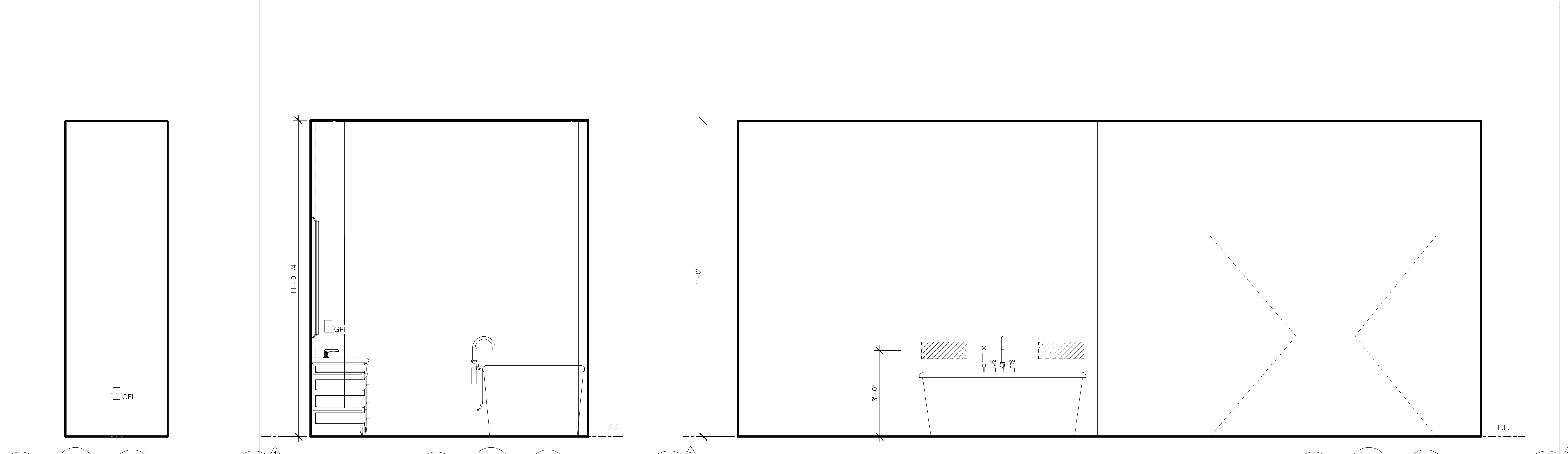
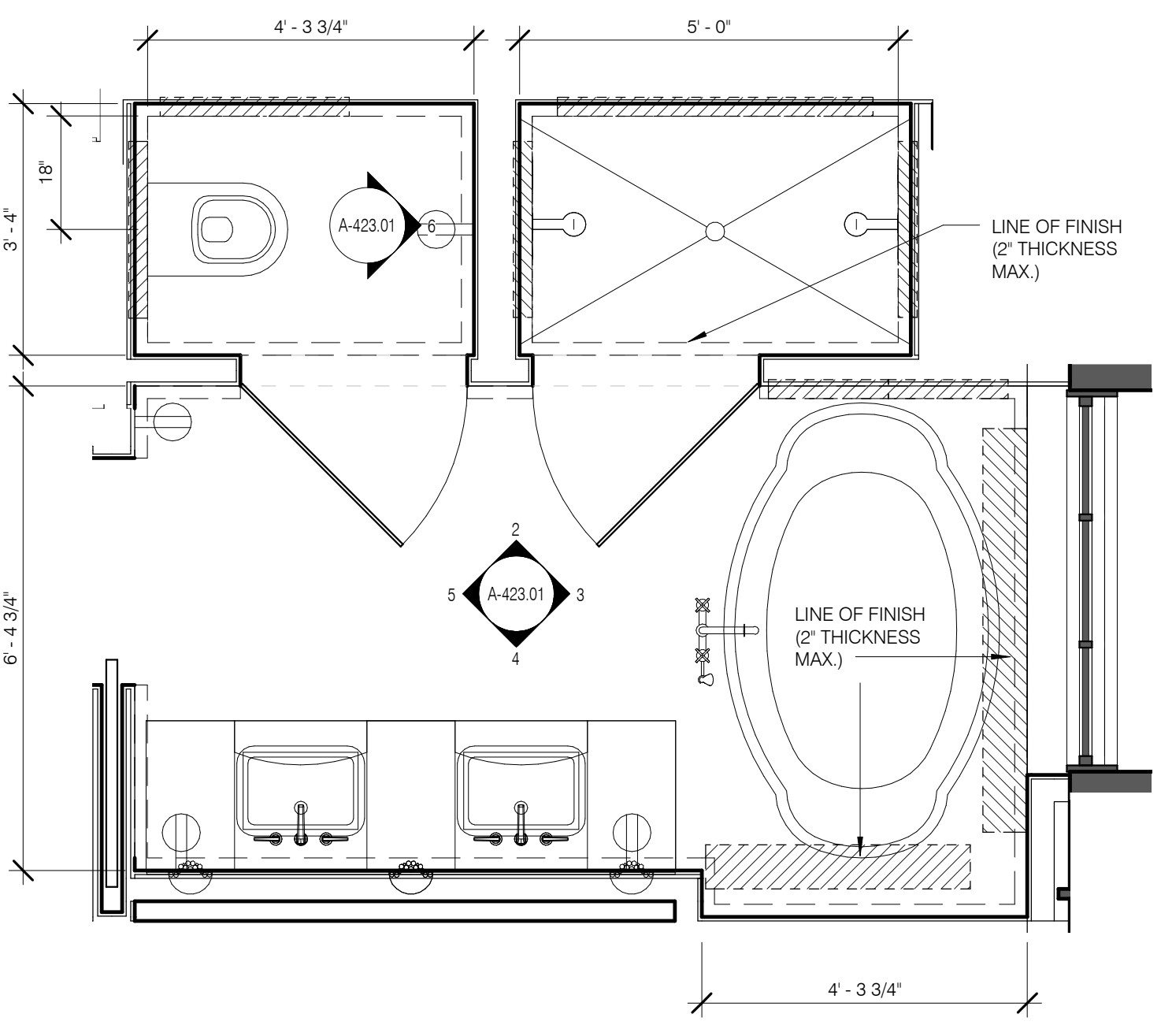
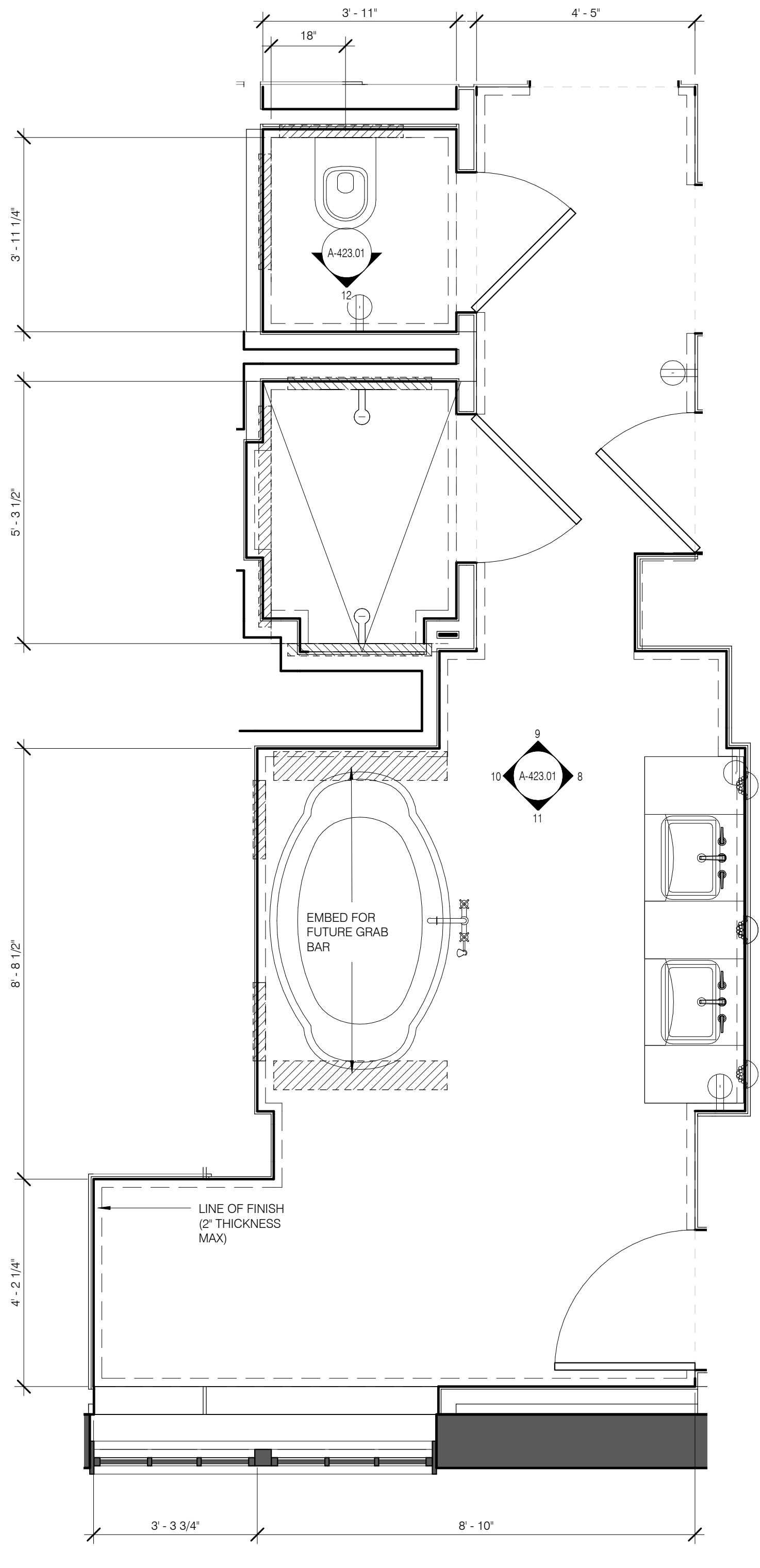


NO.	DATE	REVISION
1	3.27.15	DOB PAA

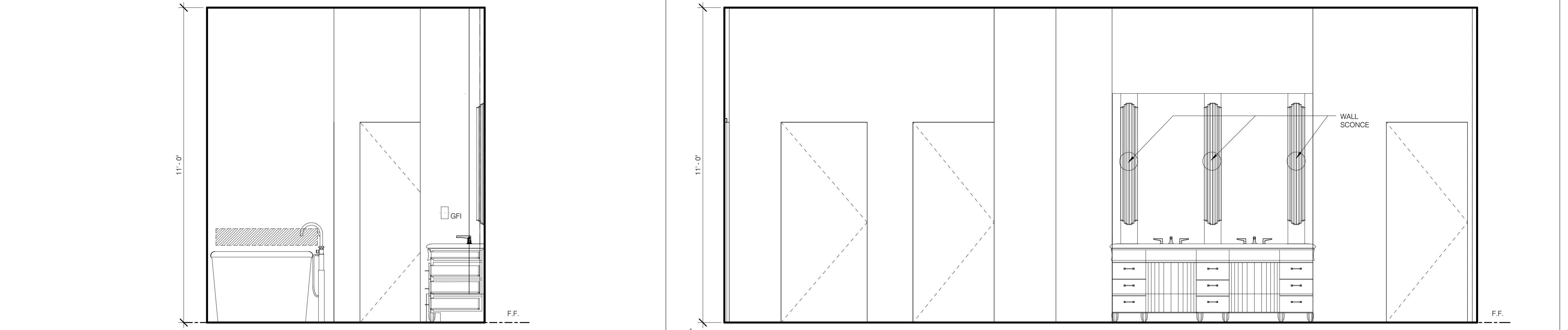
BATHROOMS - STEINWAY ENLARGED PLANS AND ELEVATIONS

DATE: 3.27.15
 PROJECT NO: 180707
 DRAWN BY: SHP
 CHECKED BY: SHP
 DATE: 08/25/2015
 DOB NO: 121832068
 DRAWING NUMBER: A-423.01

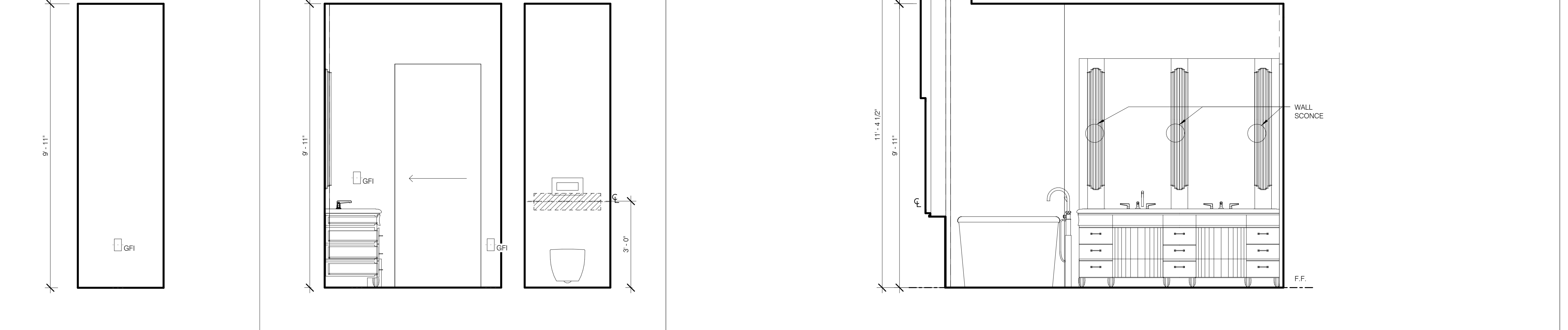
Unit Type	Level	Number	Name
	LEVEL 5	0506A	MECHANICAL
	LEVEL 9	0633	MECH
05A	LEVEL 9	0901.C	KITCHEN (SK1)
05A	LEVEL 9	0901.N	MASTER BATH (SMB1)
05A	LEVEL 9	0901.J	BATH 1 (SB3)
05A	LEVEL 9	0901.M	TYPE A BATH (SB1)
05A	LEVEL 9	0901.G	PR (SP1)
05A	LEVEL 9	0901.E	BATH 2 (SB4)
09B	LEVEL 9	0902.E	BATH (SB7)
09B	LEVEL 9	0902.B	KITCHEN (SK8)
09C	LEVEL 9	0903.D	BATH (SB7)
09C	LEVEL 9	0903.B	KITCHEN (SK9)
09D	LEVEL 9	0904.E	BATH (SB7)
09D	LEVEL 9	0904.B	KITCHEN (SK10)
09E	LEVEL 9	0905.C	BATH (SB7)
09E	LEVEL 9	0905.B	KITCHEN (SK11)
10A	LEVEL 10	1001.D	KITCHEN (SK1)
10A	LEVEL 10	1001.V	MASTER BATH (SMB1)
10A	LEVEL 10	1001.W	BATH 1 (SB3)
10A	LEVEL 10	1001.X	TYPE A BATH (SB1)
10A	LEVEL 10	1001.Y	PR (SP1)
10A	LEVEL 10	1001.D	BATH 2 (SB4)
10B	LEVEL 10	1002.Q	MASTER BATH (SMB2)
10B	LEVEL 10	1002.H	TYPE A BATH (SB1)
10B	LEVEL 10	1002.L	BATH 2 (SB3)
10B	LEVEL 10	1002.B	PR (SP3)
10B	LEVEL 10	1002.C	KITCHEN (SK2)
11A	LEVEL 11	1101.N	MASTER BATH (SMB1)
11A	LEVEL 11	1101.J	TYPE A BATH (SB1)
11A	LEVEL 11	1101.G	PR (SP1)
11A	LEVEL 11	1101.M	BATH 1 (SB6)
11A	LEVEL 11	1101.C	KITCHEN (SK3)
11A	LEVEL 11	1101.E	BATH 2 (SB4)
11B	LEVEL 11	1102.Q	MASTER BATH (SMB2)
11B	LEVEL 11	1102.H	TYPE A BATH (SB1)
11B	LEVEL 11	1102.J	PR (SP1)
11B	LEVEL 11	1102.C	KITCHEN (SK2)
11B	LEVEL 11	1102.B	PR (SP3)
13A	LEVEL 13	1301.N	MASTER BATH (SMB3)
13A	LEVEL 13	1301.C	KITCHEN (SK4)
13A	LEVEL 13	1301.L	BATH 2 (SB2)
13A	LEVEL 13	1301.H	TYPE A BATH (SB1)
13A	LEVEL 13	1301.E	PR (SP2)
13B	LEVEL 13	1302.G	MASTER BATH (SMB4)
13B	LEVEL 13	1302.F	TYPE A BATH (SB1)
13B	LEVEL 13	1302.B	PR (SP3)
13B	LEVEL 13	1302.C	KITCHEN (SK5)
14A	LEVEL 14	1401.C	MASTER BATH (SMB5)
14A	LEVEL 14	1401.H	KITCHEN (SK6)
14A	LEVEL 14	1401.E	TYPE A BATH (SB1)
14A	LEVEL 14	1401.U	BATH 2 (SB5)
14A	LEVEL 14	1401.M	PR (SP2)
14B	LEVEL 14	1402.K	MASTER BATH (SMB4)
14B	LEVEL 14	1402.H	TYPE A BATH (SB1)
14B	LEVEL 14	1402.B	PR (SP3)
14B	LEVEL 14	1402.Z	KITCHEN (SK5)
16PH	LEVEL 16.0	1601.B	PR (SP3)
16PH	LEVEL 16.0	1601.M	BATH 2 (SB3)
16PH	LEVEL 16.0	1601.Q	TYPE A BATH (SB1)
16PH	LEVEL 16.0	1601.H	KITCHEN
16PH	LEVEL 16.0	1601.S	POWDER (SP3)
16PH	LEVEL 16.0	1601.V	BUTLER PANTRY
16PH	LEVEL 17.0	1702	MASTER BATH (SMB6)
NR2	LEVEL 5	0506.A	UNISEX WC (U-5A)
NR2	LEVEL 5	0506.C	UNISEX WC (U-5C)
NR2	LEVEL 5	0506.A	UNISEX WC (U-5B)
NR2	LEVEL 5	0506.D	UNISEX WC (U-5B)
RC	LEVEL 7	0720.A	WC (U-7C)
RC	LEVEL 7	0724	WC (U-7A)
RC	GROUND	0110	UNISEX WC (U-1A)
RC	LEVEL 7	0708	WC (U-7A)
RC	LEVEL 7	0709	WC(U-7A)
RC	LEVEL 7	0716.D	WC (U-7B)
RC	GROUND	0103.B	UNISEX WC (U-1B)
RC	LEVEL 7	0716.A	WC (U-7D)
RC	LEVEL 7	0716.C	WC (U-7A)



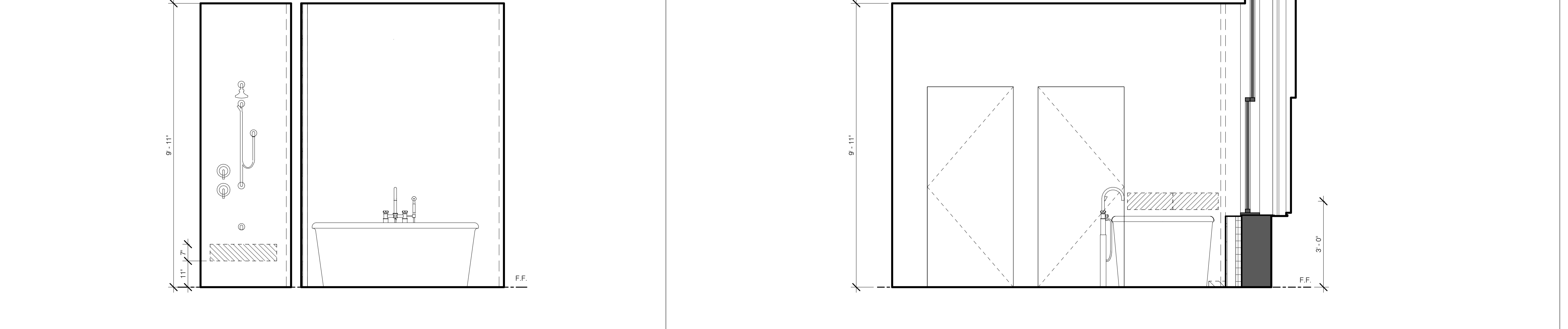
SMB-6 MASTER BATH S1 1/2" = 1'-0" 12
 SMB-6 MASTER BATH S 1/2" = 1'-0" 11
 SMB-6 MASTER BATH W 1/2" = 1'-0" 10



SMB-6 MASTER BATH N 1/2" = 1'-0" 9
 SMB-6 MASTER BATH E 1/2" = 1'-0" 8
 SMB-6 MASTER BATH 1/2" = 1'-0" 7

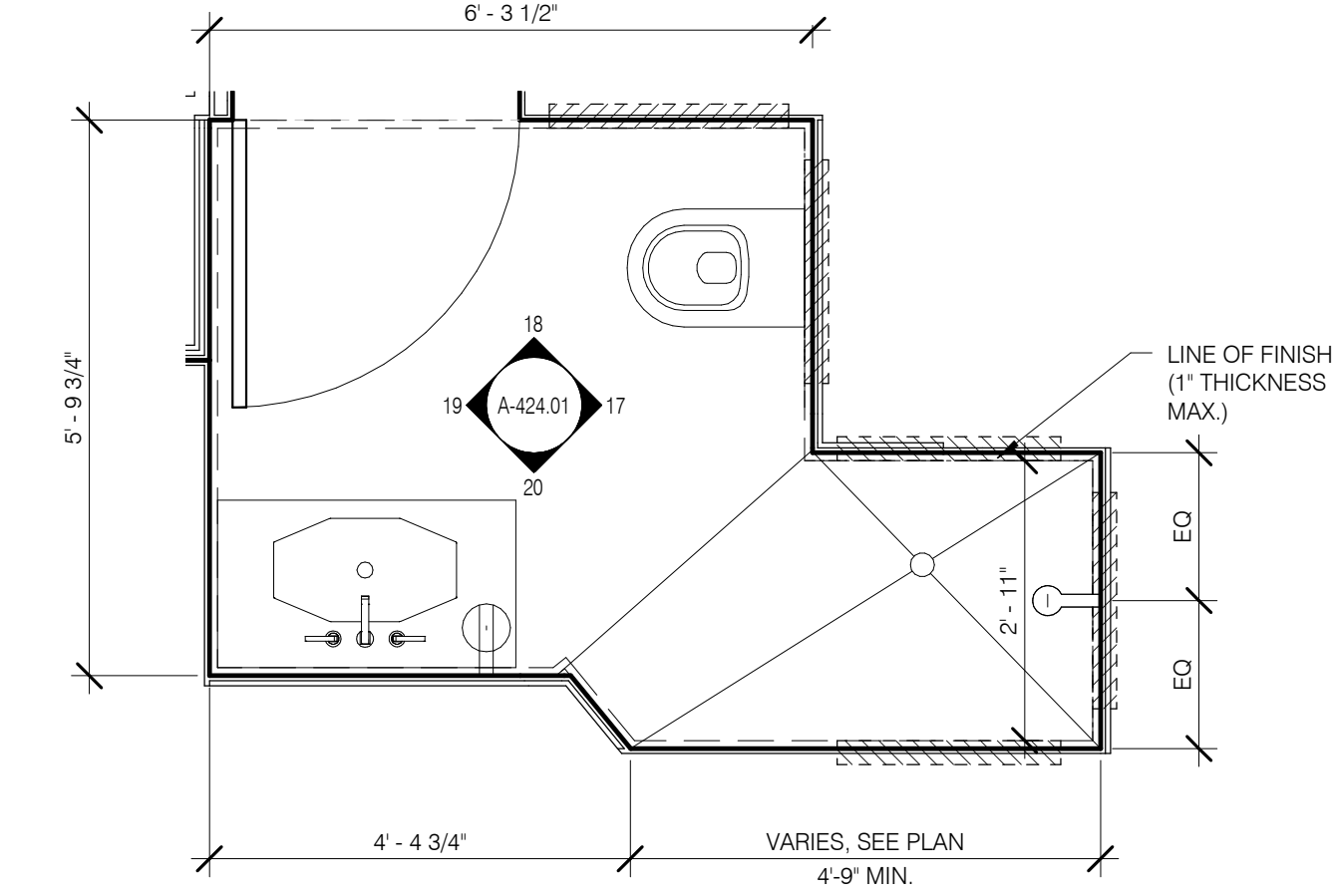
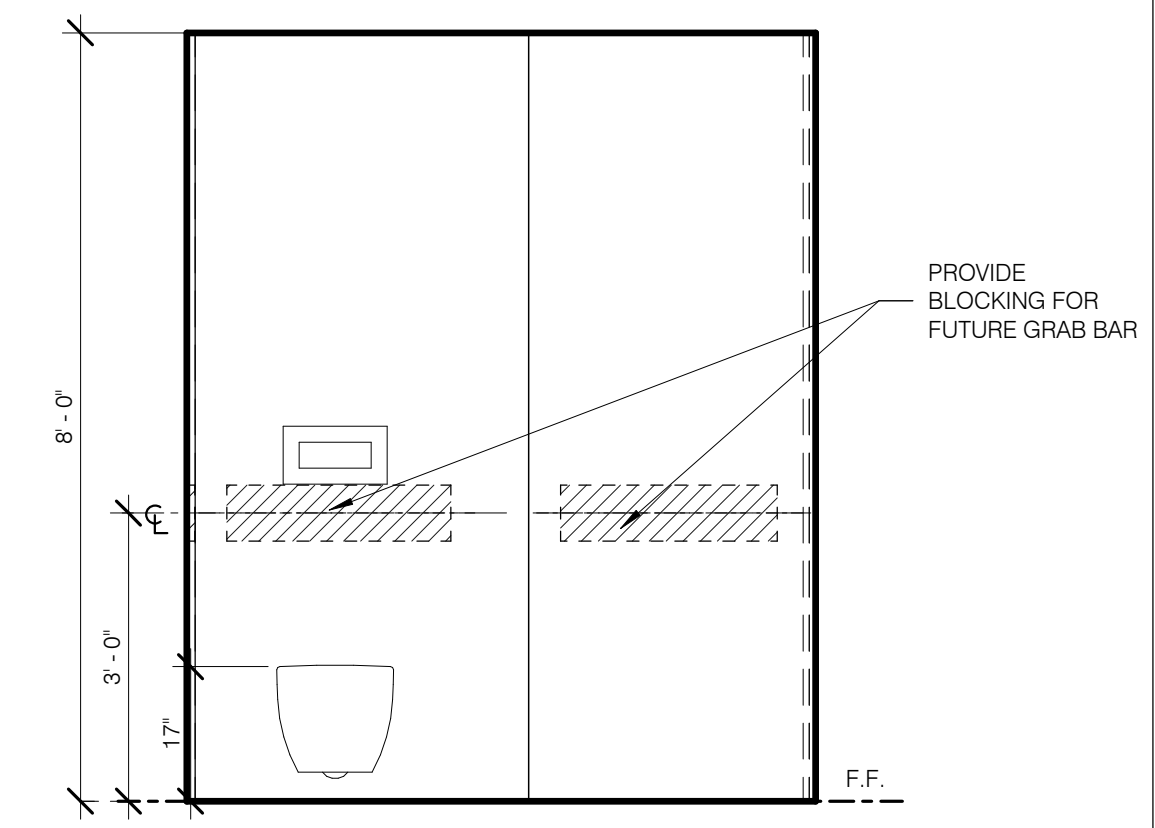
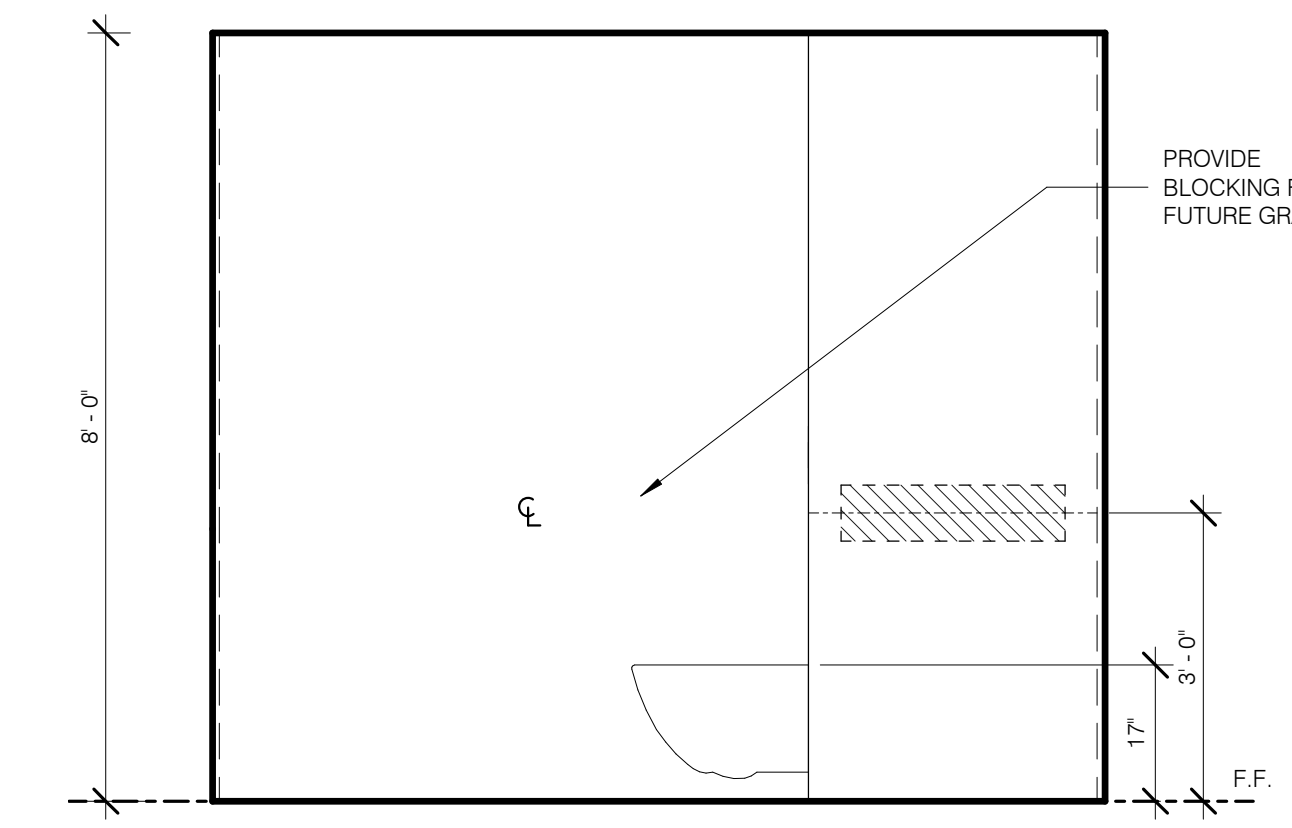
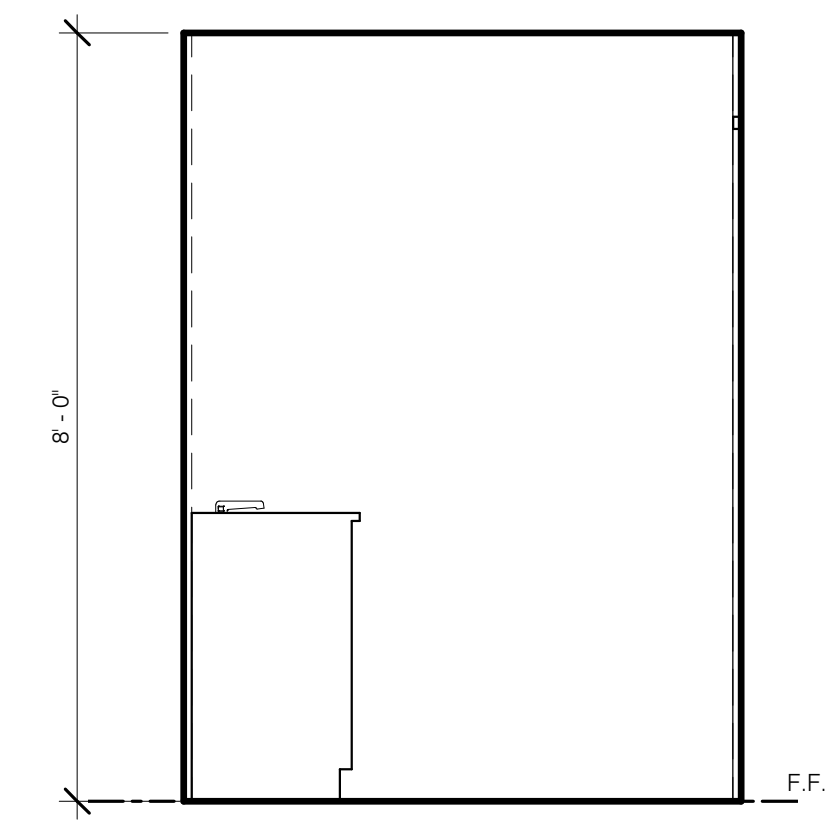
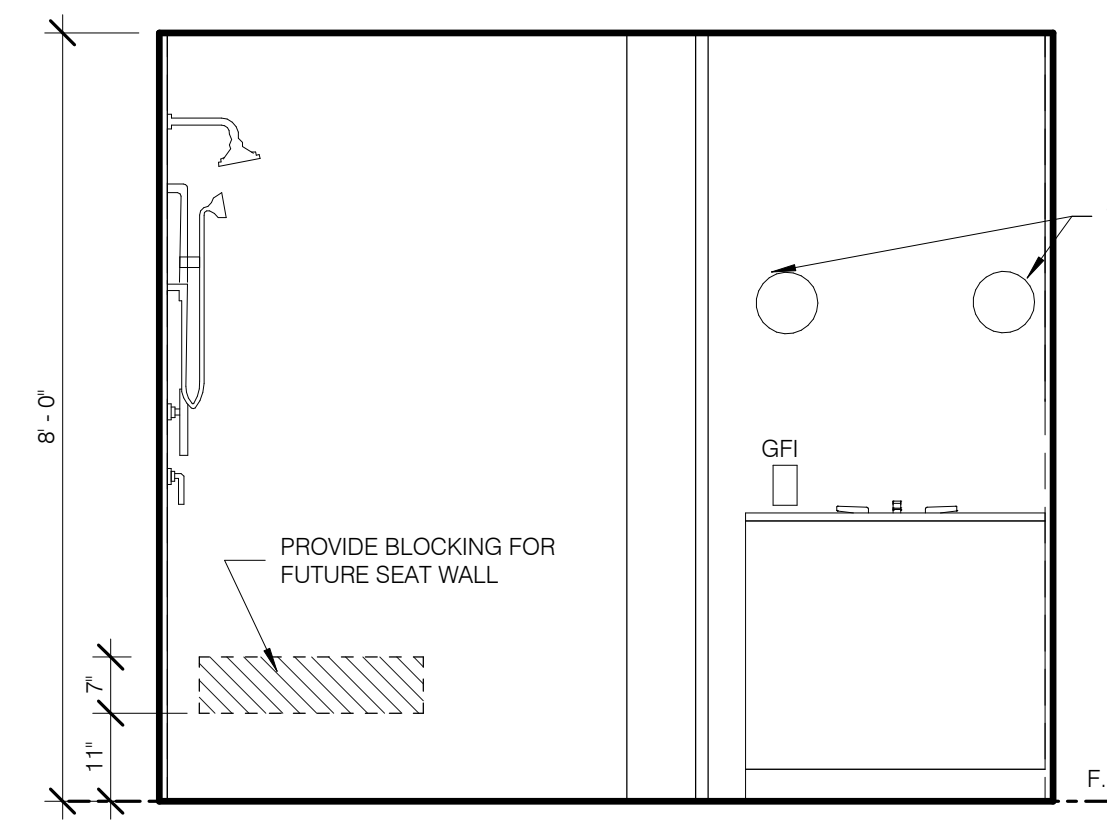


SMB-5 MASTER BATH E1 1/2" = 1'-0" 6
 SB-5 MASTER BATH W 1/2" = 1'-0" 5
 SMB-5 MASTER BATH S 1/2" = 1'-0" 4



SMB-5 MASTER BATH E 1/2" = 1'-0" 3
 SMB-5 MASTER BATH N 1/2" = 1'-0" 2
 SMB-5 MASTER BATH 1/2" = 1'-0" 1

FOR ALL BATHROOM MILLWORK SEE INTERIOR DESIGN PACKAGE



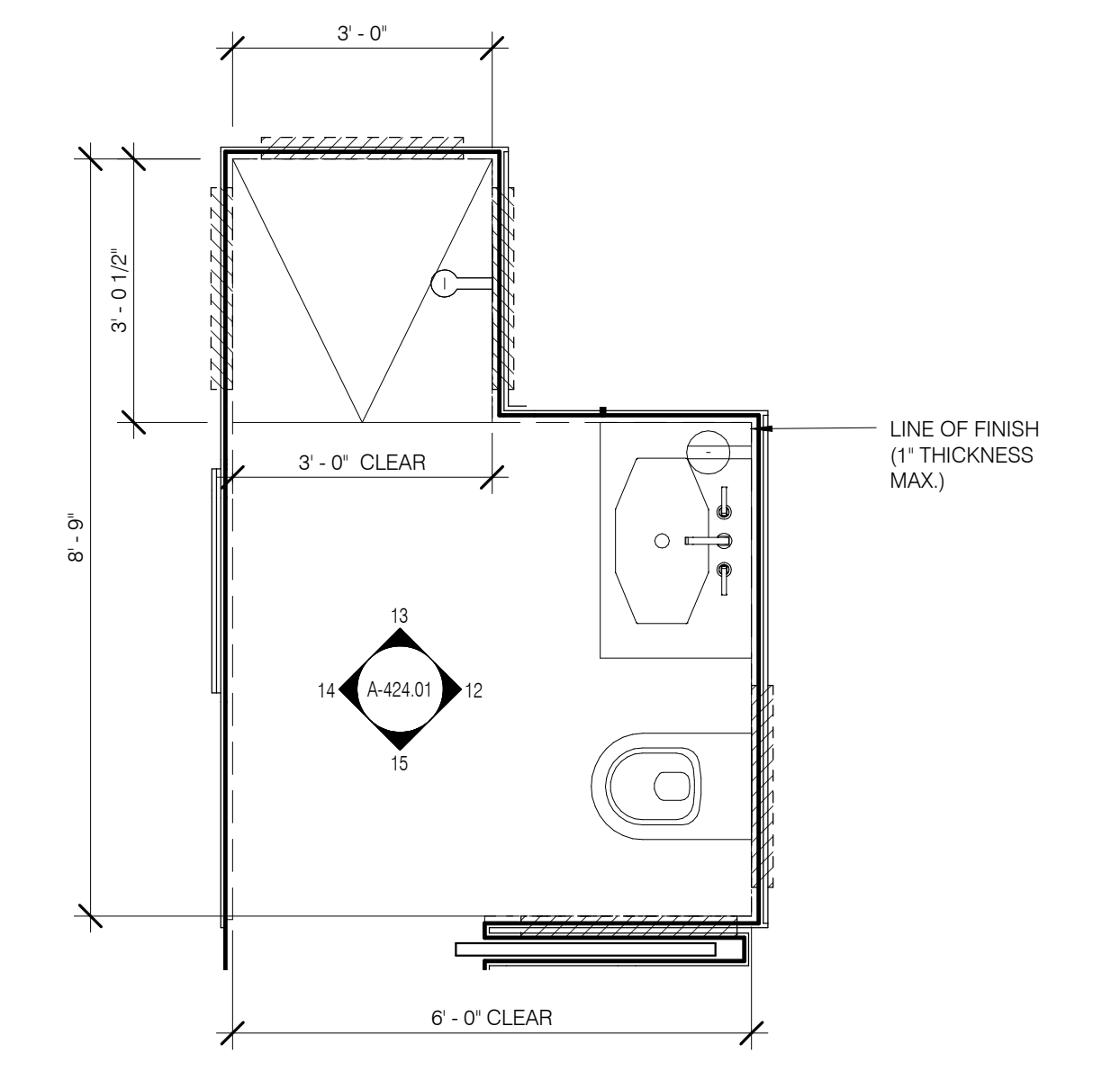
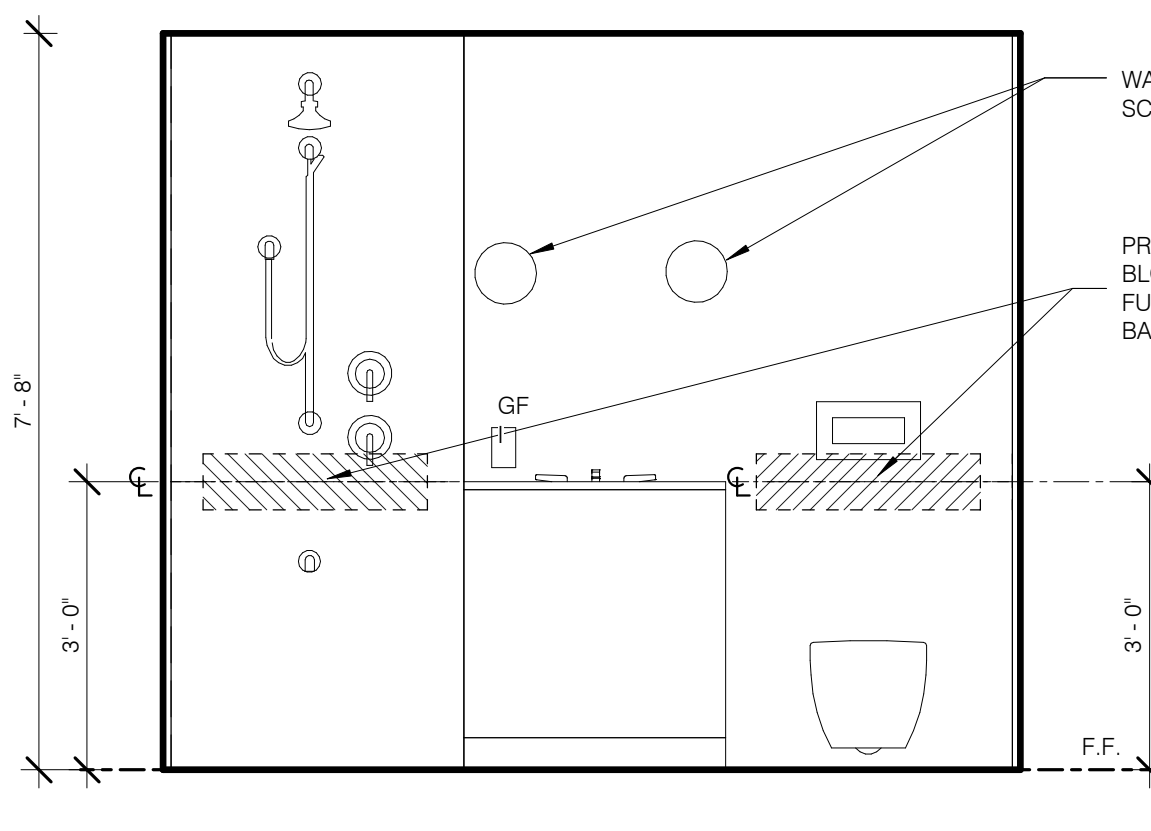
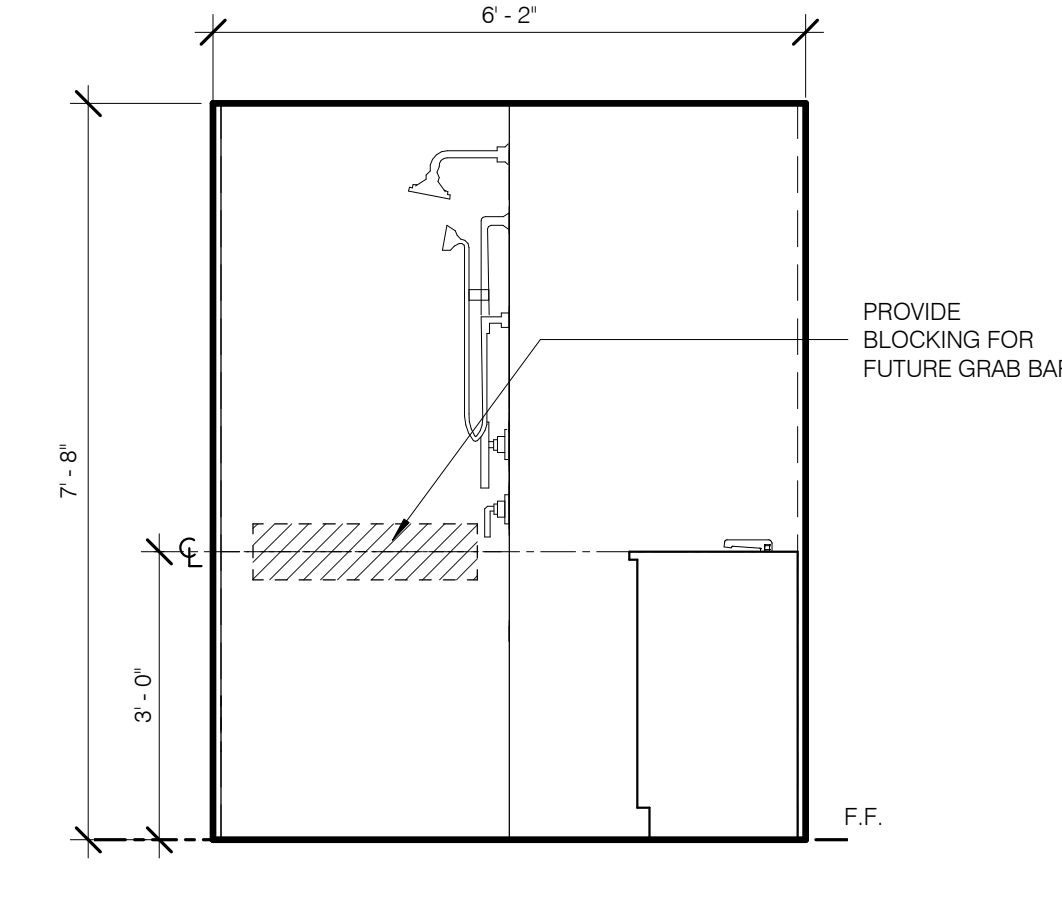
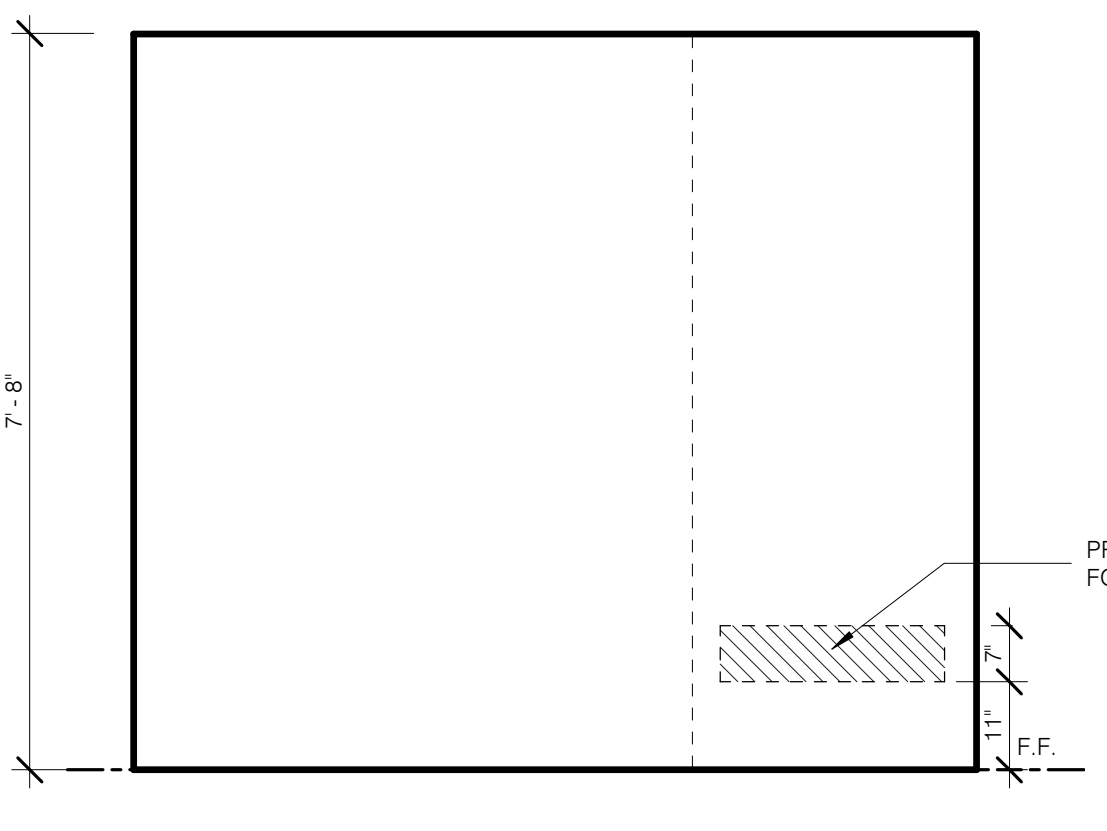
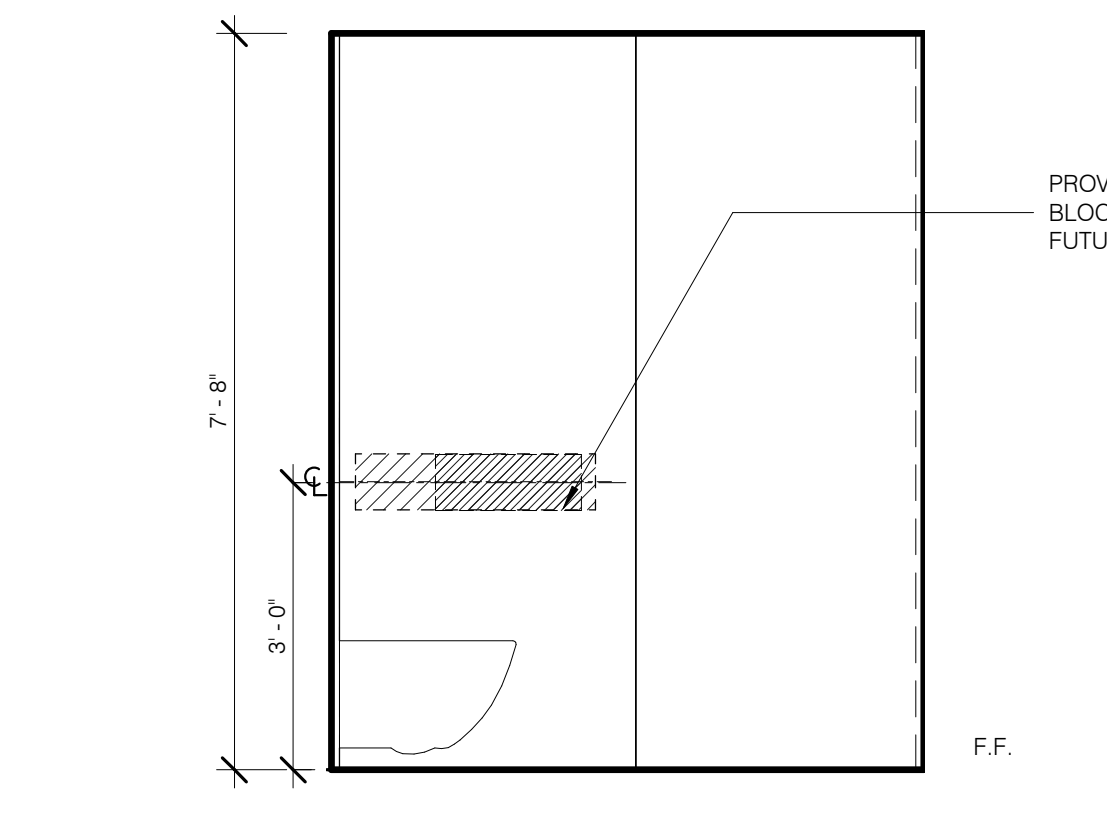
SB-4 BATH (TYP.) S 1/2" = 1'-0" 20

SB-4 BATH (TYP.) W 1/2" = 1'-0" 19

SB-4 BATH (TYP.) N 1/2" = 1'-0" 18

SB-4 BATH (TYP.) E 1/2" = 1'-0" 17

SB-4 BATH (TYP.) 1/2" = 1'-0" 16



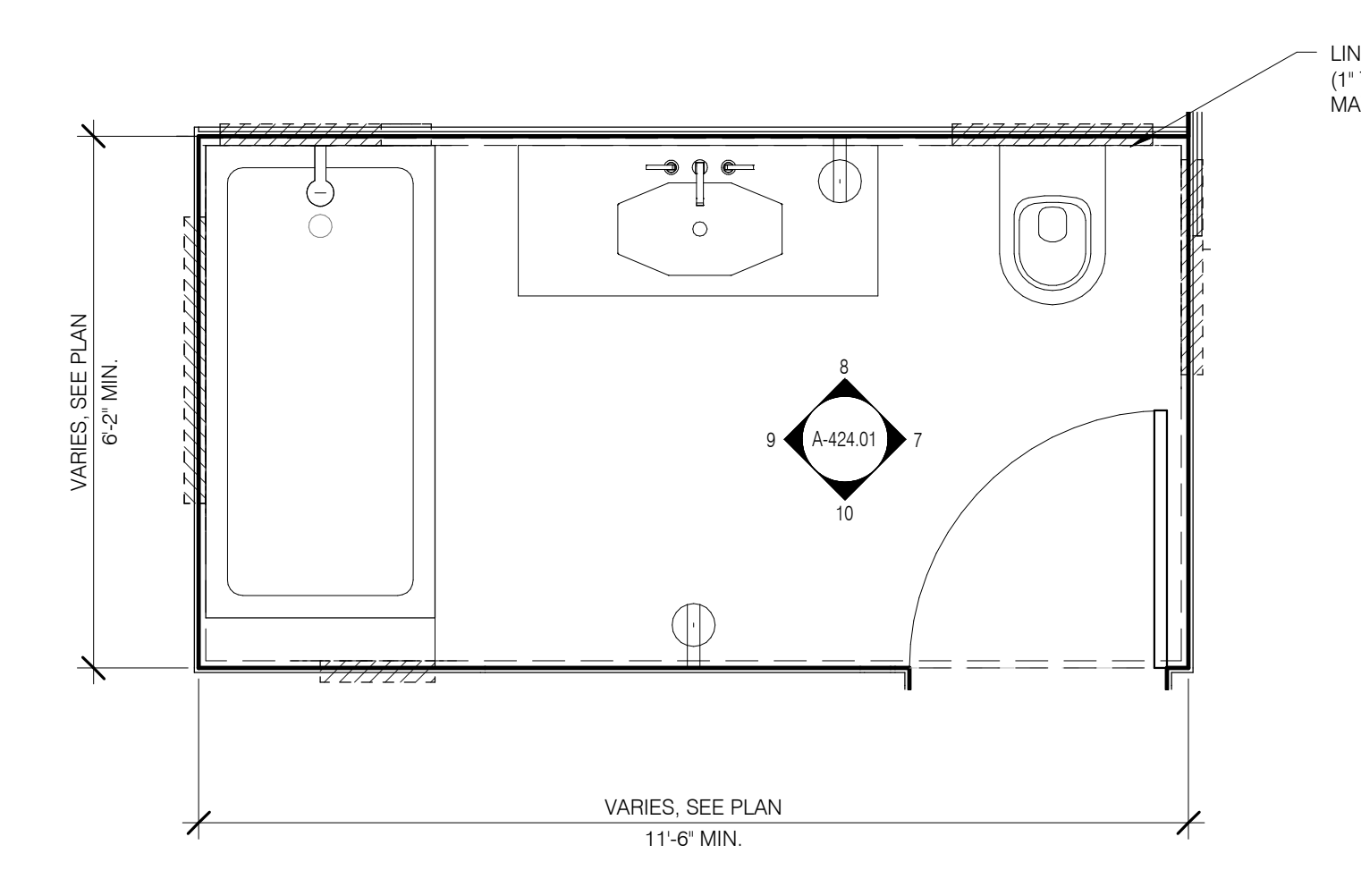
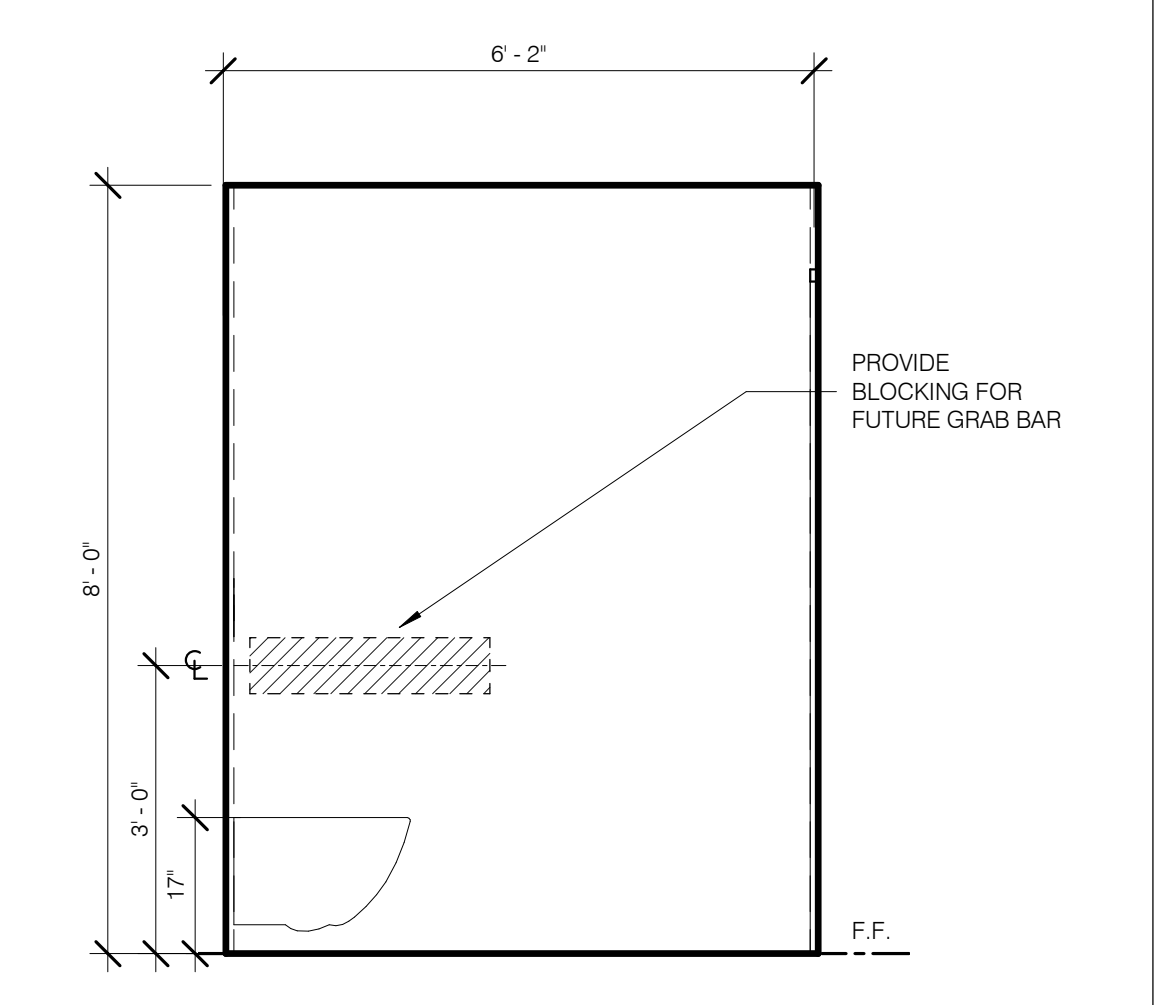
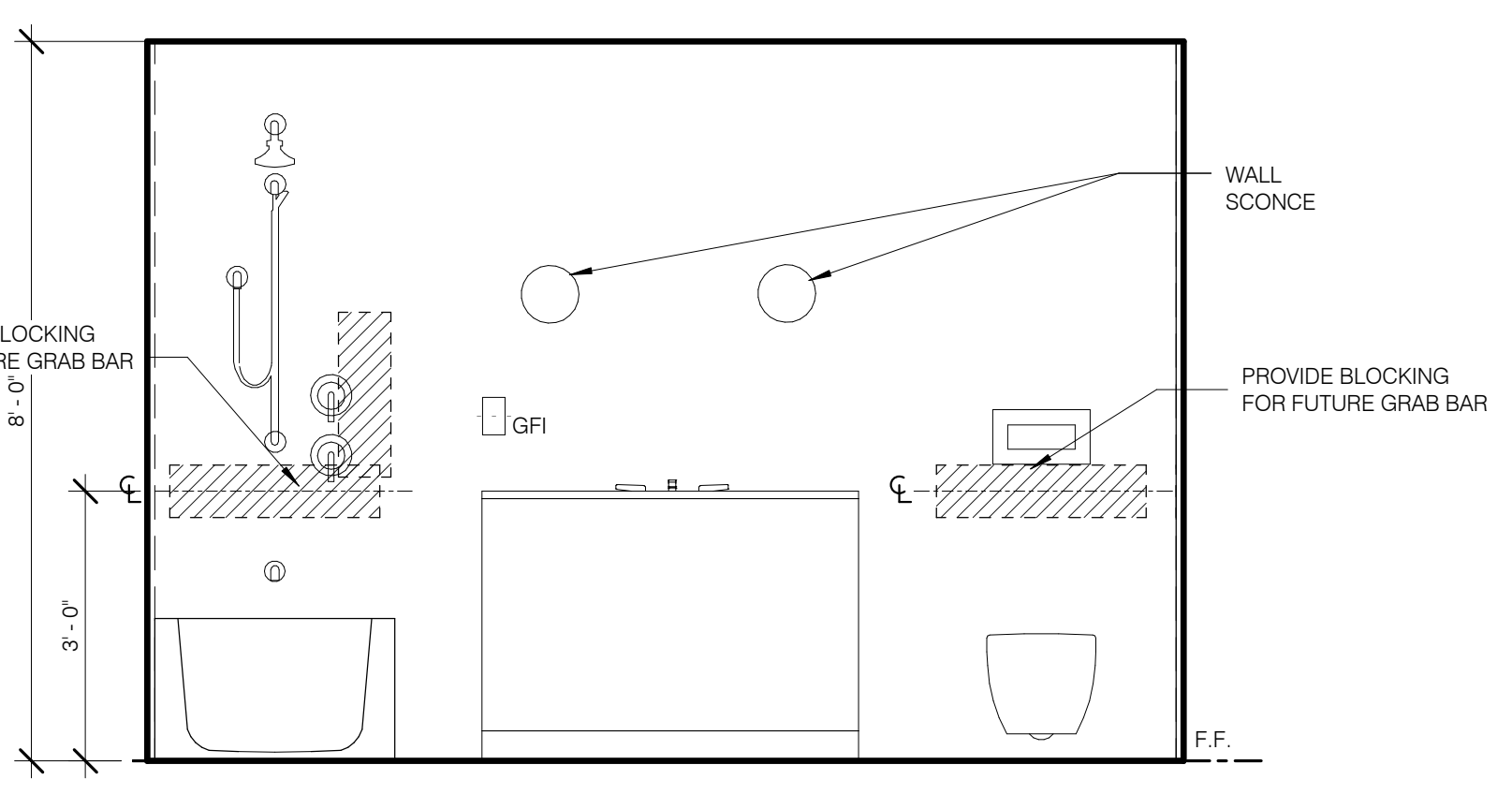
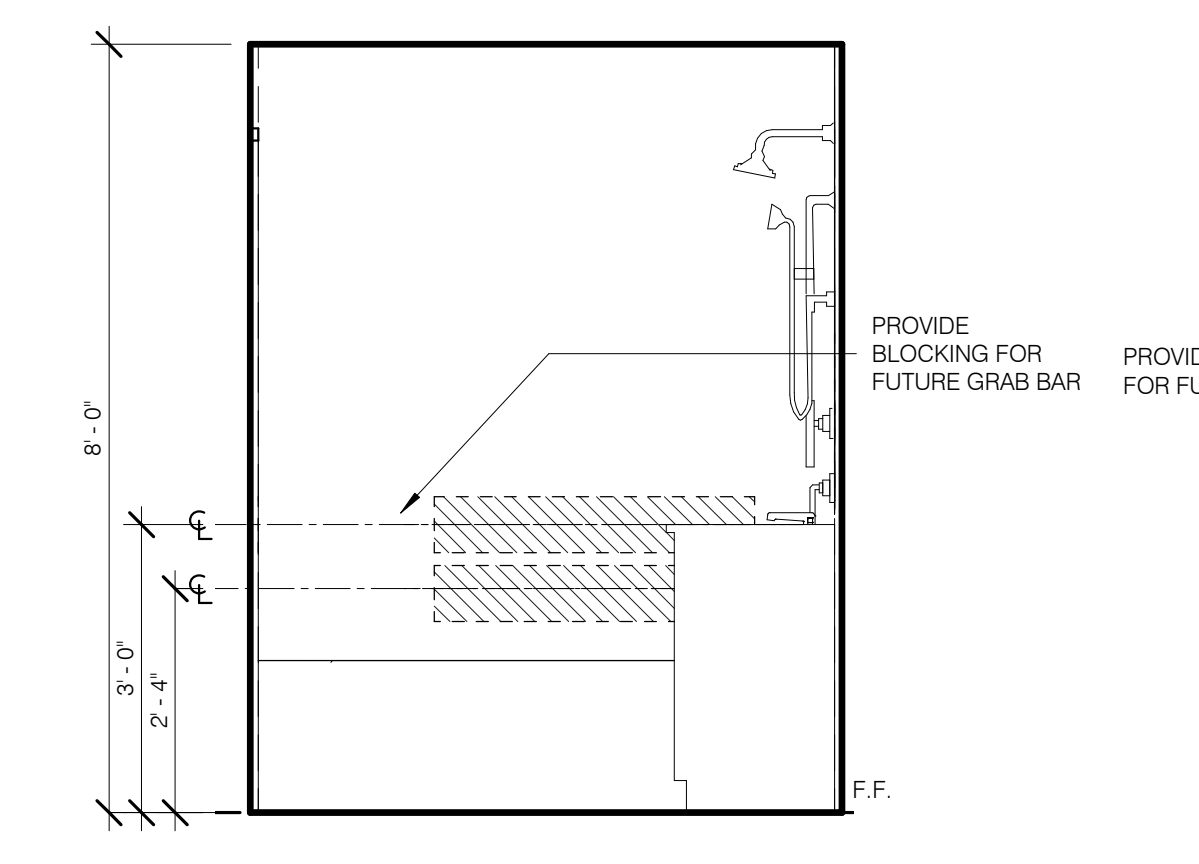
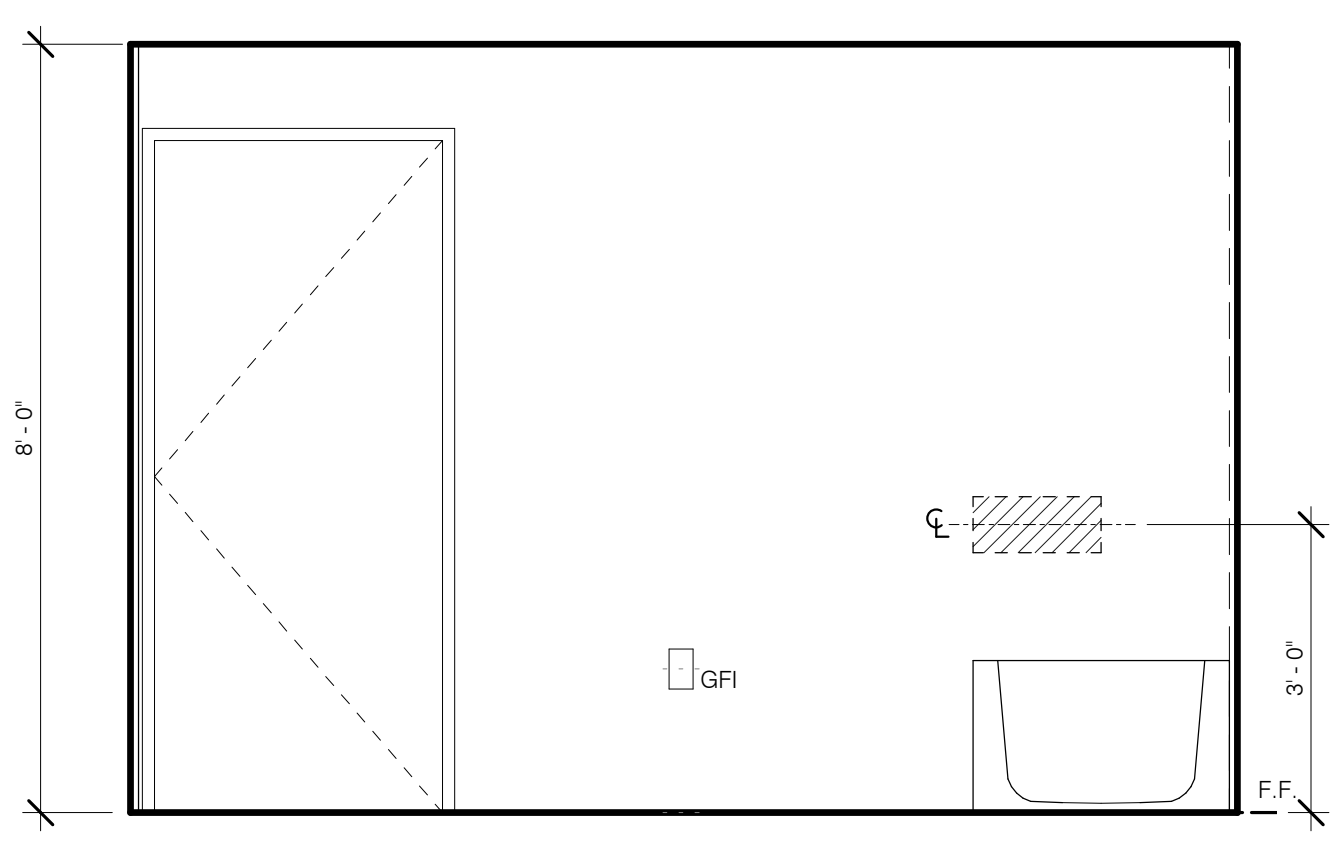
SB-2 BATH S 1/2" = 1'-0" 15

SB-2 BATH W 1/2" = 1'-0" 14

SB-2 BATH N 1/2" = 1'-0" 13

SB-2 BATH E 1/2" = 1'-0" 12

SB-2 BATH 1/2" = 1'-0" 11



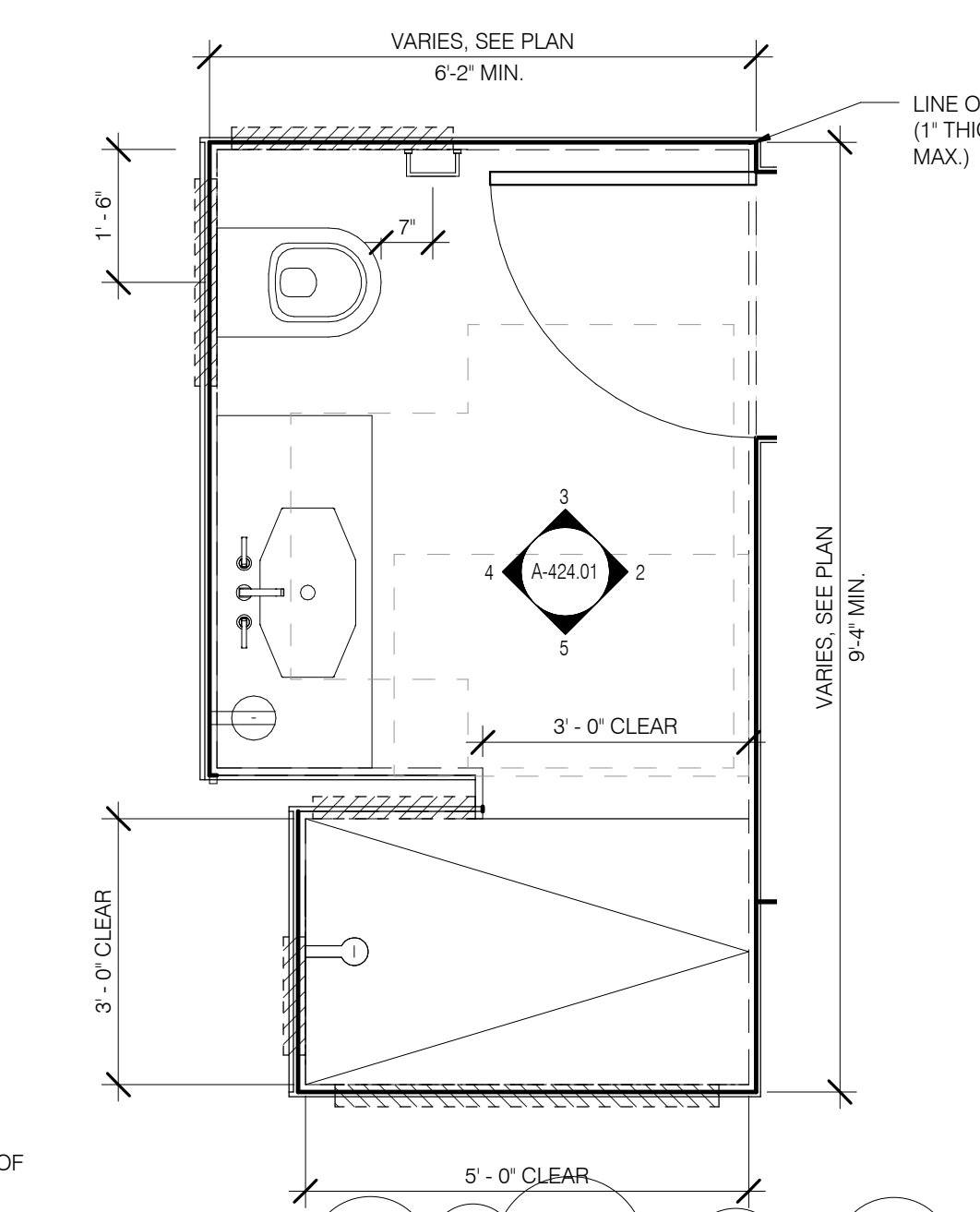
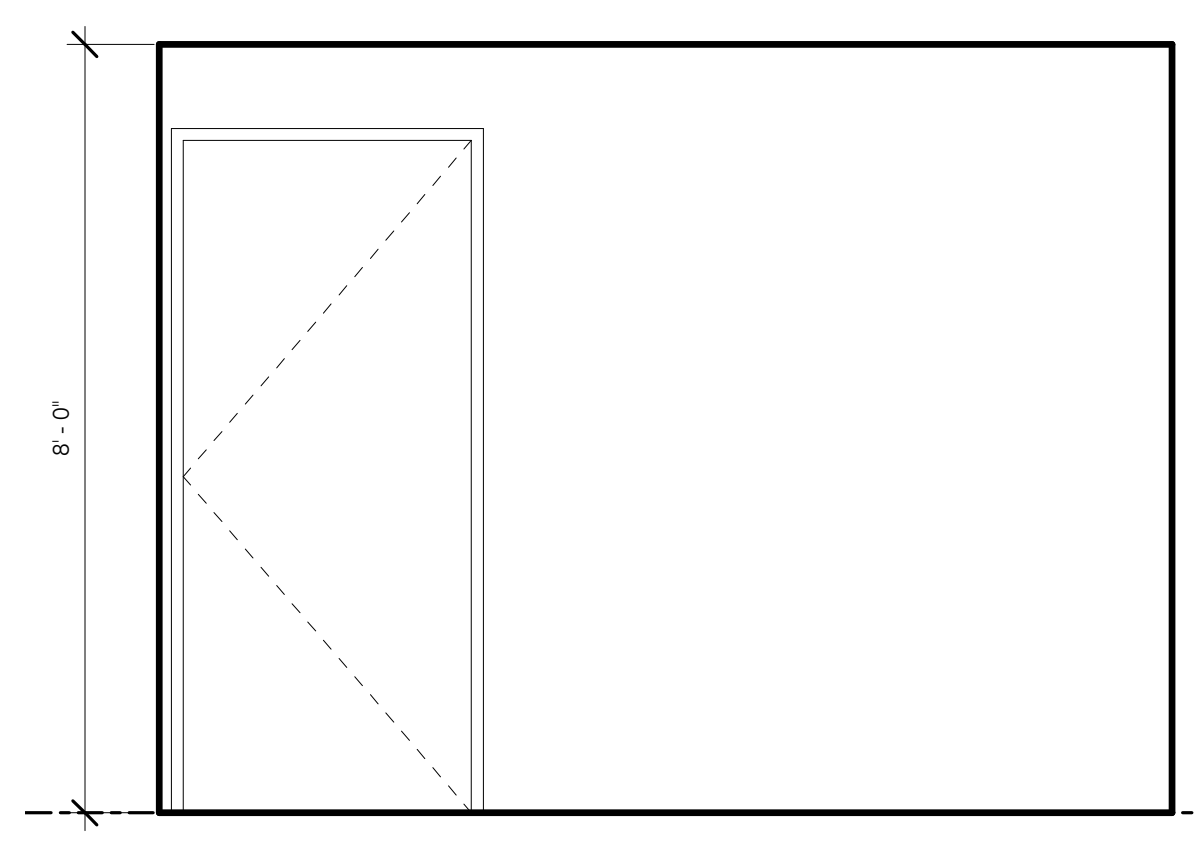
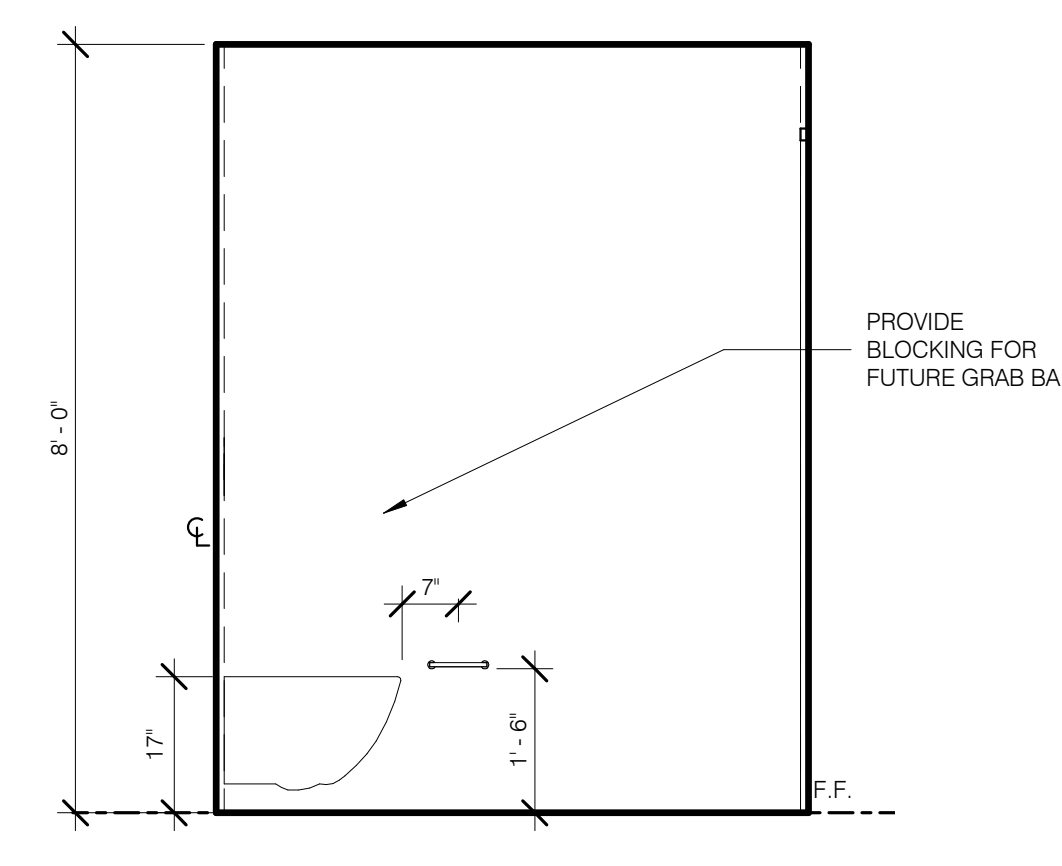
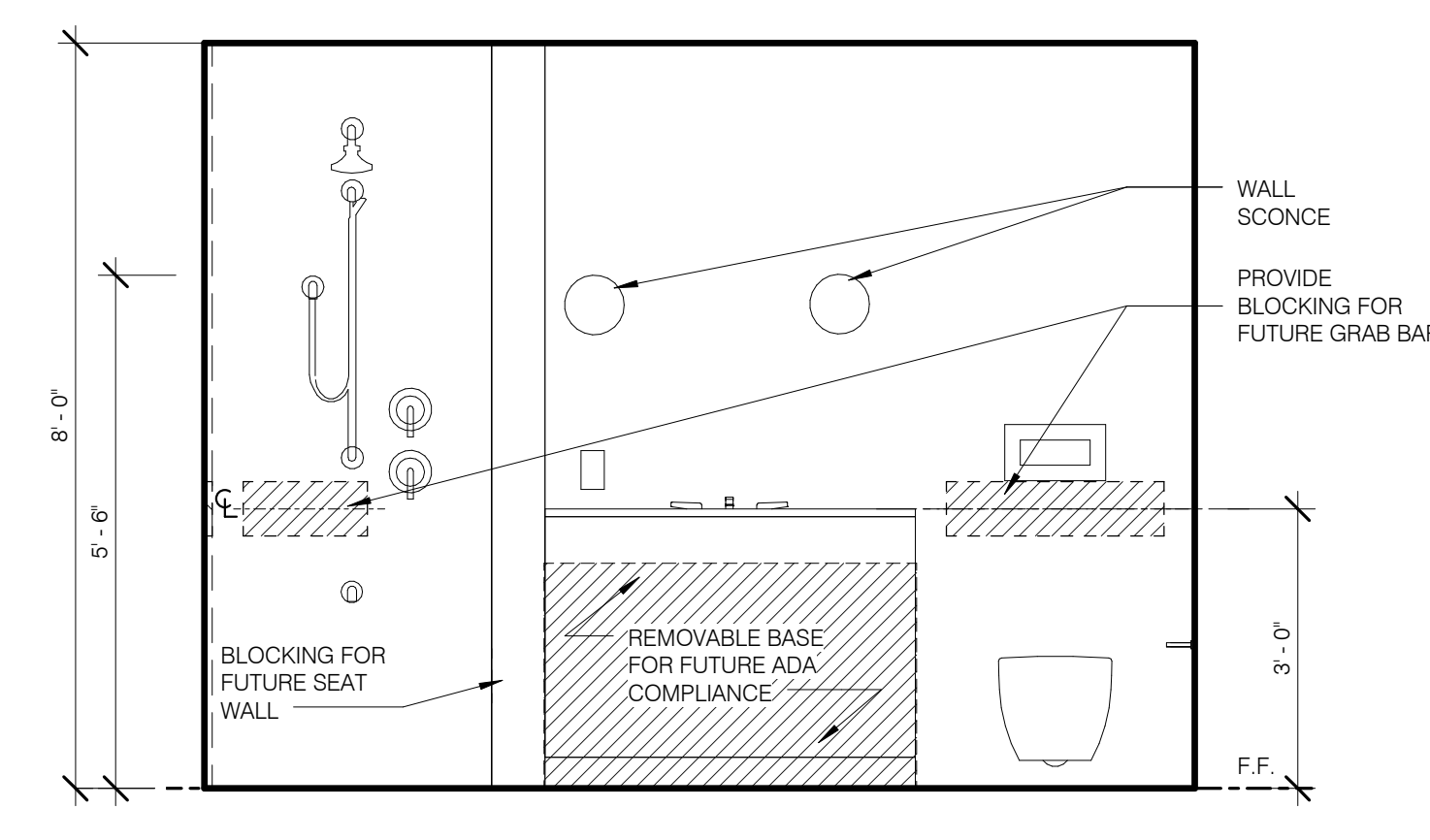
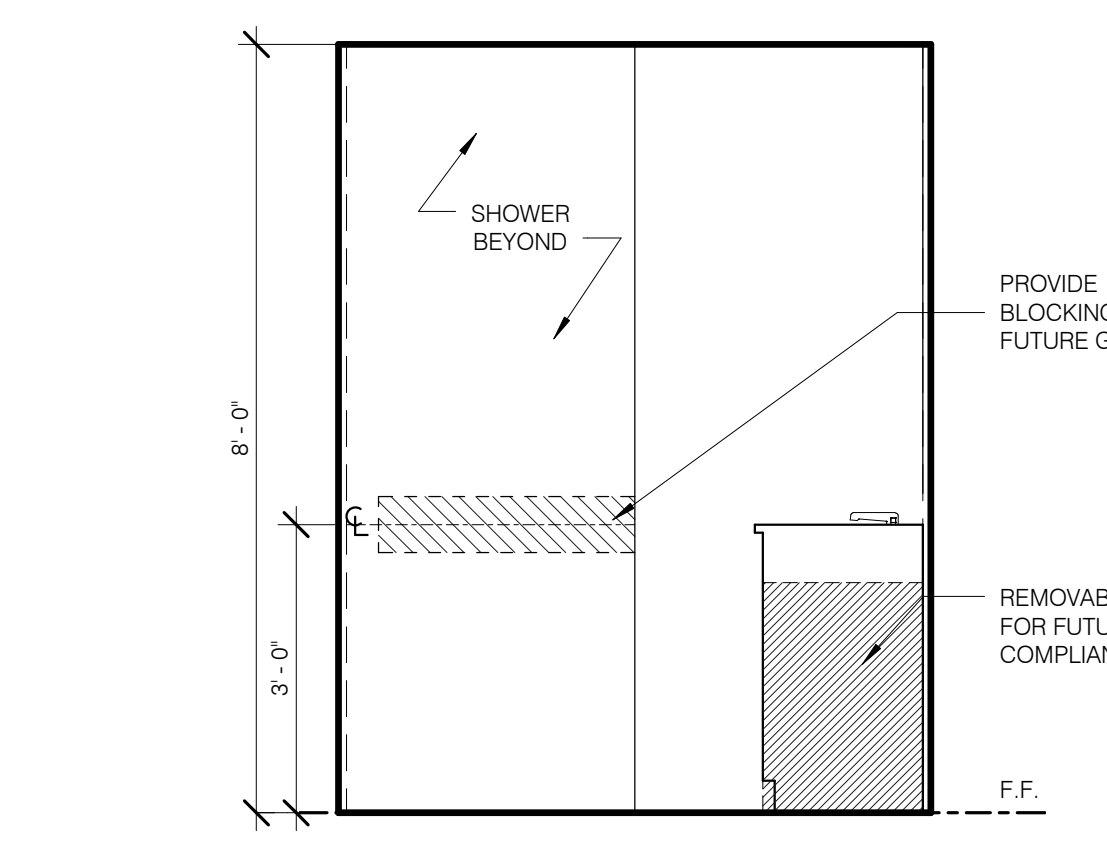
SB-3 BATH (TYP.) S 1/2" = 1'-0" 10

SB-3 BATH (TYP.) W 1/2" = 1'-0" 9

SB-3 BATH (TYP.) N 1/2" = 1'-0" 8

SB-3 BATH (TYP.) E 1/2" = 1'-0" 7

SB-3 BATH (TYP.) 1/2" = 1'-0" 6



SB11 BATH (TYP. TYPE A) S 1/2" = 1'-0" 5

S1 BATH (TYP. TYPE A) W 1/2" = 1'-0" 4

SB-1 BATH (TYP. TYPE A) N 1/2" = 1'-0" 3

SB-1 BATH (TYP. TYPE A) E 1/2" = 1'-0" 2

SB-1 BATH (TYP. TYPE A) 1/2" = 1'-0" 1

NOTE: ALL DIMENSIONS ARE TAKEN TO THE EDGE OF FINISHED FACE.

Unit Type	Level	Number	Name
LEVEL 5	0509A	MECHANICAL	
LEVEL 9	0933	MECH	
05A	LEVEL 9	0901 C	KITCHENETTE (SK1)
05A	LEVEL 9	0901 M	MASTER BATH (SMB1)
05A	LEVEL 9	0901 J	BATH 1 (SB3)
05A	LEVEL 9	0901 M	TYPE A BATH (SB1)
05A	LEVEL 9	0901 G	PR (SP1)
05A	LEVEL 9	0901 E	BATH 2 (SB4)
05B	LEVEL 9	0902 E	BATH (SB7)
05B	LEVEL 9	0902 B	KITCHENETTE (SK8)
05C	LEVEL 9	0903 D	BATH (SB7)
05C	LEVEL 9	0903 B	KITCHENETTE (SK9)
05D	LEVEL 9	0904 E	BATH (SB7)
05D	LEVEL 9	0904 B	KITCHENETTE (SK10)
05E	LEVEL 9	0905 C	BATH (SB7)
05E	LEVEL 9	0905 B	KITCHENETTE (SK11)
10A	LEVEL 10	1001 Q	KITCHENETTE (SK1)
10A	LEVEL 10	1001 V	MASTER BATH (SMB1)
10A	LEVEL 10	1001 W	BATH 1 (SB3)
10A	LEVEL 10	1001 X	TYPE A BATH (SB1)
10A	LEVEL 10	1001 Y	PR (SP1)
10A	LEVEL 10	1001 D	BATH 2 (SB4)
10B	LEVEL 10	1002 Q	MASTER BATH (SMB2)
10B	LEVEL 10	1002 H	TYPE A BATH (SB1)
10B	LEVEL 10	1002 L	BATH 2 (SB3)
10B	LEVEL 10	1002 B	PR (SP3)
10B	LEVEL 10	1002 C	KITCHENETTE (SK2)
11A	LEVEL 11	1101 N	MASTER BATH (SMB1)
11A	LEVEL 11	1101 J	TYPE A BATH (SB1)
11A	LEVEL 11	1101 G	PR (SP1)
11A	LEVEL 11	1101 M	BATH 1 (SB6)
11A	LEVEL 11	1101 C	KITCHENETTE (SK3)
11A	LEVEL 11	1101 E	BATH 2 (SB4)
11B	LEVEL 11	1102 Q	MASTER BATH (SMB2)
11B	LEVEL 11	1102 H	TYPE A BATH (SB1)
11B	LEVEL 11	1102 L	BATH (SB3)
11B	LEVEL 11	1102 C	KITCHENETTE (SK2)
11B	LEVEL 11	1102 B	PR (SP3)
13A	LEVEL 13	1301 N	MASTER BATH (SMB3)
13A	LEVEL 13	1301 C	KITCHEN (SK4)
13A	LEVEL 13	1301 L	BATH 2 (SB2)
13A	LEVEL 13	1301 H	TYPE A BATH (SB1)
13A	LEVEL 13	1301 E	PR (SP2)
13B	LEVEL 13	1302 G	MASTER BATH (SMB4)
13B	LEVEL 13	1302 F	TYPE A BATH (SB1)
13B	LEVEL 13	1302 B	PR (SP3)
13B	LEVEL 13	1302 C	KITCHEN (SK5)
14A	LEVEL 14	1401 C	MASTER BATH (SMB5)
14A	LEVEL 14	1401 H	KITCHEN (SK6)
14A	LEVEL 14	1401 E	TYPE A BATH (SB1)
14A	LEVEL 14	1401 U	BATH 2 (SB5)
14A	LEVEL 14	1401 M	PR (SP2)
14B	LEVEL 14	1402 K	MASTER BATH (SMB4)
14B	LEVEL 14	1402 H	TYPE A BATH (SB1)
14B	LEVEL 14	1402 B	PR (SP3)
14B	LEVEL 14	1402 Z	KITCHEN (SK5)
16PH	LEVEL 16.0	1601 B	PR (SP3)
16PH	LEVEL 16.0	1601 M	BATH 2 (SB3)
16PH	LEVEL 16.0	1601 Q	TYPE A BATH (SB1)
16PH	LEVEL 16.0	1601 H	KITCHEN
16PH	LEVEL 16.0	1601 S	POWDER (SP3)
16PH	LEVEL 16.0	1601 V	BUTLER PANTRY
16PH	LEVEL 17.0	1702	MASTER BATH (SMB6)
NR2	LEVEL 5	0505 A	UNISEX WC (U-SA)
NR2	LEVEL 5	0505 C	UNISEX WC (U-SC)
NR2	LEVEL 5	0505 A	UNISEX WC (U-SB)
NR2	LEVEL 5	0505 D	UNISEX WC (U-SB)
RC	LEVEL 7	0720 A	WC (U-7C)
RC	LEVEL 7	0724	WC (U-7A)
RC	GROUND	0110	UNISEX WC (U-1A)
RC	LEVEL 7	0708	WC (U-7A)
RC	LEVEL 7	0709	WC (U-7A)
RC	LEVEL 7	0716 D	WC (U-7B)
RC	GROUND	0103 B	UNISEX WC (U-1B)
RC	LEVEL 7	0716 C	WC (U-7A)

JDS DEVELOPMENT GROUP
 JDS DEVELOPMENT GROUP
 110 WEST 57TH STREET
 NEW YORK, NY 10019
 TEL: 212.264.2000

sh p

ARCHITECT
 SHAP ARCHITECTS, P.C.
 200 WEST 110TH STREET
 NEW YORK, NY 10026
 TEL: 212.264.2000

STRUCTURAL ENGINEER
 WFP CANON SENIK
 300 EAST 45TH STREET
 NEW YORK, NY 10017
 TEL: 212.697.9888

MEP ENGINEER
 JPMR ENGINEERS
 300 WEST 105TH STREET
 NEW YORK, NY 10026
 TEL: 212.264.2000

CIVIL ENGINEER
 JPMR ENGINEERS, P.C.
 300 WEST 105TH STREET
 NEW YORK, NY 10026
 TEL: 212.264.2000

ADAPTIVE DESIGN
 LOKMAN LINDSEY
 200 WEST 105TH STREET
 NEW YORK, NY 10026
 TEL: 212.264.2000

INTERIORS
 JDS ARCHITECTURE
 110 WEST 57TH STREET
 NEW YORK, NY 10019
 TEL: 212.473.1000

VERTICAL TRANSPORTATION
 VAN DERSTEELE ASSOCIATES
 100 WEST 105TH STREET
 NEW YORK, NY 10026
 TEL: 212.264.2000

RESTORATION
 JAN HRC FORDRY ASSOCIATES
 300 WEST 105TH STREET
 NEW YORK, NY 10026
 TEL: 212.264.2000

GEOTECH
 MTC
 200 WEST 105TH STREET
 NEW YORK, NY 10026
 TEL: 212.264.2000

LIGHTING
 COOPERATIVE INTERNATIONAL
 100 WEST 105TH STREET
 NEW YORK, NY 10026
 TEL: 212.264.4400

PROPERTY MARKETS GROUP
 110 WEST 57TH STREET
 NEW YORK, NY 10019
 TEL: 212.264.2000

CURRENT ISSUE

DOB PAA

Shauqat Shaikh
 Building
 APPROVED
 Under Directive 2 of 1975
 Date: 05/28/2015
 NYC Development Hub

111 WEST 57TH STREET
 NEW YORK, NY 10019

13.27.15 DOB PAA

NO. DATE REVISION

THESE DRAWINGS ARE NOT A WARRANTY OR GUARANTEE AND SHALL BE USED ONLY FOR THE PROJECT AND FOR THE PURPOSES AND CONDITIONS SPECIFIED IN THE CONTRACT DOCUMENTS. NO OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR COMPLETION OF THIS PROJECT BY OTHERS.

COPYRIGHT © 2015 SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.

DRAWING TITLE
BATHROOMS - STEINWAY ENLARGED PLANS AND ELEVATIONS

SEAL & SIGNATURE DATE: 2.20.15

PROJECT NO.: 130907
 DRAWN BY: SHAP
 CHECKED BY: SHAP
 DATE: 05/28/2015
 DSCR NO.: 121333296
 DRAWING NUMBER

A-424.01

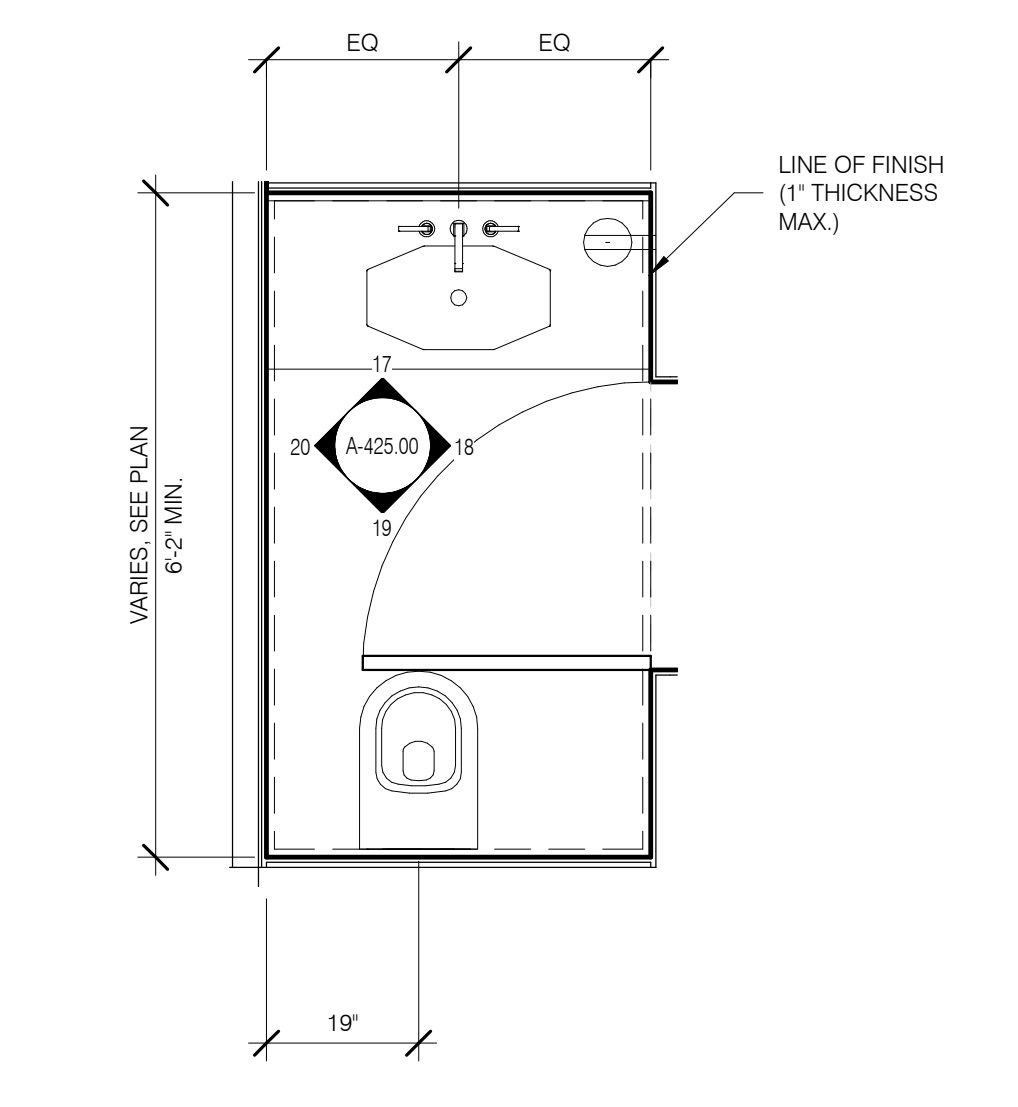
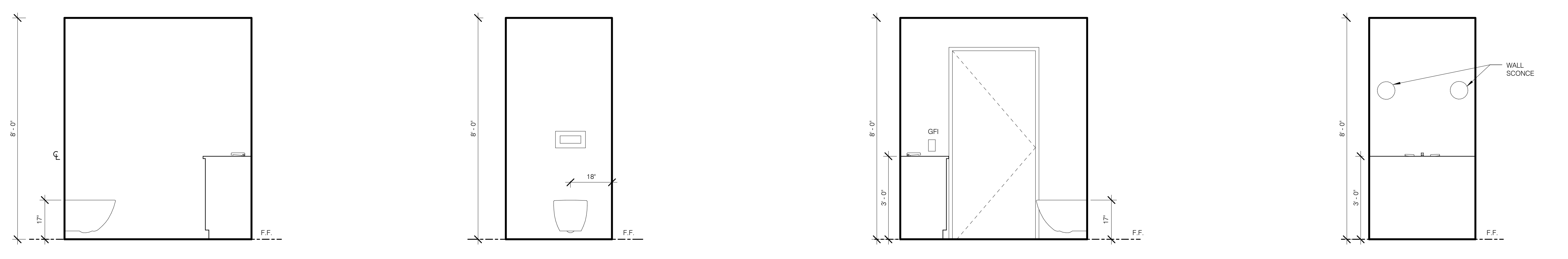


NO.	DATE	REVISION
1	3/27/15	DOB PAA

DRAWING TITLE
BATHROOMS - STEINWAY ENLARGED PLANS AND ELEVATIONS

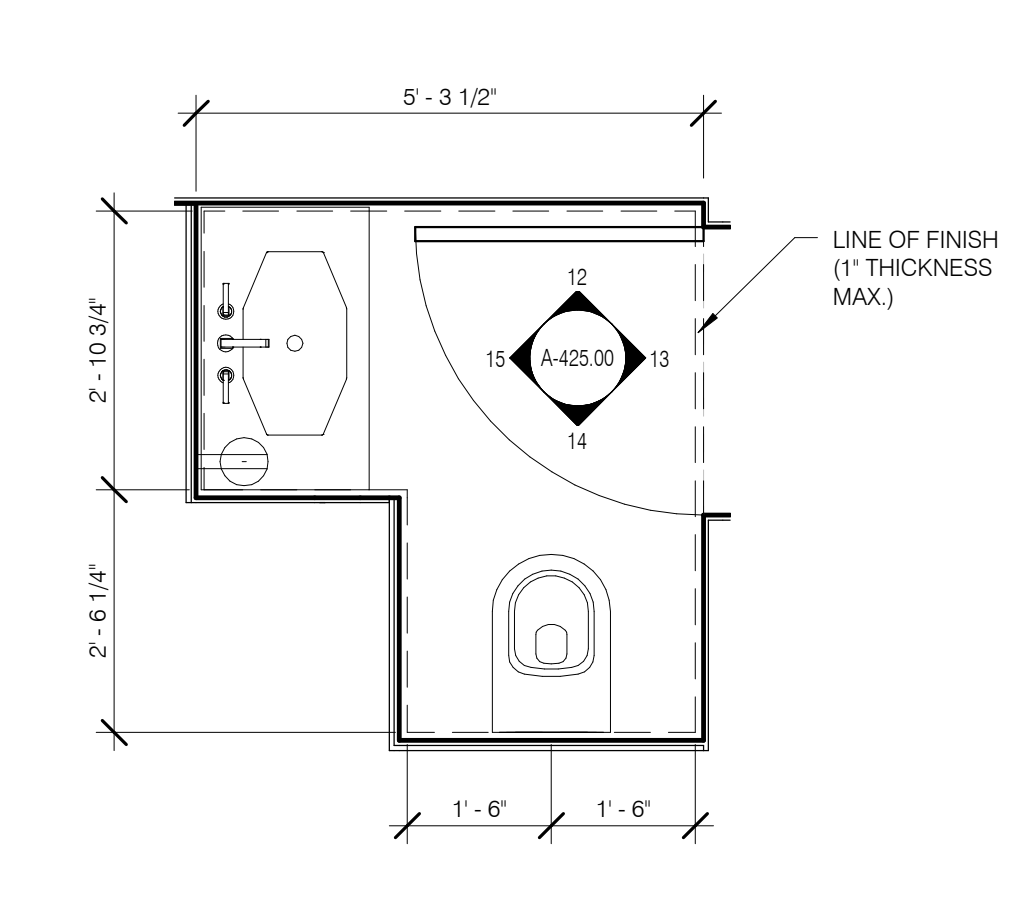
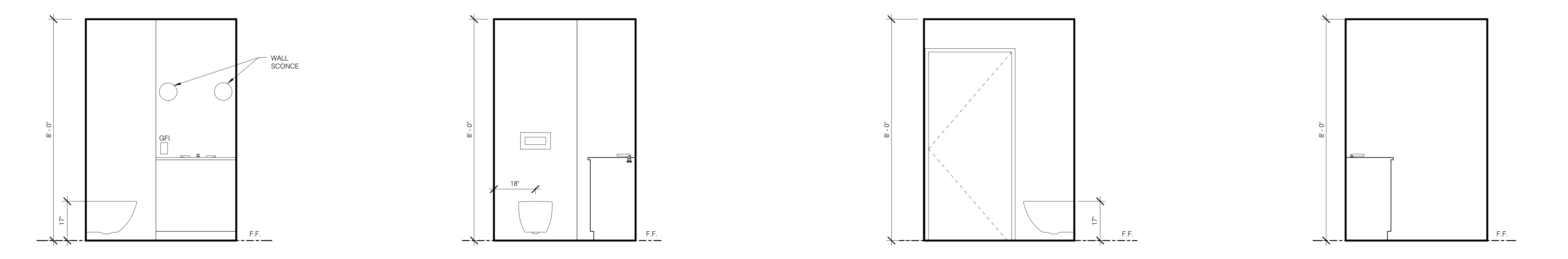
SEAL & SIGNATURE	DATE	2.20.15
PROJECT NO.	130607	
DRAWN BY	SHAP	
CHECKED BY	SHAP	
DOB NO.	12133266	
DRAWING NUMBER		
A-425.00		

UNIT	Level	Number	Name
	LEVEL 5	0509A	MECHANICAL
	LEVEL 9	0933	MECH
05A	LEVEL 9	0901.C	KITCHENETTE (SK1)
05A	LEVEL 9	0901.N	MASTER BATH (SMB1)
05A	LEVEL 9	0901.J	BATH 1 (SB1)
05A	LEVEL 9	0901.M	TYPE A BATH (SB1)
05A	LEVEL 9	0901.G	PR (SP1)
05A	LEVEL 9	0901.E	BATH 2 (SB4)
09B	LEVEL 9	0902.E	BATH (SB7)
09B	LEVEL 9	0902.B	KITCHENETTE (SK8)
09C	LEVEL 9	0903.D	BATH (SB7)
09C	LEVEL 9	0903.B	KITCHENETTE (SK9)
09D	LEVEL 9	0904.E	BATH (SB7)
09D	LEVEL 9	0904.B	KITCHENETTE (SK10)
09E	LEVEL 9	0905.C	BATH (SB7)
09E	LEVEL 9	0905.B	KITCHENETTE (SK11)
10A	LEVEL 10	1001.Q	KITCHENETTE (SK1)
10A	LEVEL 10	1001.V	MASTER BATH (SMB1)
10A	LEVEL 10	1001.W	BATH 1 (SB3)
10A	LEVEL 10	1001.X	TYPE A BATH (SB1)
10A	LEVEL 10	1001.Y	PR (SP1)
10A	LEVEL 10	1001.D	BATH 2 (SB4)
10B	LEVEL 10	1002.Q	MASTER BATH (SMB2)
10B	LEVEL 10	1002.H	TYPE A BATH (SB1)
10B	LEVEL 10	1002.L	BATH 2 (SB3)
10B	LEVEL 10	1002.B	PR (SP3)
10B	LEVEL 10	1002.C	KITCHENETTE (SK2)
11A	LEVEL 11	1101.N	MASTER BATH (SMB1)
11A	LEVEL 11	1101.J	TYPE A BATH (SB1)
11A	LEVEL 11	1101.G	PR (SP1)
11A	LEVEL 11	1101.M	BATH 1 (SB6)
11A	LEVEL 11	1101.C	KITCHENETTE (SK3)
11A	LEVEL 11	1101.E	BATH 2 (SB4)
11B	LEVEL 11	1102.Q	MASTER BATH (SMB2)
11B	LEVEL 11	1102.H	TYPE A BATH (SB1)
11B	LEVEL 11	1102.L	BATH (SB3)
11B	LEVEL 11	1102.C	KITCHENETTE (SK2)
11B	LEVEL 11	1102.B	PR (SP3)
13A	LEVEL 13	1301.N	MASTER BATH (SMB3)
13A	LEVEL 13	1301.C	KITCHEN (SK4)
13A	LEVEL 13	1301.L	BATH 2 (SB2)
13A	LEVEL 13	1301.H	TYPE A BATH (SB1)
13A	LEVEL 13	1301.E	PR (SP3)
13B	LEVEL 13	1302.Q	MASTER BATH (SMB4)
13B	LEVEL 13	1302.F	TYPE A BATH (SB1)
13B	LEVEL 13	1302.B	PR (SP3)
13B	LEVEL 13	1302.C	KITCHEN (SK5)
14A	LEVEL 14	1401.C	MASTER BATH (SMB5)
14A	LEVEL 14	1401.H	KITCHEN (SK6)
14A	LEVEL 14	1401.E	TYPE A BATH (SB1)
14A	LEVEL 14	1401.U	BATH 2 (SB5)
14A	LEVEL 14	1401.M	PR (SP2)
14B	LEVEL 14	1402.K	MASTER BATH (SMB4)
14B	LEVEL 14	1402.H	TYPE A BATH (SB1)
14B	LEVEL 14	1402.B	PR (SP3)
14B	LEVEL 14	1402.Z	KITCHEN (SK5)
16PH	LEVEL 16.0	1601.B	PR (SP3)
16PH	LEVEL 16.0	1601.M	BATH 2 (SB3)
16PH	LEVEL 16.0	1601.Q	TYPE A BATH (SB1)
16PH	LEVEL 16.0	1601.H	KITCHEN
16PH	LEVEL 16.0	1601.S	POWDER (SP3)
16PH	LEVEL 16.0	1601.V	BUTLER PANTRY
16PH	LEVEL 17.0	1702	MASTER BATH (SMB6)
NR2	LEVEL 5	0505.A	UNISEX WC (U-5A)
NR2	LEVEL 5	0506.C	UNISEX WC (U-5C)
NR2	LEVEL 5	0506.A	UNISEX WC (U-5B)
NR2	LEVEL 5	0506.D	UNISEX WC (U-5B)
RC	LEVEL 7	0720.A	WC (U-7C)
RC	LEVEL 7	0724	WC (U-7A)
RC	GROUND	0110	UNISEX WC (U-1A)
RC	LEVEL 7	0708	WC (U-7A)
RC	LEVEL 7	0709	WC (U-7B)
RC	LEVEL 7	0716.D	WC (U-7B)
RC	GROUND	0103.B	UNISEX WC (U-1B)
RC	LEVEL 7	0718.C	WC (U-7A)



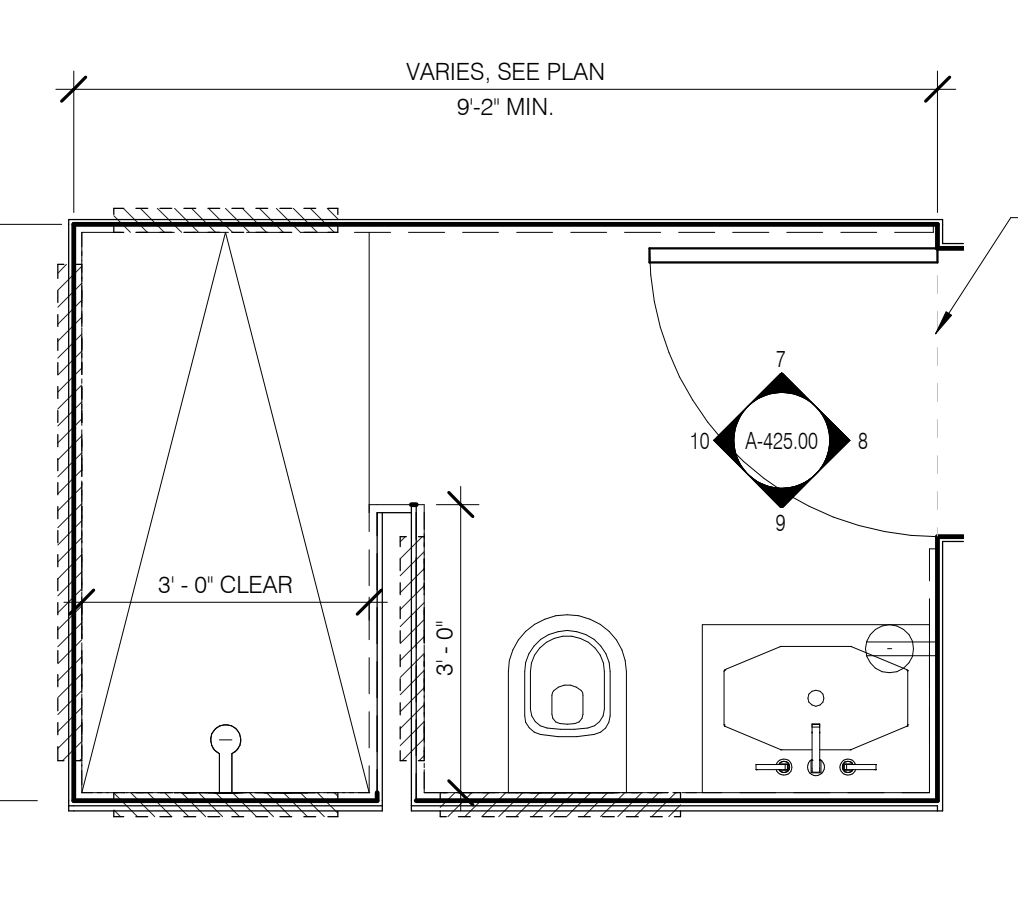
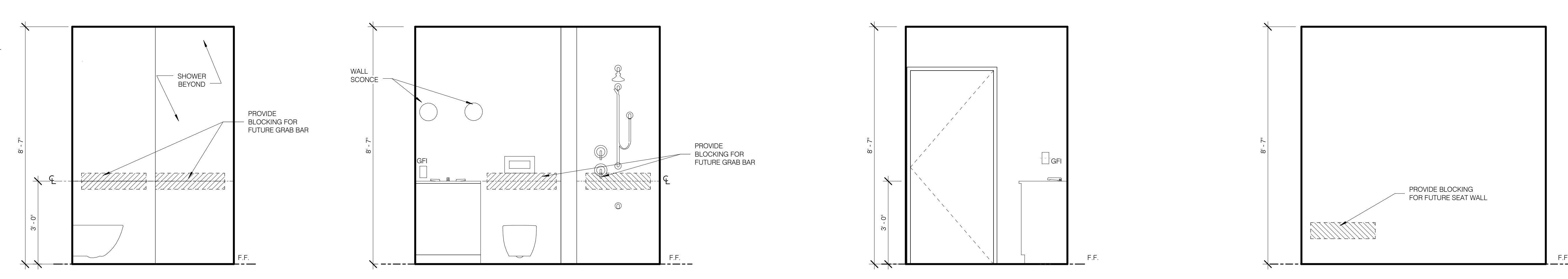
SP-3 POWDER ROOM W 1/2" = 1'-0" 20
SP-3 POWDER ROOM S 1/2" = 1'-0" 19
SP-3 POWDER ROOM E 1/2" = 1'-0" 18
SP-3 POWDER ROOM N 1/2" = 1'-0" 17

SP-3 POWDER ROOM (TYP.) 1/2" = 1'-0" 16



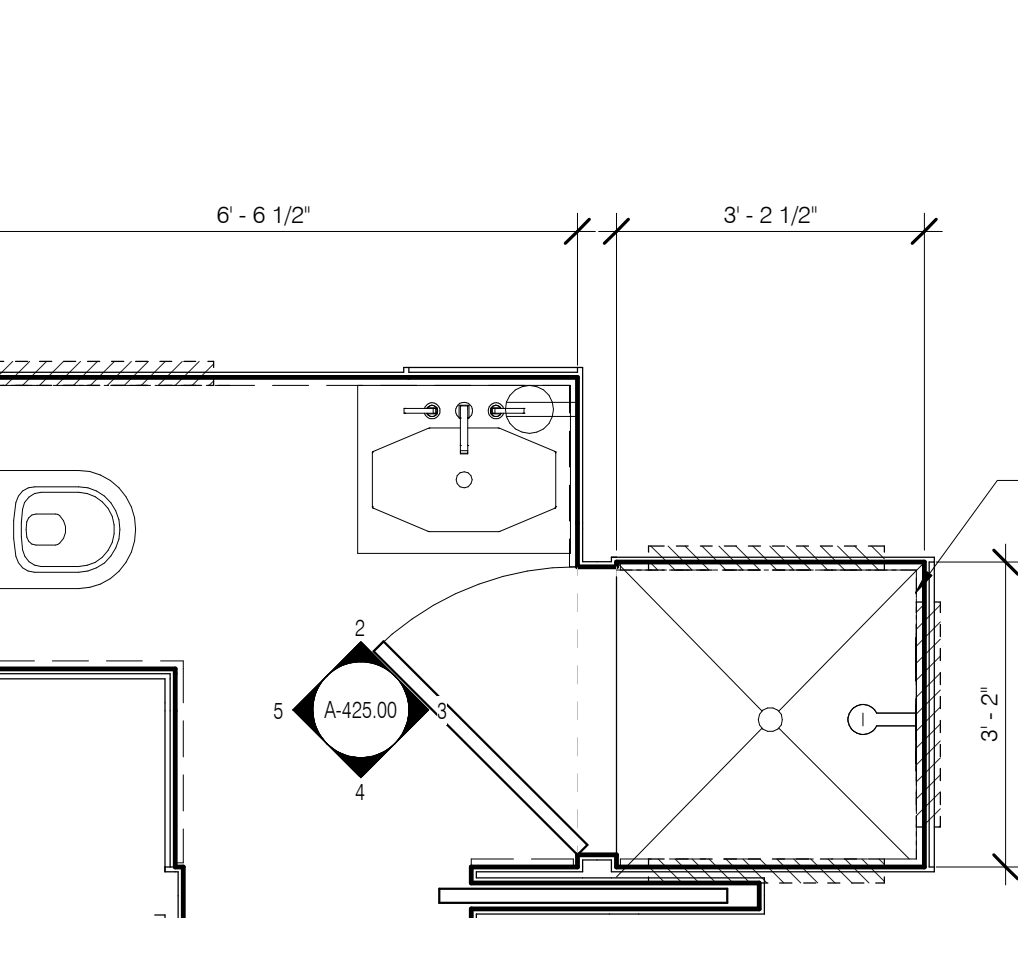
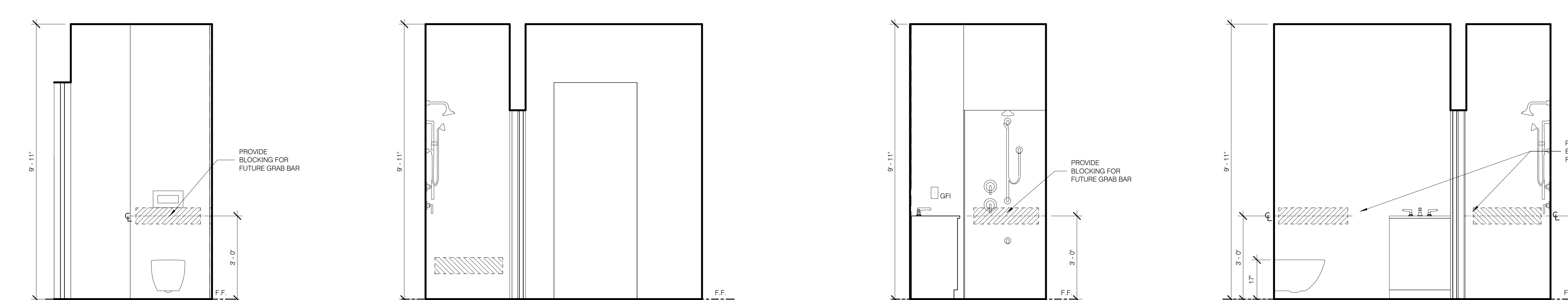
SP-1 POWDER ROOM W 1/2" = 1'-0" 15
SP-1 POWDER ROOM S 1/2" = 1'-0" 14
SP-1 POWDER ROOM E 1/2" = 1'-0" 13
SP-1 POWDER ROOM N 1/2" = 1'-0" 12

SP-1 POWDER ROOM (TYP.) 1/2" = 1'-0" 11



SB-6 BATH (TYP.) W 1/2" = 1'-0" 10
SB-6 BATH (TYP.) S 1/2" = 1'-0" 9
SB-6 BATH (TYP.) E 1/2" = 1'-0" 8
SB-6 BATH (TYP.) N 1/2" = 1'-0" 7

SB-6 BATH (TYP.) 1/2" = 1'-0" 6



SB-5 BATH W 1/2" = 1'-0" 5
SB-5 BATH S 1/2" = 1'-0" 4
SB-5 BATH E 1/2" = 1'-0" 3
SB-5 BATH N 1/2" = 1'-0" 2

SB-5 BATH 1/2" = 1'-0" 1

Unit Type	Level	Number	Name
SK-1			
68A	LEVEL 9	0901.C	KITCHENETTE (SK1)
10A	LEVEL 10	1001.C	KITCHENETTE (SK1)
SK-2			
10B	LEVEL 10	1002.C	KITCHENETTE (SK2)
11B	LEVEL 11	1102.C	KITCHENETTE (SK2)
SK-3			
11A	LEVEL 11	1101.C	KITCHENETTE (SK3)
SK-4			
13A	LEVEL 13	1301.C	KITCHEN (SK4)
SK-5			
13B	LEVEL 13	1302.C	KITCHEN (SK5)
14B	LEVEL 14	1402.Z	KITCHEN (SK5)
SK-6			
14A	LEVEL 14	1401.H	KITCHEN (SK6)
SK-7A			
16PH	LEVEL 16.0	1601.H	KITCHEN
SK-7B			
16PH	LEVEL 16.0	1601.V	BUTLER PANTRY
SK-8			
09B	LEVEL 9	0902.B	KITCHENETTE (SK8)
SK-9			
09C	LEVEL 9	0903.B	KITCHENETTE (SK9)
SK-10			
09D	LEVEL 9	0904.B	KITCHENETTE (SK10)
SK-11			
09E	LEVEL 9	0905.B	KITCHENETTE (SK11)

FOR ALL KITCHEN MILLWORK SEE INTERIOR DESIGN PACKAGE

JDS DEVELOPMENT GROUP

JDS DEVELOPMENT GROUP
140 WEST 57TH STREET
NEW YORK, NY 10019
Tel: 646.625.3922

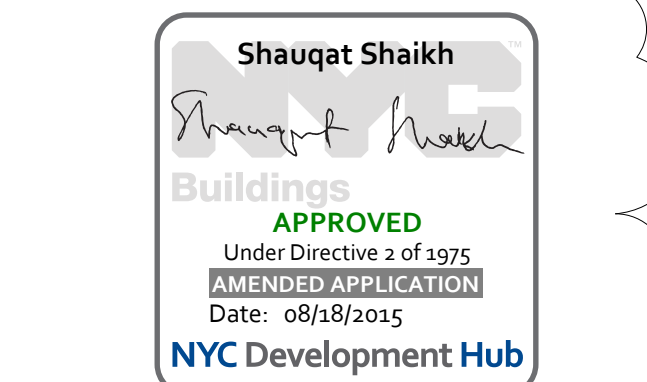
sh p

ARCHITECT	STRUCTURAL ENGINEER	MEP ENGINEER	CIVIL ENGINEER	ACQUISITION
SHAP ARCHITECTS, P.C. 230 BROADWAY, 17TH FLOOR NEW YORK, NY 10007 Tel: 212.693.9888	WSP CANFOR SERAIK 230 EAST 47TH STREET NEW YORK, NY 10017 Tel: 212.697.9888	JAMES SHUKLA & ASSOCIATES 60 WEST 47TH STREET NEW YORK, NY 10019 Tel: 212.253.9333	WINDERSSEN & ASSOCIATES 4 HUNTER STREET, SUITE 504 UNIONVILLE, NY 10886 Tel: 877.944.5222	PROPERTY MARKETS GROUP 1 EAST 17TH STREET, 24TH FLOOR NEW YORK, NY 10003 Tel: 212.693.8888
ARCHITECT	STRUCTURAL ENGINEER	MEP ENGINEER	CIVIL ENGINEER	ACQUISITION
SHAP ARCHITECTS, P.C.	WSP CANFOR SERAIK	JAMES SHUKLA & ASSOCIATES	WINDERSSEN & ASSOCIATES	PROPERTY MARKETS GROUP
ARCHITECT	STRUCTURAL ENGINEER	MEP ENGINEER	CIVIL ENGINEER	ACQUISITION
SHAP ARCHITECTS, P.C.	WSP CANFOR SERAIK	JAMES SHUKLA & ASSOCIATES	WINDERSSEN & ASSOCIATES	PROPERTY MARKETS GROUP

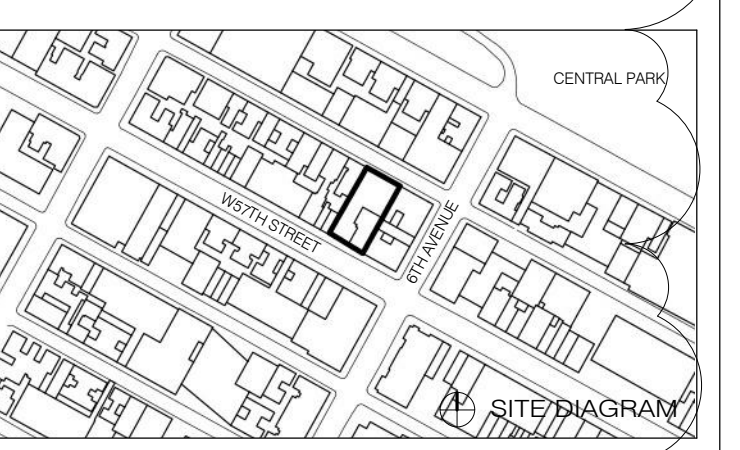


PROPERTY MARKETS GROUP
1 EAST 17TH STREET, 24TH FLOOR
NEW YORK, NY 10003
Tel: 212.693.8888

DOB PAA



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019

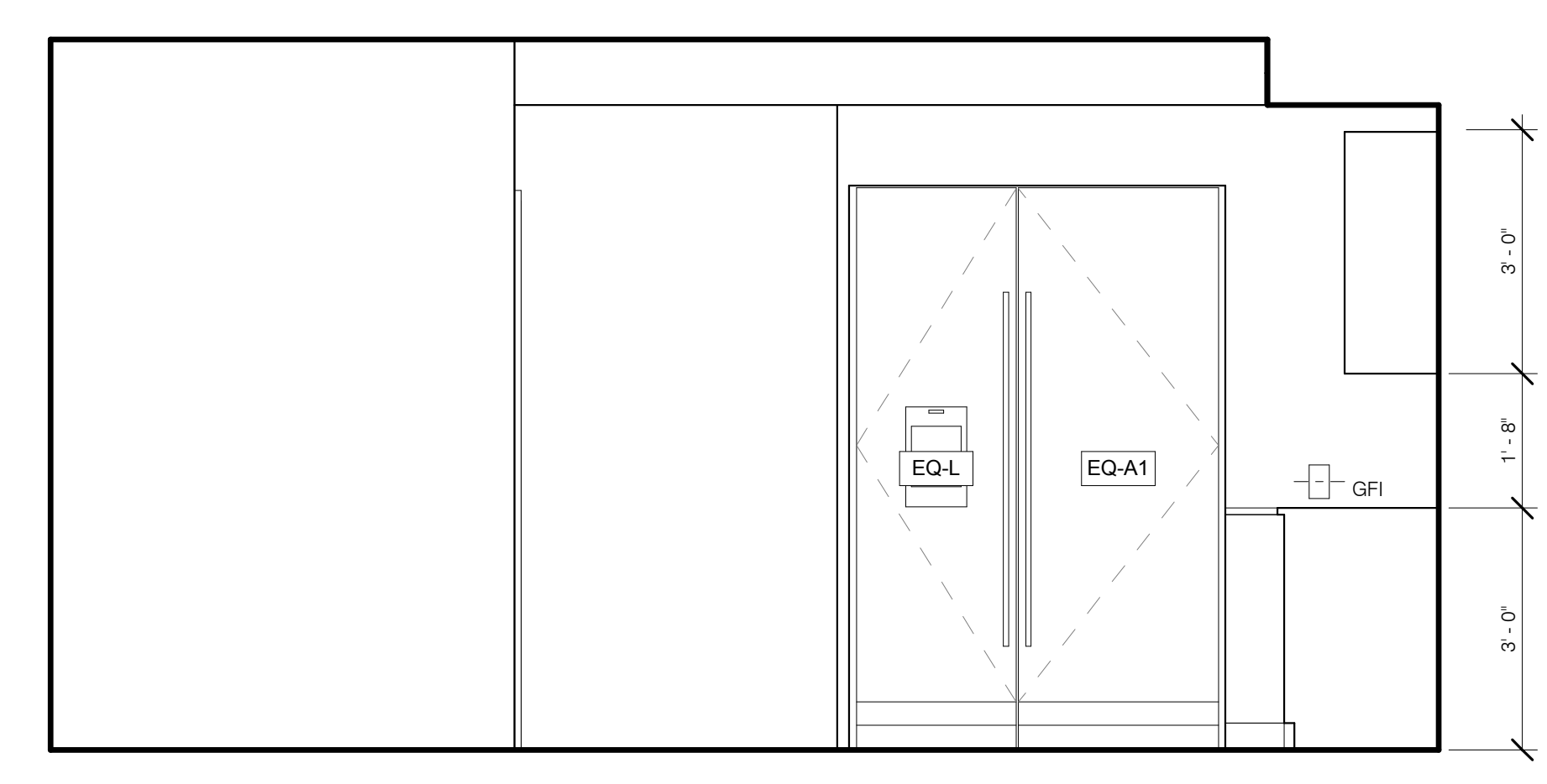


NO.	DATE	REVISION
1	03.27.15	DOB PAA

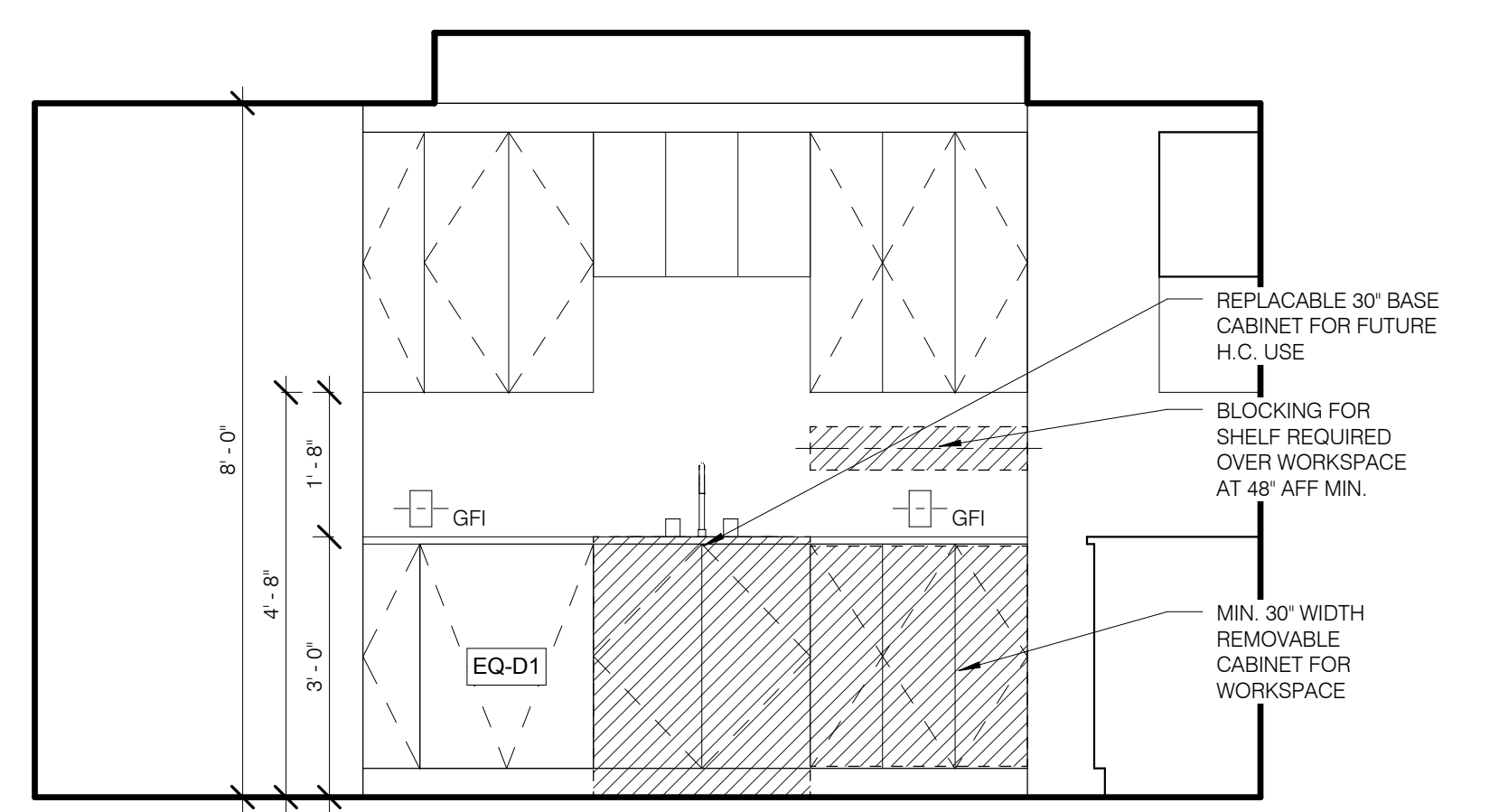
KITCHENS - STEINWAY ENLARGED PLANS AND ELEVATIONS

SEAL & SIGNATURE	DATE
	2.20.15
PROJECT NO.	130607
DRAWN BY	SHAP
CHECKED BY	SHAP
DOB NO.	121332968
DRAWING NUMBER	

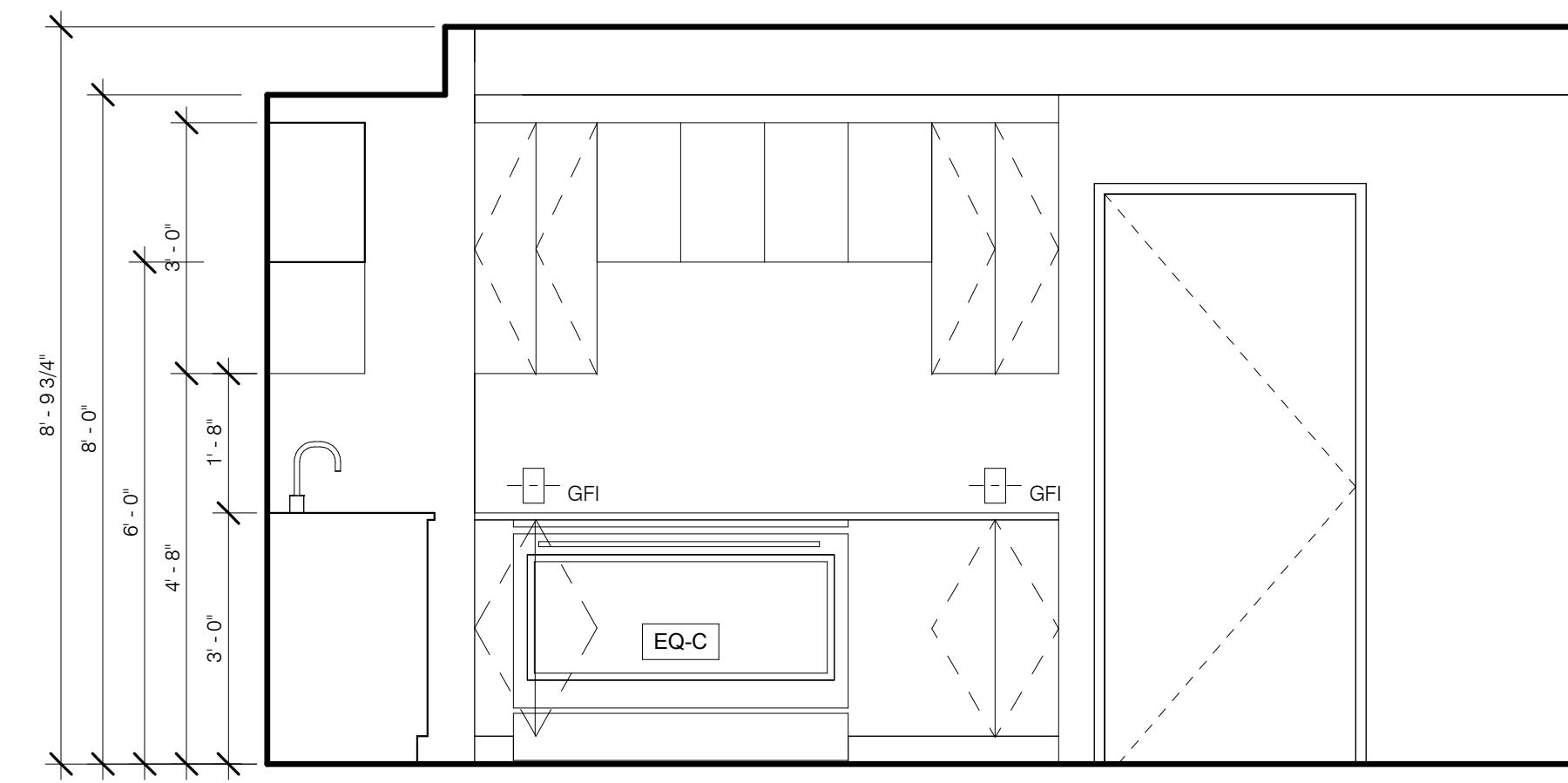
A-426.00



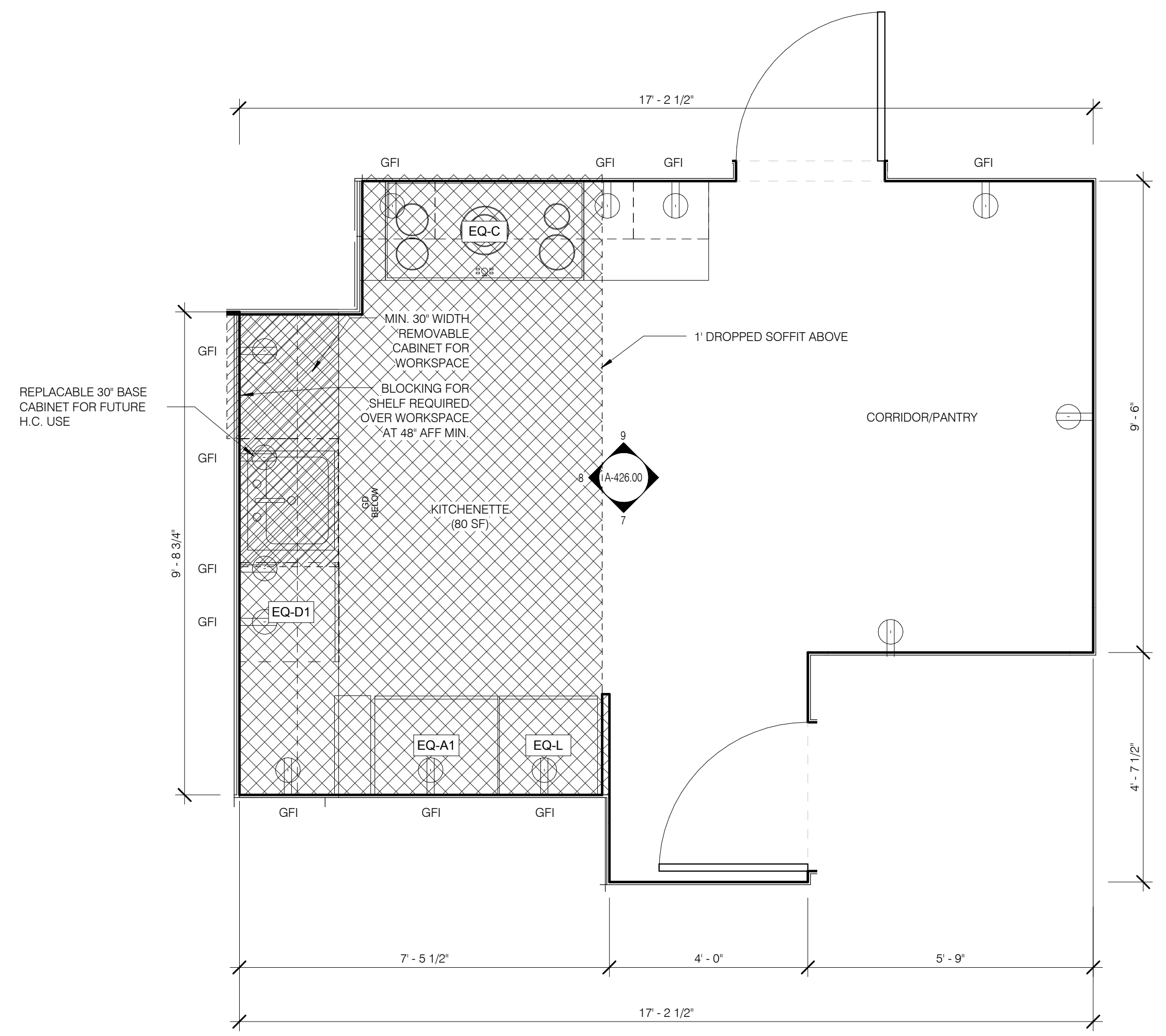
SK-2 KITCHENETTE S 1/2" = 1'-0" 7



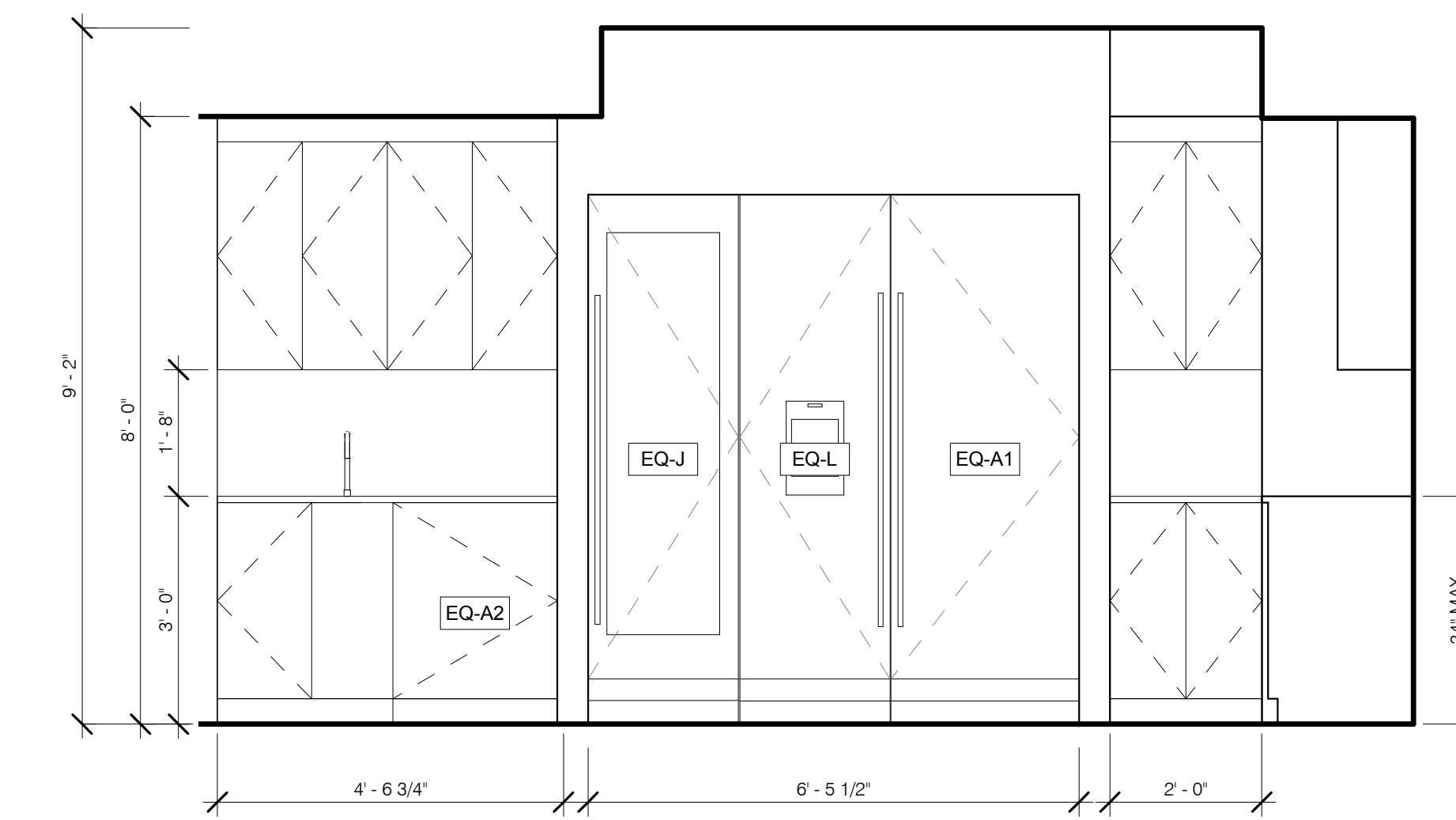
SK-2 KITCHENETTE W 1/2" = 1'-0" 8



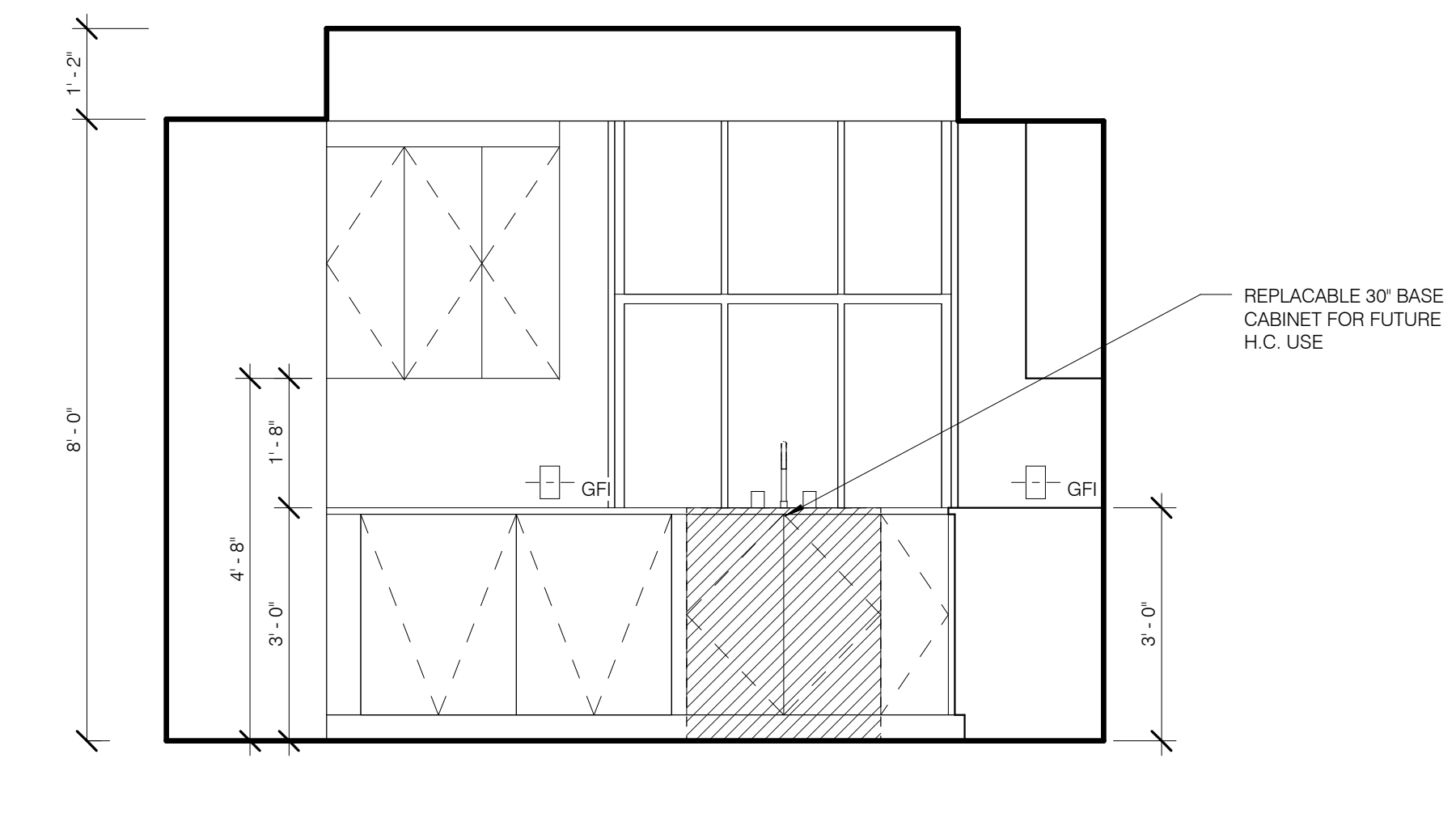
SK-2 KITCHENETTE N 1/2" = 1'-0" 9



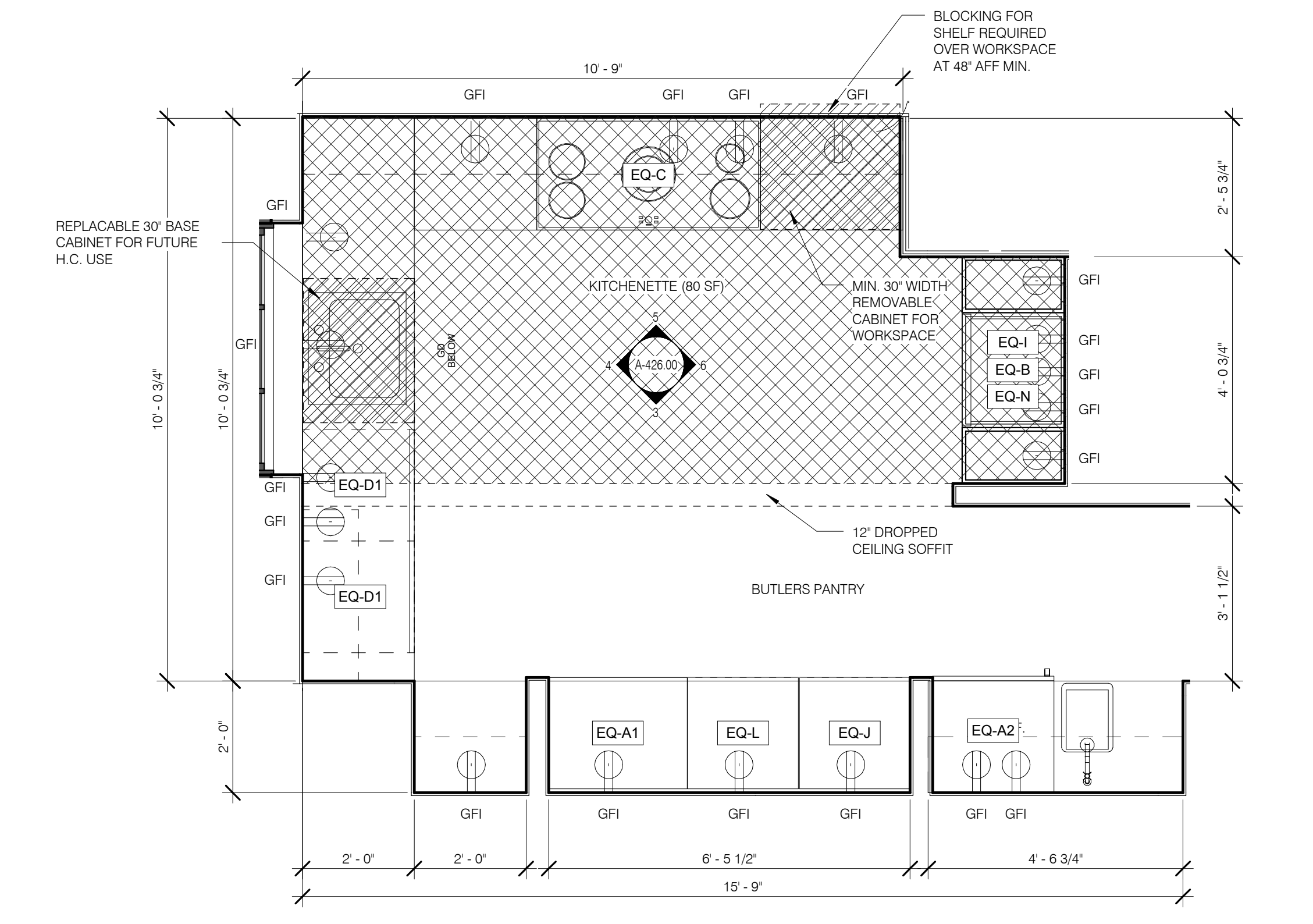
SK-2 KITCHENETTE (TYP.) 1/2" = 1'-0" 2



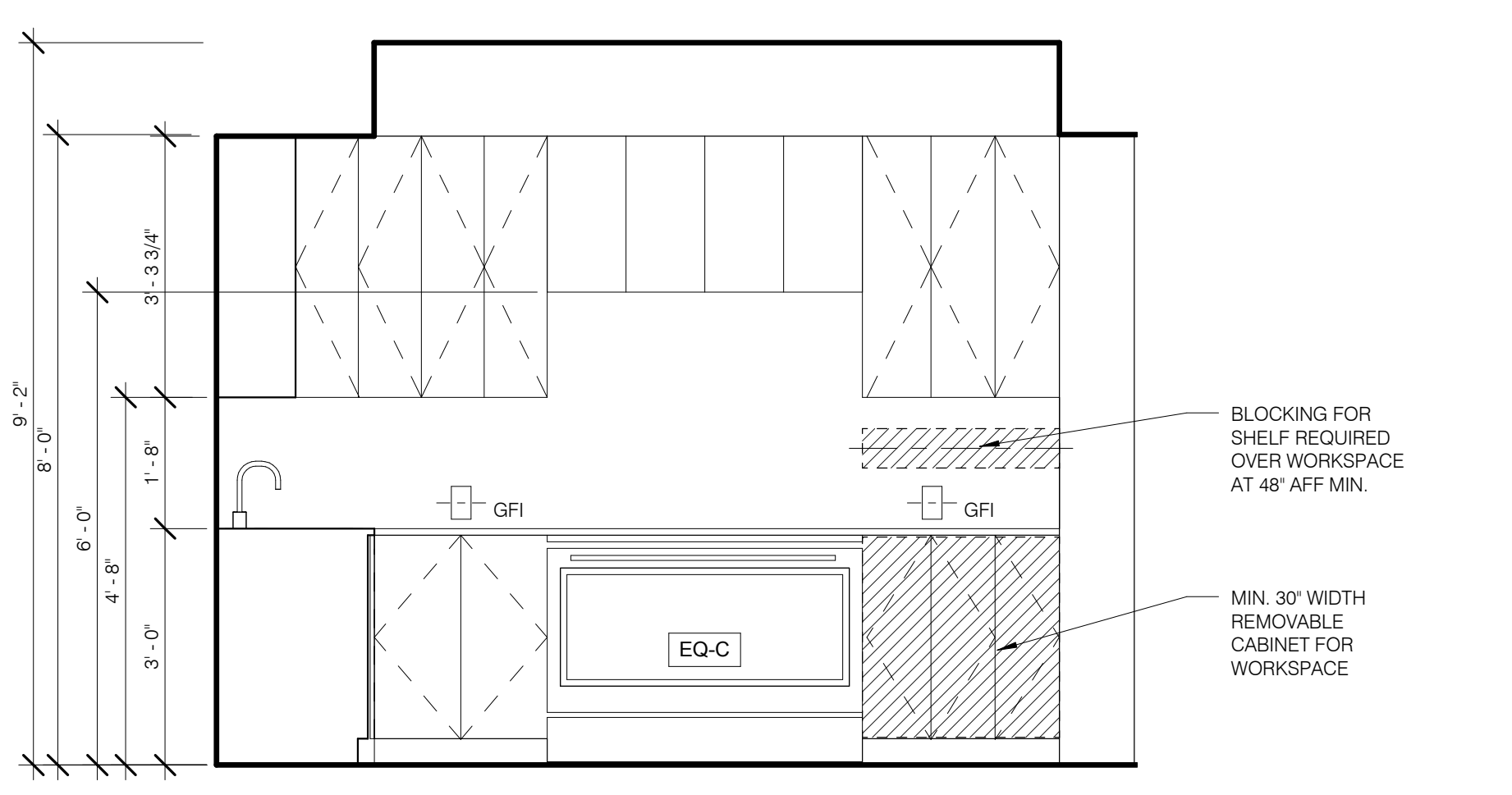
SK-1 KITCHENETTE S 1/2" = 1'-0" 3



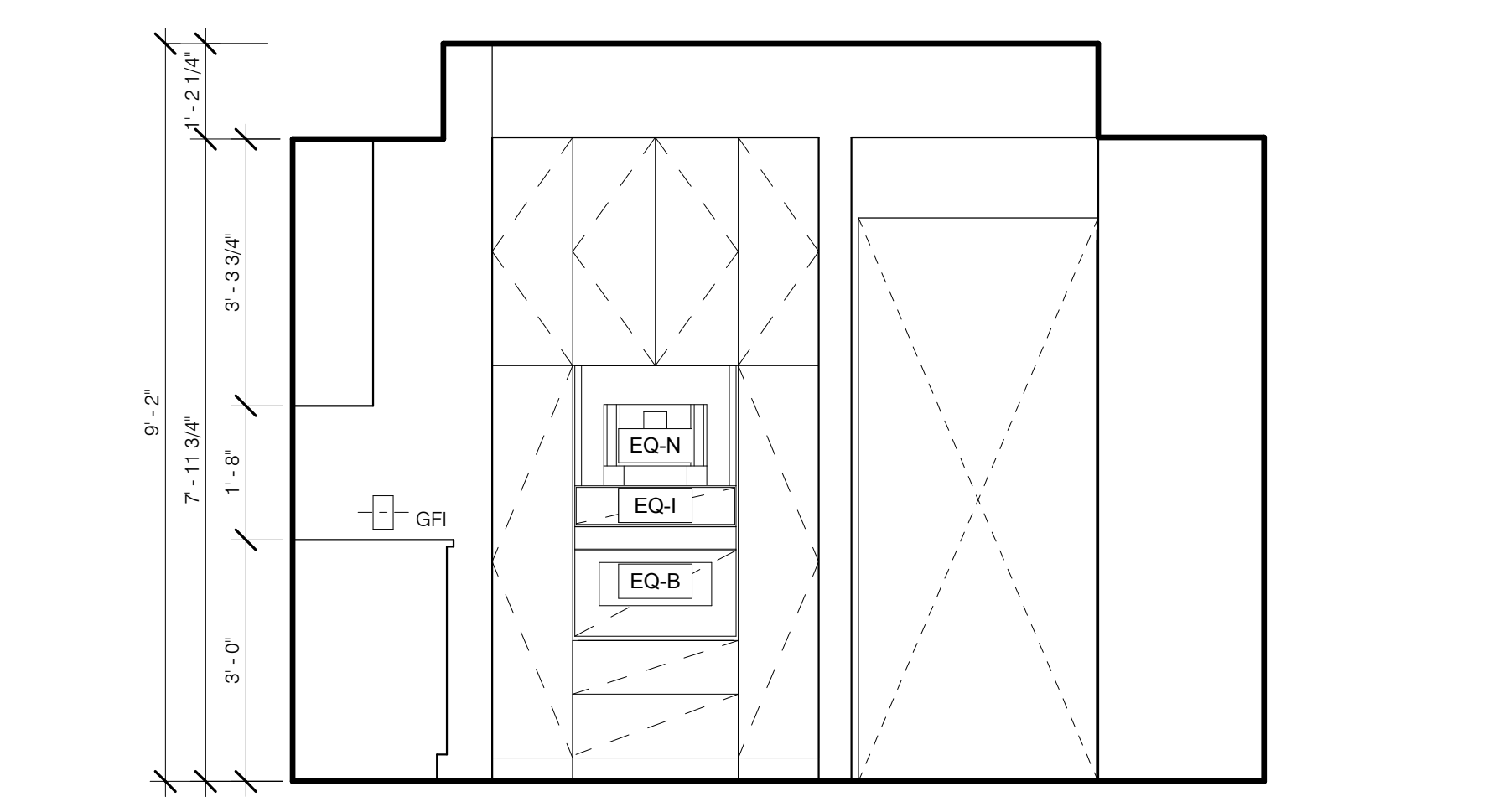
SK-1 KITCHEN W 1/2" = 1'-0" 4



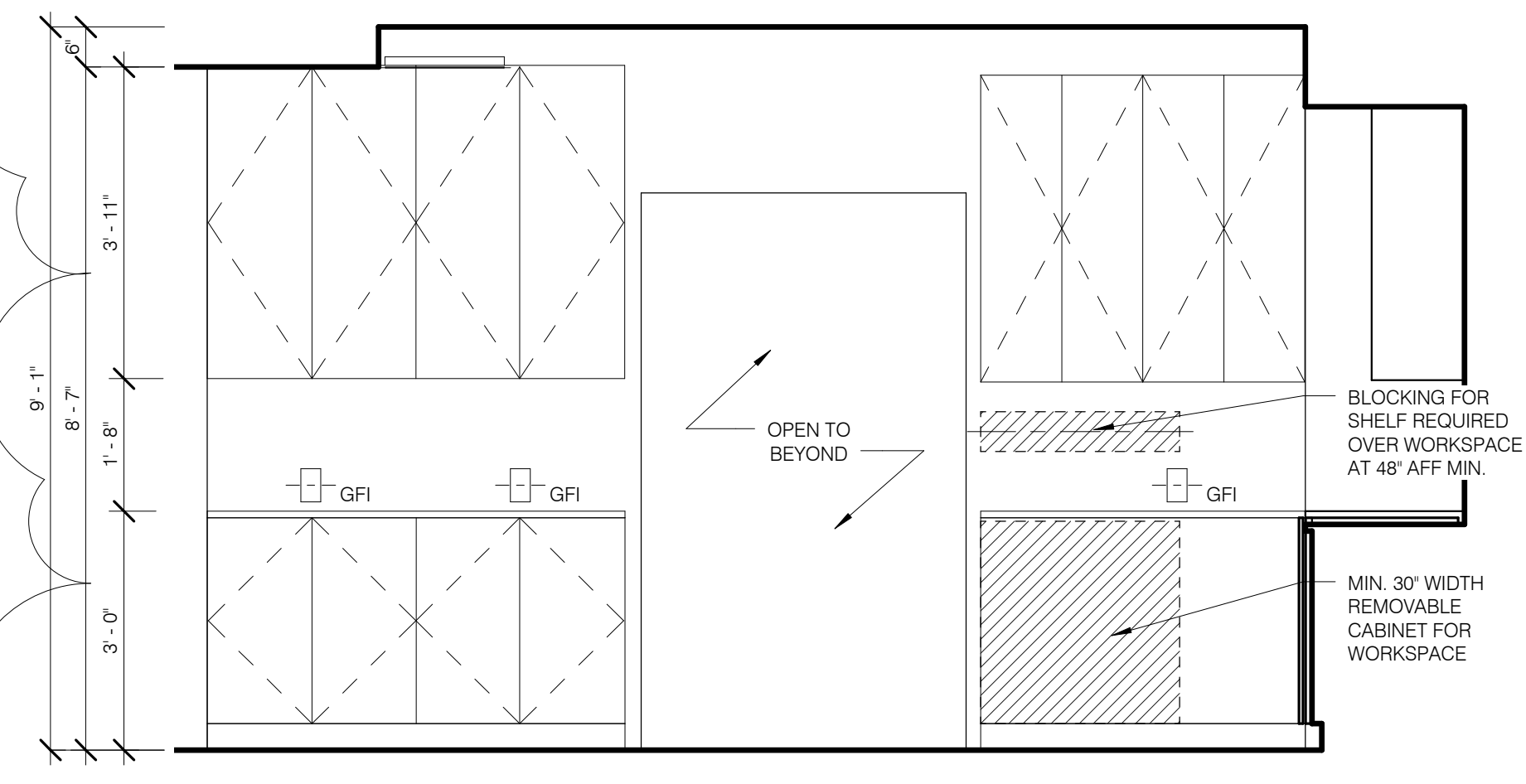
SK-1 KITCHENETTE 1/2" = 1'-0" 1



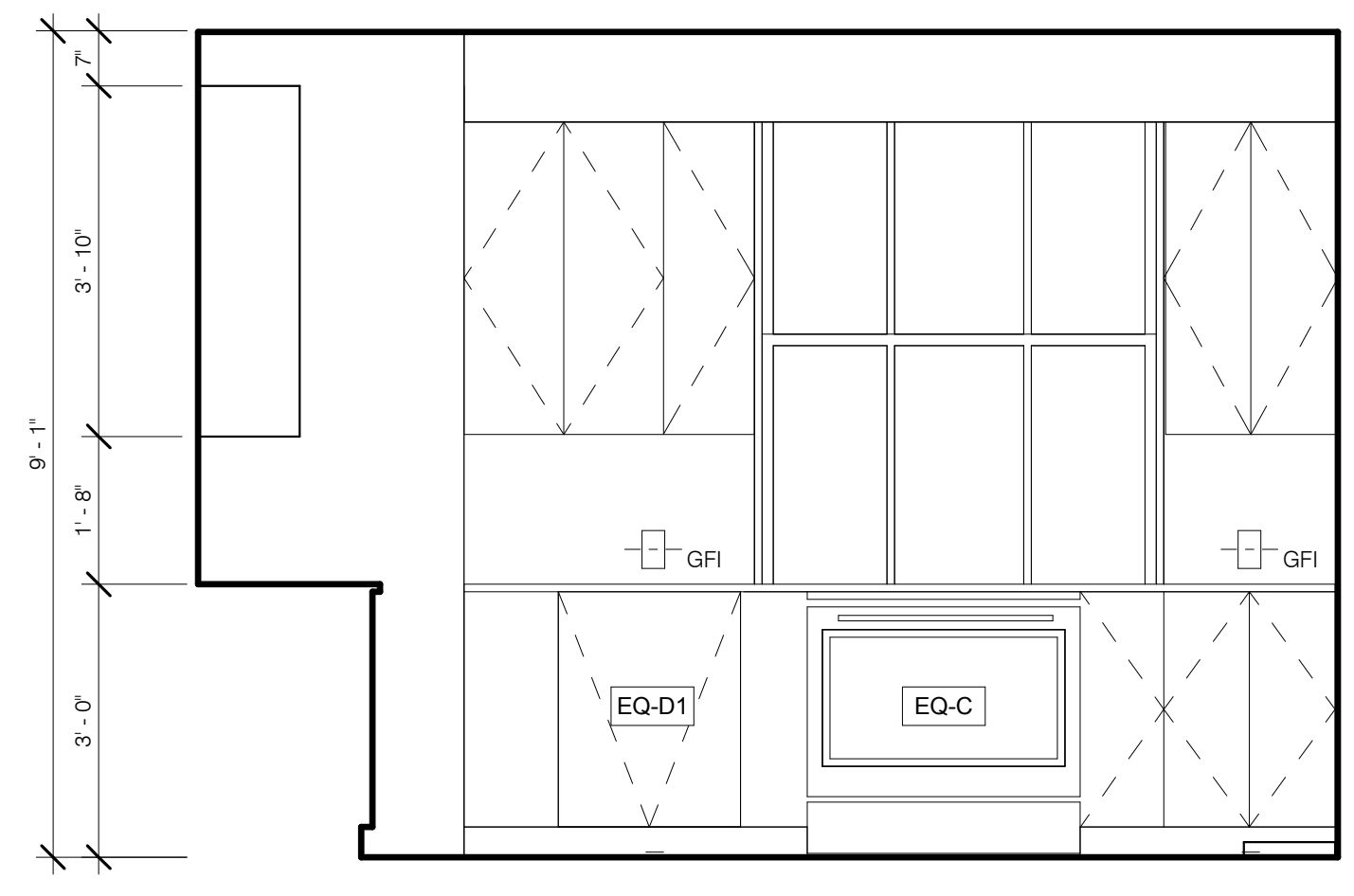
SK-1 KITCHEN N 1/2" = 1'-0" 5



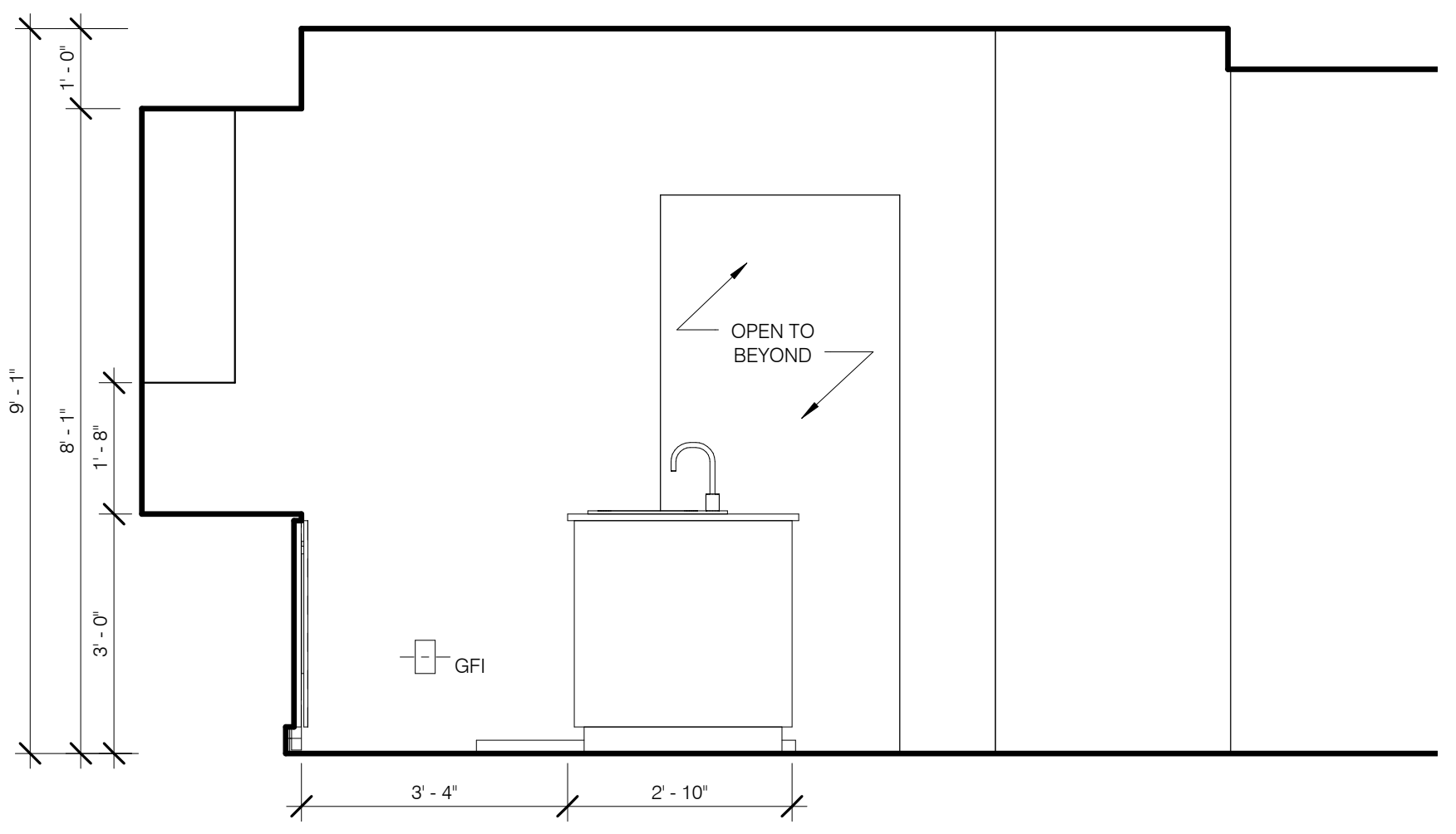
SK-1 KITCHENETTE E 1/2" = 1'-0" 6



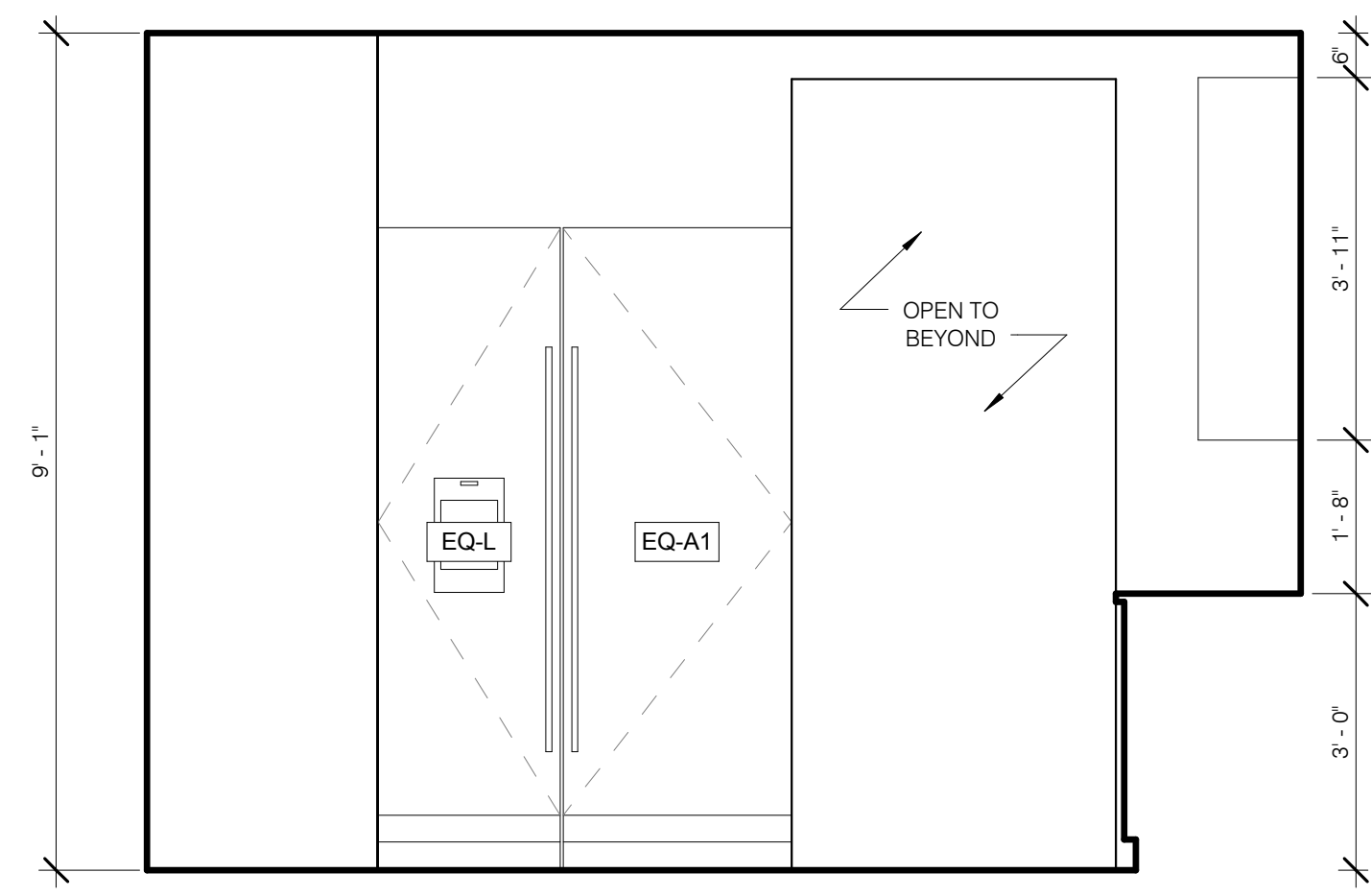
SK-3 KITCHENETTE S 1/2" = 1'-0" 3 A-427.00 A-427.00



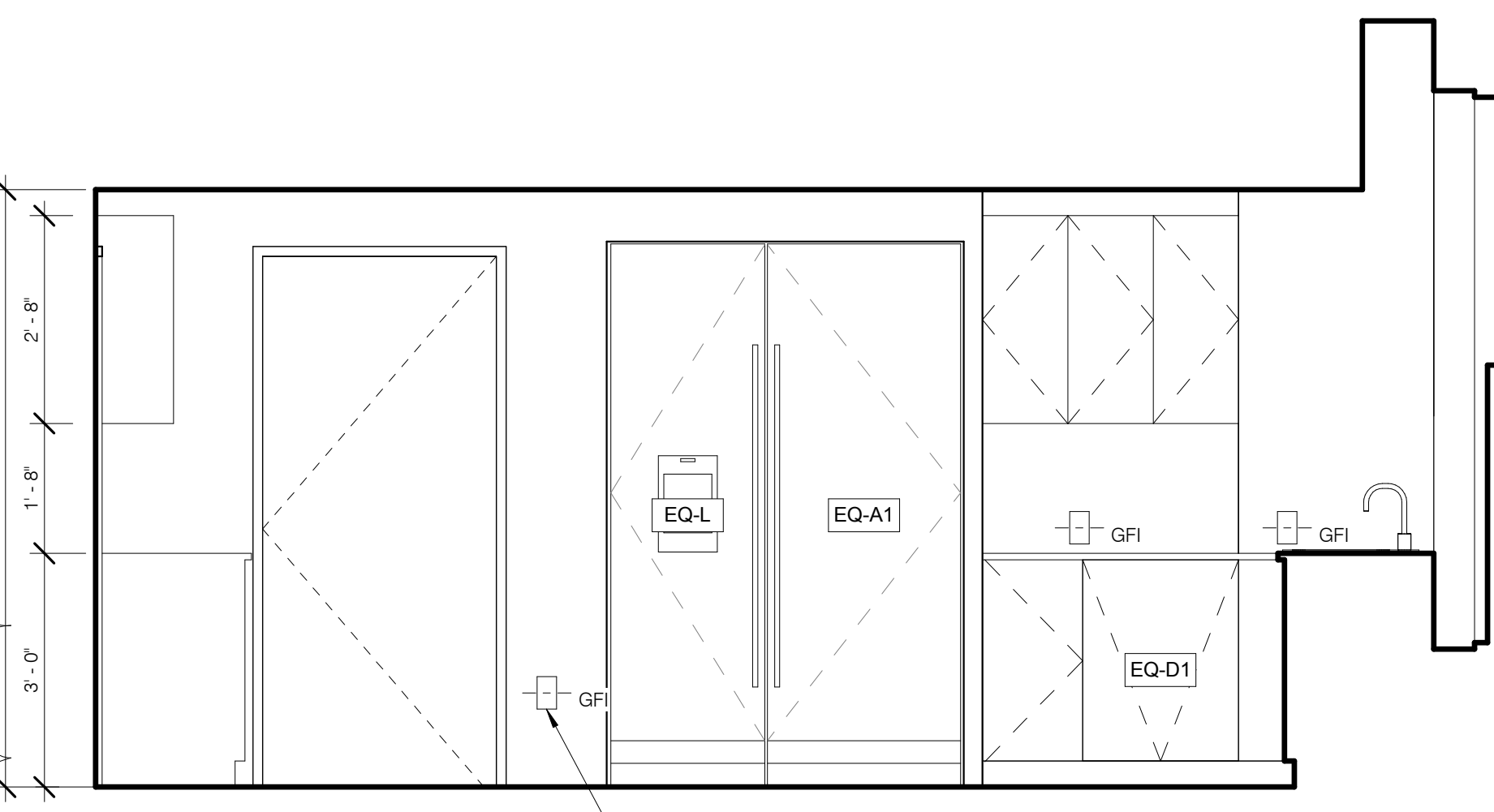
SK-3 KITCHENETTE W 1/2" = 1'-0" 4 A-427.00 A-427.00



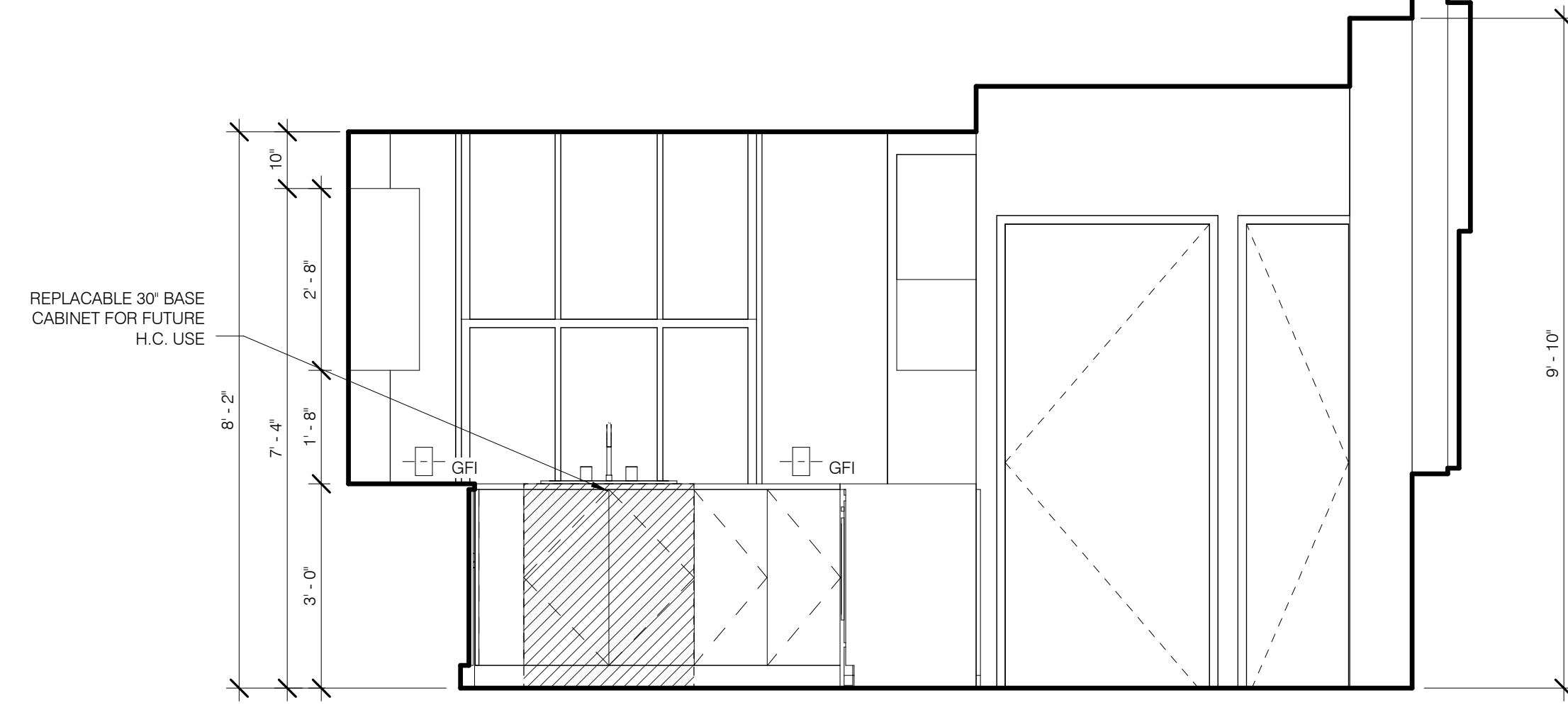
SK-3 KITCHENETTE N 1/2" = 1'-0" 5 A-427.00 A-427.00



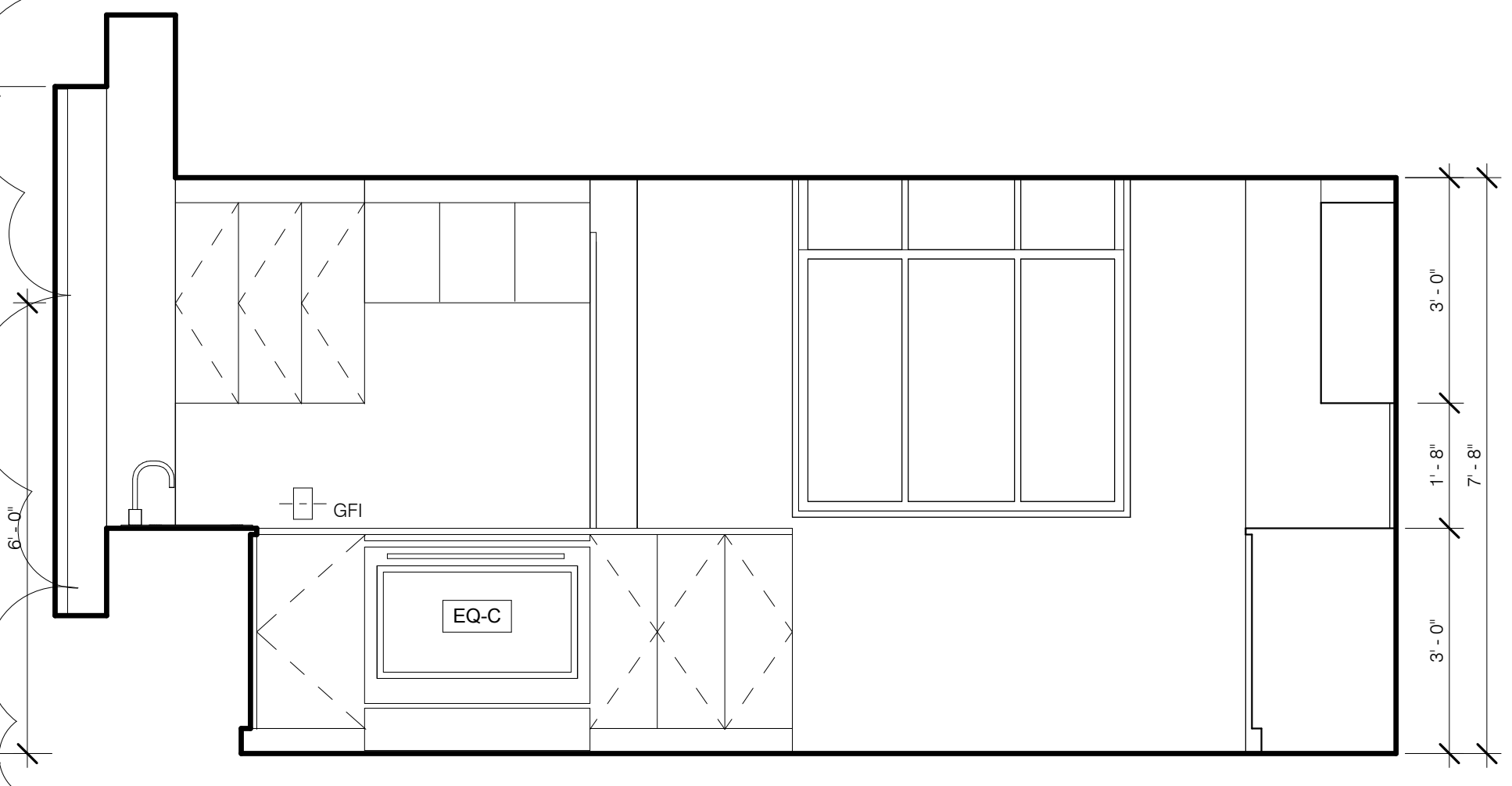
SK-3 KITCHENETTE E 1/2" = 1'-0" 6 A-427.00 A-427.00



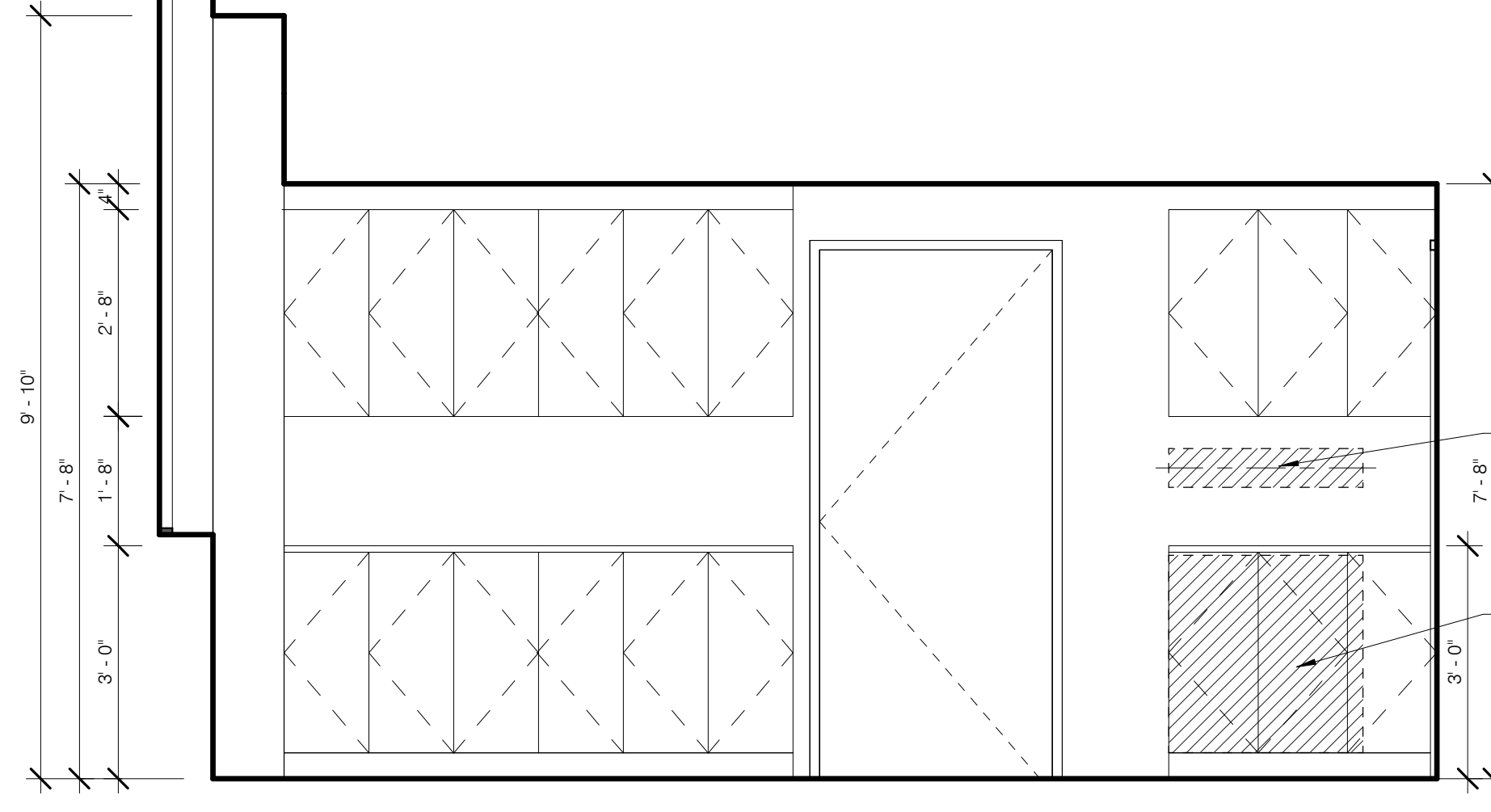
SK-4 KITCHEN S 1/2" = 1'-0" 7 A-427.00 A-427.00



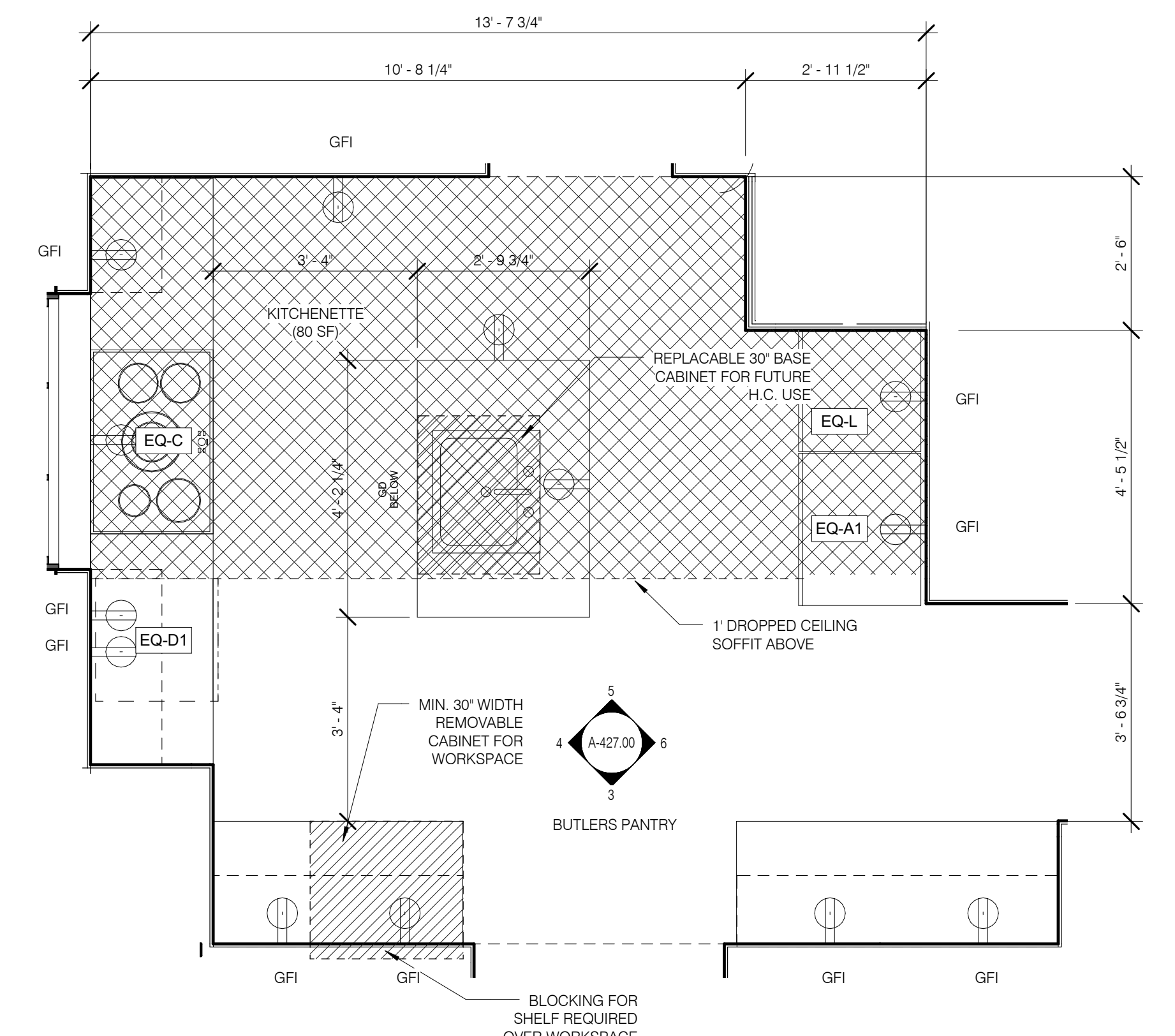
SK-4 KITCHEN W 1/2" = 1'-0" 8 A-427.00 A-427.00



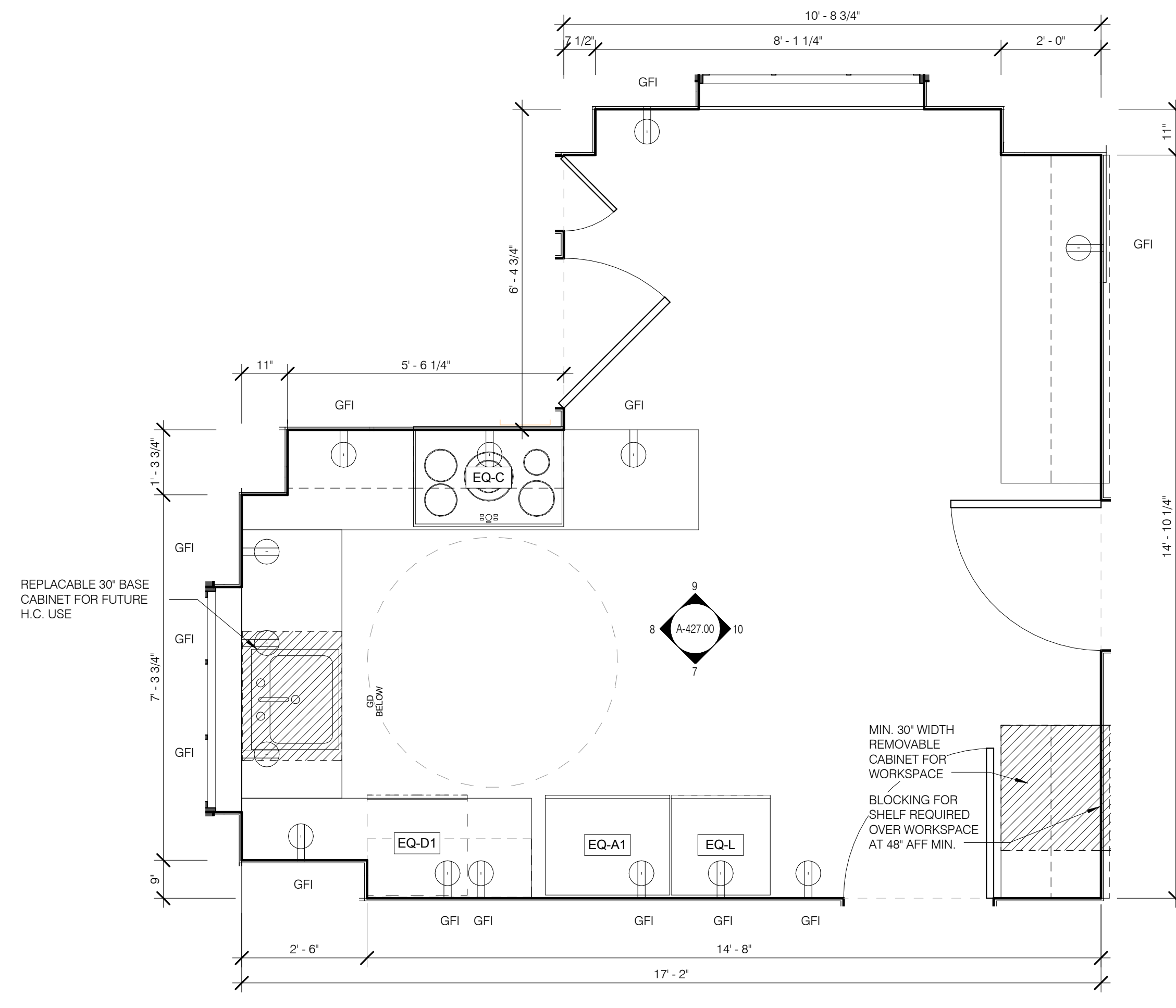
SK-4 KITCHEN N 1/2" = 1'-0" 9 A-427.00 A-427.00



SK-4 KITCHEN E 1/2" = 1'-0" 10 A-427.00 A-427.00



SK-3 KITCHENETTE 1/2" = 1'-0" 1 A-427.00



SK-4 KITCHEN 1/2" = 1'-0" 2 A-427.00

Unit Type	Level	Number	Name
SK-1			
6A	LEVEL 9	0901.C	KITCHENETTE (SK1)
10A	LEVEL 10	1001.C	KITCHENETTE (SK1)
SK-2			
10B	LEVEL 10	1002.C	KITCHENETTE (SK2)
11B	LEVEL 11	1102.C	KITCHENETTE (SK2)
SK-3			
11A	LEVEL 11	1101.C	KITCHENETTE (SK3)
SK-4			
13A	LEVEL 13	1301.C	KITCHEN (SK4)
SK-5			
13B	LEVEL 13	1302.C	KITCHEN (SK5)
14B	LEVEL 14	1402.Z	KITCHEN (SK5)
SK-6			
14A	LEVEL 14	1401.H	KITCHEN (SK6)
SK-7A			
16PH	LEVEL 16.0	1601.H	KITCHEN
SK-7B			
16PH	LEVEL 16.0	1601.V	BUTLER PANTRY
SK-8			
09B	LEVEL 9	0902.B	KITCHENETTE (SK8)
SK-9			
09C	LEVEL 9	0903.B	KITCHENETTE (SK9)
SK-10			
09D	LEVEL 9	0904.B	KITCHENETTE (SK10)
SK-11			
09E	LEVEL 9	0905.B	KITCHENETTE (SK11)

FOR ALL KITCHEN MILLWORK SEE INTERIOR DESIGN PACKAGE

JDS DEVELOPMENT GROUP

JDS DEVELOPMENT GROUP
140 WEST 57TH STREET, 6TH FLOOR
NEW YORK, NY 10019
TEL: 646.633.3892

sh p

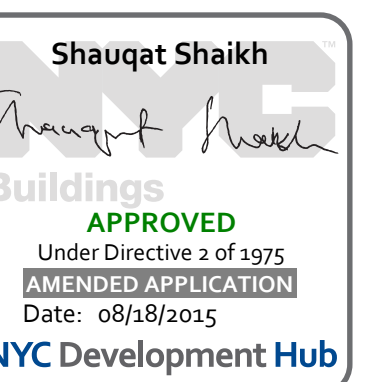
ARCHITECT	STRUCTURAL ENGINEER	MEP ENGINEER	MECHANICAL ENGINEER	CIVIL ENGINEER	ACCOUSTICS	INTERIORS	STUDIO SCOFFED
SHAP ARCHITECTS, P.C. 230 BROADWAY, 17TH FLOOR NEW YORK, NY 10007 TEL: 212.697.8888	WSP CANFOR SERAJK 230 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212.697.8888	JAMES SHAW & BEALES ALPINE STREET, 13TH FLOOR NEW YORK, NY 10003 TEL: 212.203.9933	WINDENBERG & ASSOCIATES 4 WOODSIDE STREET, SUITE 504 LITTLETON, CO 80120 TEL: 303.944.5222	JAN HRODPOKORNY ASSOCIATES 30 WOOD STREET, FLOOR 5A NEW YORK, NY 10014 TEL: 212.599.8485	LONGMANN LINDSEY 41 WEST 34TH STREET, 6TH FLOOR NEW YORK, NY 10018 TEL: 212.203.3882	INTERIORS STUDIO SCOFFED 300 W 42ND STREET NEW YORK, NY 10018 TEL: 212.203.0000	LORESEVATORE INTERNATIONAL 120 BAY 6TH STREET, 7TH FLOOR (EAST) NEW YORK, NY 10013 TEL: 212.203.4465



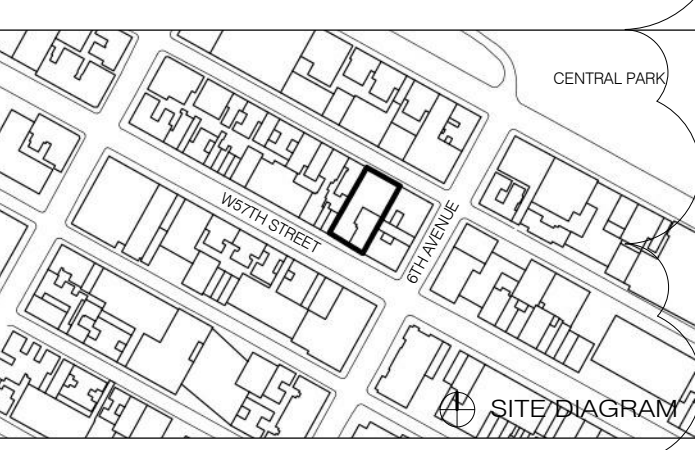
PROPERTY MARKETS GROUP
1 EAST 17TH STREET, 24TH FLOOR
NEW YORK, NY 10003
TEL: 212.697.8888

CURRENT ISSUE

DOB PAA



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019

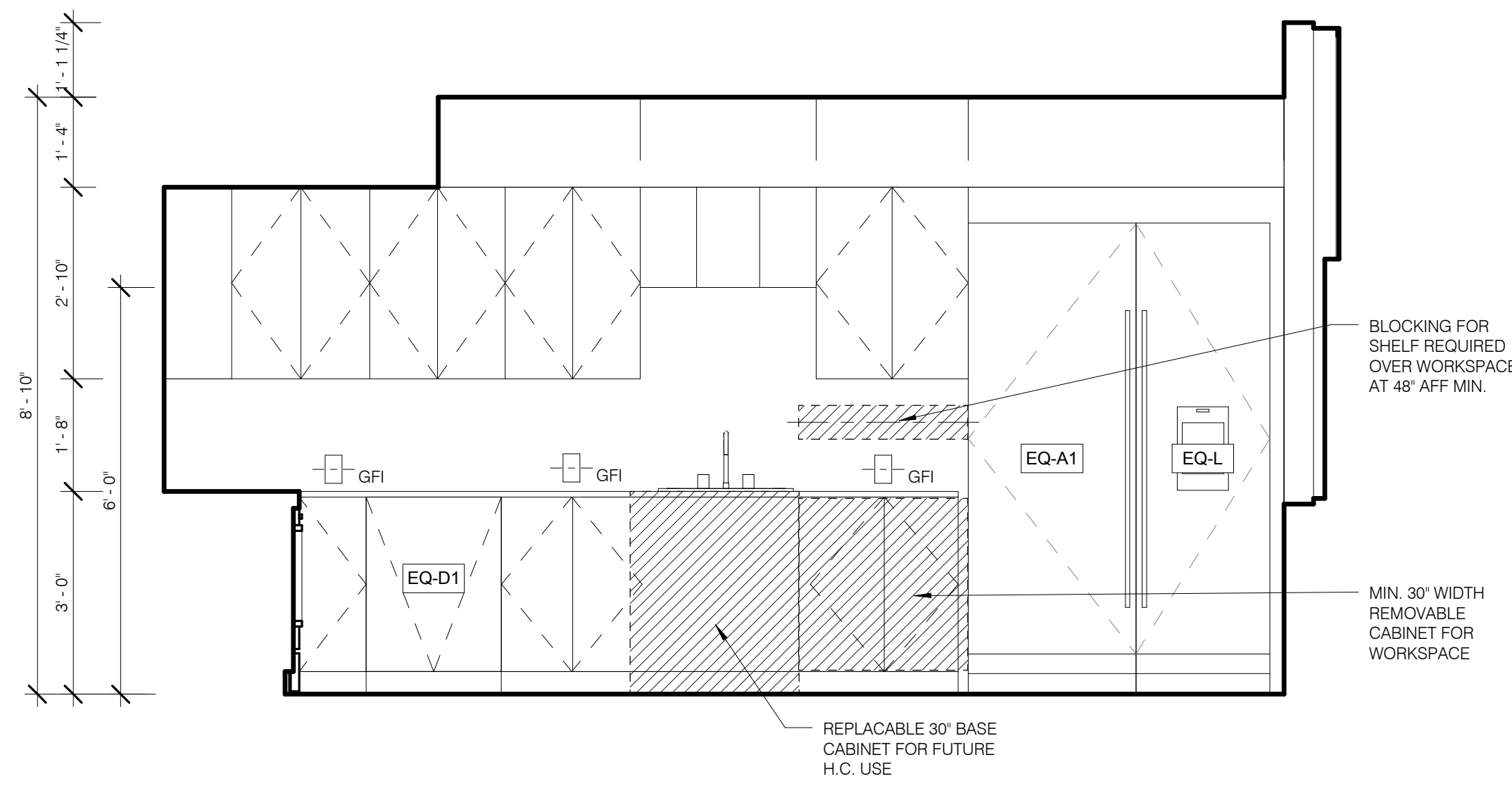
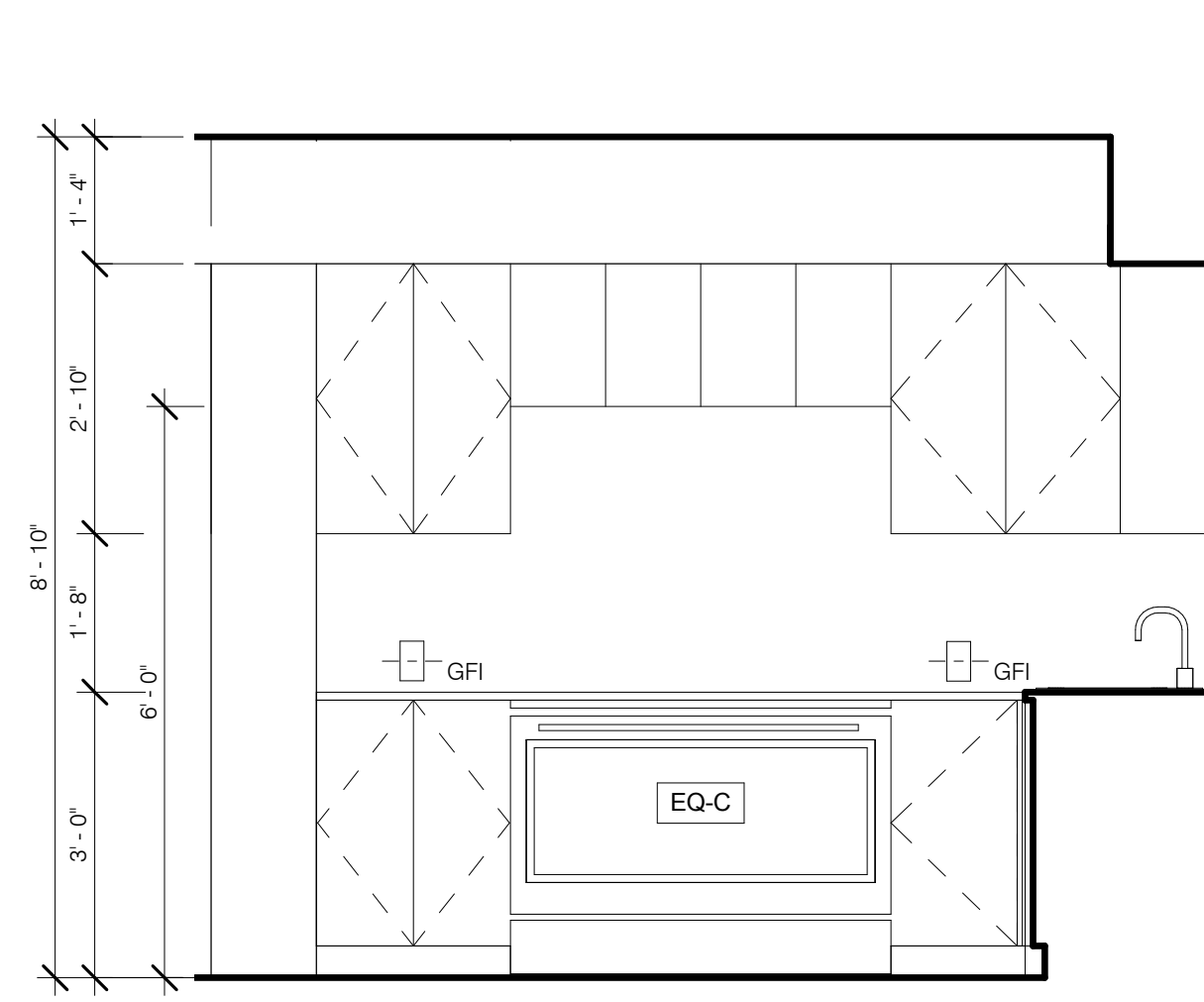


NO.	DATE	REVISION
1	03.27.15	DOB PAA

DRAWING TITLE
KITCHENS - STEINWAY ENLARGED PLANS AND ELEVATIONS

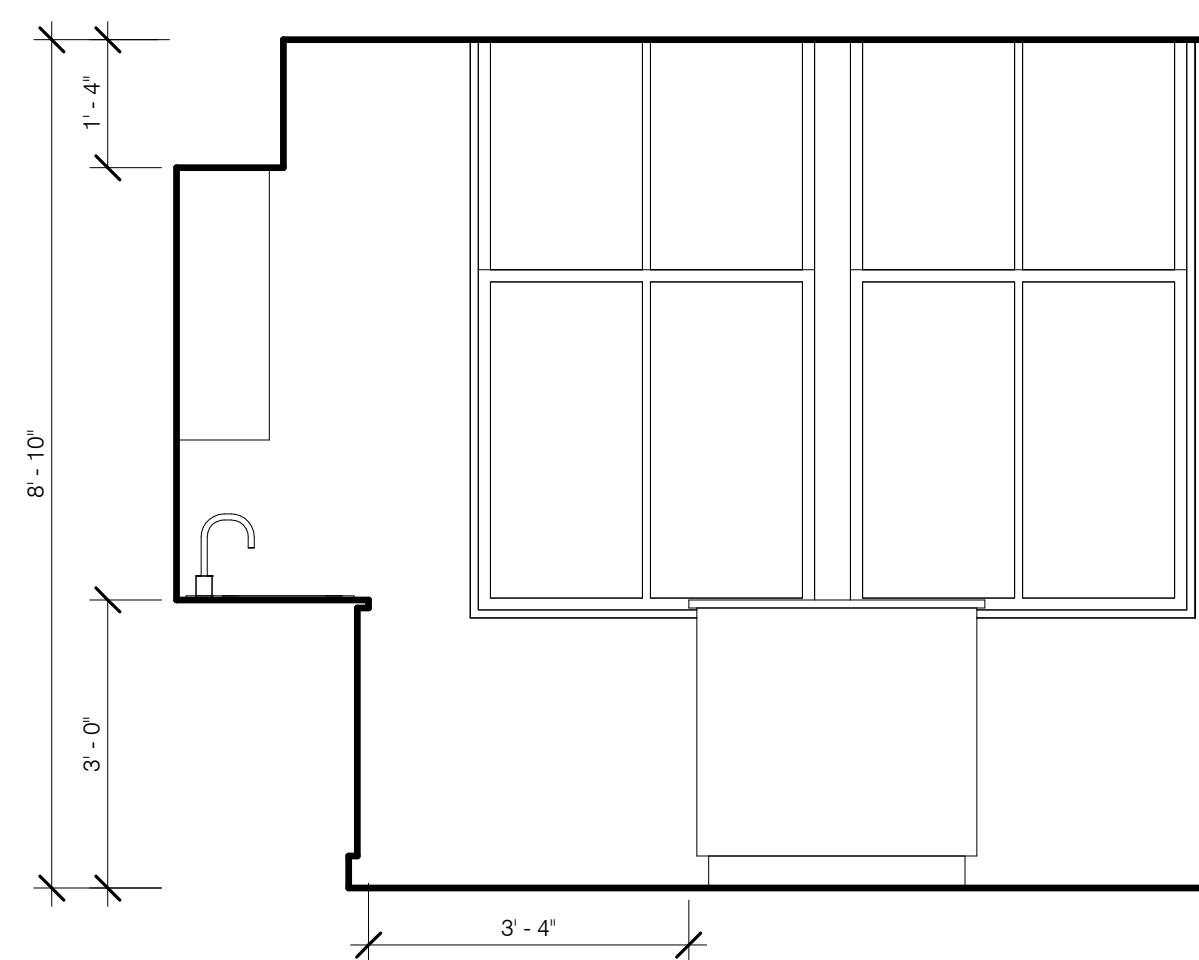
SEAL & SIGNATURE	DATE
	2.20.15

PROJECT NO. 130607
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DOB NO. 121332968
DRAWING NUMBER: A-427.00

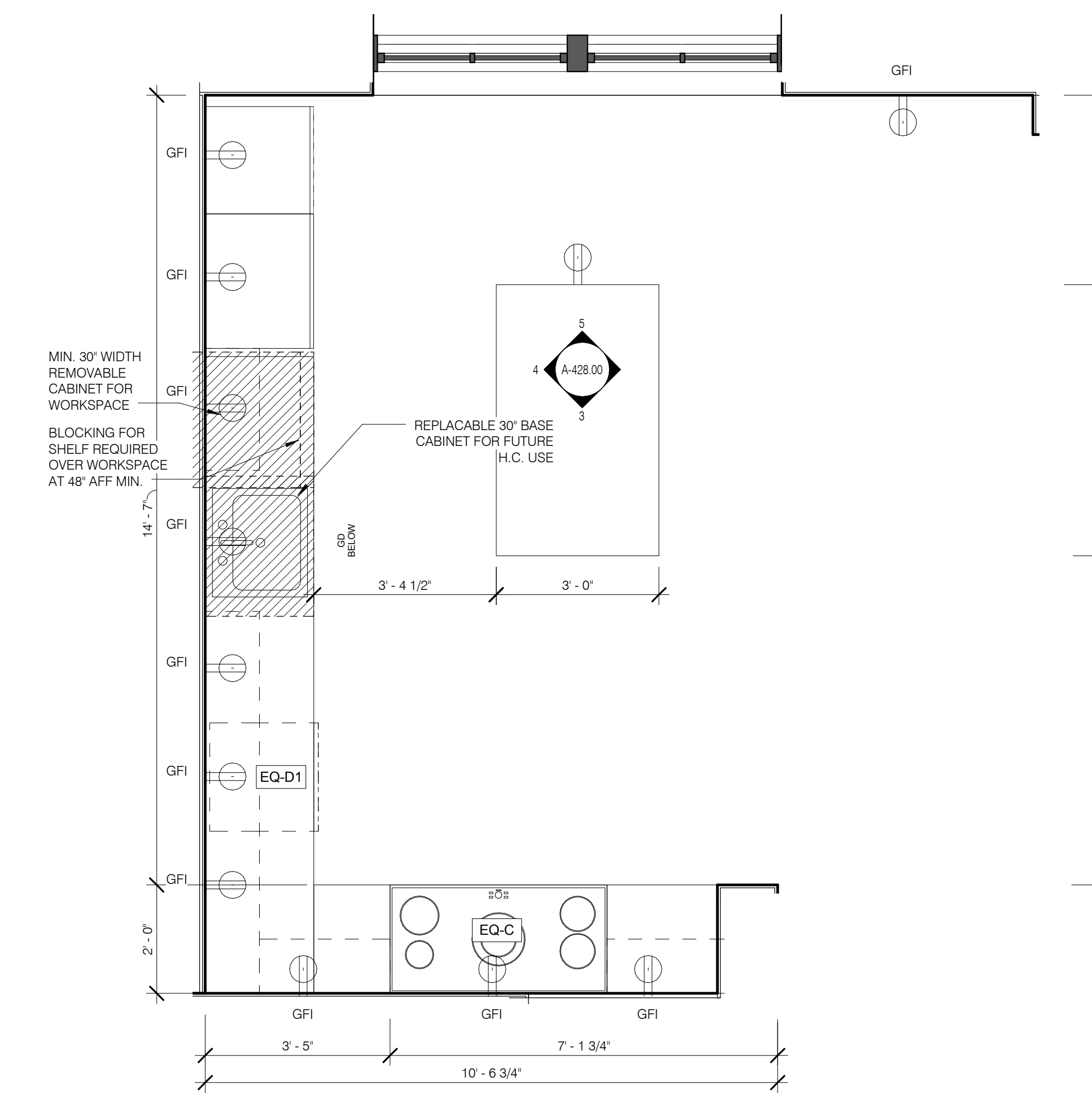


SK-5 KITCHEN S 1/2" = 1'-0" 3 A-428.00 A-428.00

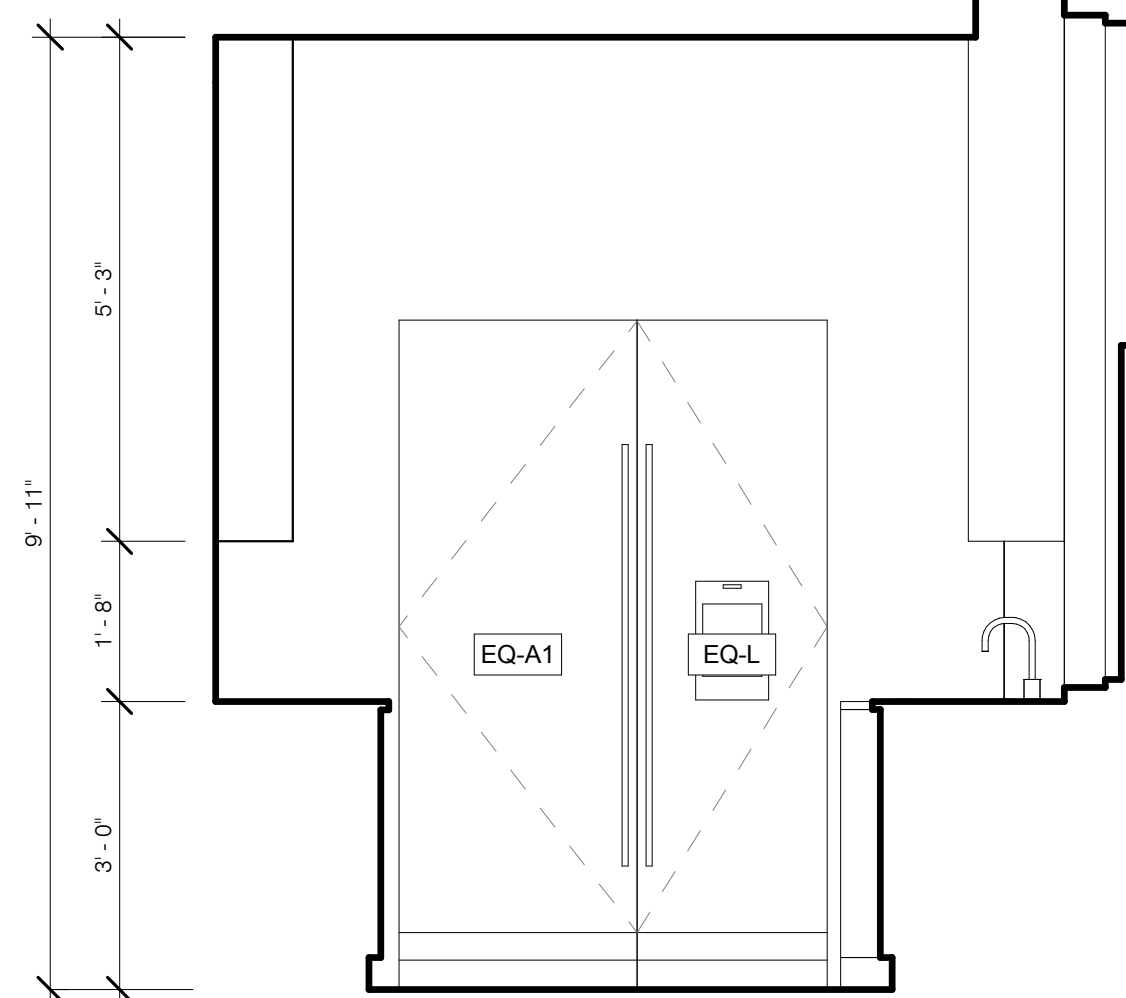
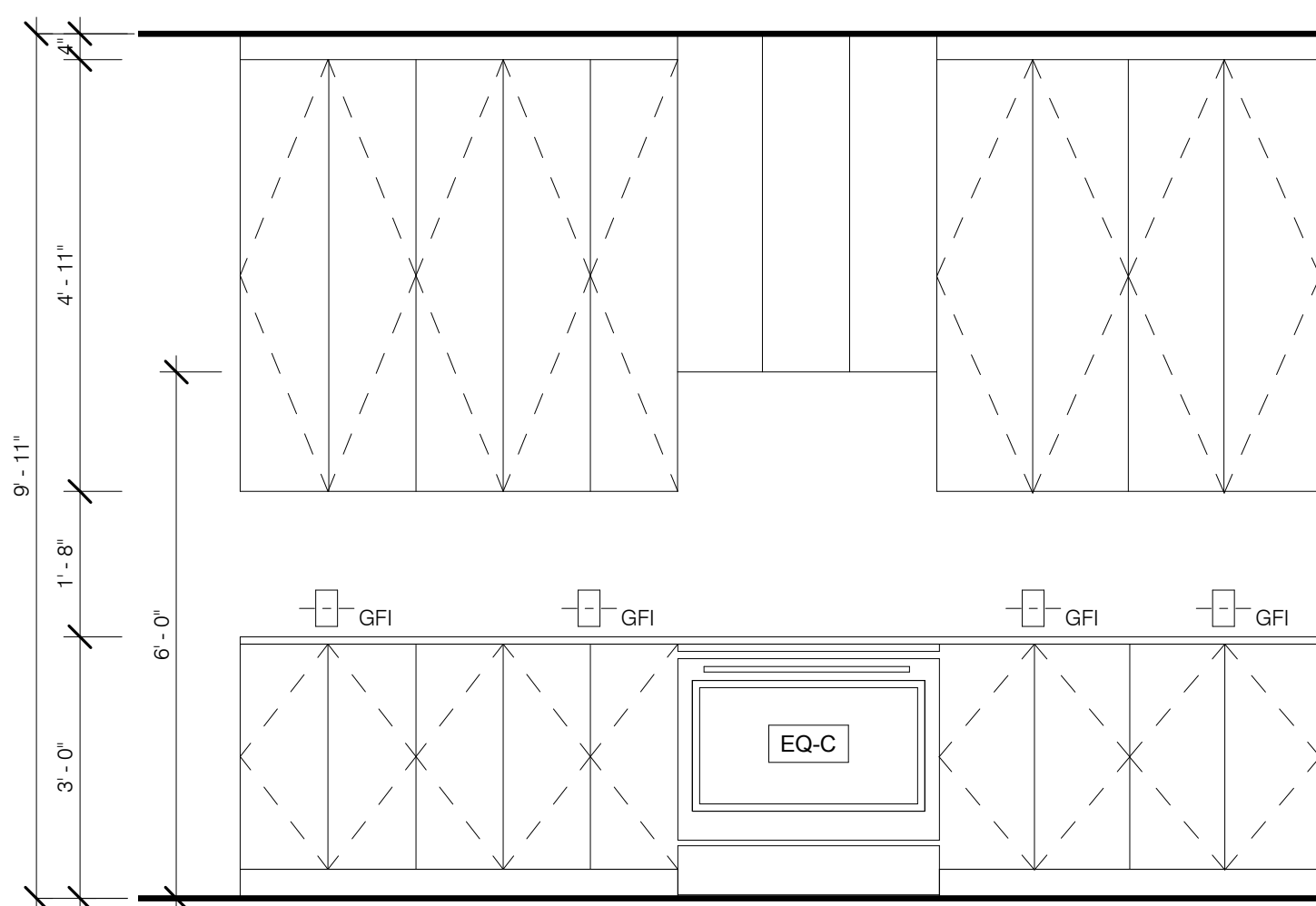
SK-5 KITCHEN W 1/2" = 1'-0" 4 A-428.00 A-428.00



SK-5 KITCHEN N 1/2" = 1'-0" 5 A-428.00 A-428.00

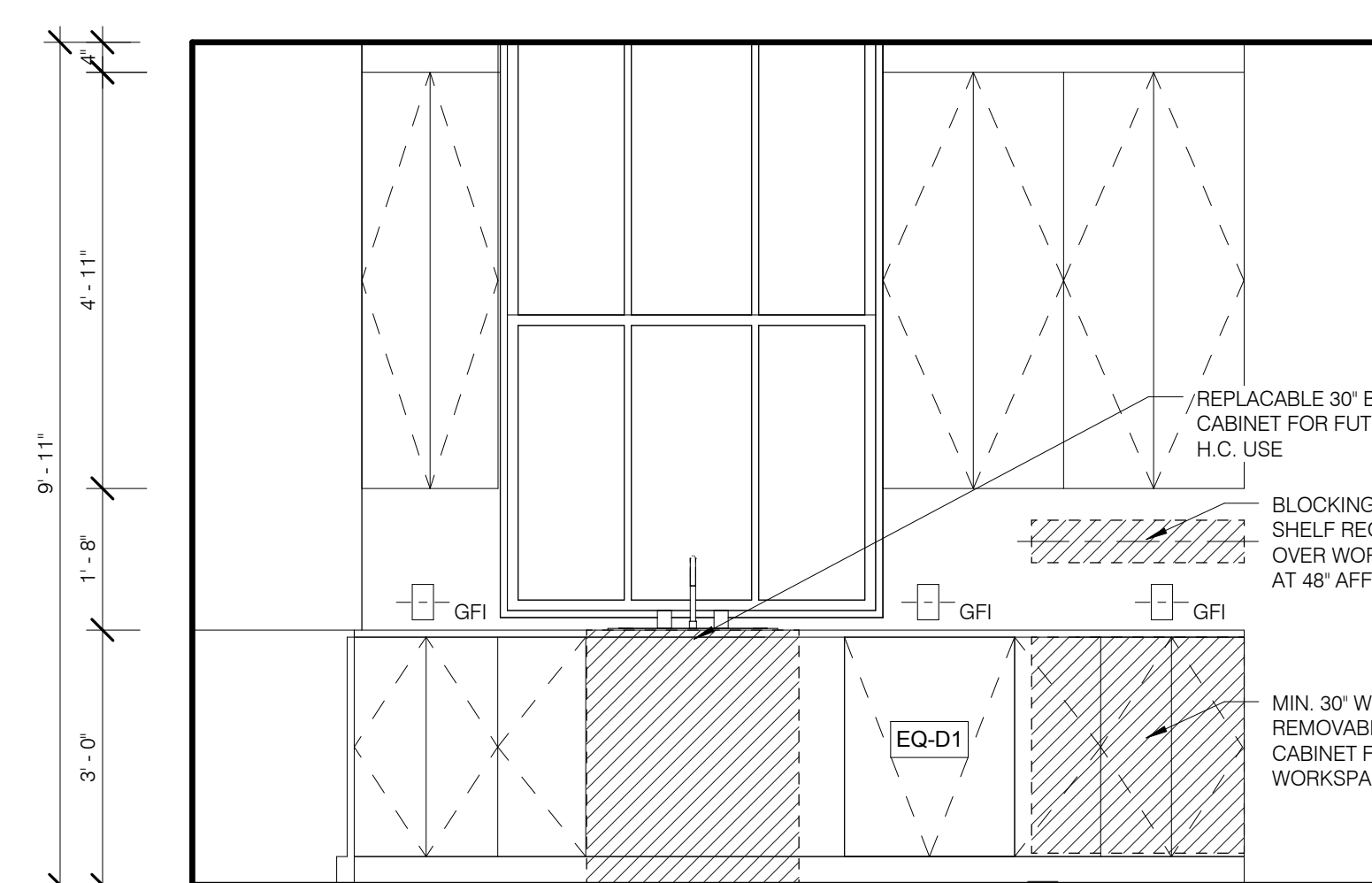


SK-5 KITCHEN (TYP) 1/2" = 1'-0" 1 A-428.00

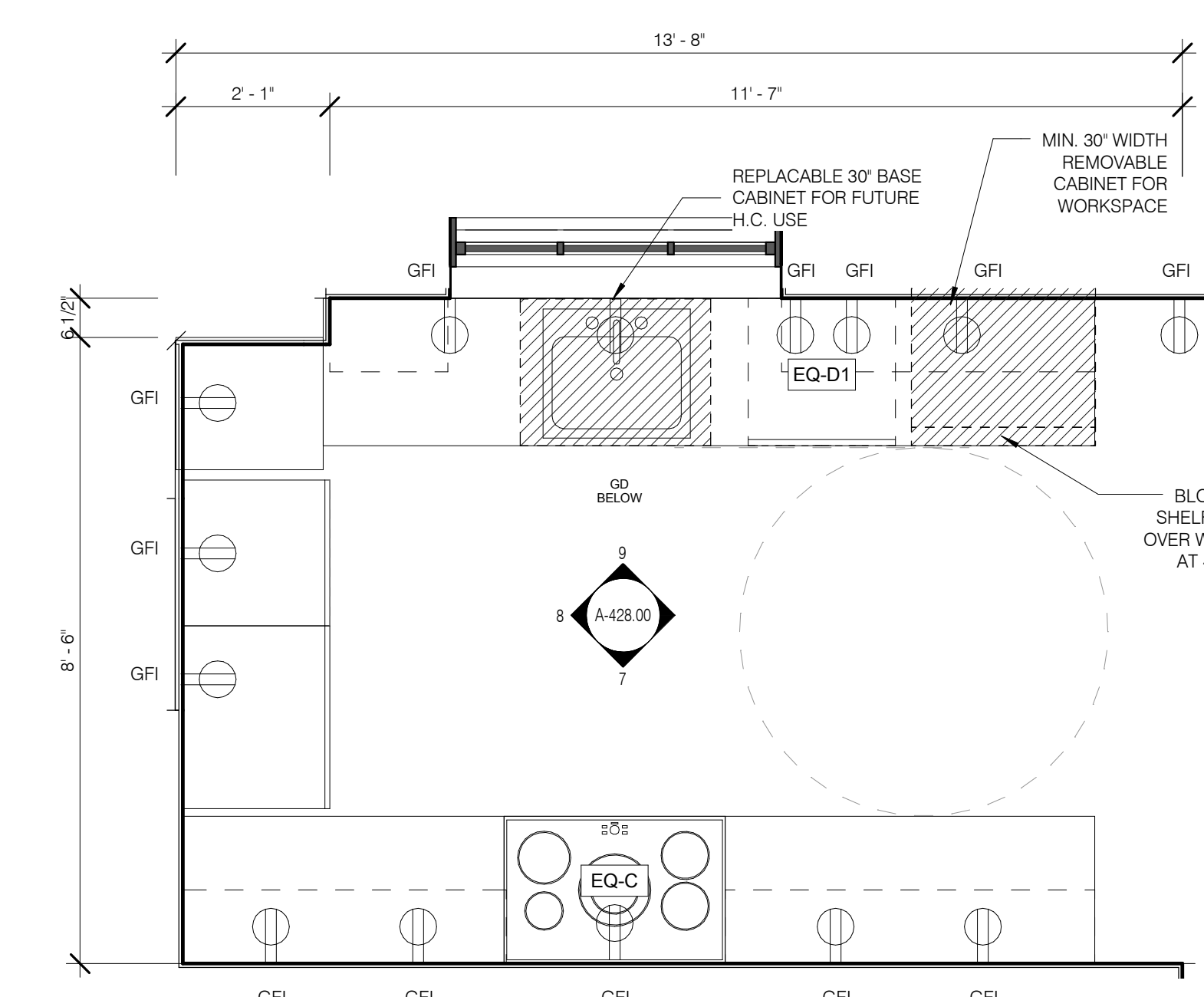


SK-6 KITCHEN S 1/2" = 1'-0" 7 A-428.00 A-428.00

SK-6 KITCHEN W 1/2" = 1'-0" 8 A-428.00 A-428.00



SK-6 KITCHEN N 1/2" = 1'-0" 9 A-428.00 A-428.00



SK-6 KITCHEN 1/2" = 1'-0" 2 A-428.00

Unit Type	Level	Number	Name
SK-1			
08A	LEVEL 9	0901.C	KITCHENETTE (SK1)
10A	LEVEL 10	1001.C	KITCHENETTE (SK1)
SK-2			
10B	LEVEL 10	1002.C	KITCHENETTE (SK2)
11B	LEVEL 11	1102.C	KITCHENETTE (SK2)
SK-3			
11A	LEVEL 11	1101.C	KITCHENETTE (SK3)
SK-4			
13A	LEVEL 13	1301.C	KITCHEN (SK4)
SK-5			
13B	LEVEL 13	1302.C	KITCHEN (SK5)
14B	LEVEL 14	1402.Z	KITCHEN (SK5)
SK-6			
14A	LEVEL 14	1401.H	KITCHEN (SK6)
SK-7A			
16PH	LEVEL 16.0	1601.H	KITCHEN
SK-7B			
16PH	LEVEL 16.0	1601.V	BUTLER PANTRY
SK-8			
09B	LEVEL 9	0902.B	KITCHENETTE (SK8)
SK-9			
09C	LEVEL 9	0903.B	KITCHENETTE (SK9)
SK-10			
09D	LEVEL 9	0904.B	KITCHENETTE (SK10)
SK-11			
09E	LEVEL 9	0905.B	KITCHENETTE (SK11)

FOR ALL KITCHEN MILLWORK SEE INTERIOR DESIGN PACKAGE

JDS DEVELOPMENT GROUP

JDS DEVELOPMENT GROUP
140 WEST 57TH STREET, 8TH FLOOR
NEW YORK, NY 10019
TEL: 646.625.3800

sh p

ARCHITECT
SHIP ARCHITECTS, P.C.
230 WEST 47TH STREET
NEW YORK, NY 10019
TEL: 212.693.8888

STRUCTURAL ENGINEER
WSP CANFOR SENK
230 WEST 47TH STREET
NEW YORK, NY 10019
TEL: 212.693.8888

MEP ENGINEER
JAMES SHUKLA & ASSOCIATES
400 WEST 125TH STREET
NEW YORK, NY 10032
TEL: 212.693.8888

CIVIL ENGINEER
ARUP ENGINEERING, P.C.
400 WEST 125TH STREET
NEW YORK, NY 10019
TEL: 212.693.8888

ACOUSTICS
LONGMANN LINDSEY
400 WEST 125TH STREET
NEW YORK, NY 10019
TEL: 212.693.8888

INTERIORS
STUDIO SCOFIELD
100 PARK AVENUE, 27th FLOOR (EAST)
NEW YORK, NY 10022
TEL: 212.693.8888

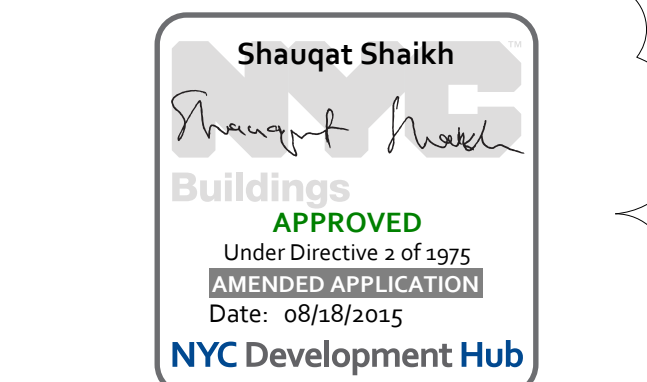
PROPERTY MARKETS GROUP
140 WEST 57TH STREET, 24th FLOOR
NEW YORK, NY 10019
TEL: 212.693.8888

CURRENT ISSUE

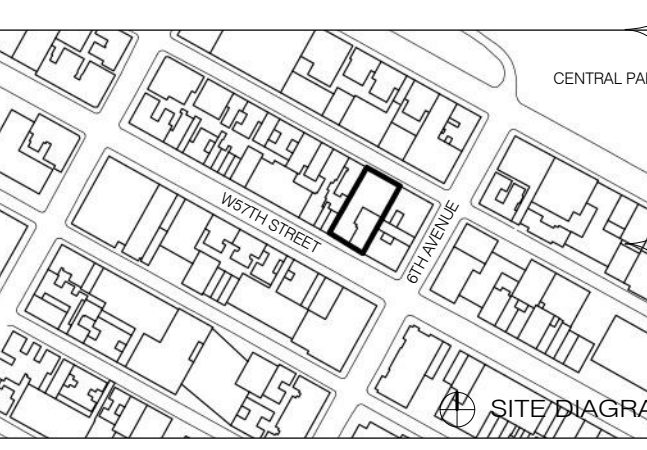


PROPERTY MARKETS GROUP
140 WEST 57TH STREET, 24th FLOOR
NEW YORK, NY 10019
TEL: 212.693.8888

DOB PAA



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



NO.	DATE	REVISION
1	03.27.15	DOB PAA

DRAWING TITLE
KITCHENS - STEINWAY ENLARGED PLANS AND ELEVATIONS

SEAL & SIGNATURE	DATE
	3.27.15

PROJECT NO. 130607
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DOB NO. 121332968
DRAWING NUMBER
A-428.00

KITCHEN TYPES BY UNIT - STEINWAY

Unit Type	Level	Number	Name
SK-1			
09A	LEVEL 9	0901.C	KITCHENETTE (SK1)
10A	LEVEL 10	1001.Q	KITCHENETTE (SK1)
SK-2			
10B	LEVEL 10	1002.C	KITCHENETTE (SK2)
11B	LEVEL 11	1102.C	KITCHENETTE (SK2)
SK-3			
11A	LEVEL 11	1101.C	KITCHENETTE (SK3)
SK-4			
13A	LEVEL 13	1301.C	KITCHEN (SK4)
SK-5			
13B	LEVEL 13	1302.C	KITCHEN (SK5)
14B	LEVEL 14	1402.Z	KITCHEN (SK5)
SK-6			
14A	LEVEL 14	1401.H	KITCHEN (SK6)
SK-7A			
16H	LEVEL 16.0	1601.H	KITCHEN
SK-7B			
16H	LEVEL 16.0	1601.V	BUTLER PANTRY
SK-8			
09B	LEVEL 9	0902.B	KITCHENETTE (SK8)
SK-9			
09C	LEVEL 9	0903.B	KITCHENETTE (SK9)
SK-10			
09D	LEVEL 9	0904.B	KITCHENETTE (SK10)
SK-11			
09E	LEVEL 9	0905.B	KITCHENETTE (SK11)

FOR ALL KITCHEN MILLWORK SEE INTERIOR DESIGN PACKAGE

JDS DEVELOPMENT GROUP

JDS DEVELOPMENT GROUP
100 FIFTH AVENUE, 11TH FLOOR
NEW YORK, NY 10011
TEL: 212.633.2600

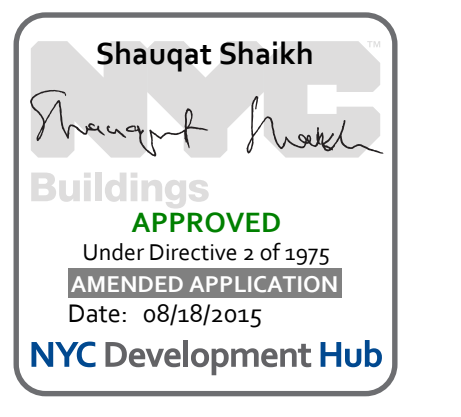
sh p

- ARCHITECT
sh p ARCHITECTS, P.C.
230 BROADWAY, 11TH FLOOR
NEW YORK, NY 10019
TEL: 212.693.8200
- STRUCTURAL ENGINEER
WSP CANFOR SENIK
228 EAST 47TH STREET
NEW YORK, NY 10017
TEL: 212.697.9966
- MEP ENGINEER
CH2M HILL
300 WEST 30TH STREET
NEW YORK, NY 10001
TEL: 212.512.2200
- CIVIL ENGINEER
ARUP ENGINEERING, P.C.
400 MADISON AVENUE, 27TH FLOOR
NEW YORK, NY 10017
TEL: 212.512.2200
- ACOUSTICS
LONGMAN LINDSEY
6 WEST 30TH STREET, 6TH FLOOR
NEW YORK, NY 10018
TEL: 212.259.2200
- INTERIORS
STUDIO SOFIELD
300 MADISON STREET
NEW YORK, NY 10017
TEL: 212.472.1300
- FAÇADE
BURO HAPPOLD
100 PROSPECT
NEW YORK, NY 10022
TEL: 212.512.2200
- VERTICAL TRANSPORTATION
VAN DER VEEN & ASSOCIATES
4 BROADWAY, SUITE 604
LONGROCK, NJ 07030
TEL: 908.264.8333
- RESTORATION
JAN HEDCOFFER ASSOCIATES
300 WEST 30TH STREET, 6TH FLOOR
NEW YORK, NY 10018
TEL: 212.259.2200
- GEOTECH
MKCE
200 WEST 30TH STREET, 6TH FLOOR
NEW YORK, NY 10018
TEL: 212.259.2200
- LIGHTING
LOBBERATORE INTERNATIONAL
100 MADISON STREET, 7TH FLOOR
NEW YORK, NY 10017
TEL: 212.225.4463



PROPERTY MARKETS GROUP
110 EAST 57TH STREET
NEW YORK, NY 10022
TEL: 212.693.8200

DOB PAA



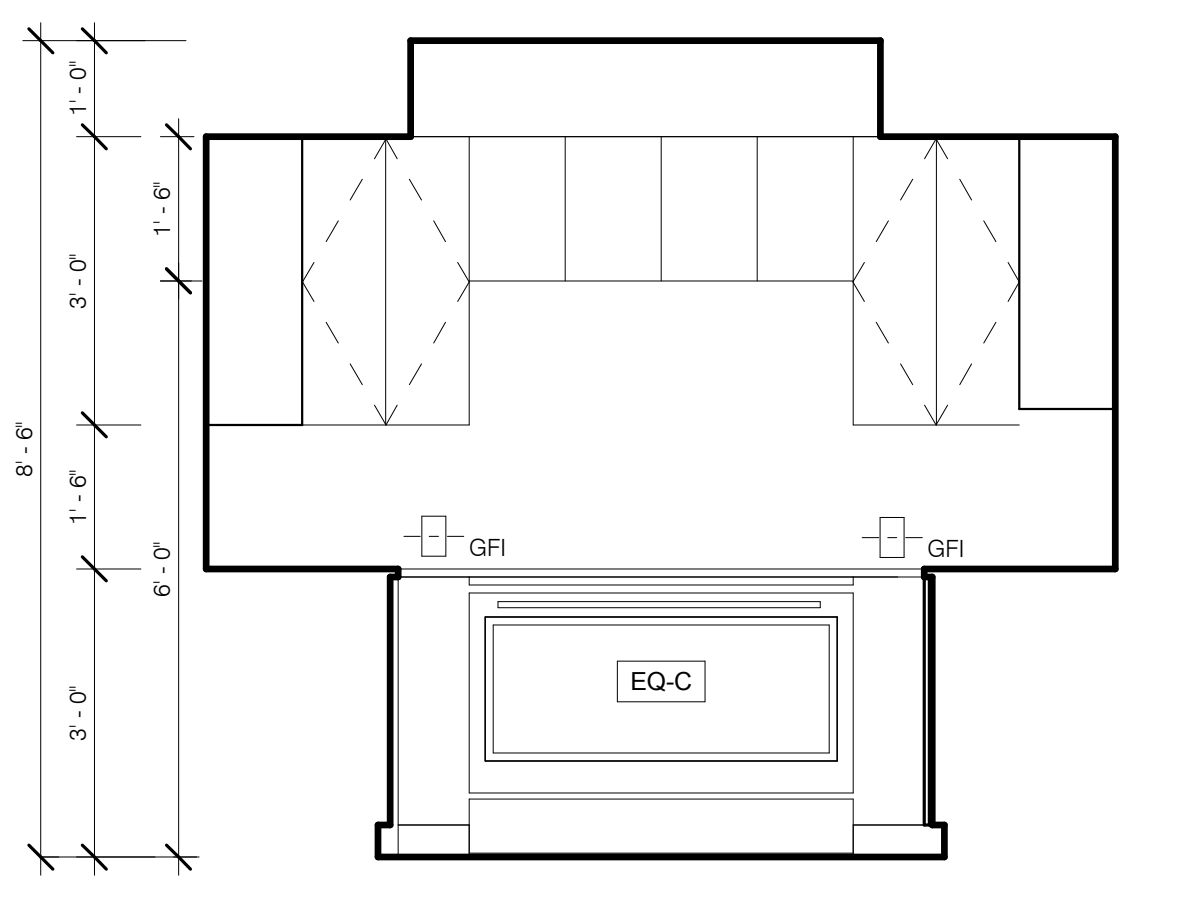
111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



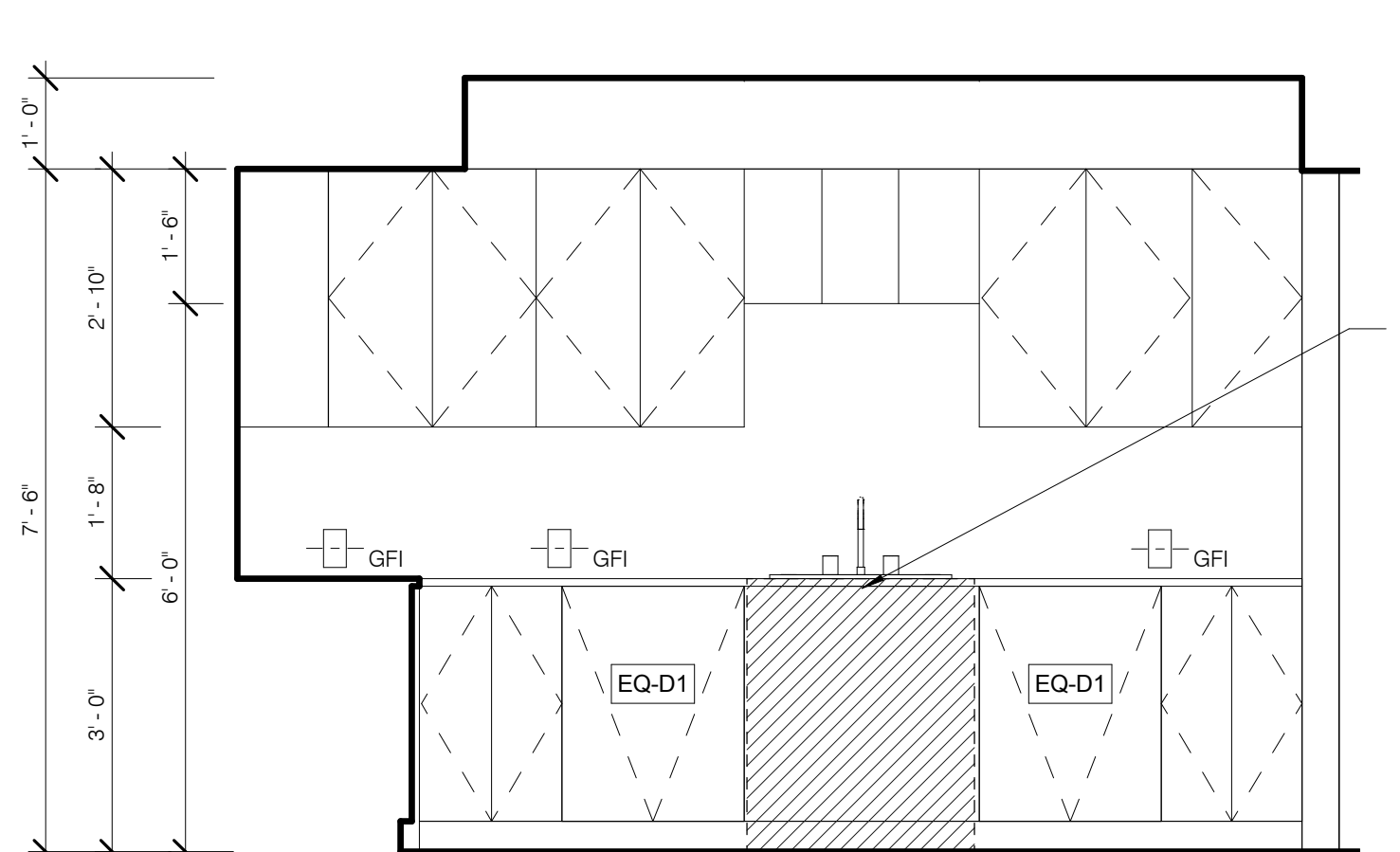
NO.	DATE	REVISION
1	3.27.15	DOB PAA

DRAWING TITLE
KITCHENS - STEINWAY ENLARGED PLANS AND ELEVATIONS

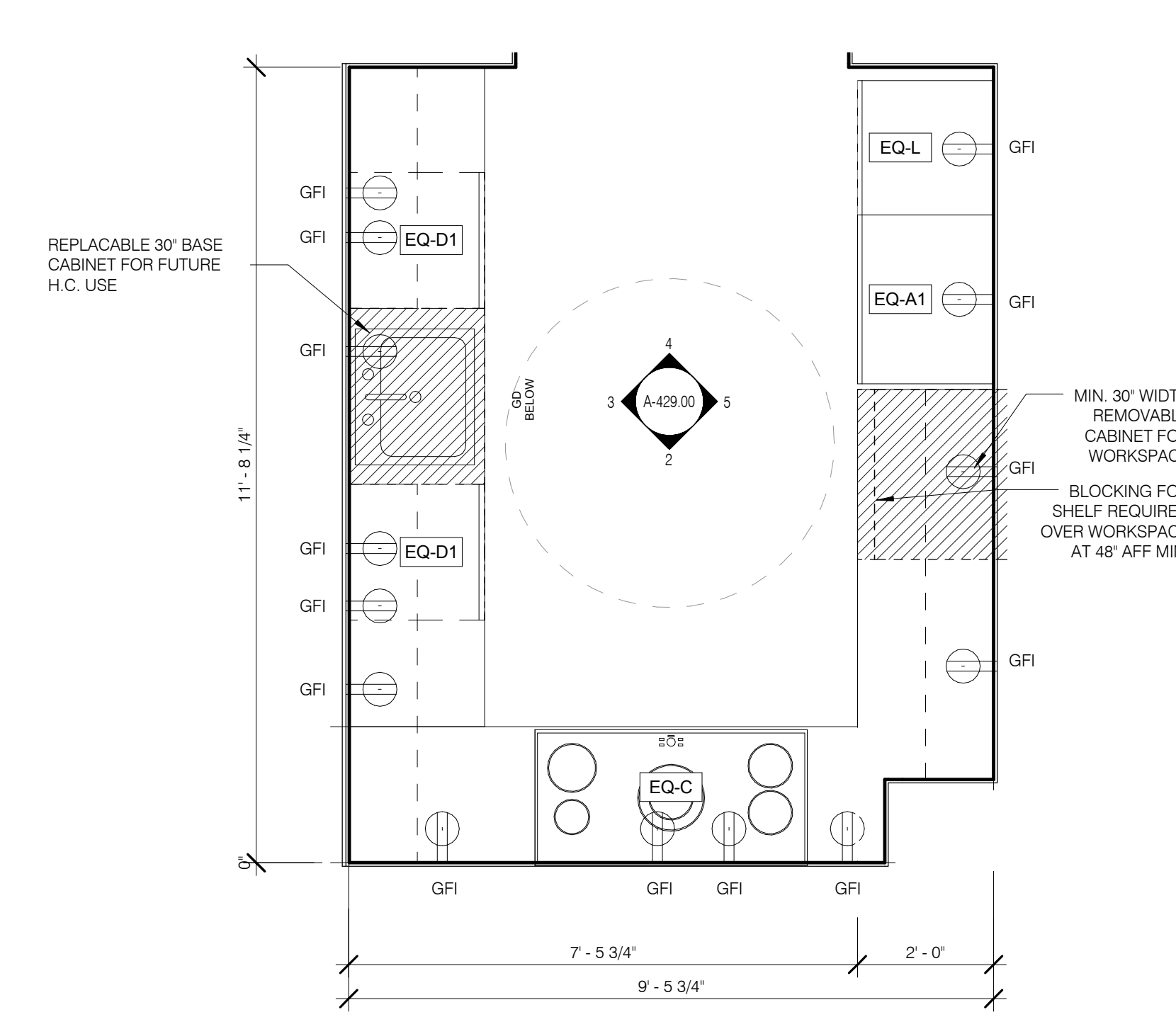
SEAL & SIGNATURE	DATE	2.20.15
PROJECT NO.	130907	
DRAWN BY	SK16P	
CHECKED BY	SK16P	
DOB NO.	121.832.966	
DRAWING NUMBER	A-429.00	



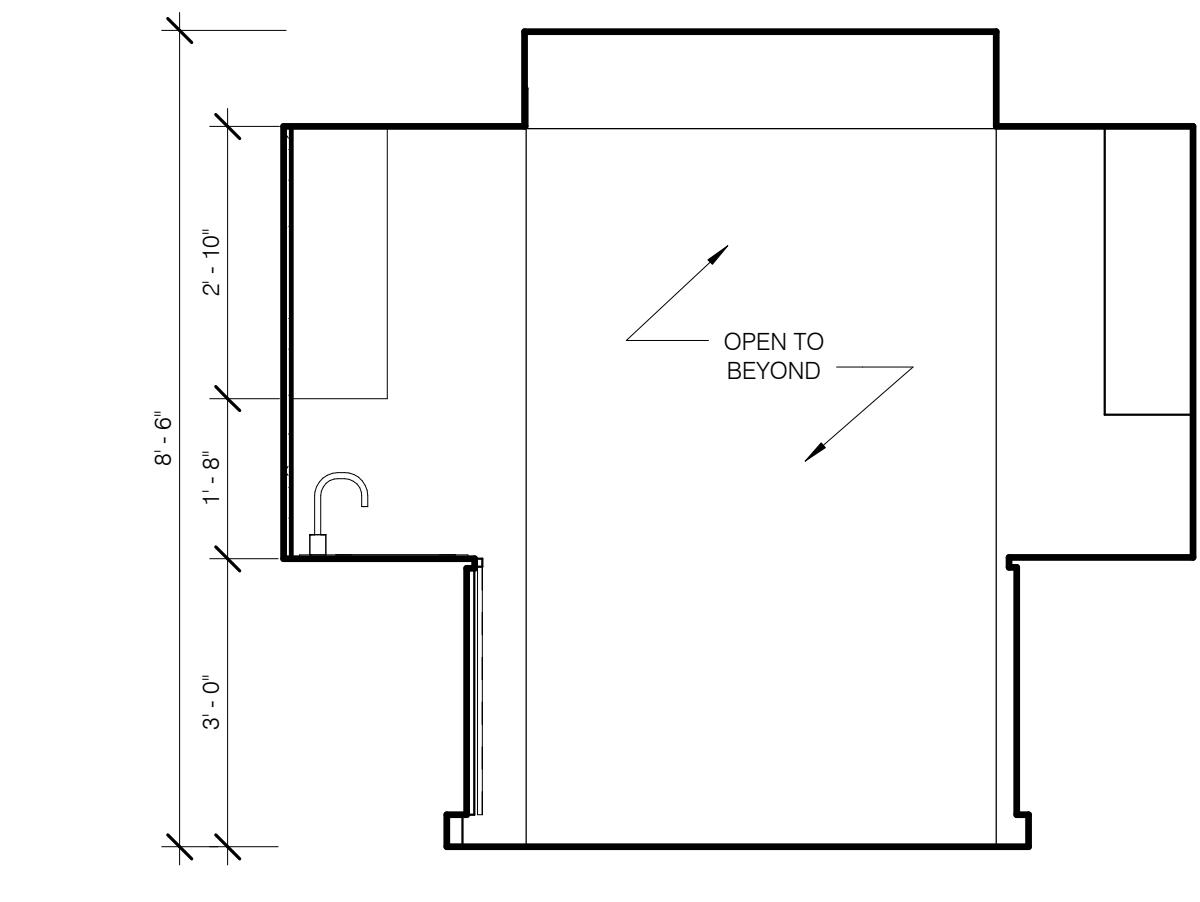
SK-7 KITCHEN S 1/2" = 1'-0" 2



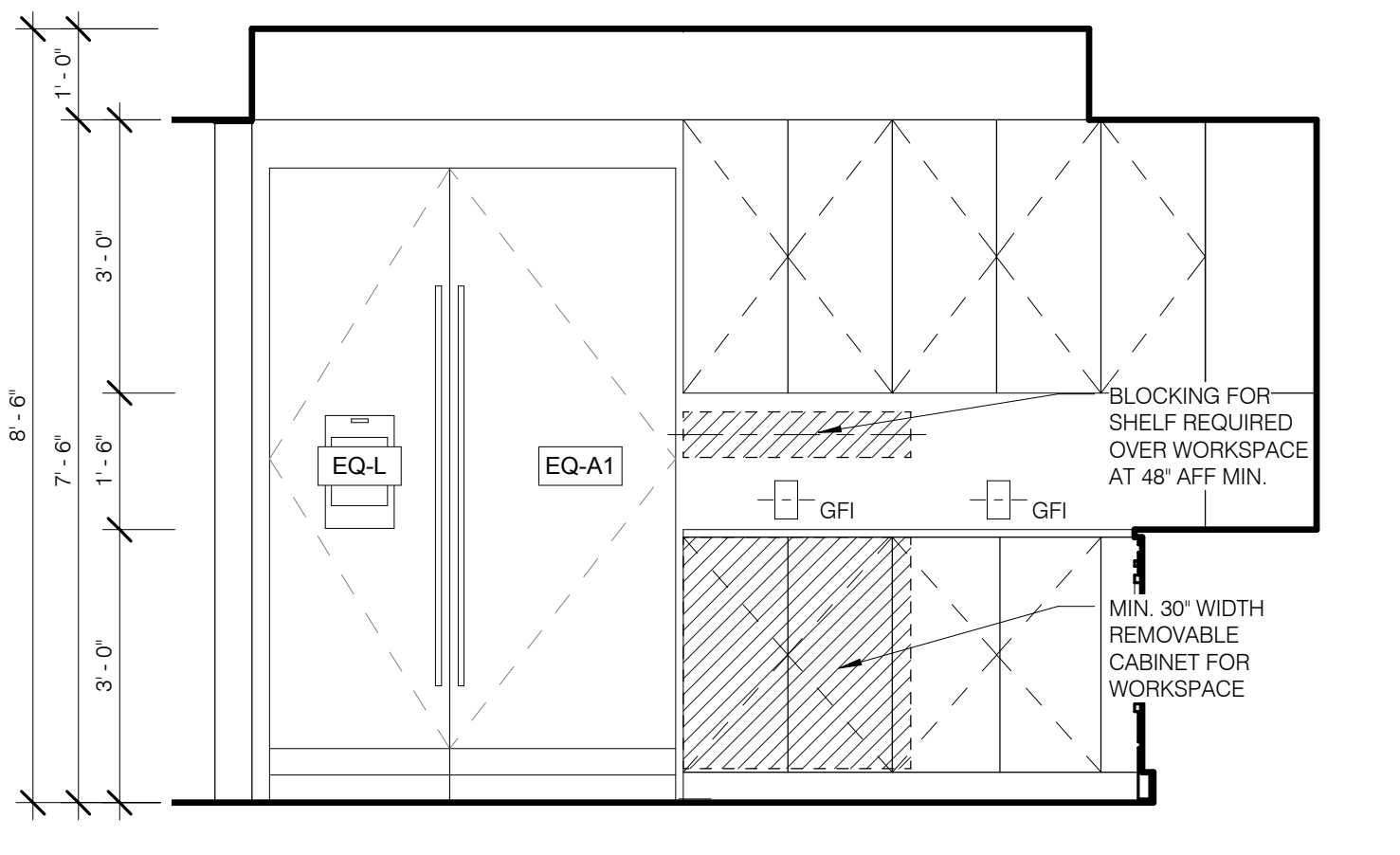
SK-7 KITCHEN W 1/2" = 1'-0" 3



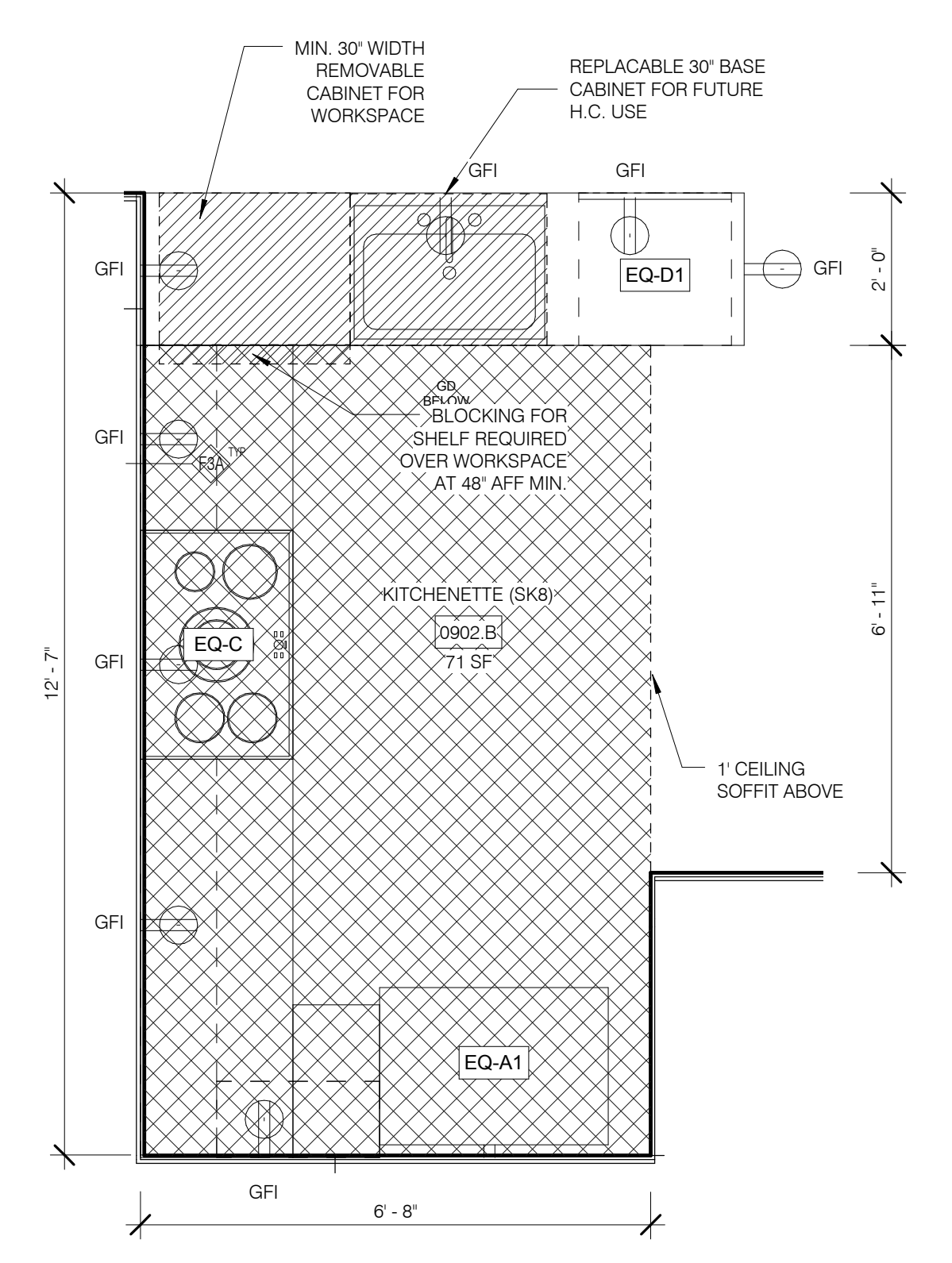
SK-7A KITCHEN 1/2" = 1'-0" 1



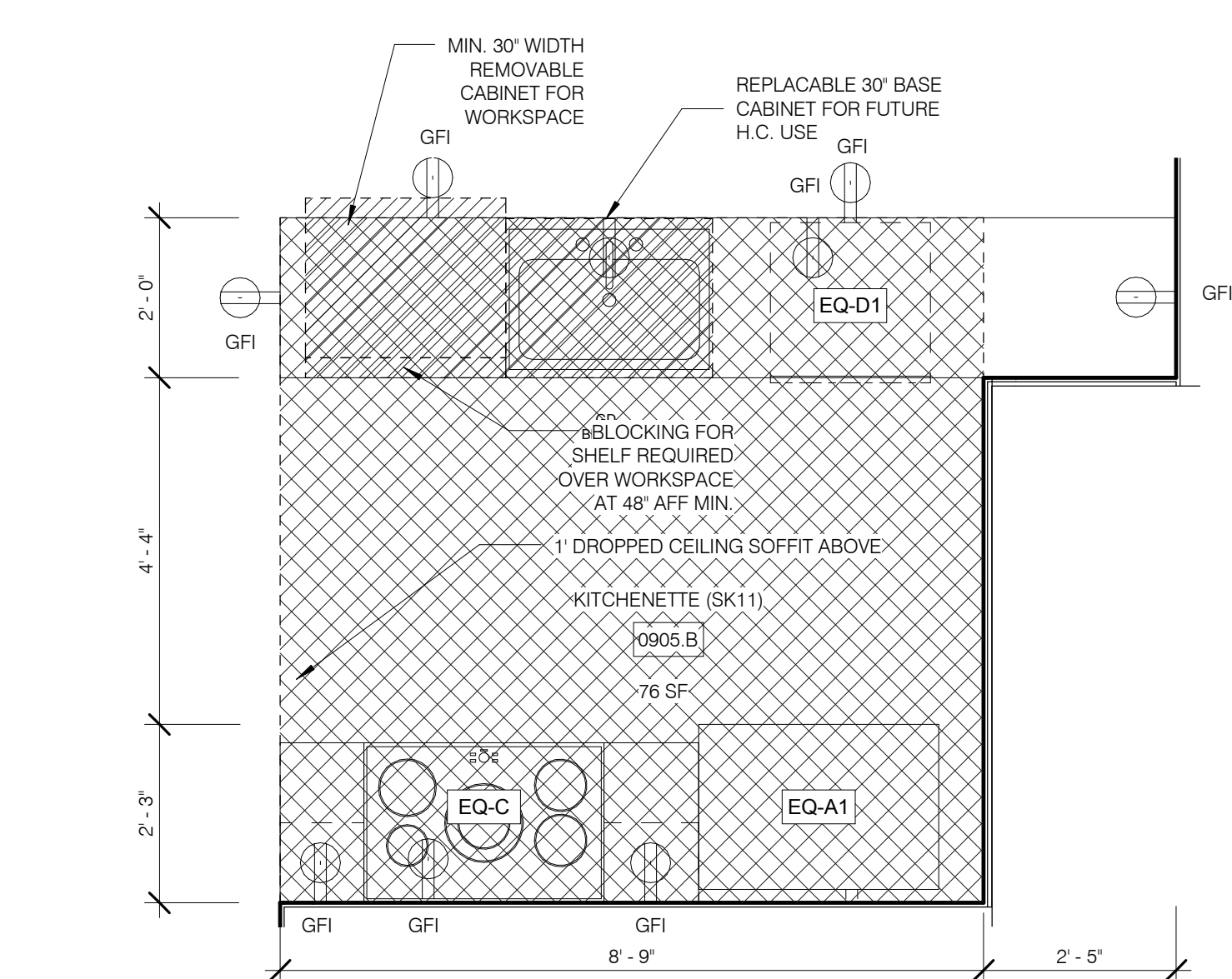
SK-7 KITCHEN N 1/2" = 1'-0" 4



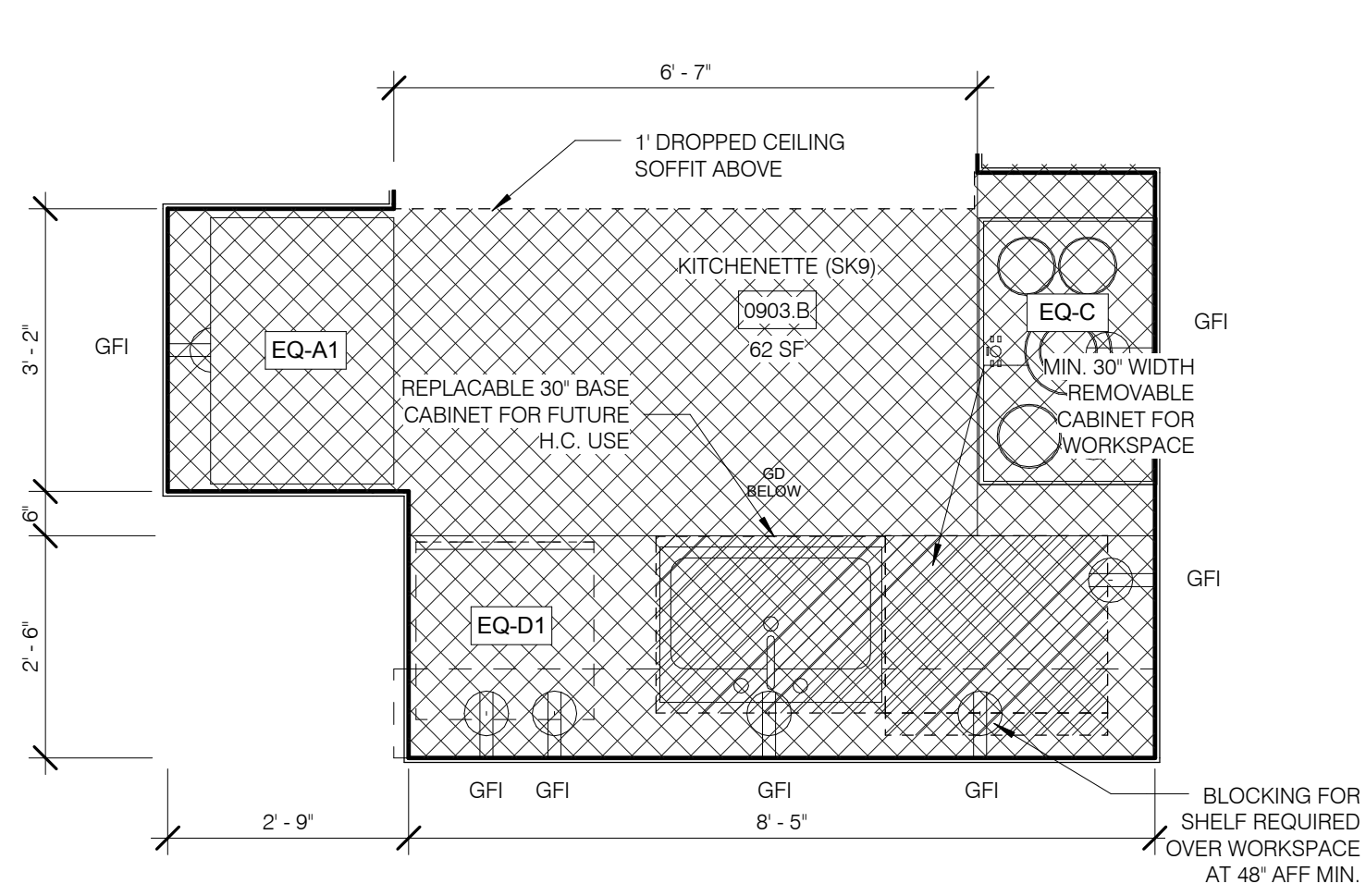
SK-7 KITCHEN E 1/2" = 1'-0" 5



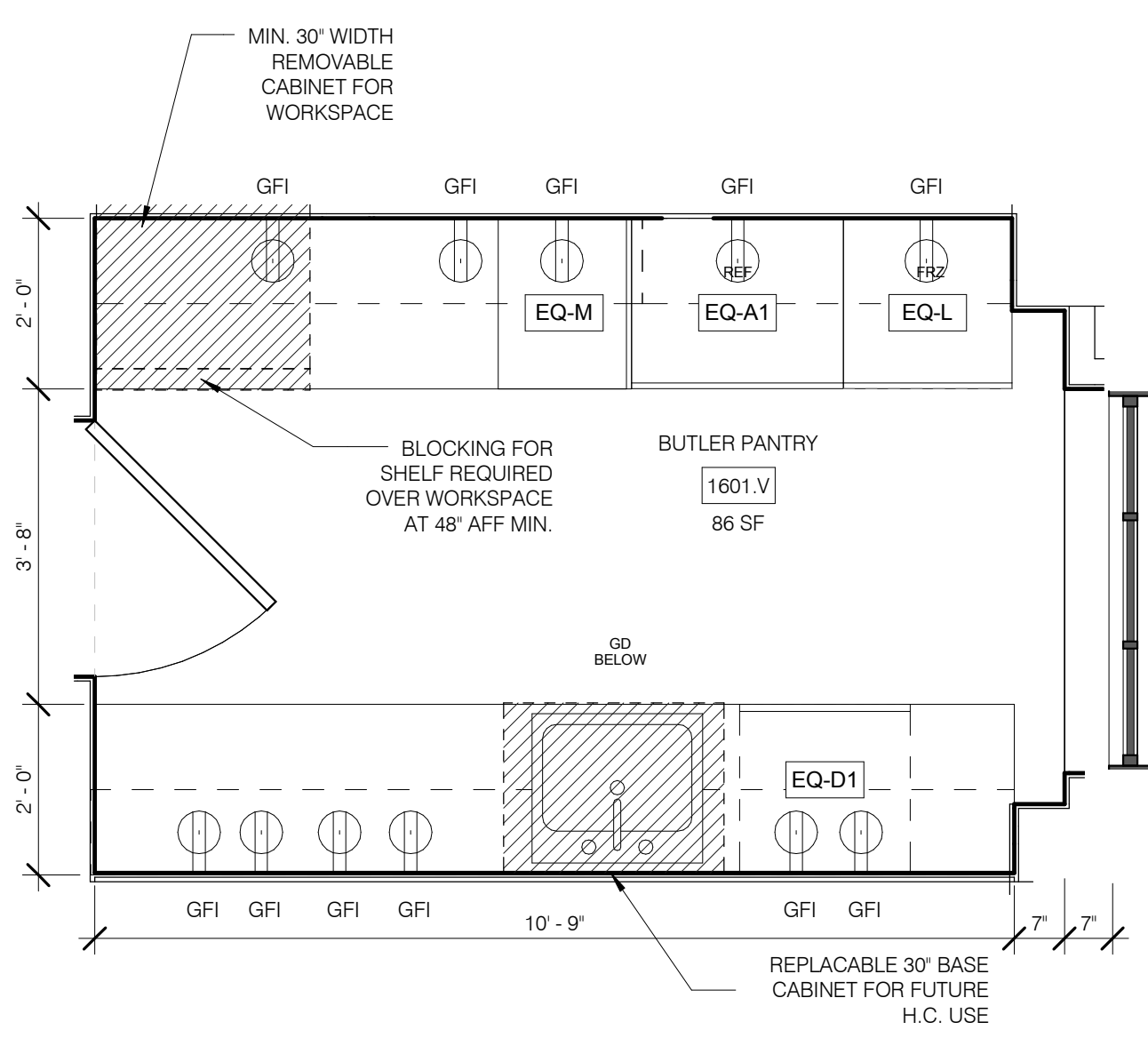
SK-7A KITCHEN 1/2" = 1'-0" 1



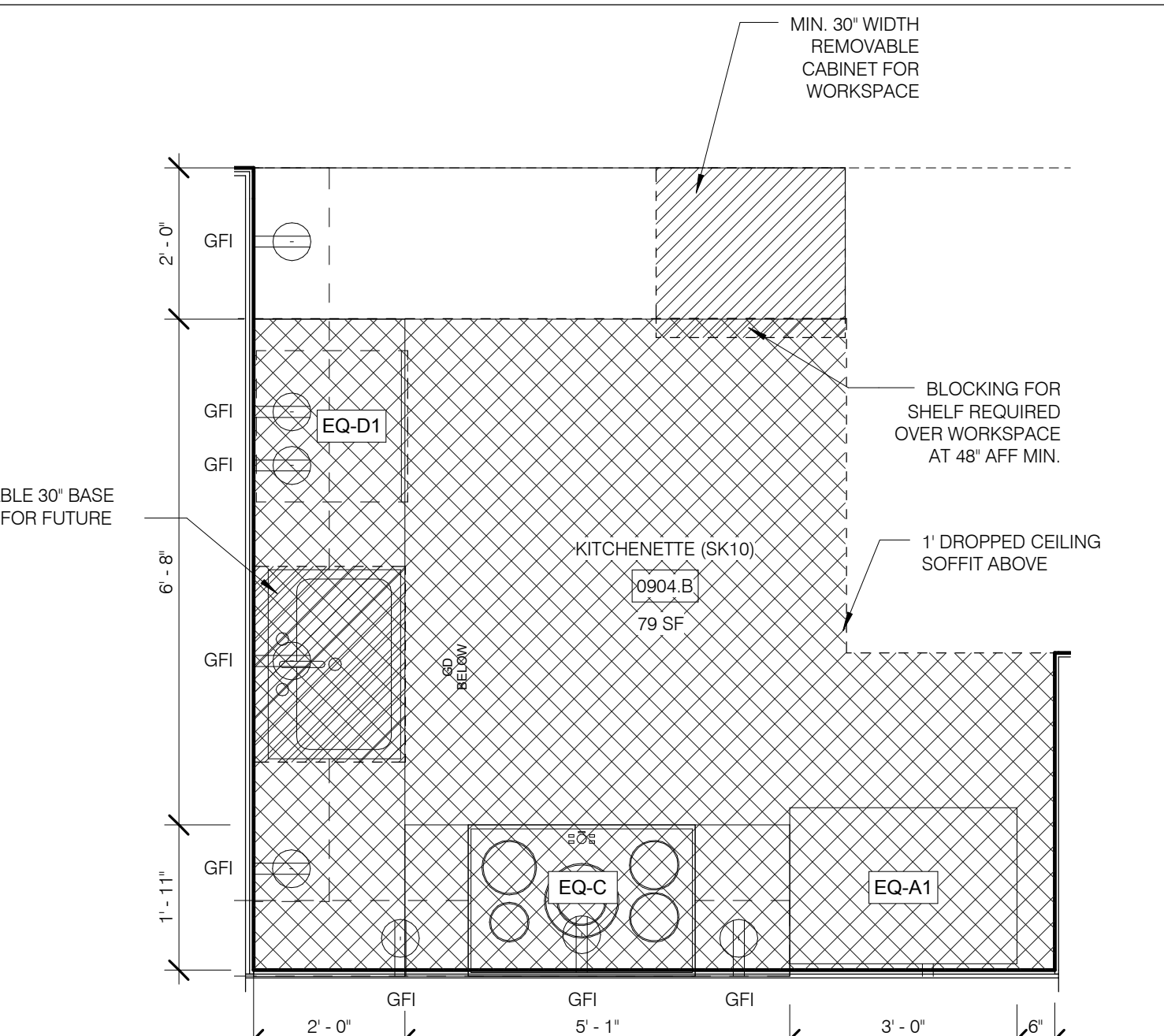
SK-11 KITCHEN 1/2" = 1'-0" 10



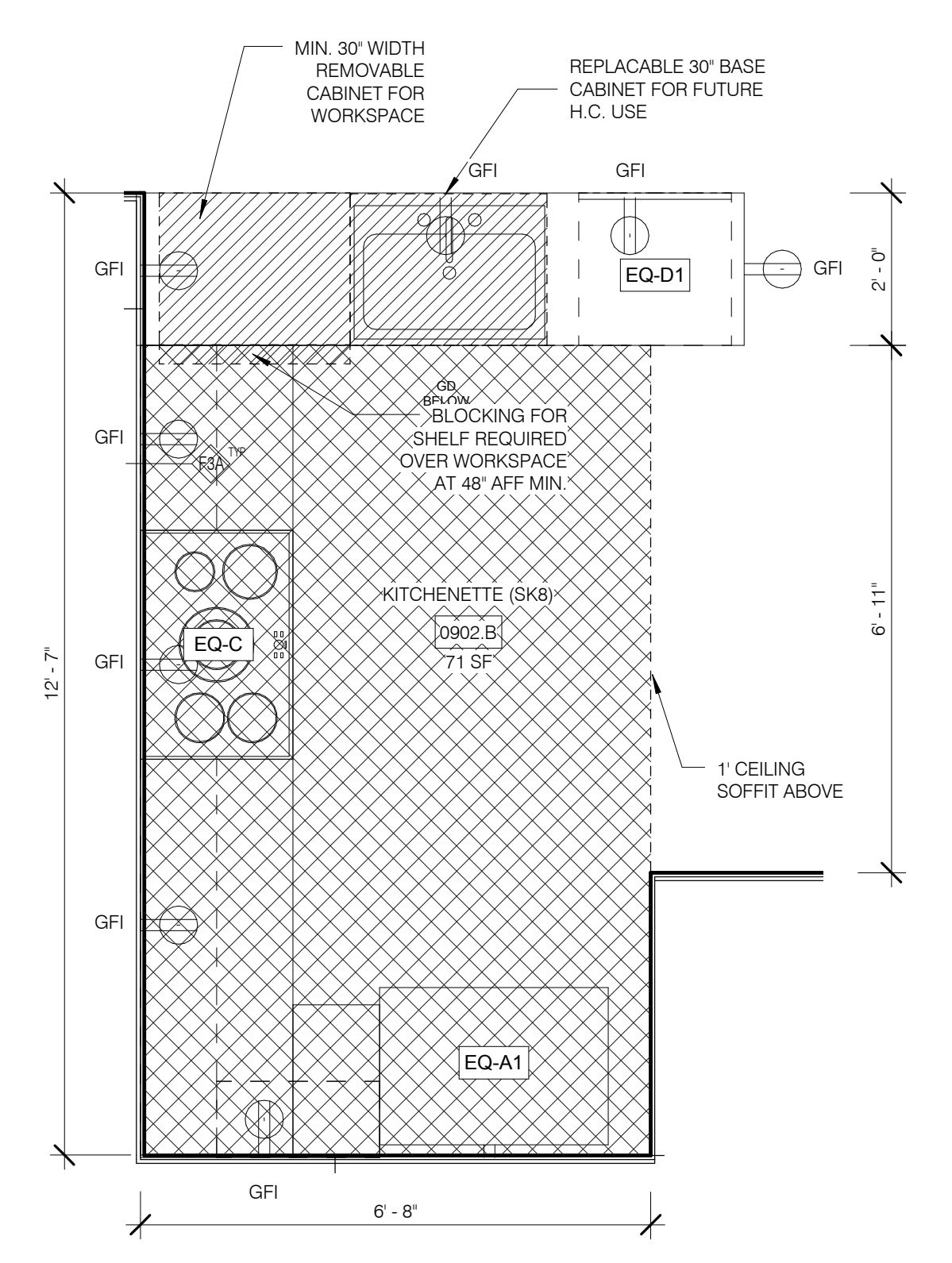
SK-9 KITCHEN 1/2" = 1'-0" 8



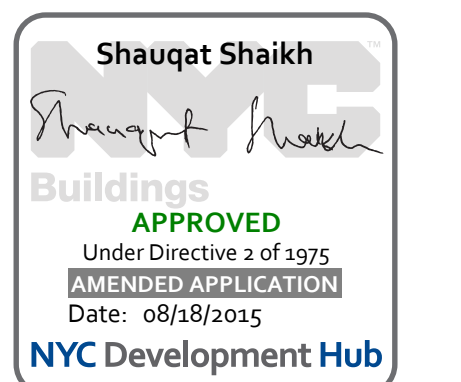
SK-7B KITCHEN 1/2" = 1'-0" 6



SK-10 KITCHEN 1/2" = 1'-0" 9



SK-8 KITCHENETTE 1/2" = 1'-0" 7



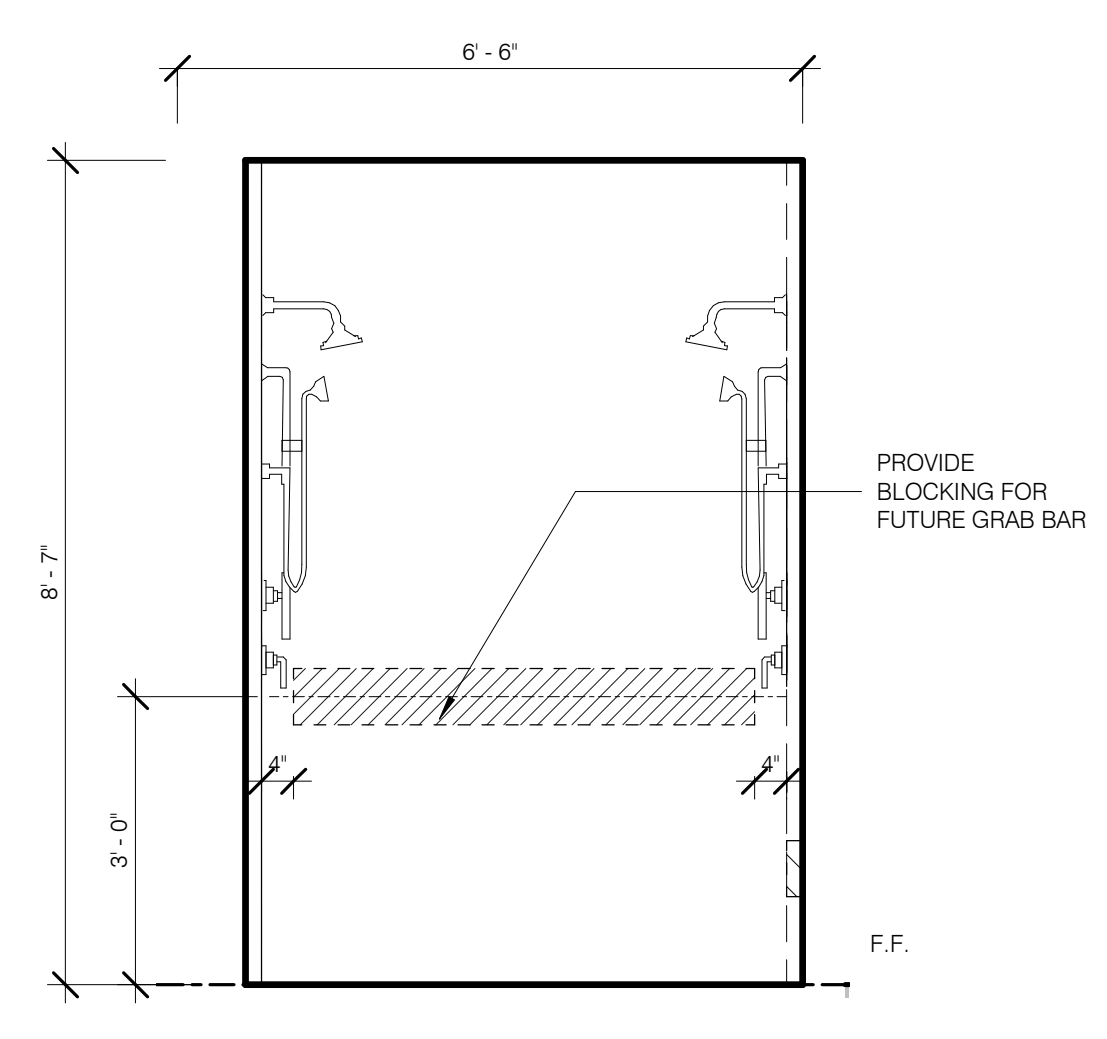
111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



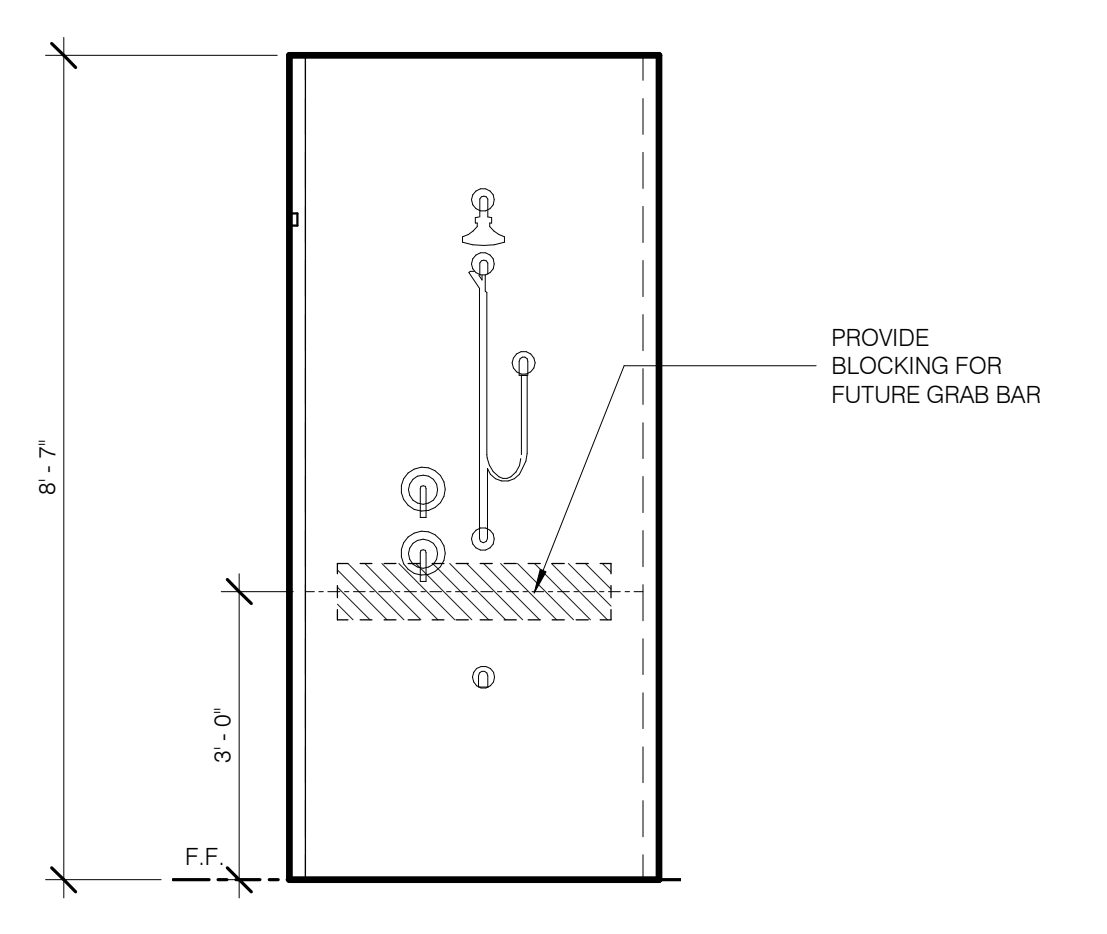
NO.	DATE	REVISION
1	3/27/15	DOB PAA

DRAWING TITLE
SHOWERS - STEINWAY ENLARGED ELEVATIONS

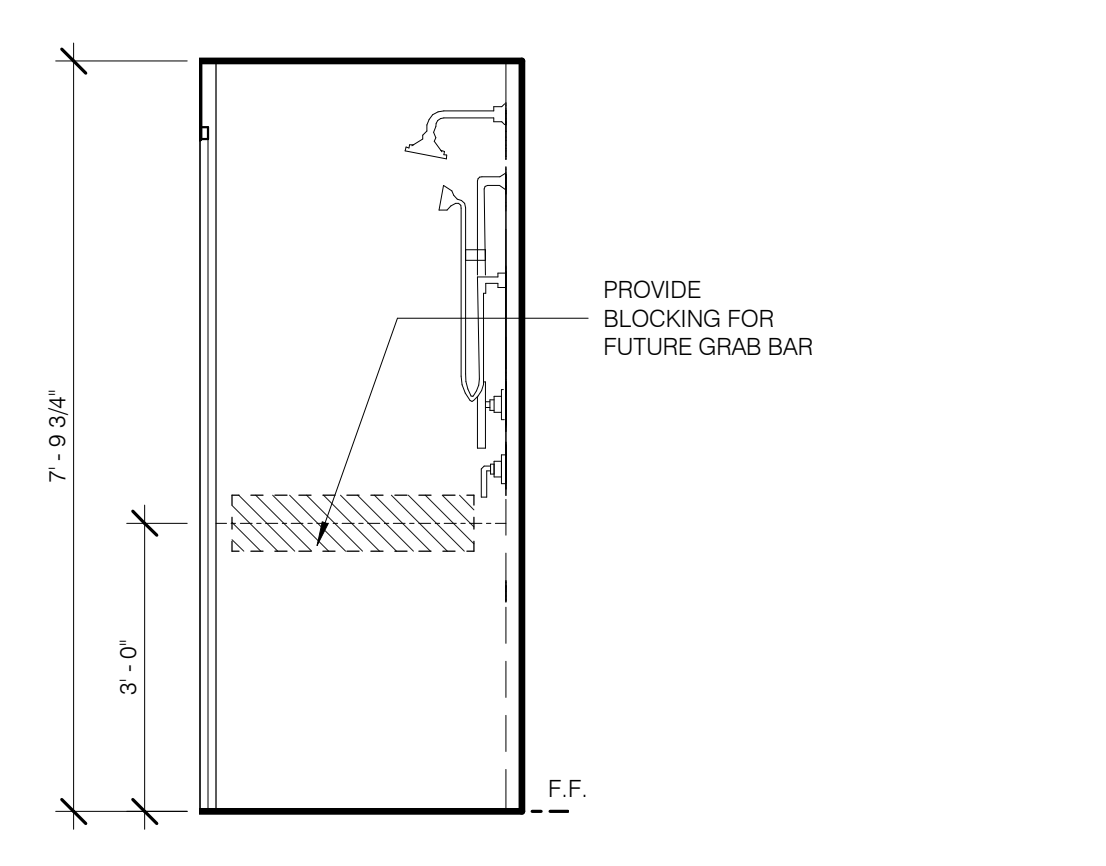
SEAL & SIGNATURE
REGISTERED ARCHITECT
STATE OF NEW YORK
DATE: 3/27/15
PROJECT NO: 130007
DRAWN BY: SH&P
CHECKED BY: SH&P
DOB NO: 121332068
DRAWING NUMBER: A-440.01



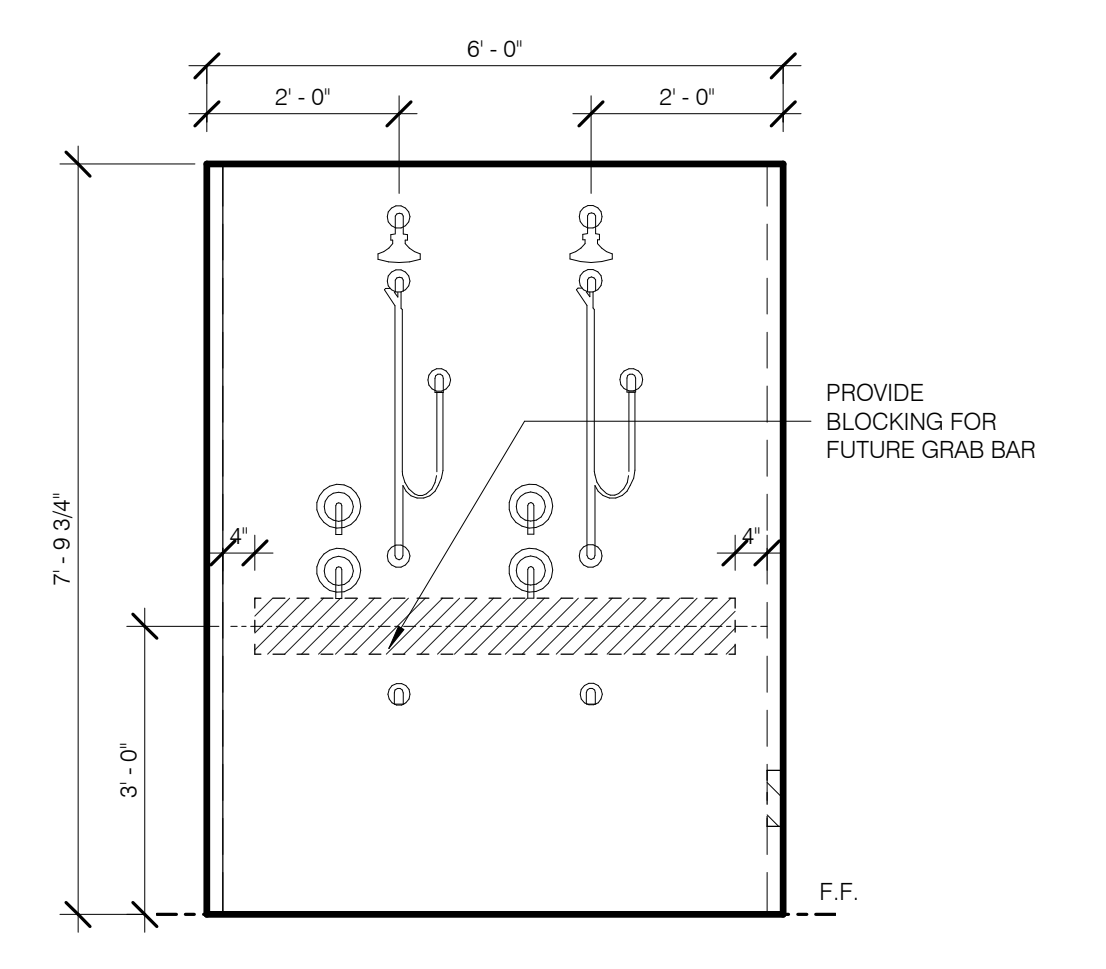
MASTER SHOWER (DOUBLE-2, TYP) N 1/2" = 1'-0" 6 A-440.01 A-440.02



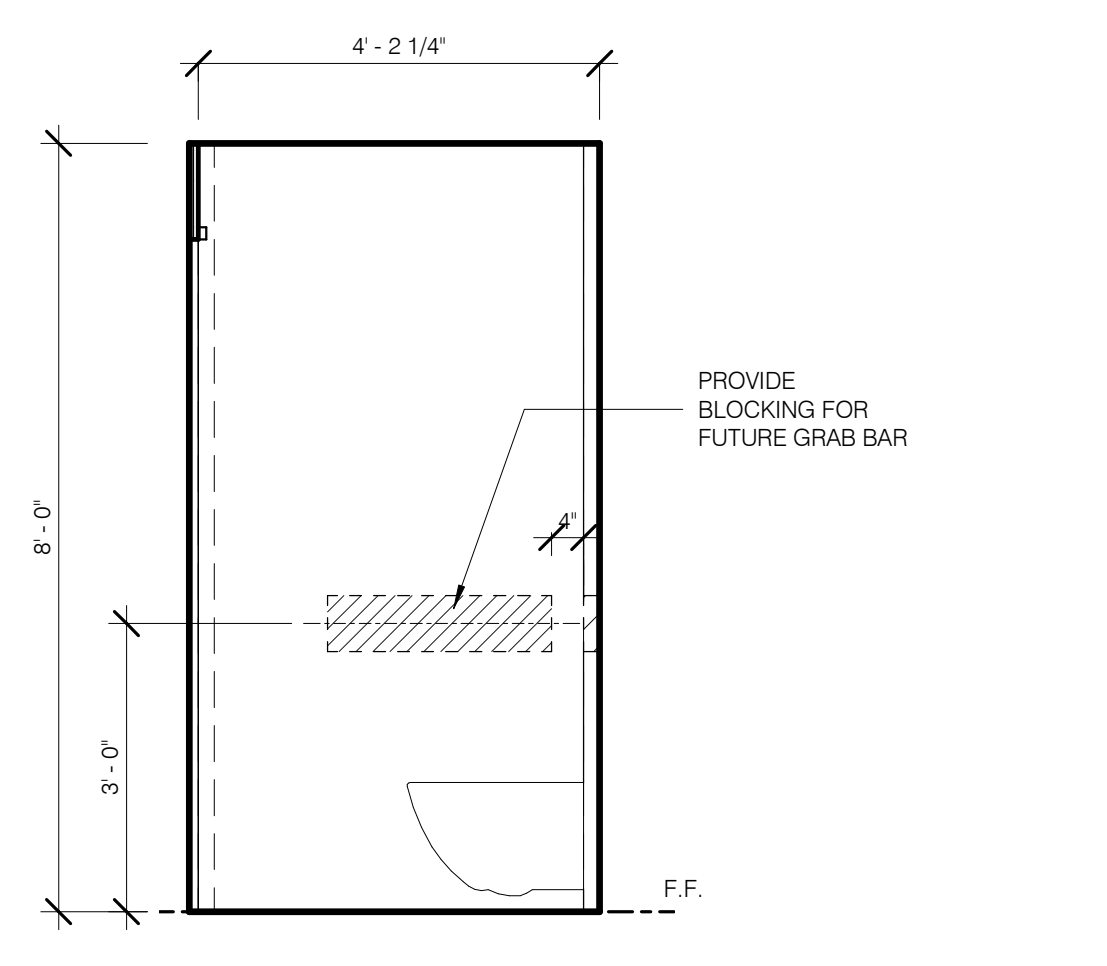
MASTER SHOWER (DOUBLE-2, TYP) E 1/2" = 1'-0" 5 A-440.01 A-440.03



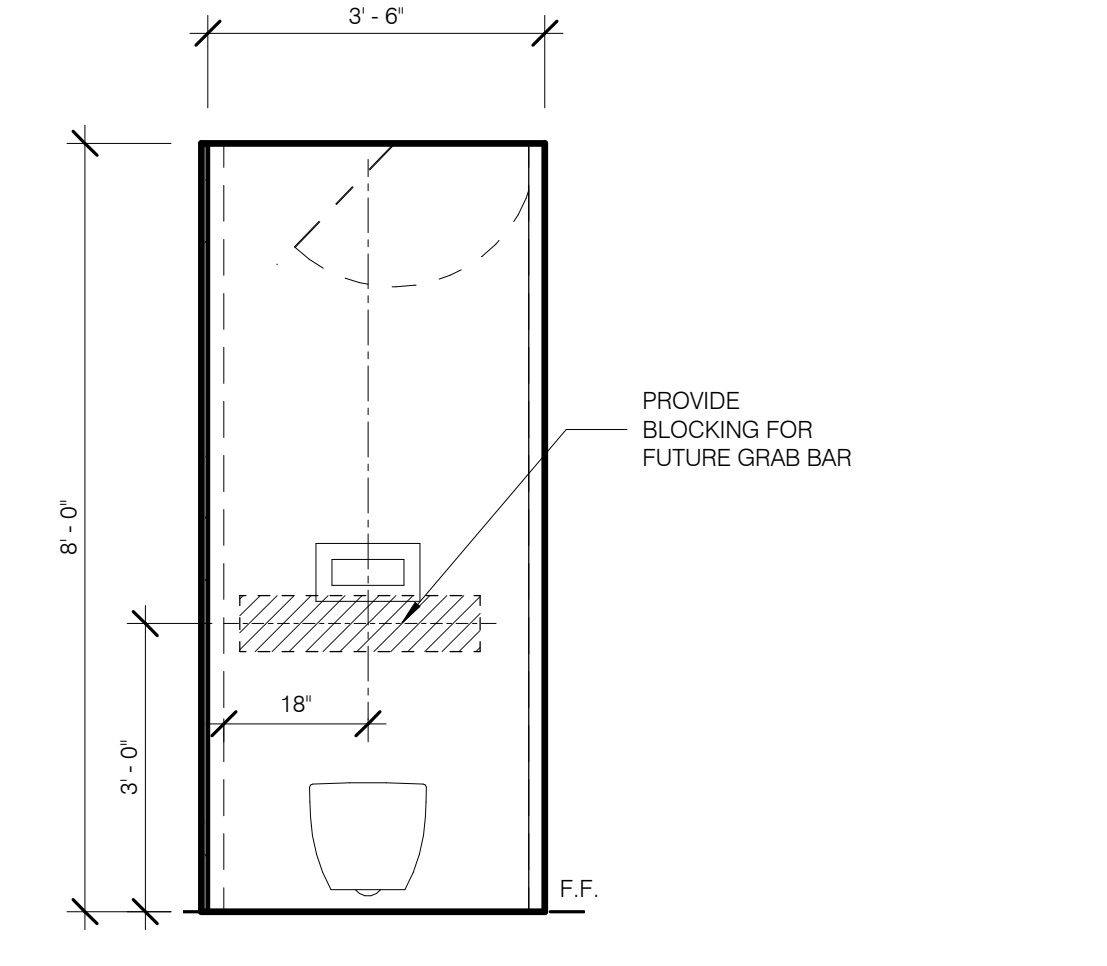
MASTER SHOWER (DOUBLE-1, TYP) N 1/2" = 1'-0" 3 A-440.01 A-440.04



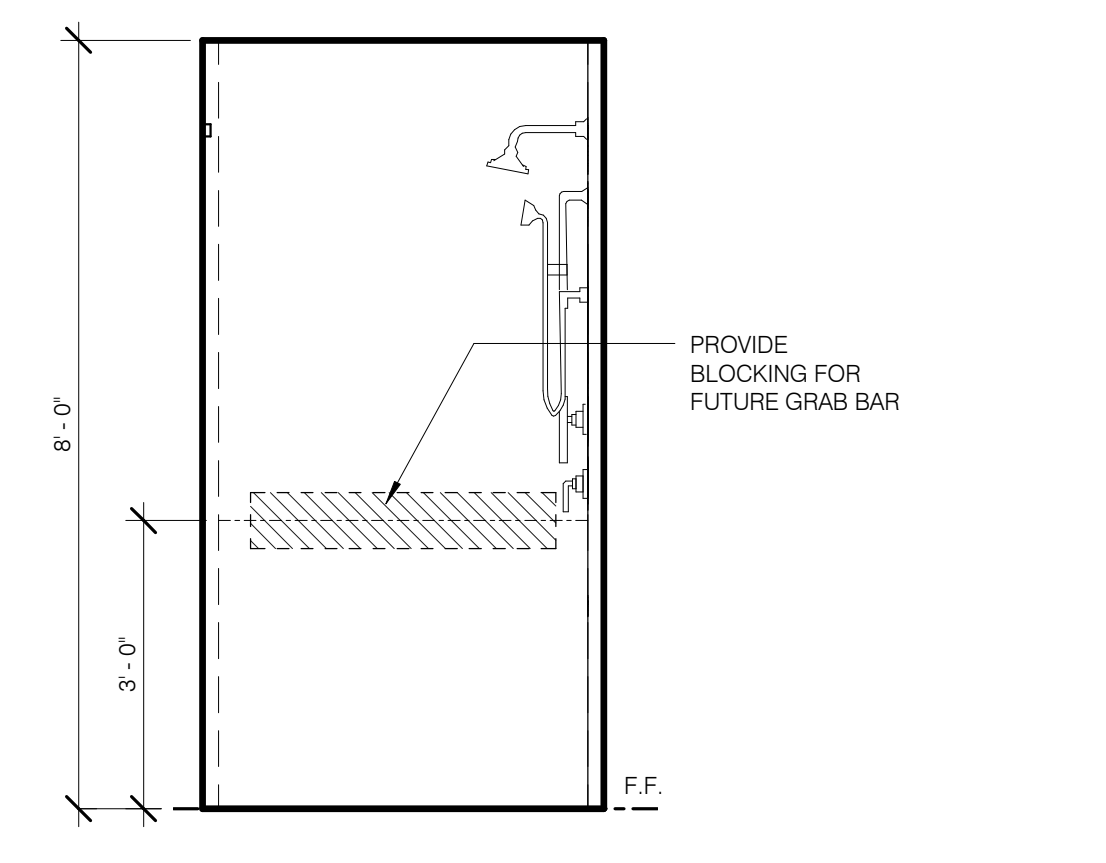
MASTER SHOWER (DOUBLE-1, TYP) E 1/2" = 1'-0" 2 A-440.01 A-440.05



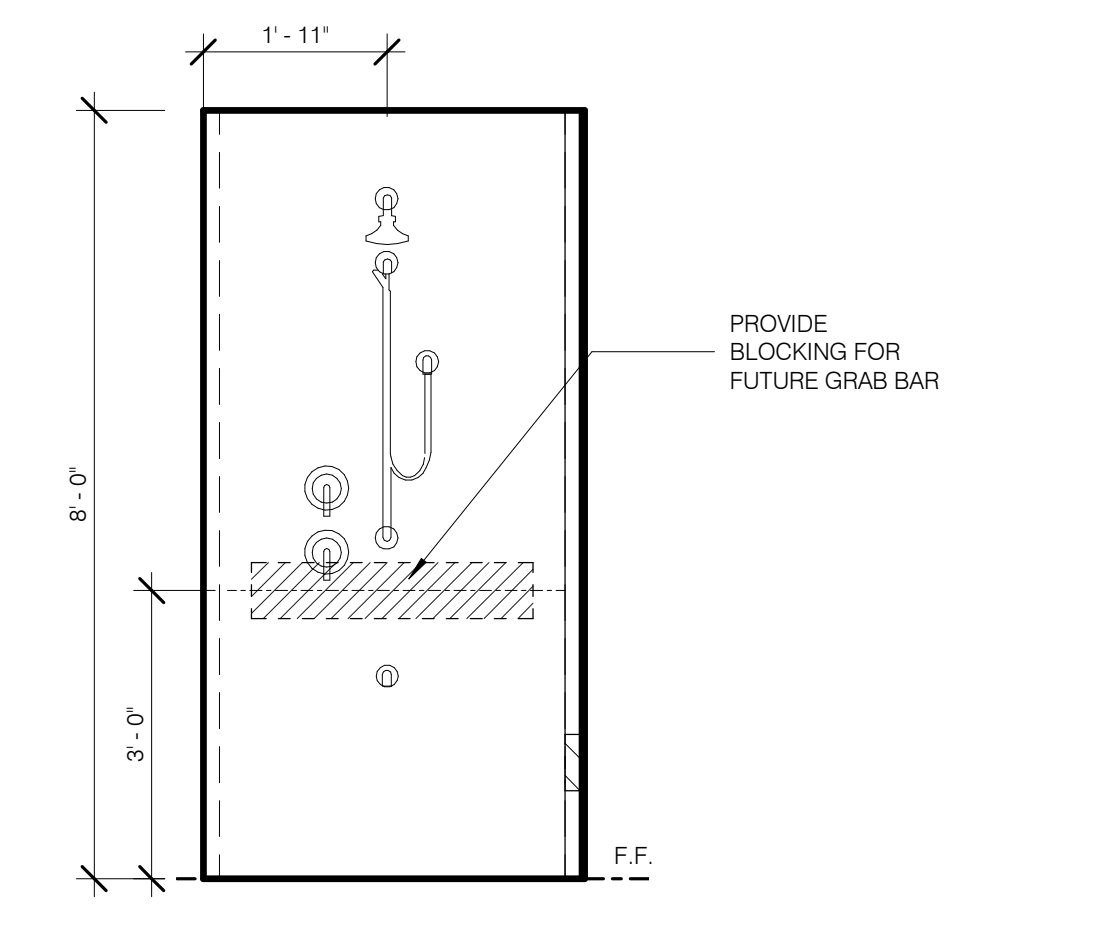
MASTER W.C. (TYP) W 1/2" = 1'-0" 12 A-440.01 A-440.06



MASTER W.C. (TYP) N 1/2" = 1'-0" 11 A-440.01 A-440.07



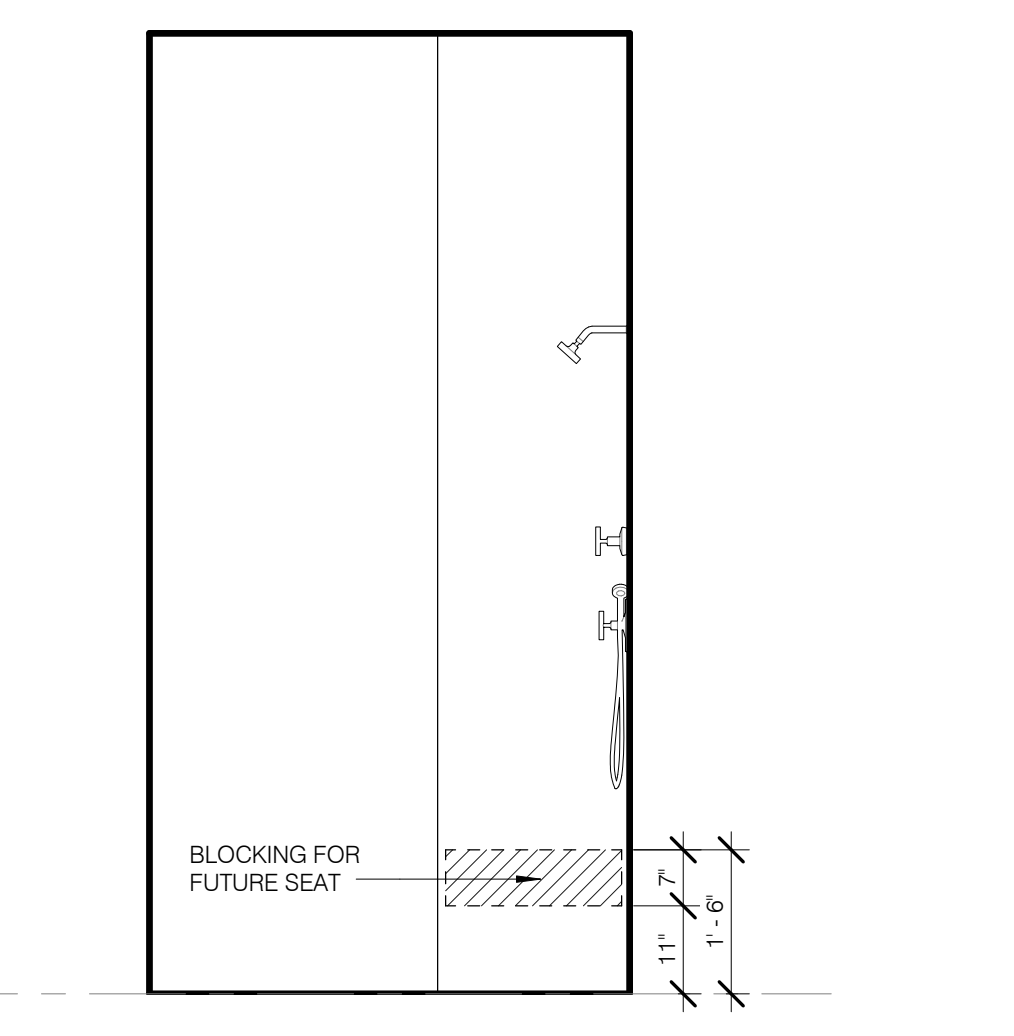
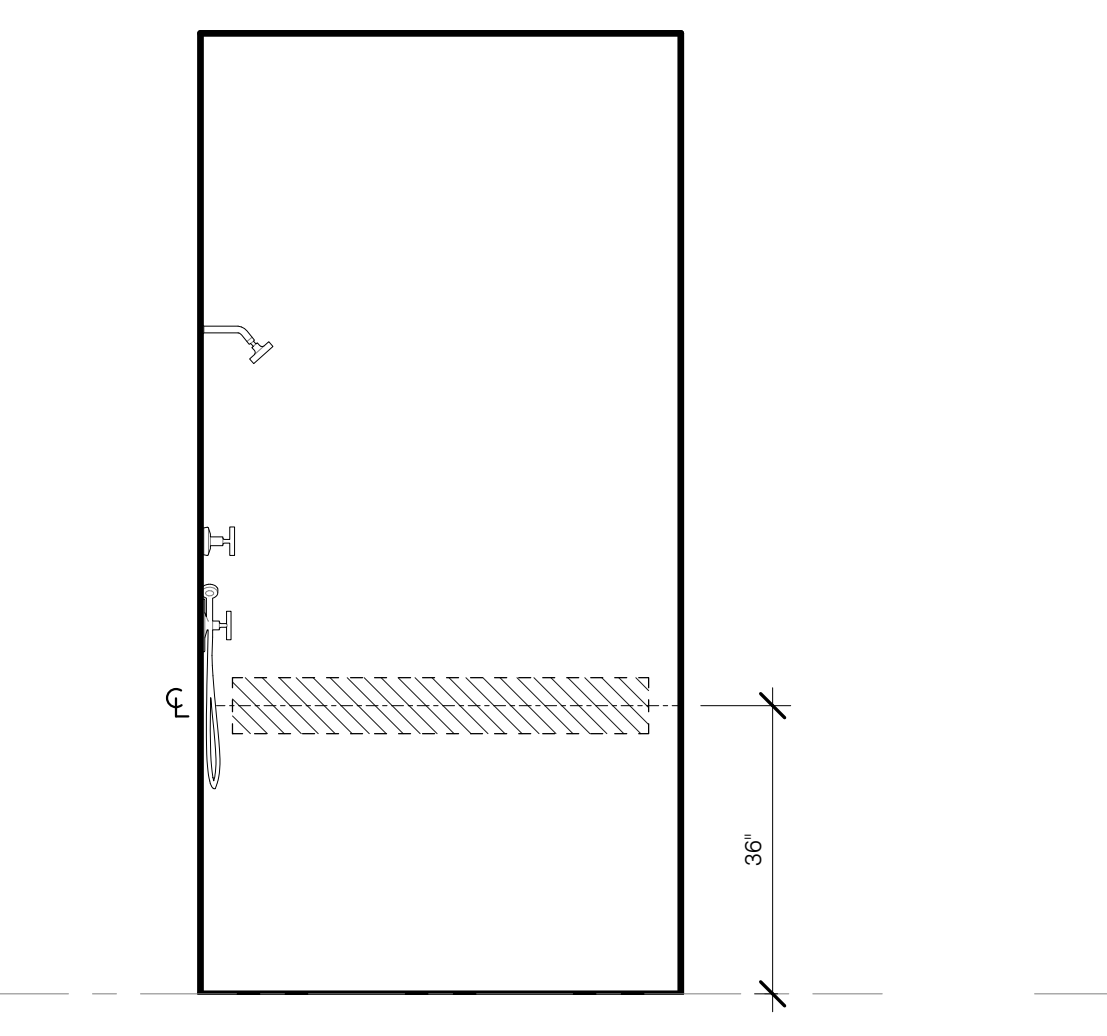
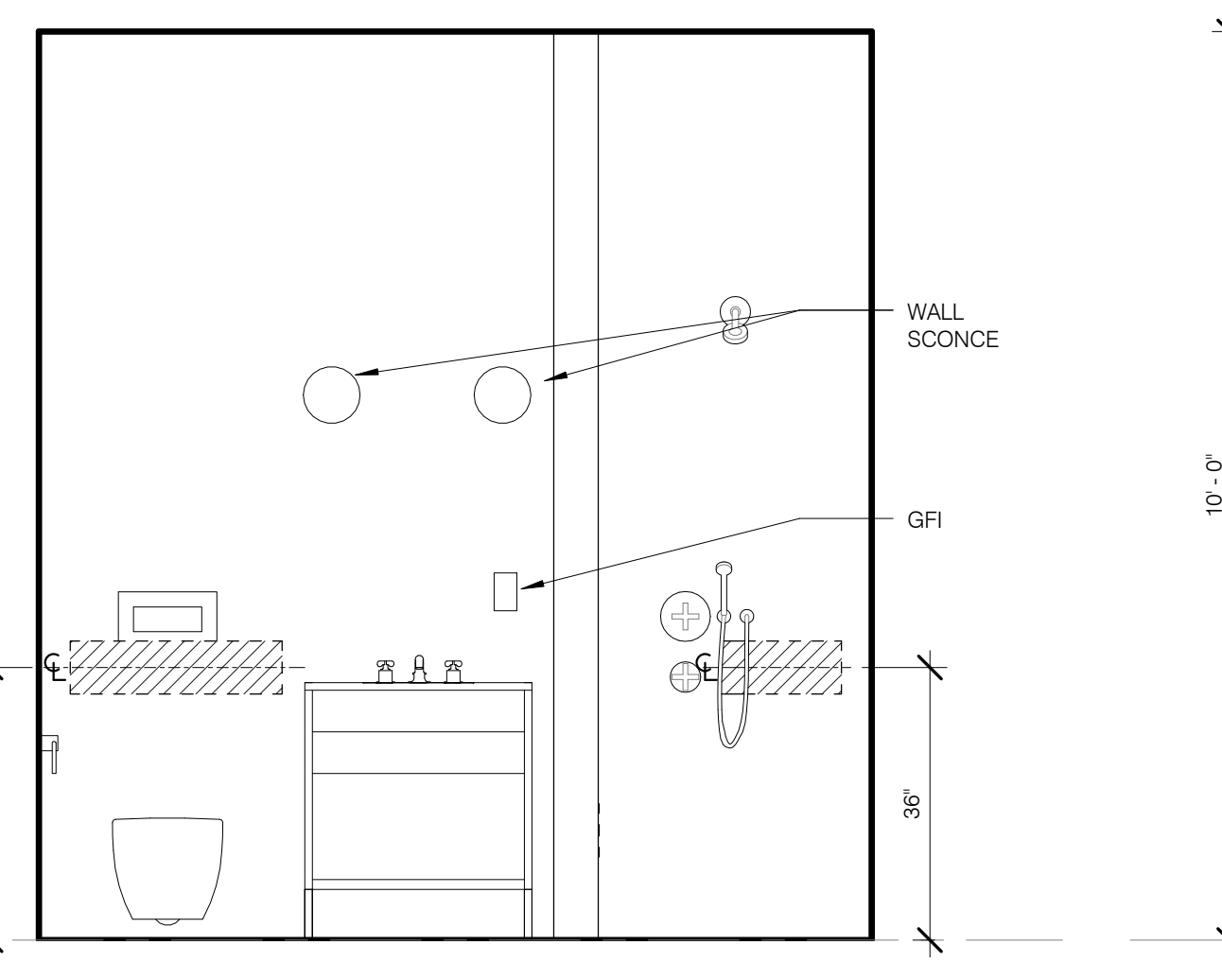
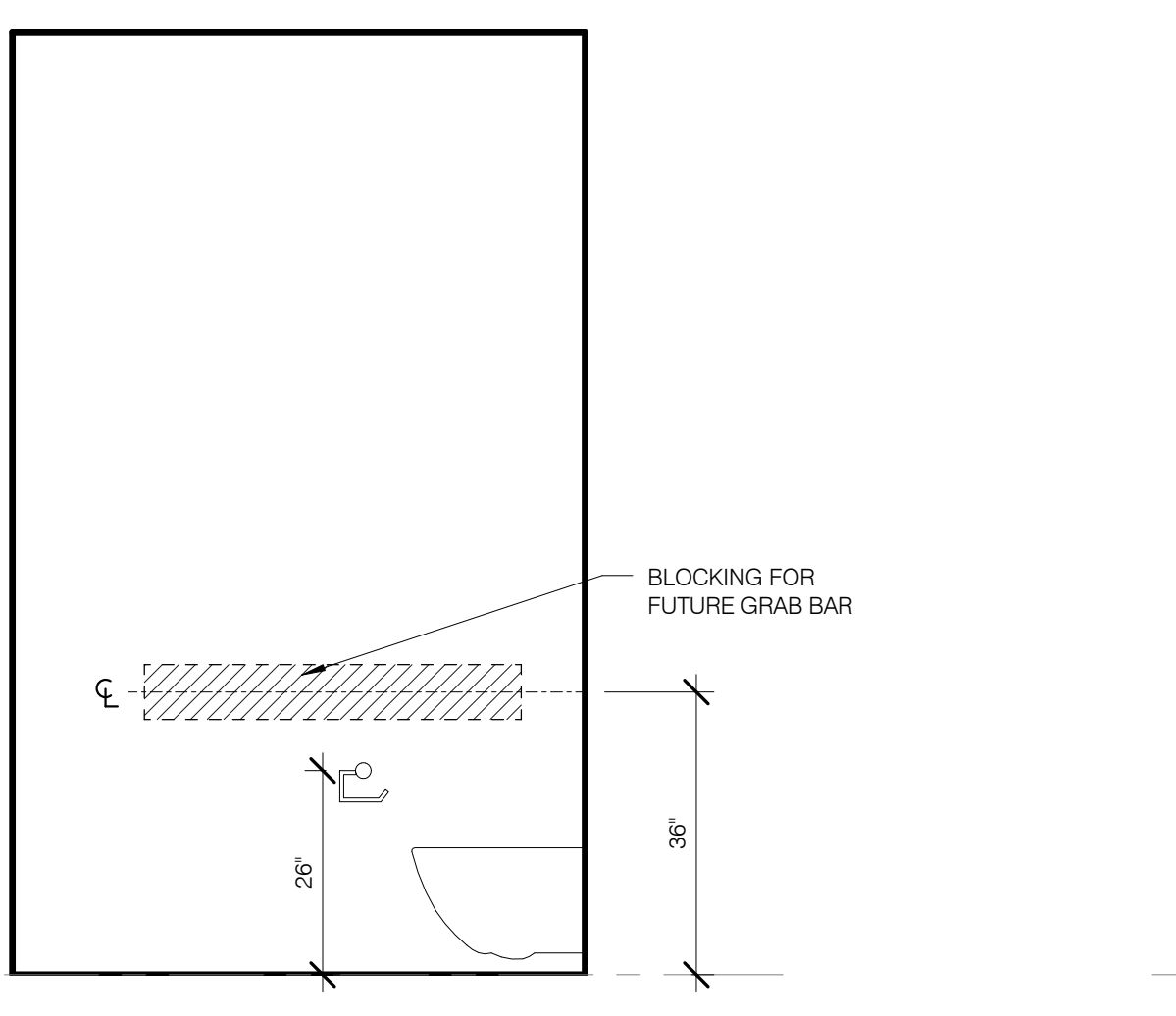
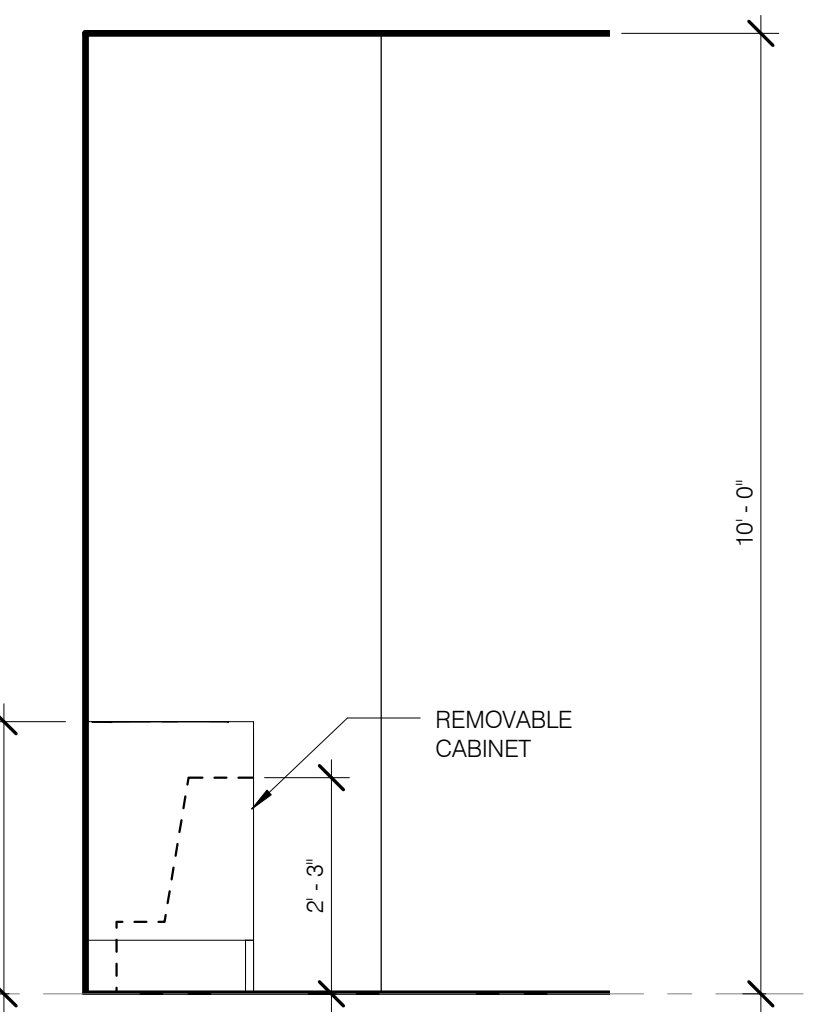
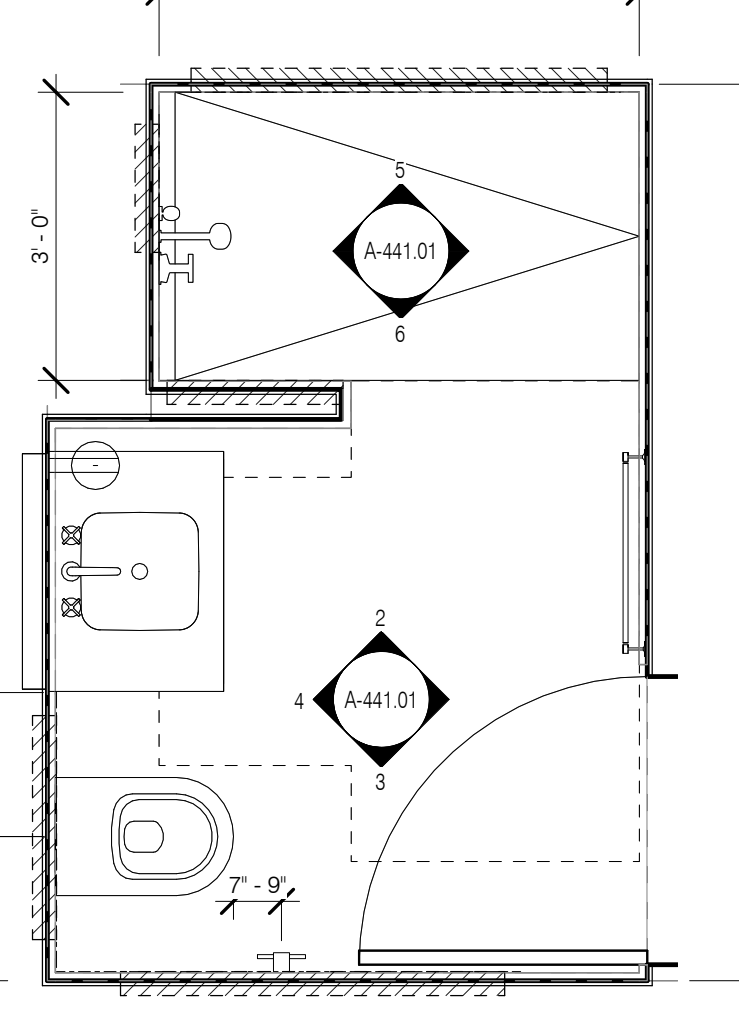
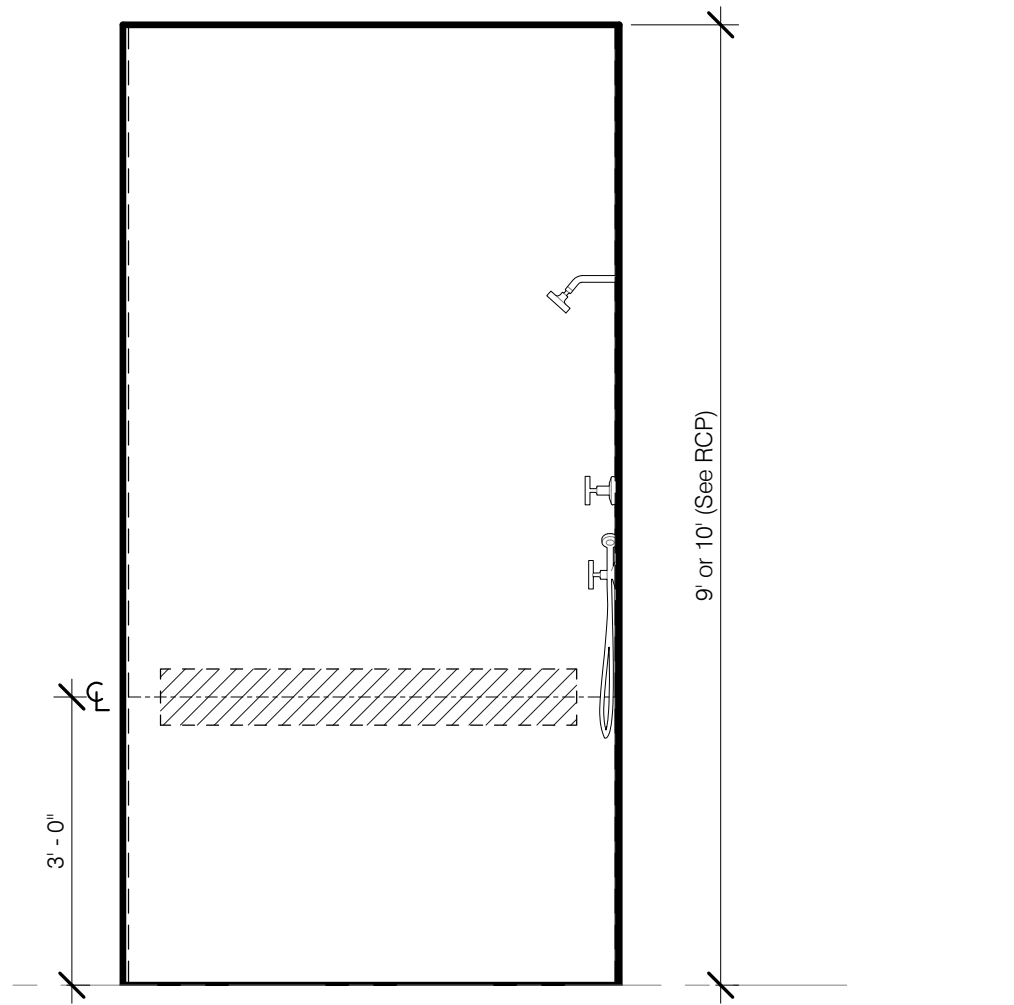
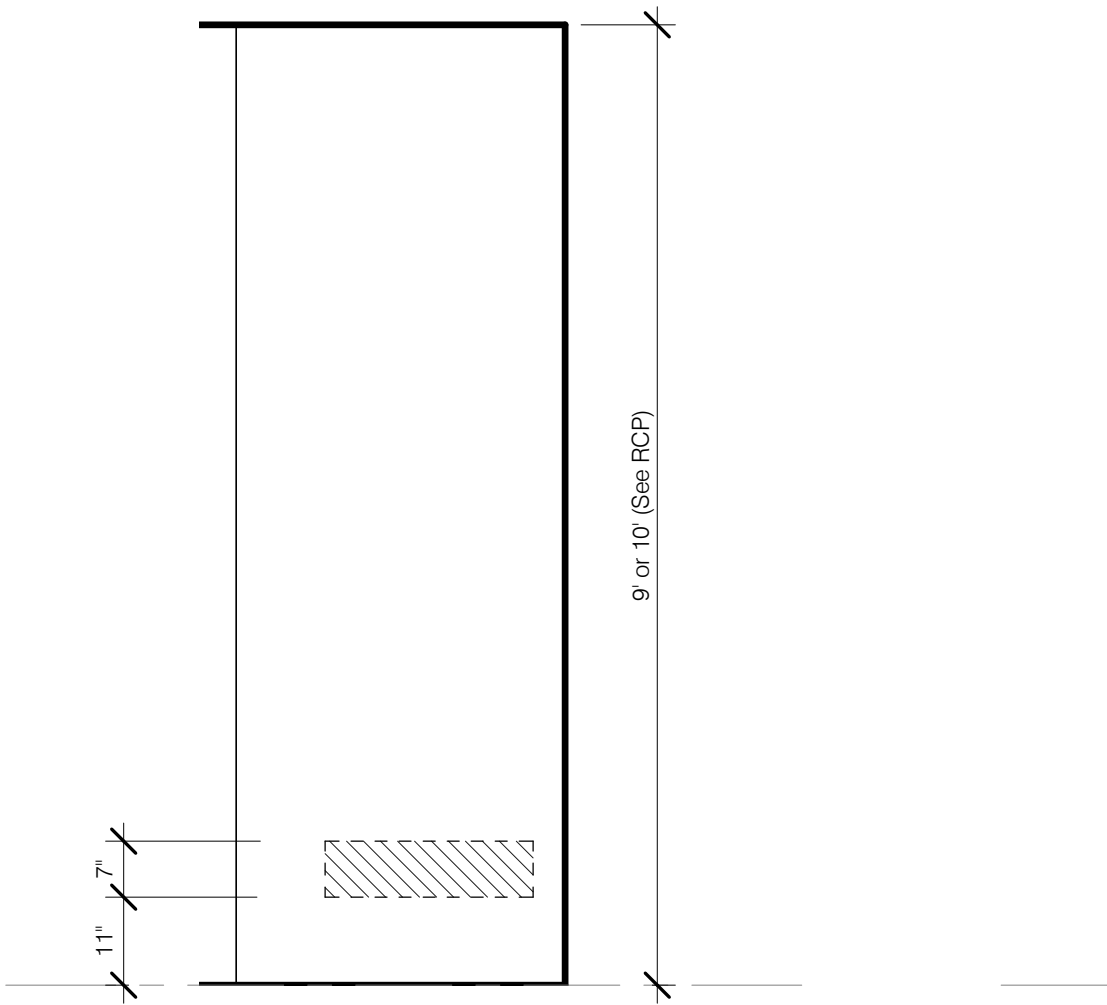
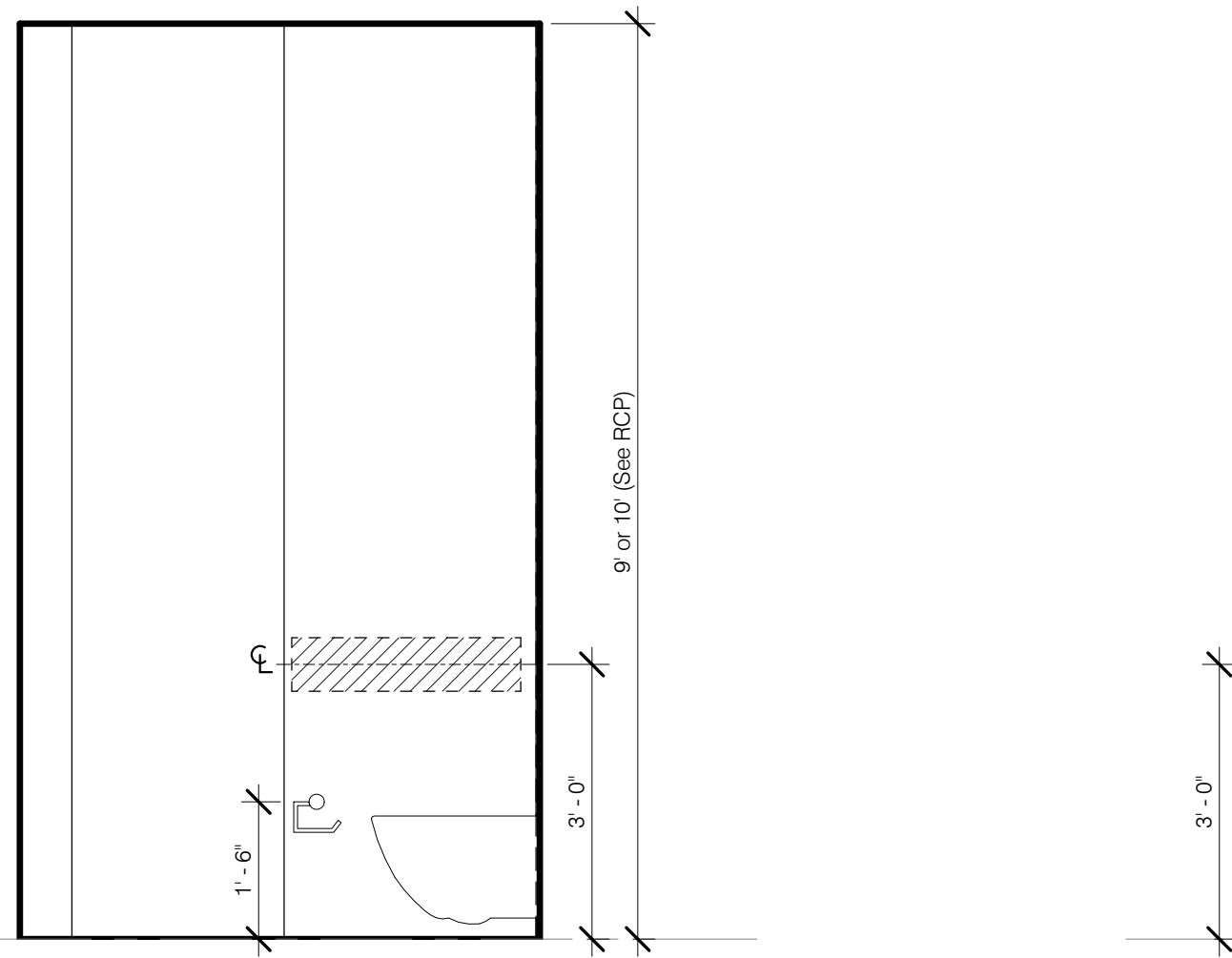
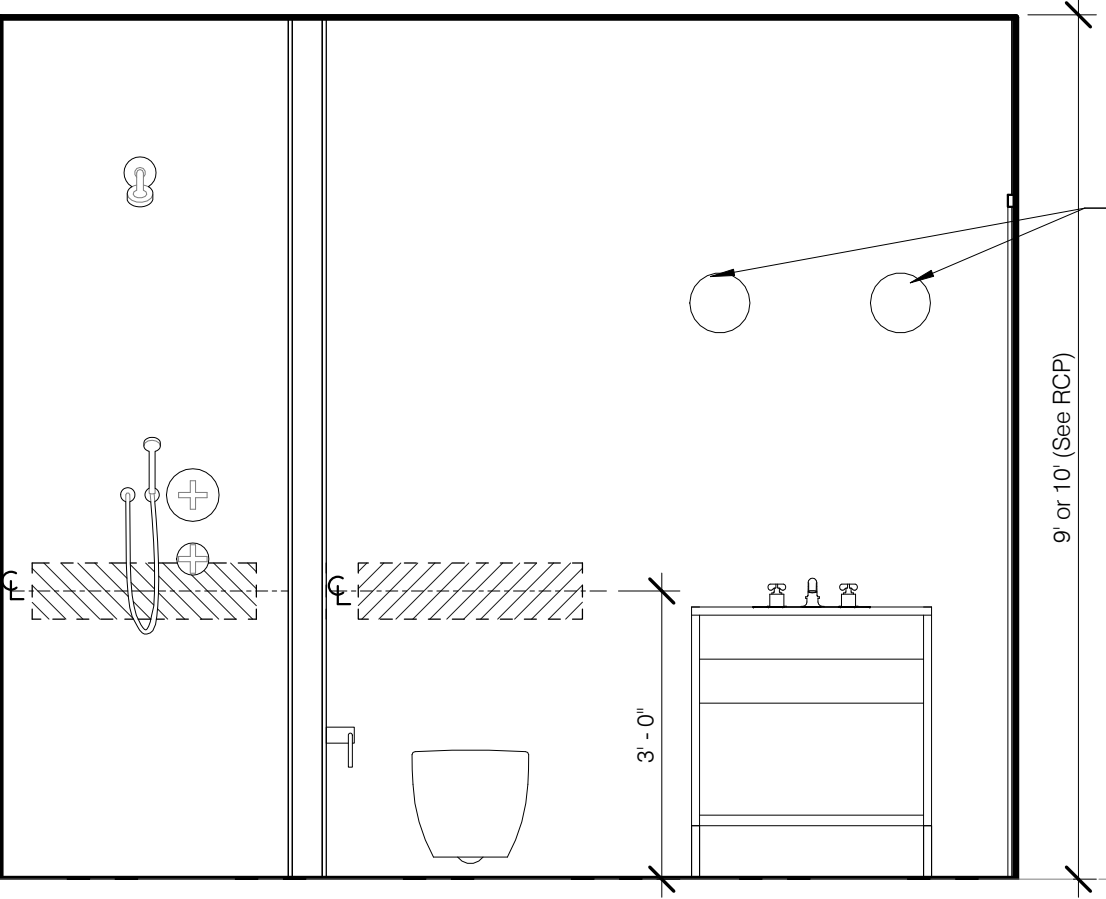
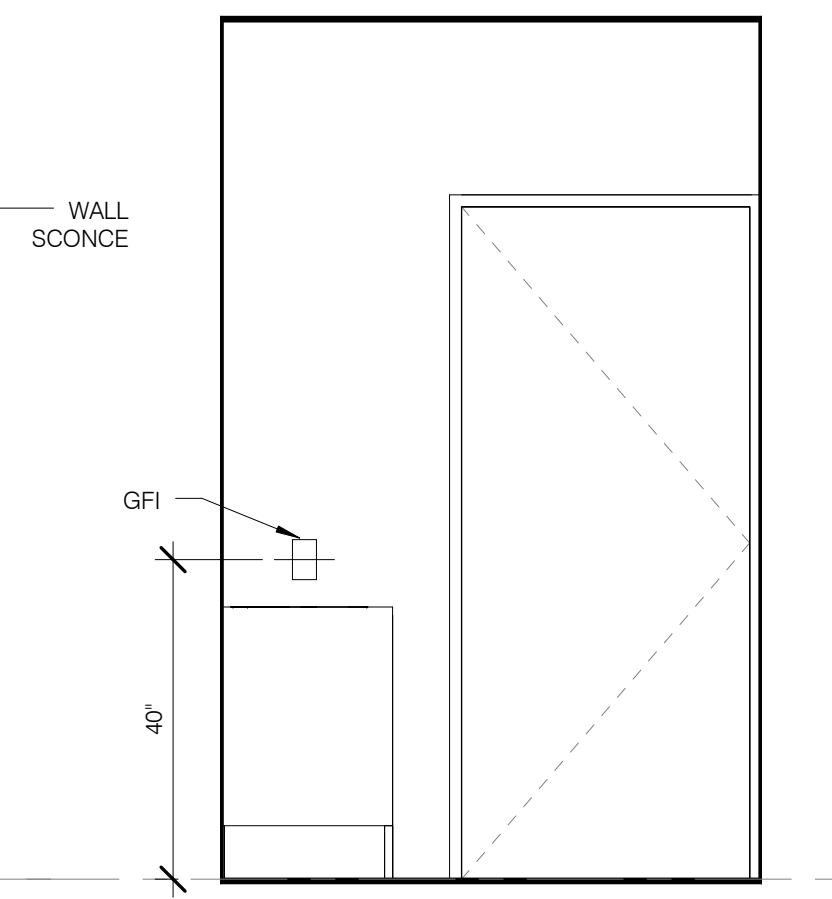
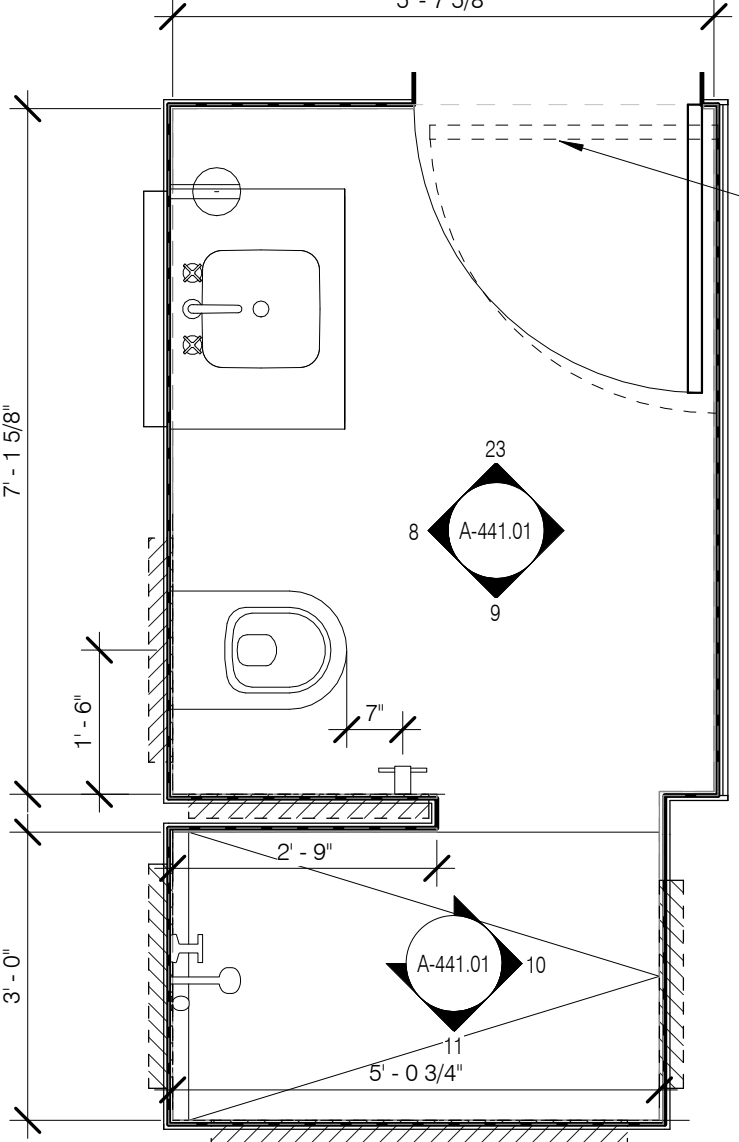
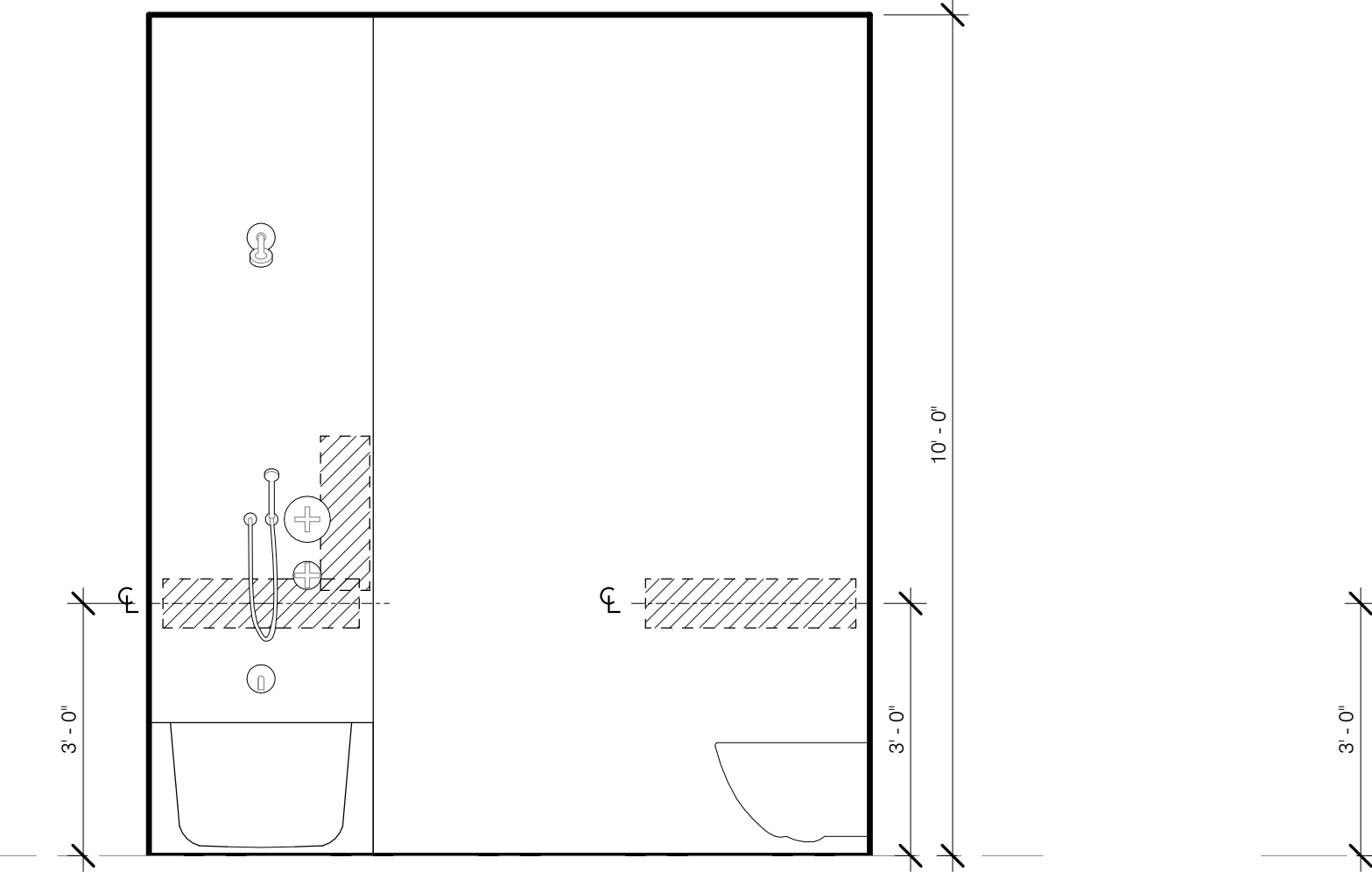
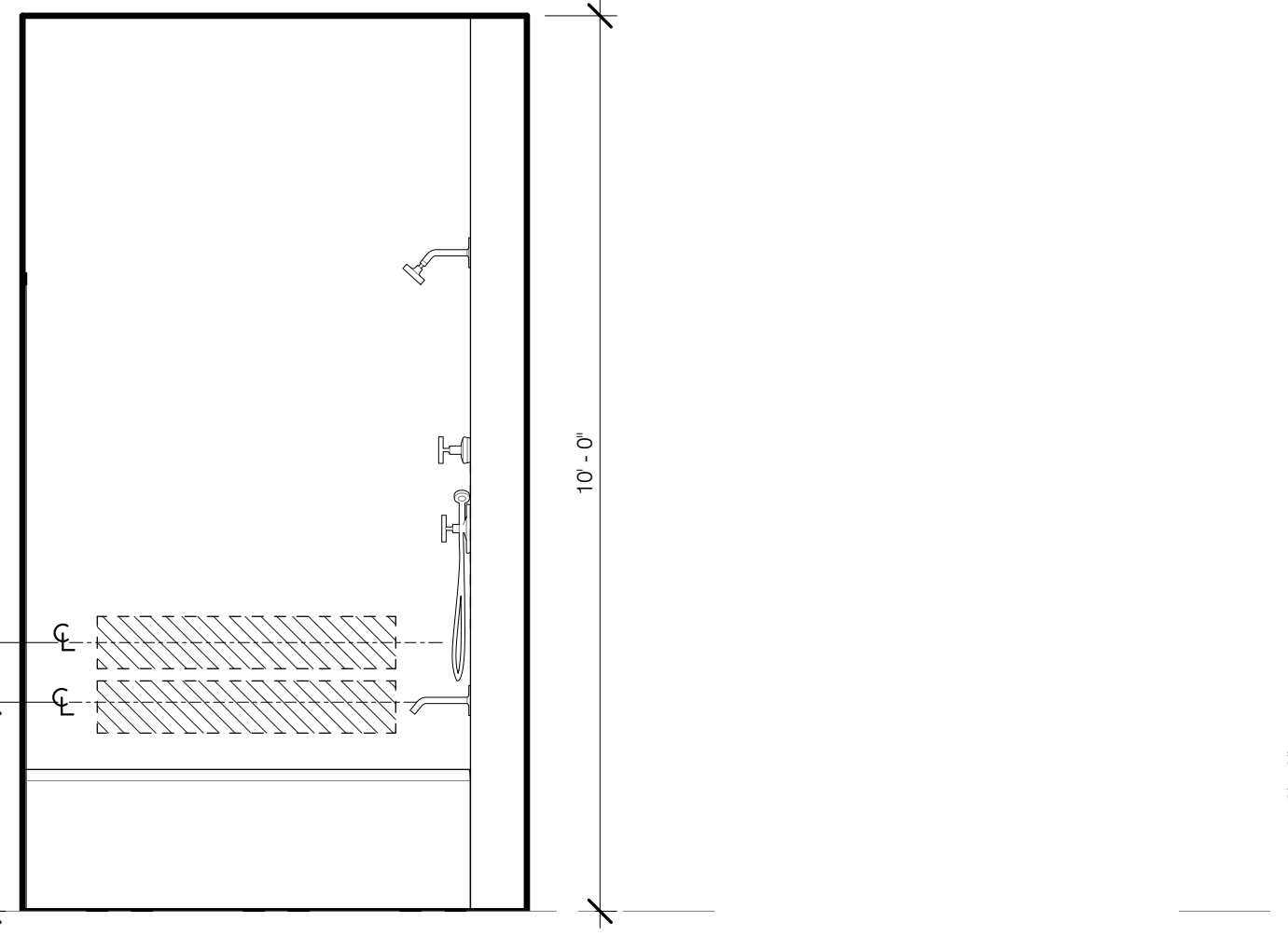
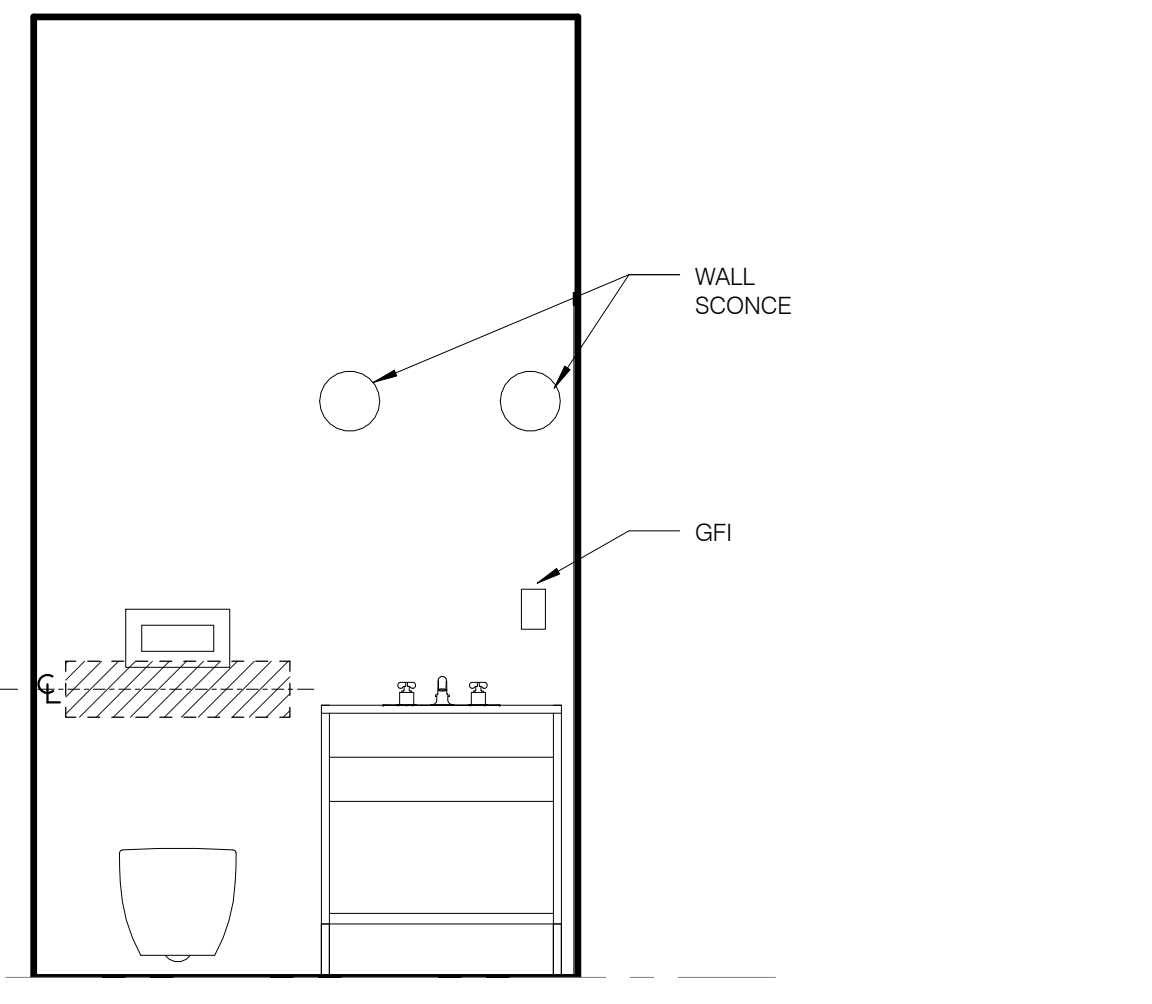
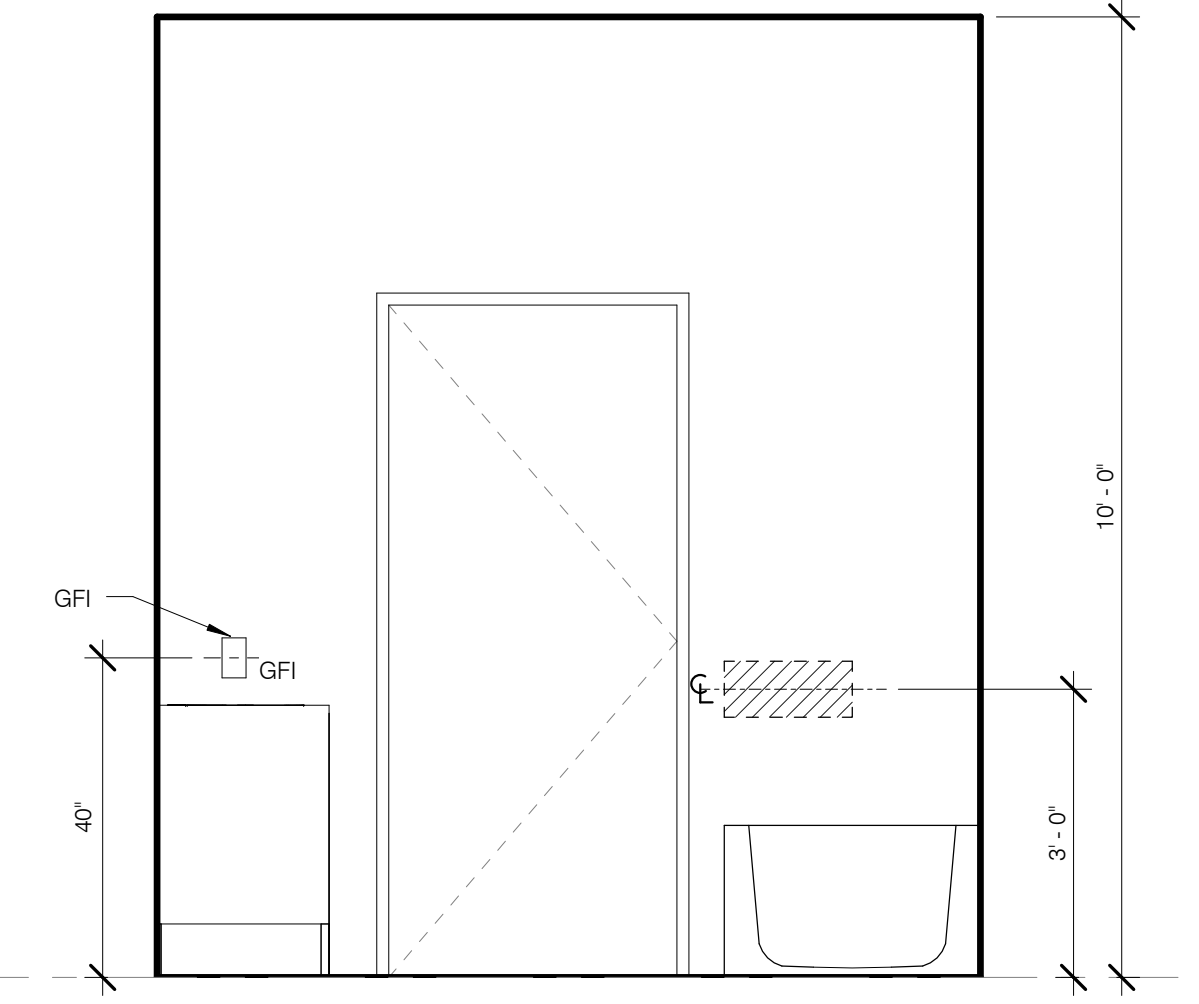
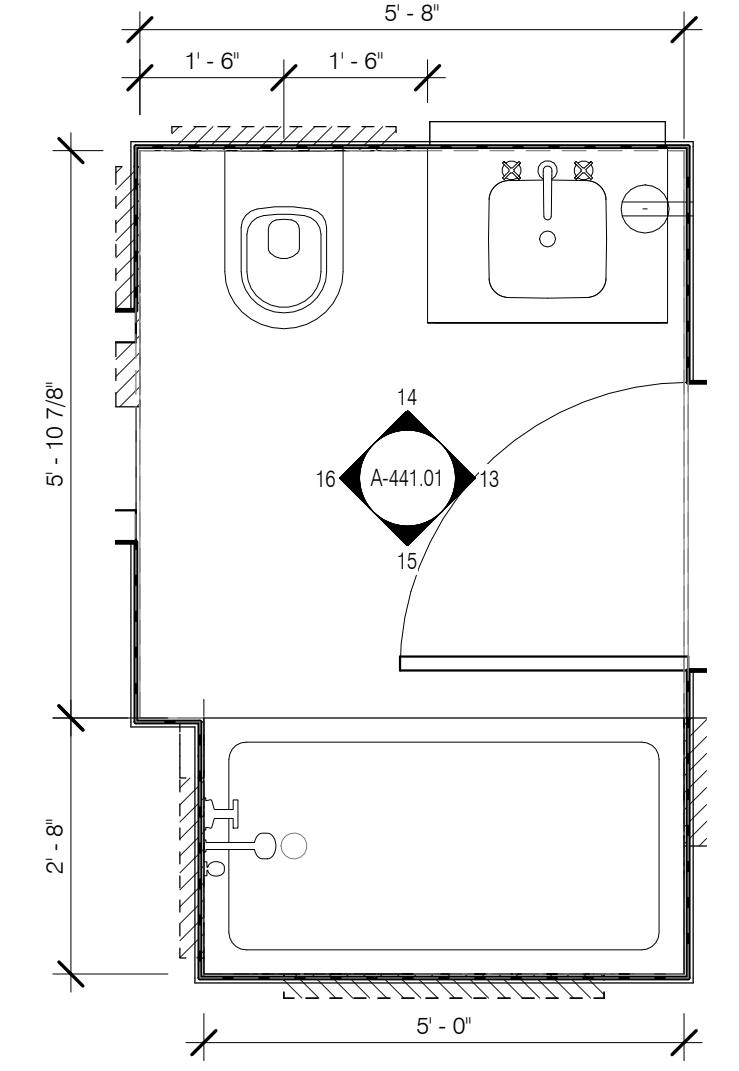
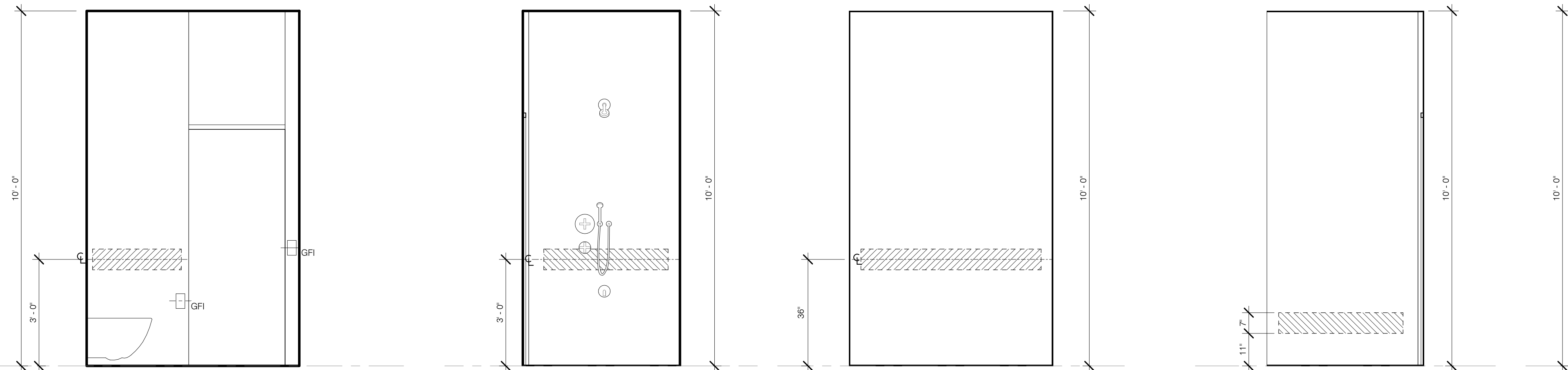
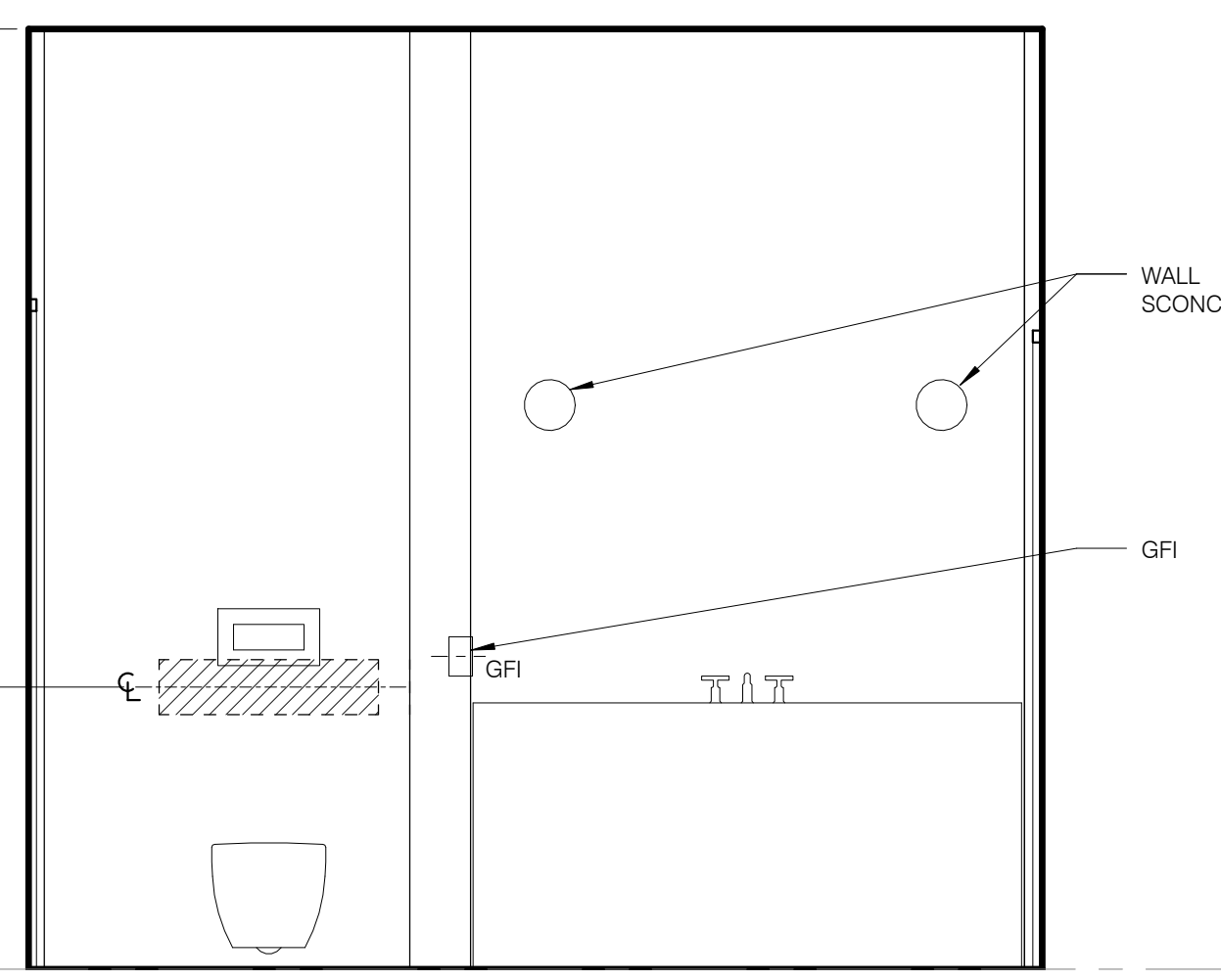
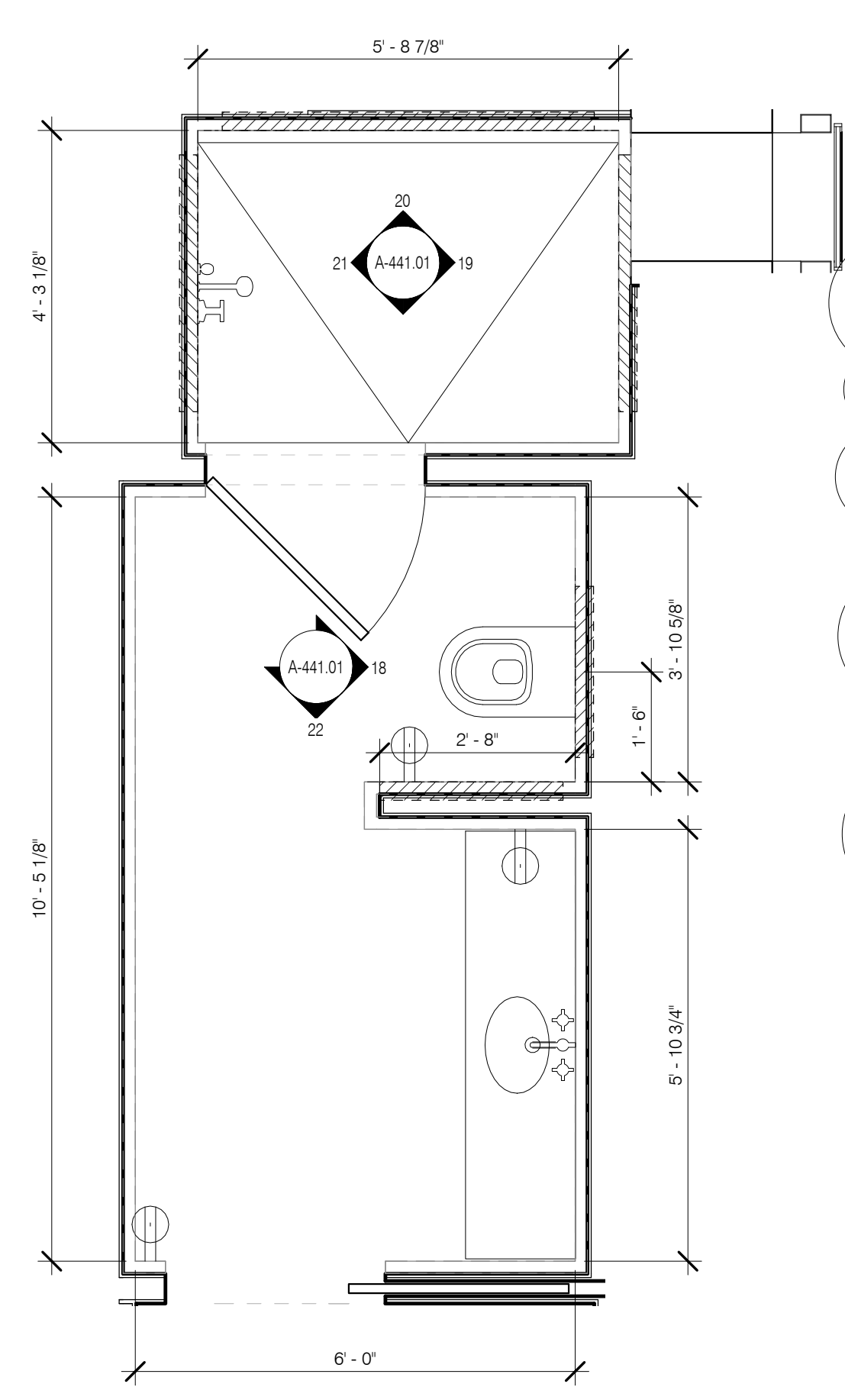
MASTER SHOWER (SINGLE, TYP) W 1/2" = 1'-0" 9 A-440.01 A-440.08



MASTER SHOWER (SINGLE, TYP) N 1/2" = 1'-0" 8 A-440.01 A-440.09



BATHROOM TYPES BY UNIT - TOWER				
UNIT TYPE	TYP LEVEL	RM NUMBER	RM NAME	Notes
B				
T5	LEVEL 71	7101.D	MASTER BATH (MB-5)	B
B-1				
T1A	LEVEL 24	2401.H	BATH 1 (TYPE A)	B-1
T1B	LEVEL 29	2901.G	BATH 1 (TYPE A)	B-1
T1C	LEVEL 36	3601.G	BATH 1 (TYPE A)	B-1
T2A	LEVEL 46	4601.G	BATH 1 (TYPE A)	B-1
T2B	LEVEL 54	5401.D	BATH 1 (TYPE A)	B-1
T3	LEVEL 59	5901.H	BATH 2 (TYPE A)	B-1
T4	LEVEL 67	6701.G	BATH 2 (TYPE A)	B-1
T5	LEVEL 71	7101.J	BATH 1 (TYPE A)	B-1
T6A	LEVEL 75	7401.J	BATH 2 (TYPE A)	B-1
T6B	LEVEL 77	7701.A	BATH 1 (TYPE A)	B-1
B-2				
T1A	LEVEL 24	2401.C	BATH 2 (B-2)	B-2
T1B	LEVEL 29	2901.E	BATH 2 (B-2)	B-2
T2A	LEVEL 46	4601.C	BATH 2 (B-2)	B-2
T4	LEVEL 67	6701.A	HIS BATH (B-2)	B-2
T4	LEVEL 67	6701.G	BATH 3 (B-2)	B-2
T5	LEVEL 71	7101.K	BATH 3 (B-2)	B-2
T5	LEVEL 71	7101.J	BATH 2 (B-2)	B-2
T5	LEVEL 71	7101.J	BATH 2 (B-2)	B-2
B-3				
T1C	LEVEL 36	3601.I	BATH 2 (B-3)	B-3
B-4				
T2B	LEVEL 55	5501.A	HIS BATH (B-4)	B-4
B-5				
T3	LEVEL 59	5901.F	BATH 1 (B-5)	B-5
B-6				
T4	LEVEL 66	6601.C	BATH 2 (B-6)	B-6
B-7				
T6A	LEVEL 75	7401.F	BATH 3 (B-7)	B-7
MB-1				
T1A	LEVEL 24	2401.D	MASTER BATH (MB-1)	MB-1
T1C	LEVEL 36	3601.C	MASTER BATH (MB-1)	MB-1
T2A	LEVEL 46	4601.D	MASTER BATH (MB-1)	MB-1
MB-2				
T1B	LEVEL 29	2901.C	MASTER BATH (MB-2)	MB-2
MB-3				
T2B	LEVEL 54	5401.B	BATH 2 (MB-3)	MB-3
MB-4				
T2B	LEVEL 55	5501.E	HIS BATH (MB-4)	MB-4
T3	LEVEL 59	5901.C	MASTER BATH (MB-4)	MB-4
MB-5				
T4	LEVEL 67	6701.D	HIS BATH (MB-5)	MB-5
T6A	LEVEL 75	7401.C	MASTER BATH (MB-5)	MB-5
T6B	LEVEL 77	7701.D	MASTER BATH (MB-5)	MB-5
PR-1				
T3	LEVEL 59	5901.J	POWDER (PR-3)	PR-1
T4	LEVEL 66	6601.F	POWDER (PR-1)	PR-1
T5	LEVEL 72	7201.F	POWDER (PR-1)	PR-1
PR-2				
T6A	LEVEL 74	7401.D	POWDER (PR-2)	PR-2
T6B	LEVEL 76	7601.C	POWDER (PR-2)	PR-2
PR-3				
T2B	LEVEL 54	5401.F	POWDER (PR-3)	PR-3
PR-4				
T1A	LEVEL 24	2401.J	POWDER (PR-4)	PR-4
T1B	LEVEL 29	2901.J	POWDER (PR-4)	PR-4
T1C	LEVEL 36	3601.J	POWDER (PR-4)	PR-4
T2A	LEVEL 46	4601.I	POWDER (PR-4)	PR-4
U1-A				
RC	CELLAR	-0106.C	UNISEX BATH 2	U1-A



ARCHITECT
SHAP ARCHITECTS, P.C.
230 BROADWAY, 11TH FLOOR
NEW YORK, NY 10007
TEL: 212 869 9395

STRUCTURAL ENGINEER
YUSEF GHAFOUR BEKHOOR
230 EAST 43RD STREET
NEW YORK, NY 10017
TEL: 212 697 5886

MEP ENGINEER
JAMES BALM & BOLLER
80 WINE STREET, 12TH FLOOR
NEW YORK, NY 10002
TEL: 212 699 6333

CIVIL ENGINEER
AWR ENGINEERING, P.C.
40 FIFTH AVE, 20TH FLOOR
NEW YORK, NY 10018
TEL: 800 388 8828

ACOUSTICS
LONGMAN LINDSEY
40 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 917 388 3389

INTERIORS
STUDIO SCENEFIELD
30 WALKER STREET
NEW YORK, NY 10002
TEL: 212 475 1300

FAÇADE
BURROUGHS WERFIELD
100 BROADWAY
NEW YORK, NY 10002
TEL: 212 234 2025

VERTICAL TRANSPORTATION
VAN DEUSEN & ASSOCIATES
1 BROADWAY, SUITE 200
LARKSPER, NJ 07033
TEL: 973 984 8775

RESTORATION
JAN HRO POKORNY ASSOCIATES
80 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212 238 4442

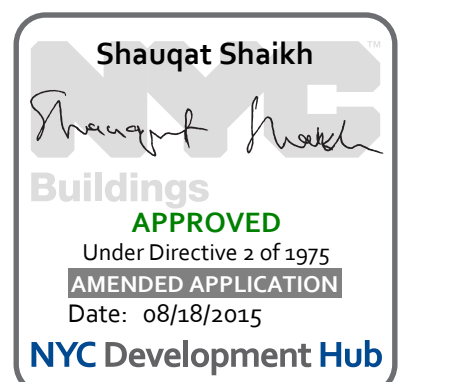
GEOTECH
MTC
305 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 917 388 4900

LIGHTING
CONSERVATORIE INTERNATIONAL
100 WALKER STREET, 7TH FLOOR EAST
NEW YORK, NY 10002
TEL: 212 252 4463



PROPERTY MARKETS GROUP
100 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212 869 9395
CURRENT ISSUE

DOB PAA



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



1	3/27/15	DOB PAA
NO.	DATE	REVISION
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.		

BATHROOMS - TOWER ENLARGED PLANS AND ELEVATION

SEAL & SIGNATURE DATE 3/27/15

PROJECT NO. 130607

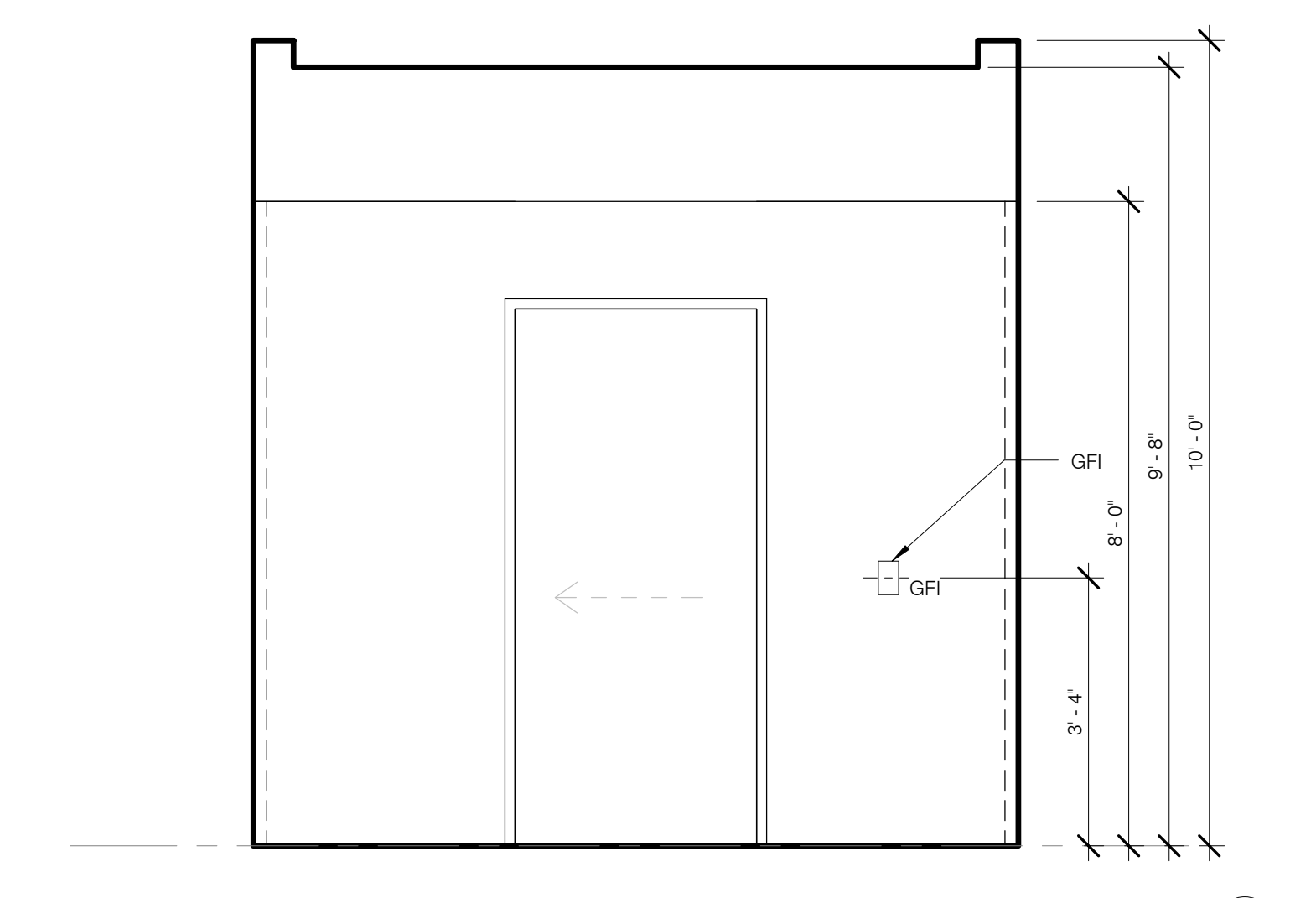
DRAWN BY SHAP

CHECKED BY SHAP

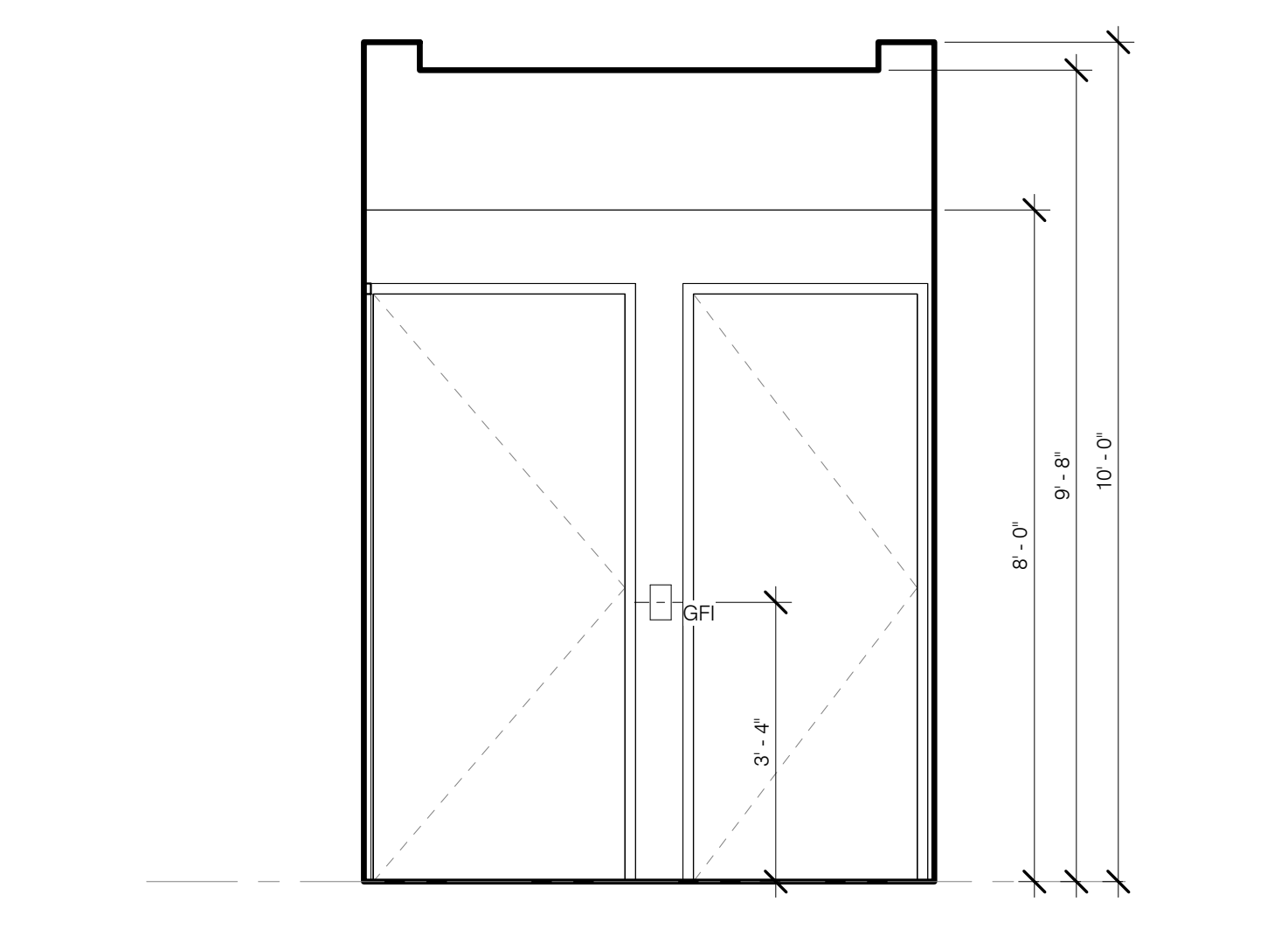
DOB NO. 121332968

DRAWING NUMBER

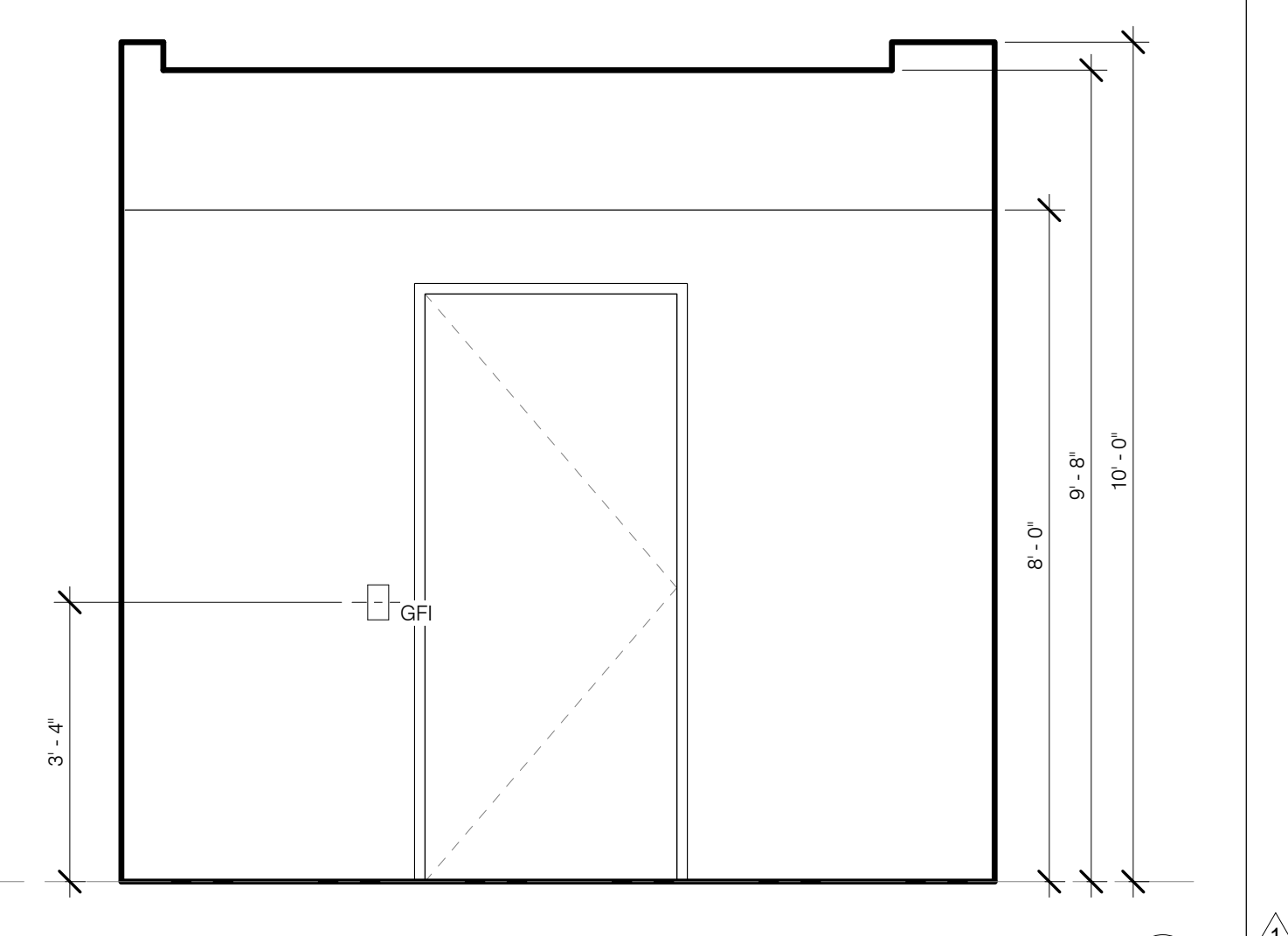
A-442.01



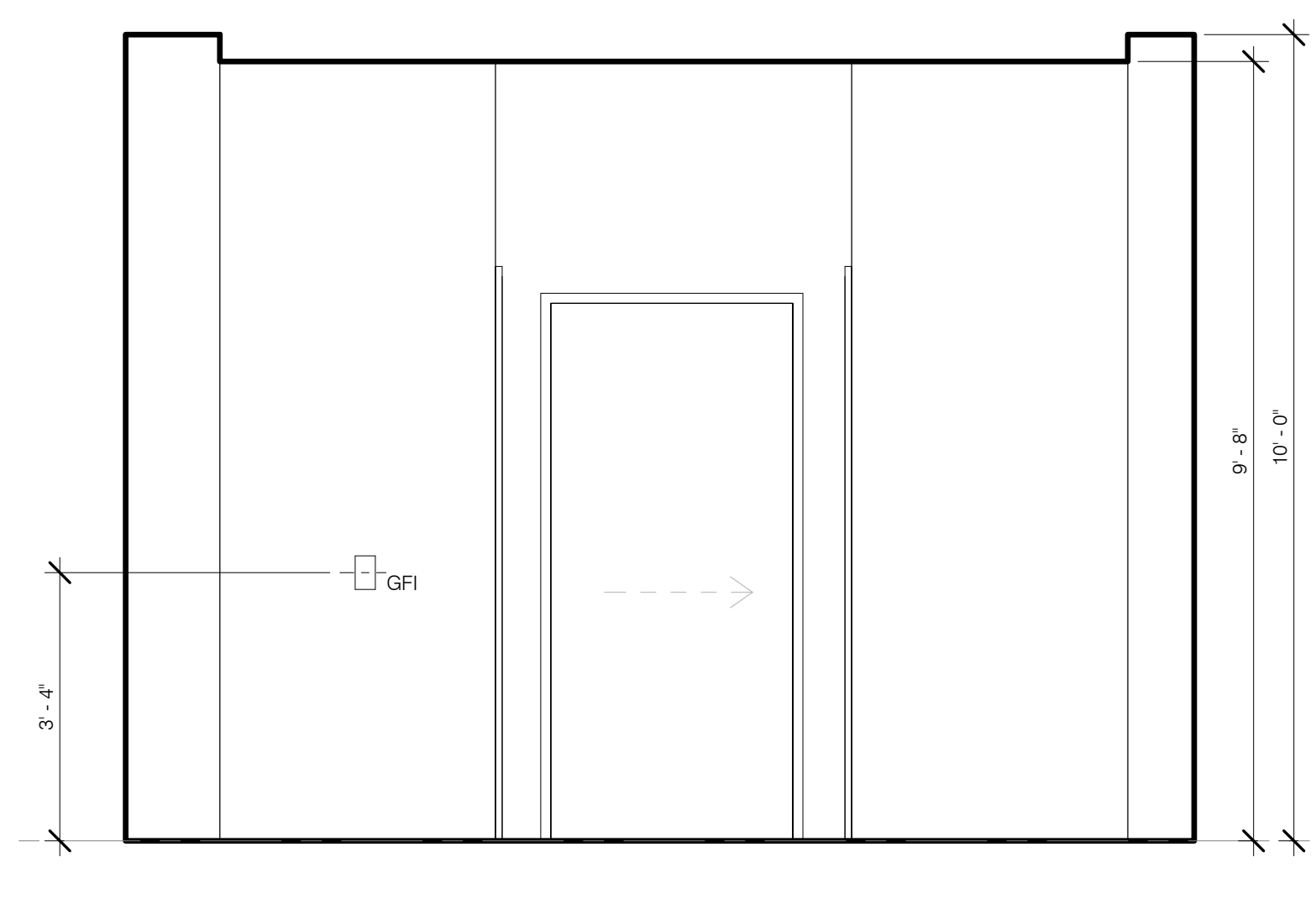
MB-1 - GFI 1/2" = 1'-0" 20



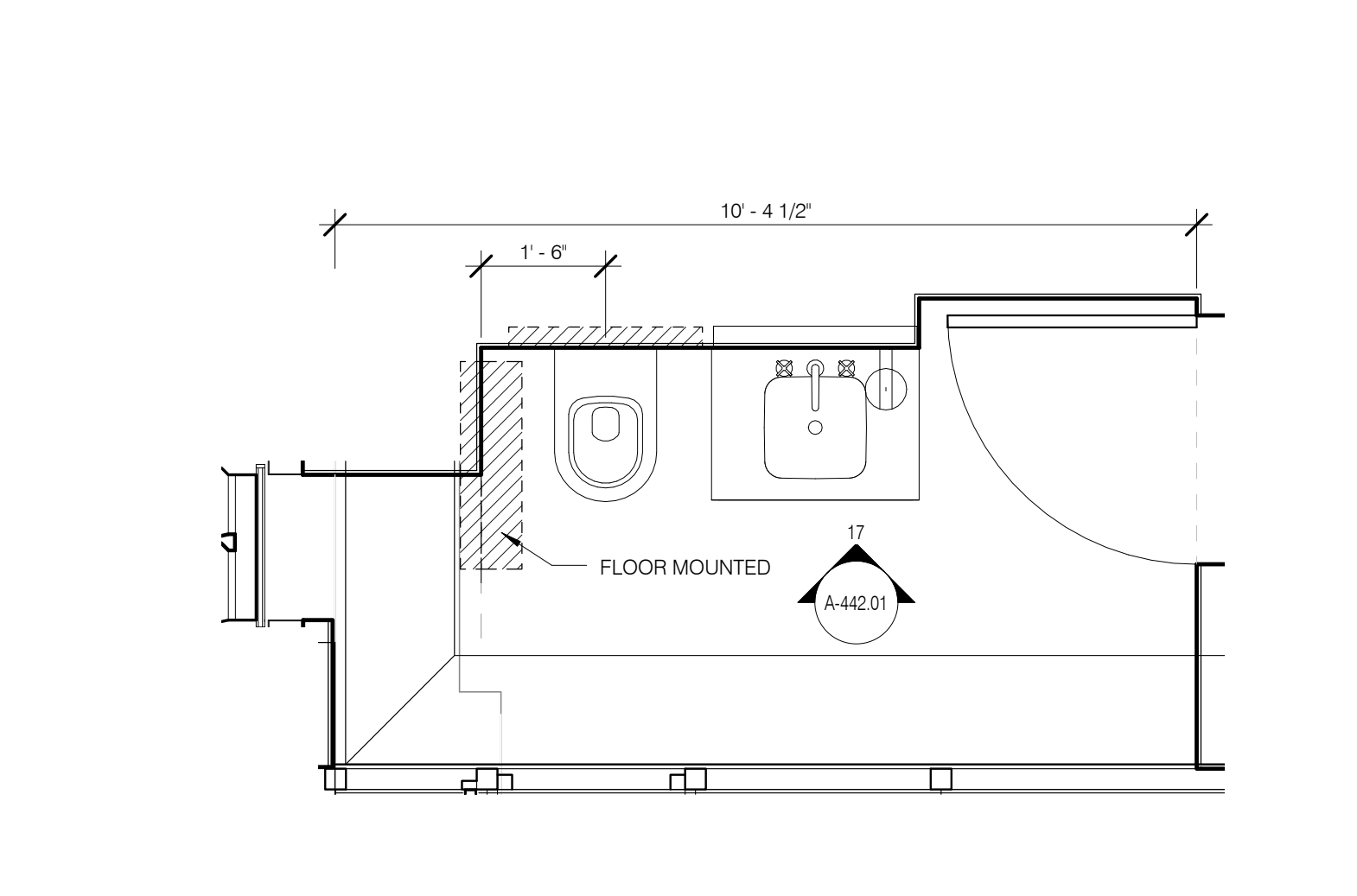
MB-2 GFI 1/2" = 1'-0" 21



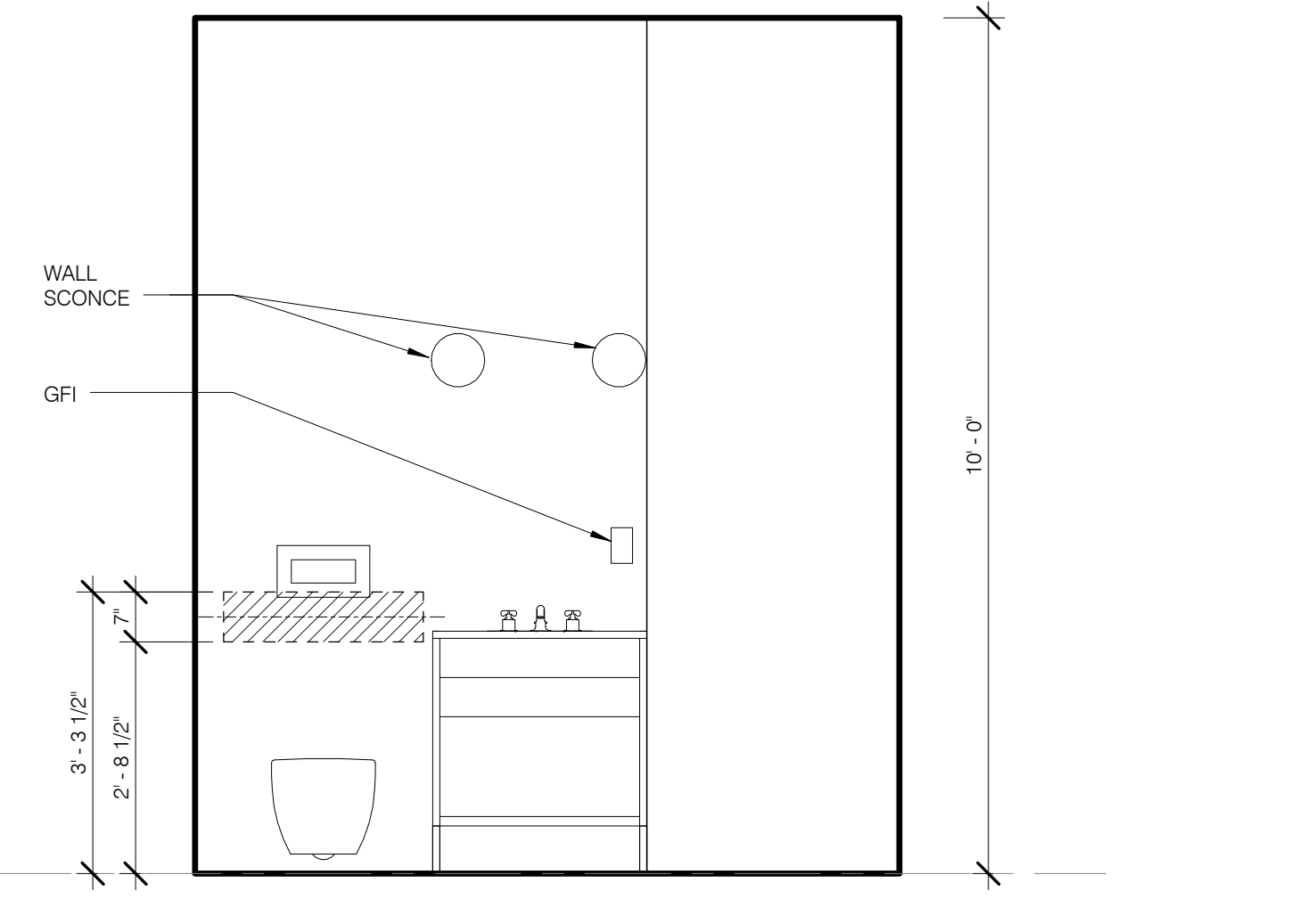
MB-3 GFI 1/2" = 1'-0" 22



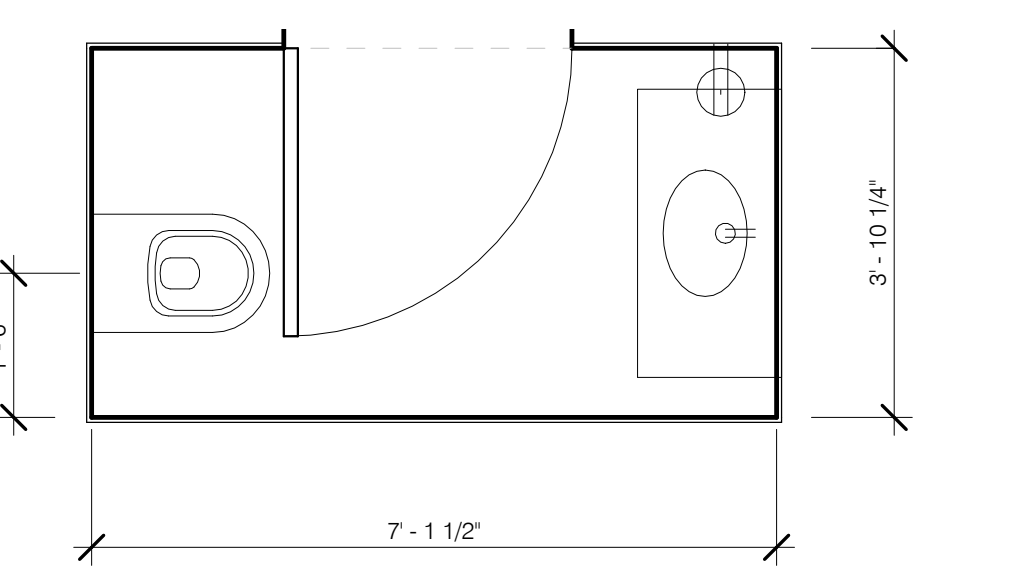
MB-4 GFI 1/2" = 1'-0" 23



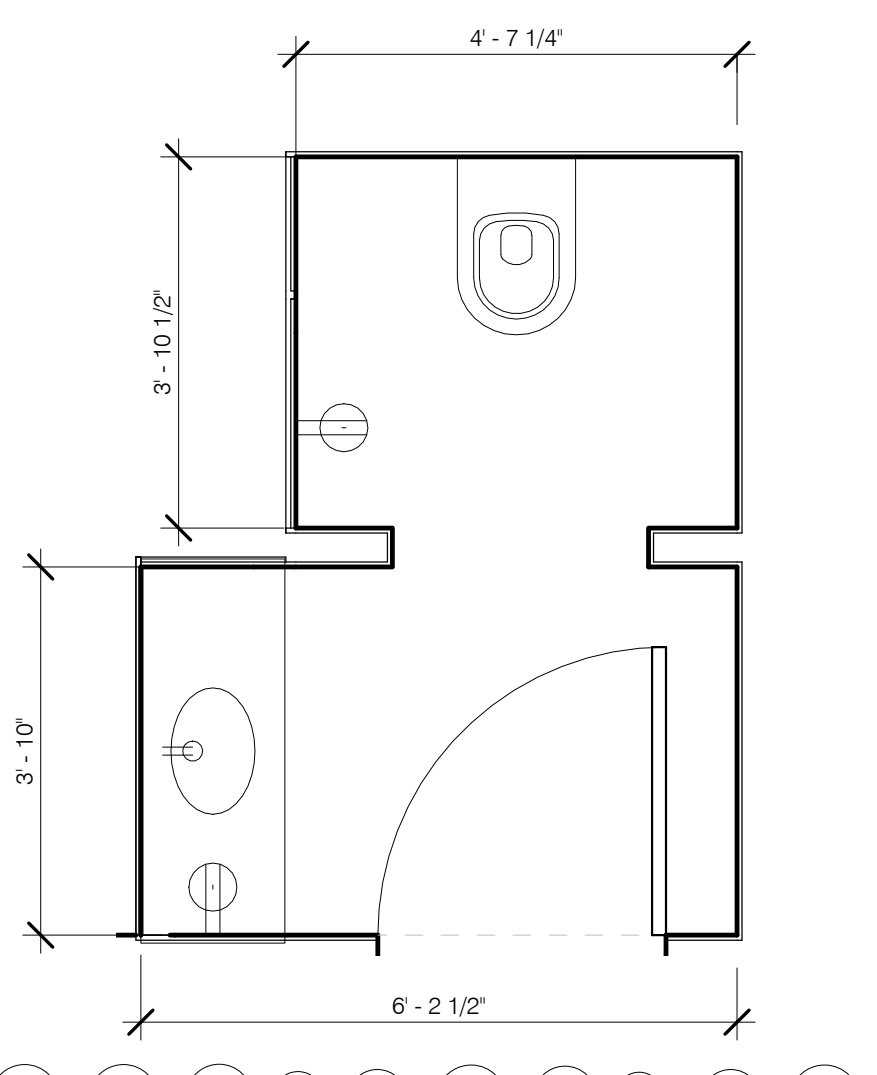
POWDER TYPE-2 PLAN 1/2" = 1'-0" 16



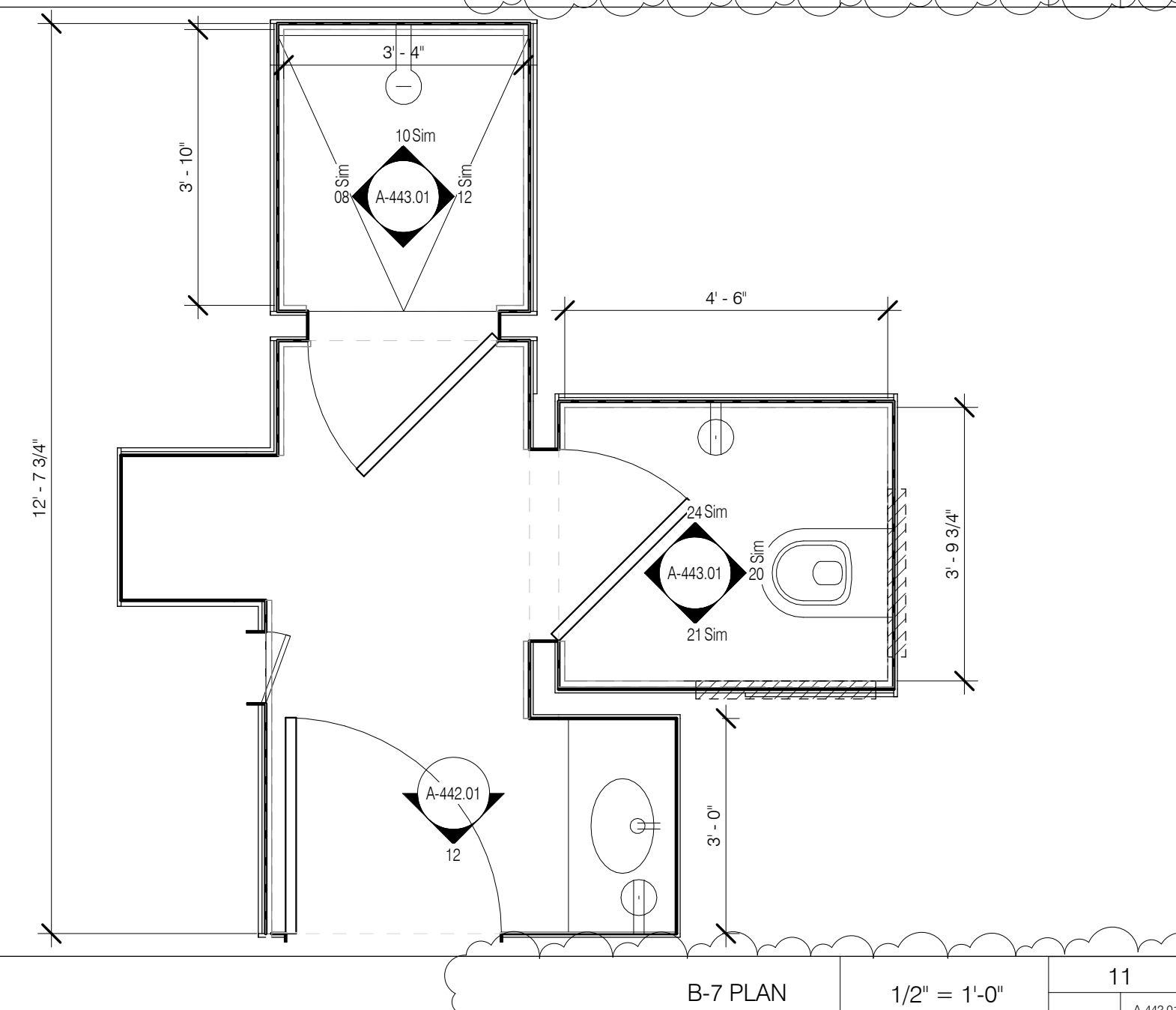
POWDER TYPE-2 WC REAR WALL ELEV 1/2" = 1'-0" 17



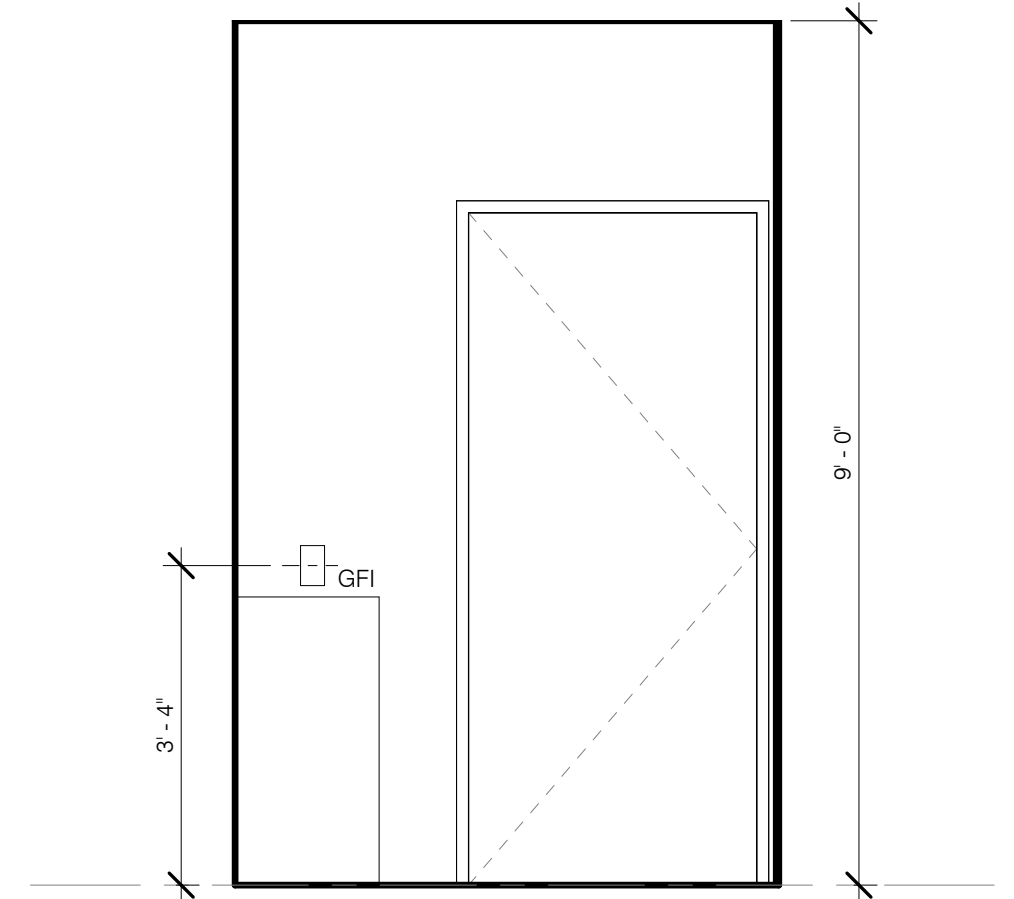
PR-3 POWDER 3 PLAN 1/2" = 1'-0" 18



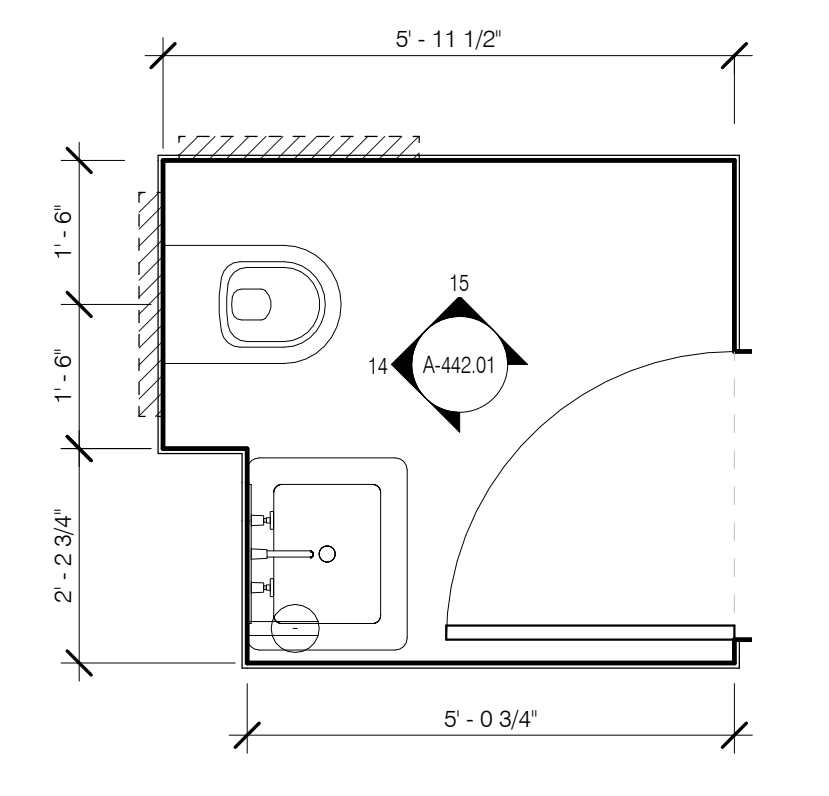
PR-4 POWDER 4 PLAN 1/2" = 1'-0" 19



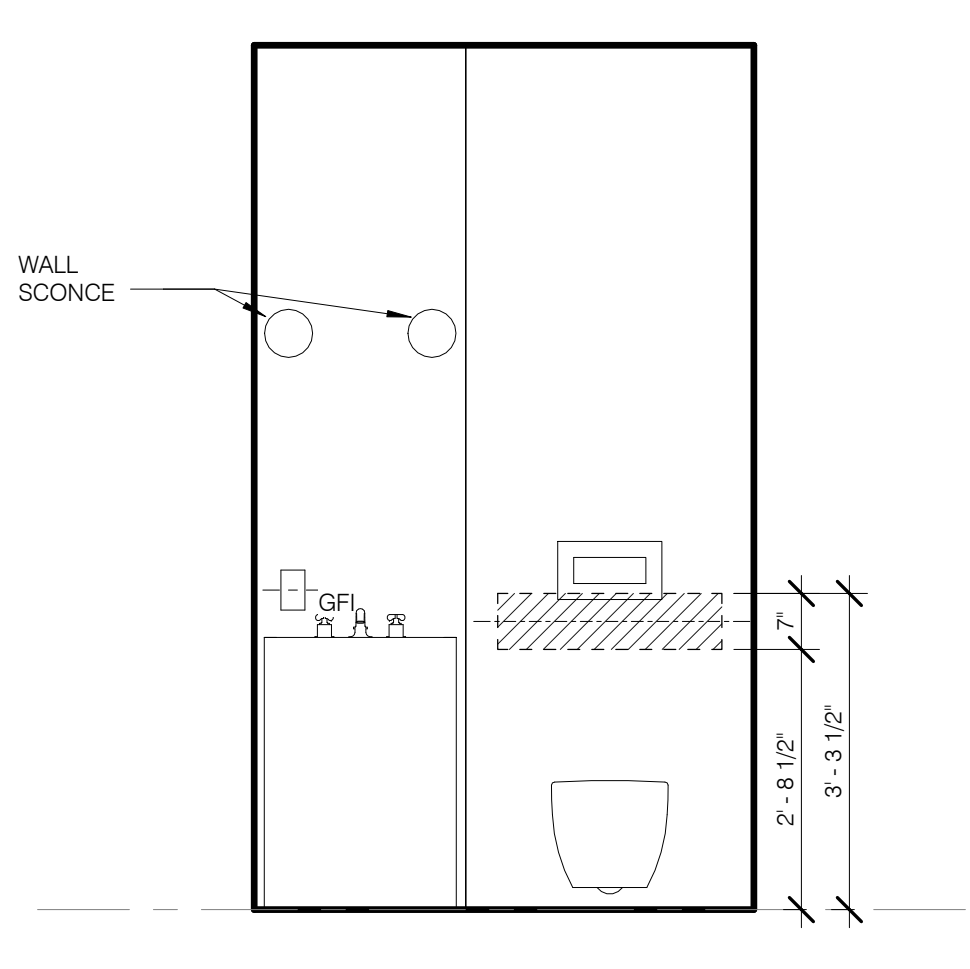
B-7 PLAN 1/2" = 1'-0" 11



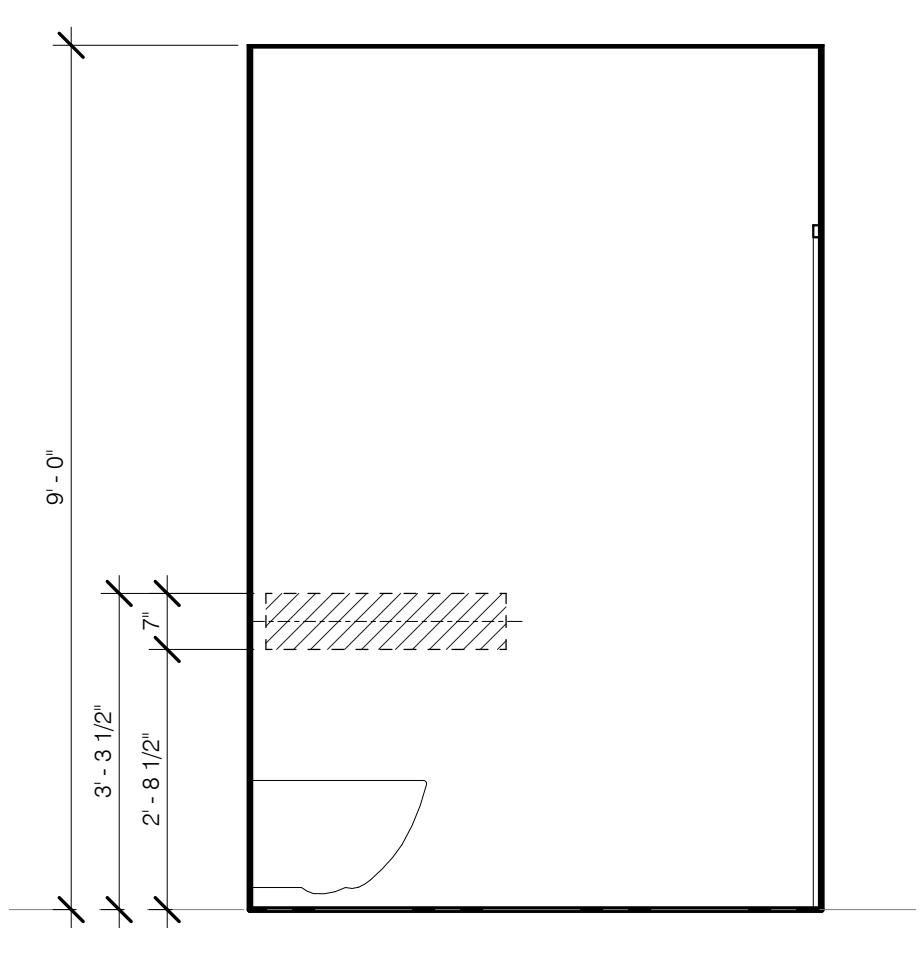
B-7 - DOOR 1/2" = 1'-0" 12



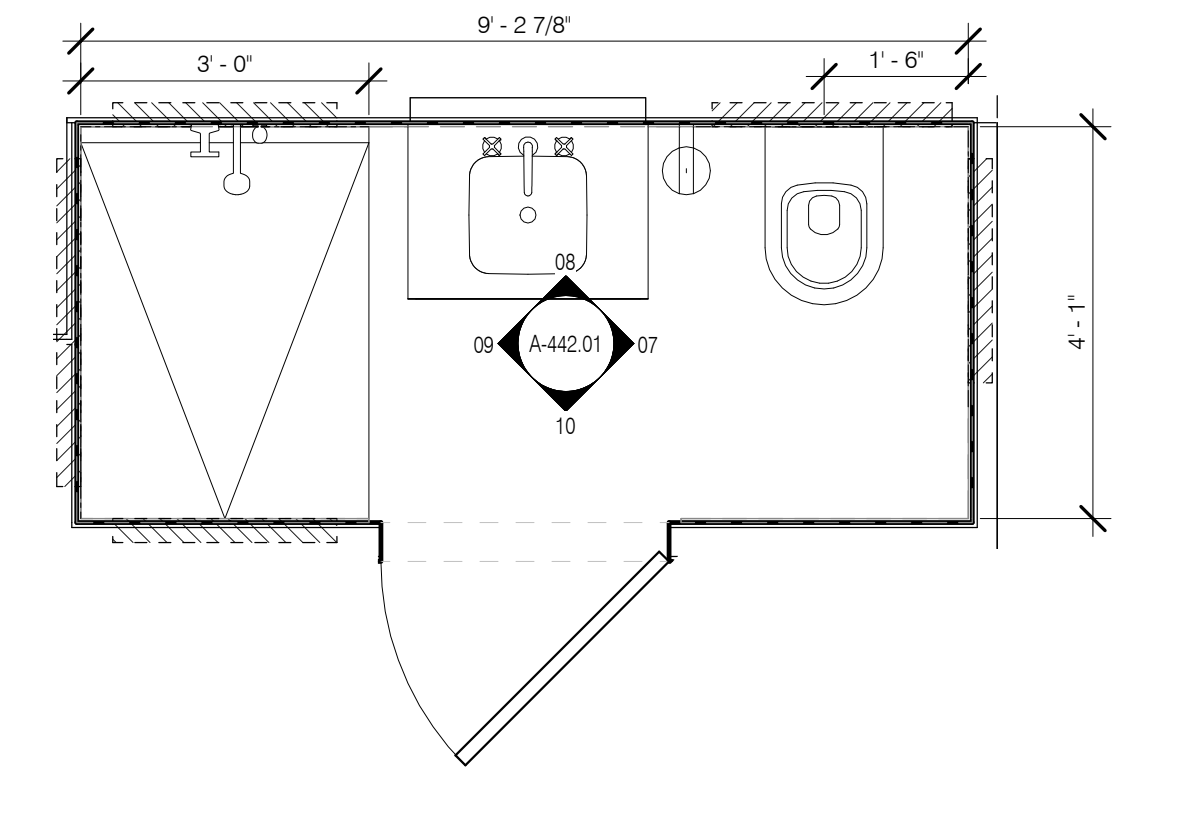
POWDER TYPE-1 PLAN 1/2" = 1'-0" 13



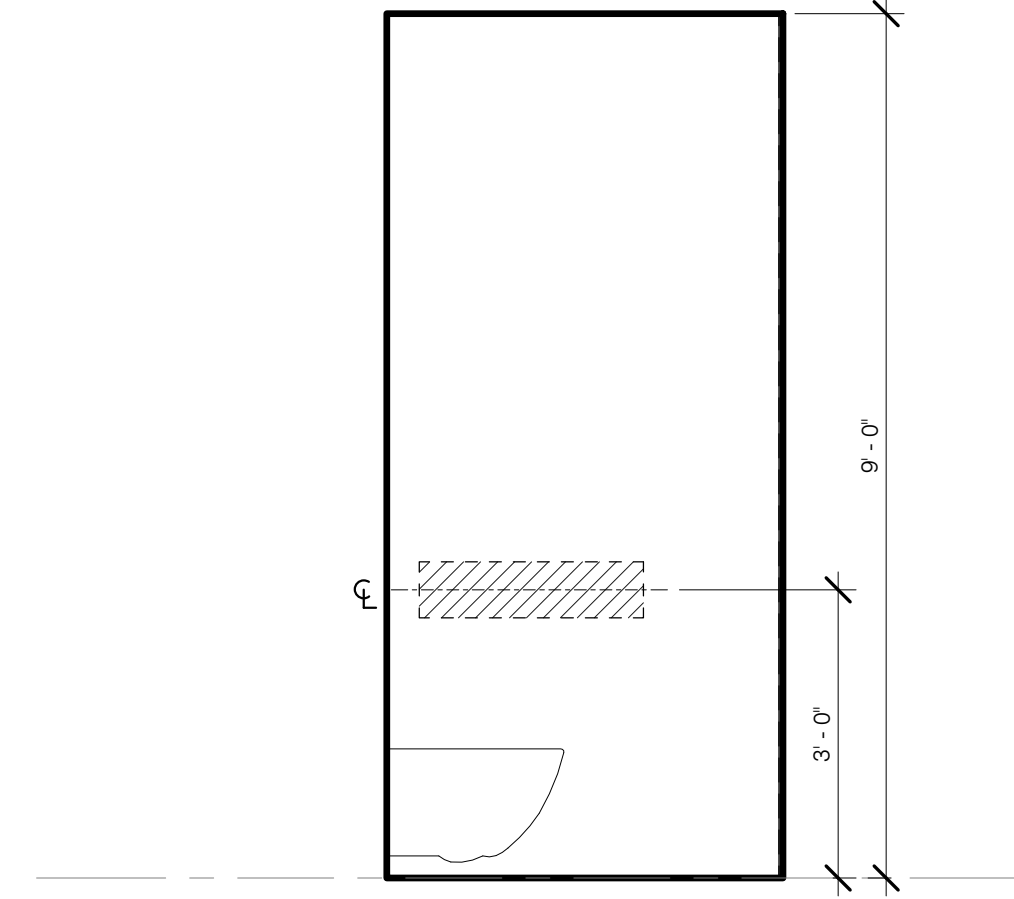
POWDER TYPE-1 WC REAR WALL ELEV 1/2" = 1'-0" 14



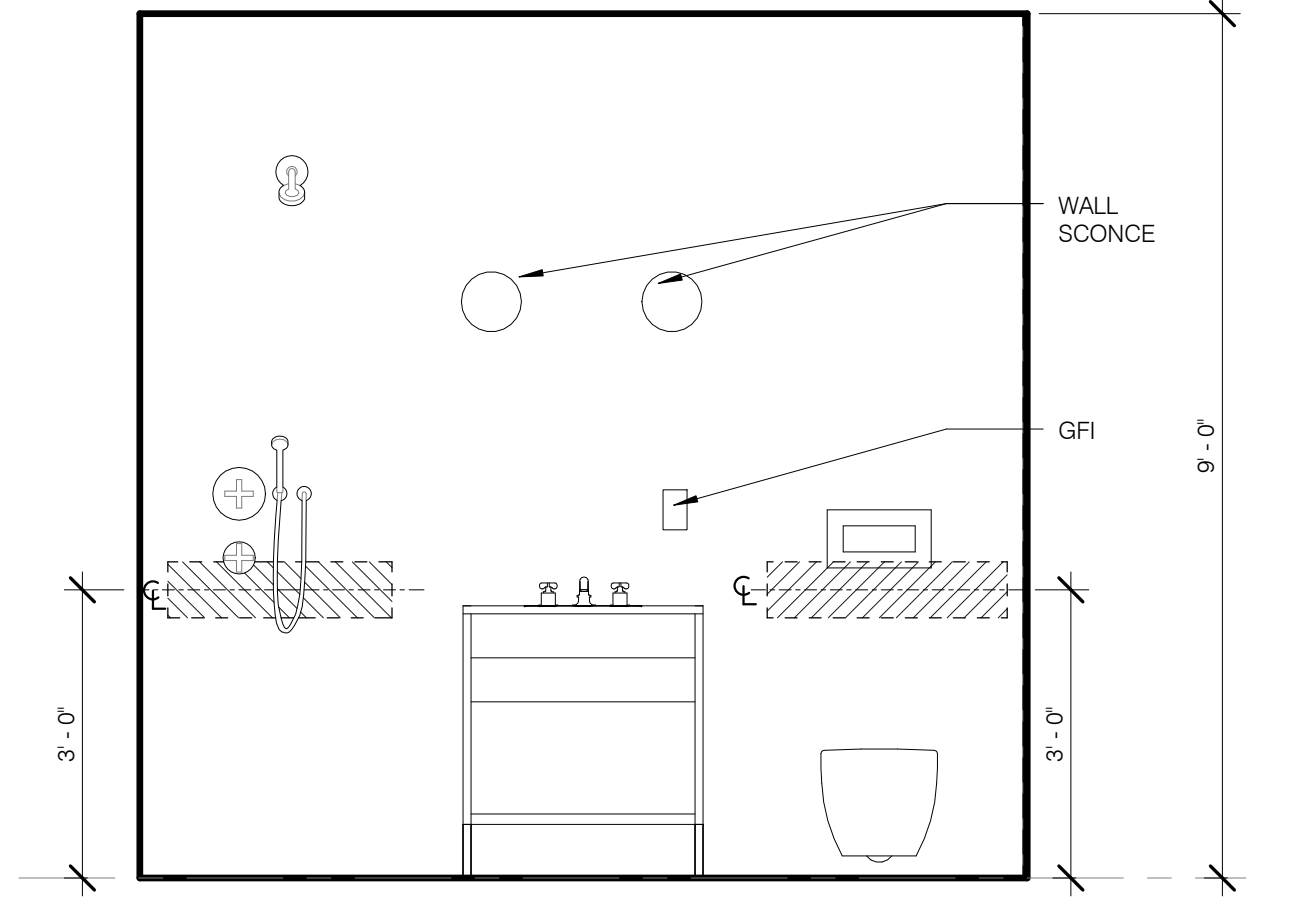
POWDER TYPE-1 WC SIDE WALL ELEV 1/2" = 1'-0" 15



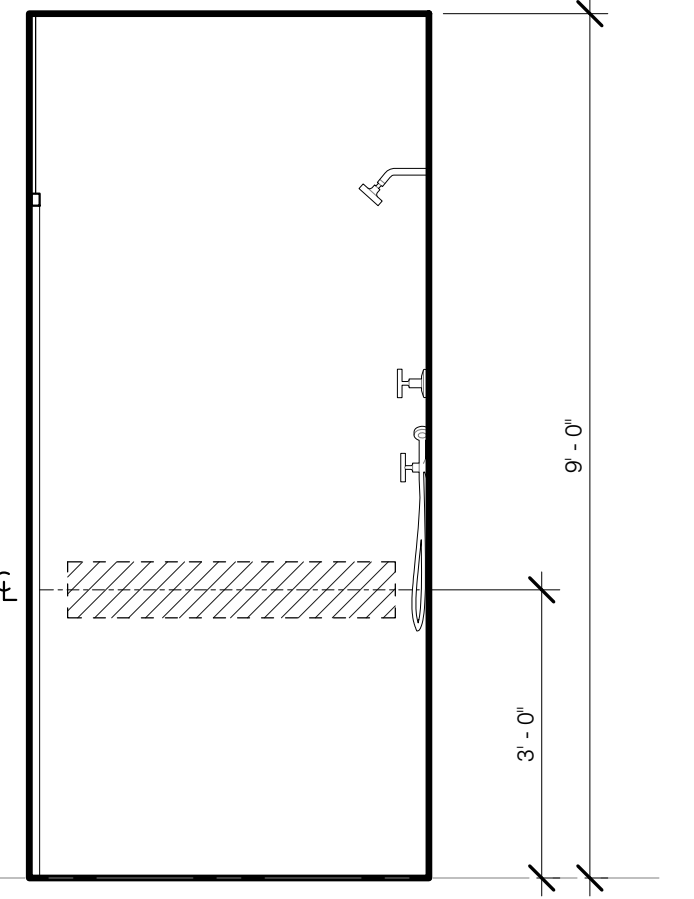
BATH TYPE-6 PLAN 1/2" = 1'-0" 06



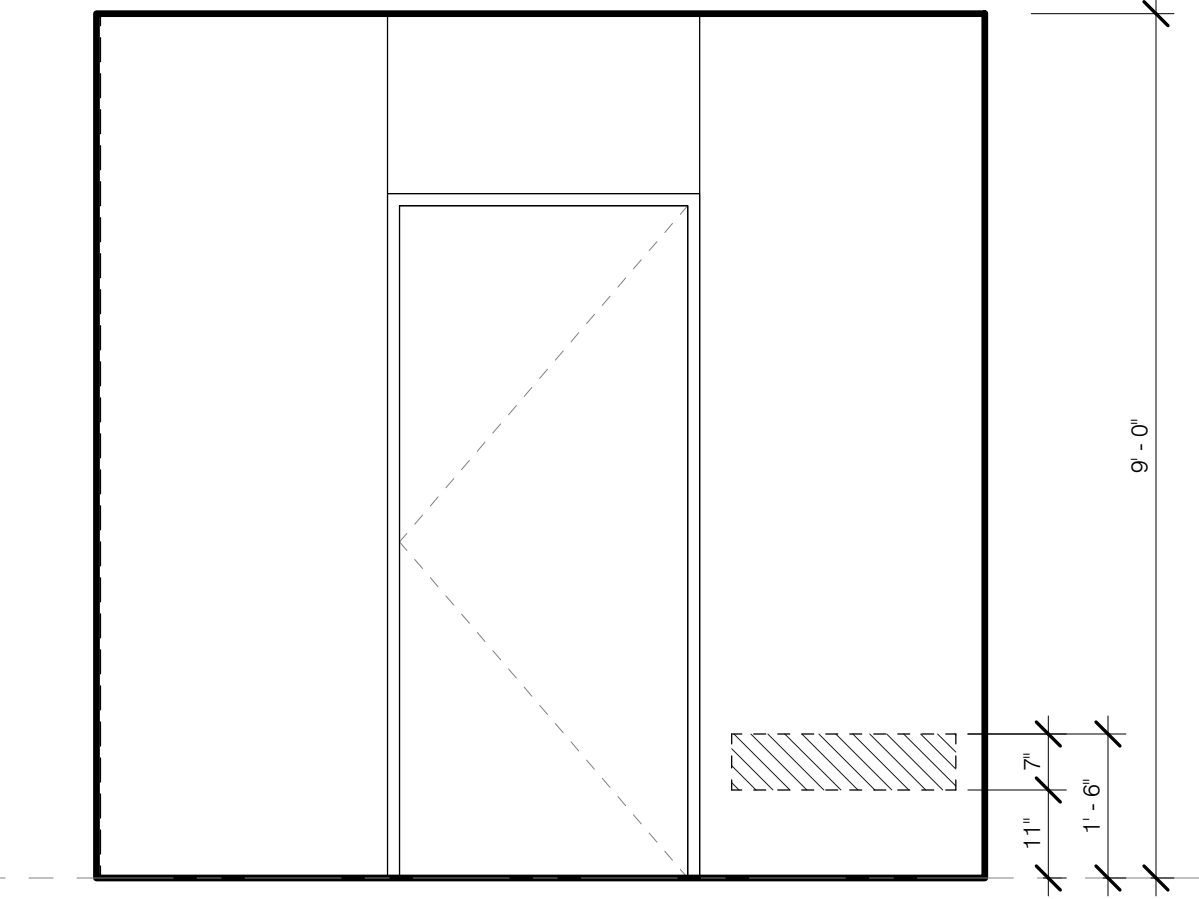
BATH TYPE-6 WC SIDE WALL ELEV 1/2" = 1'-0" 07



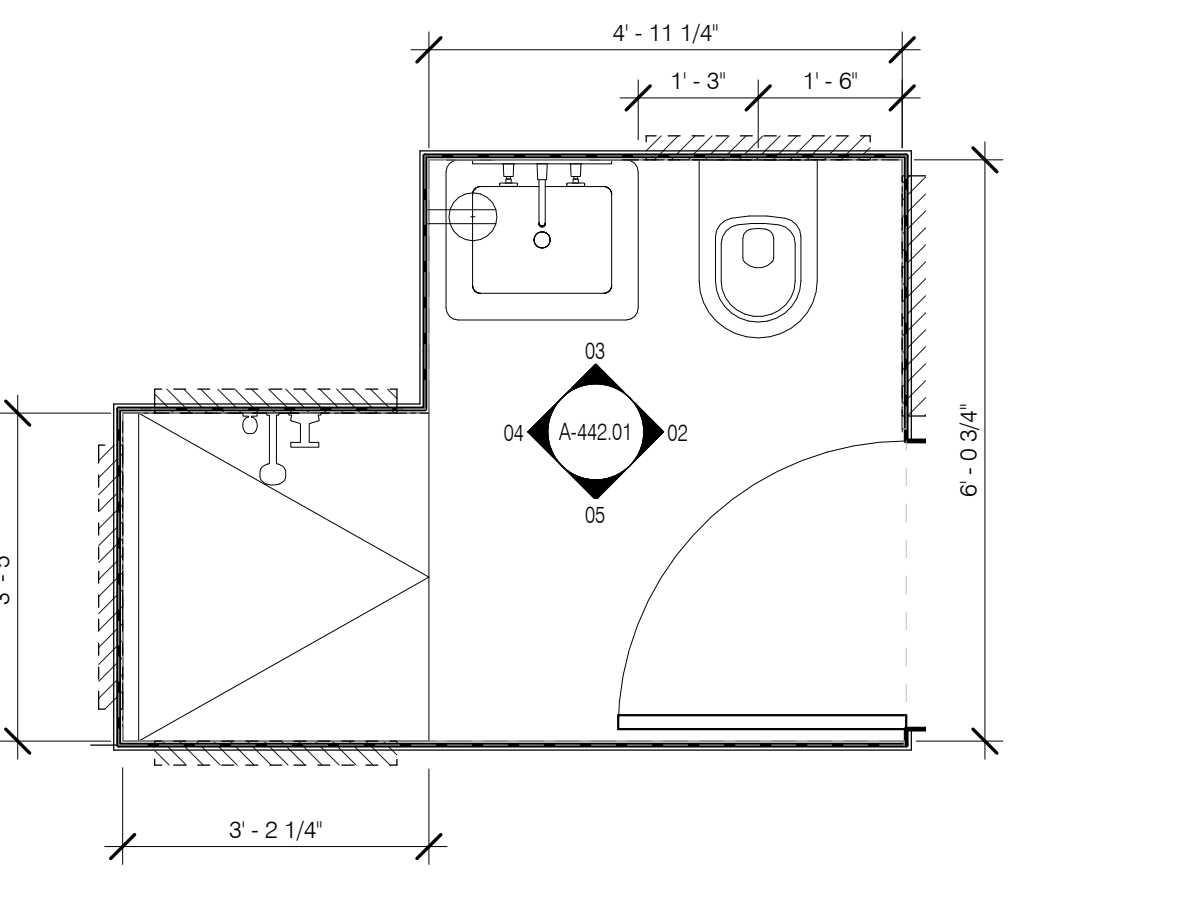
BATH TYPE-6 WC REAR WALL ELEV 1/2" = 1'-0" 08



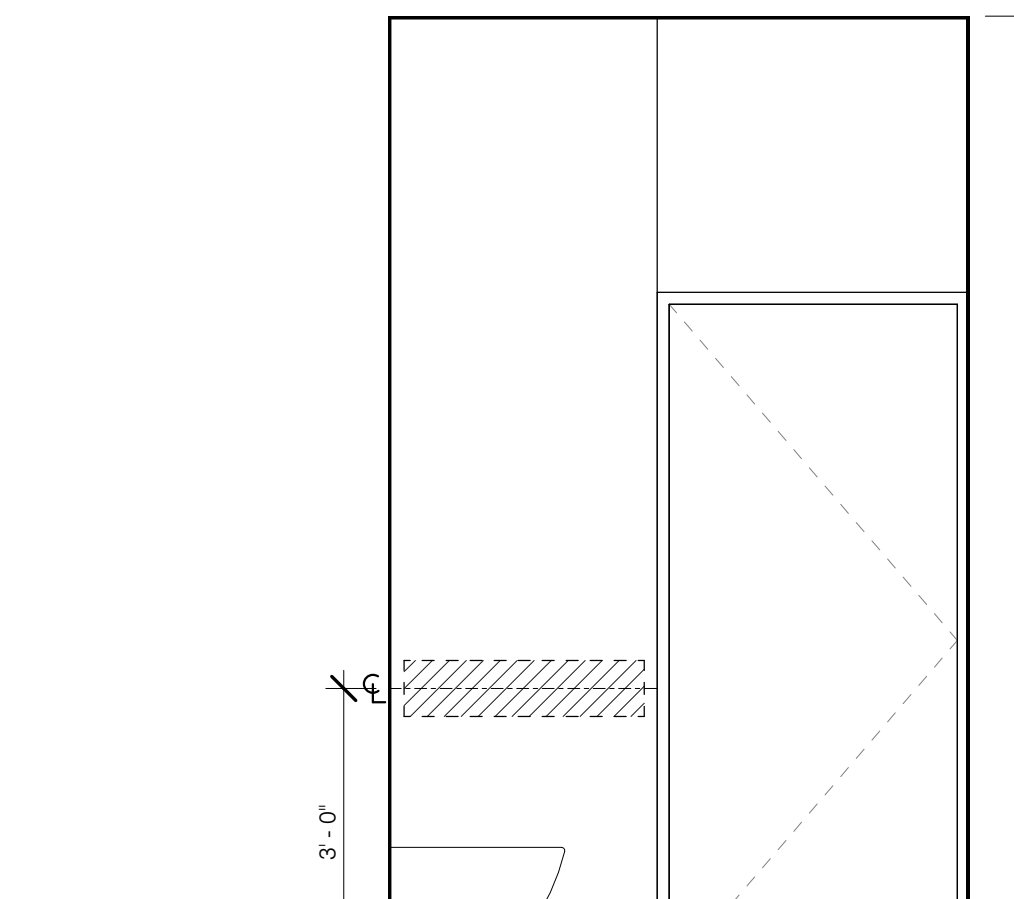
BATH TYPE-6 SHOWER BACK WALL ELEV 1/2" = 1'-0" 09



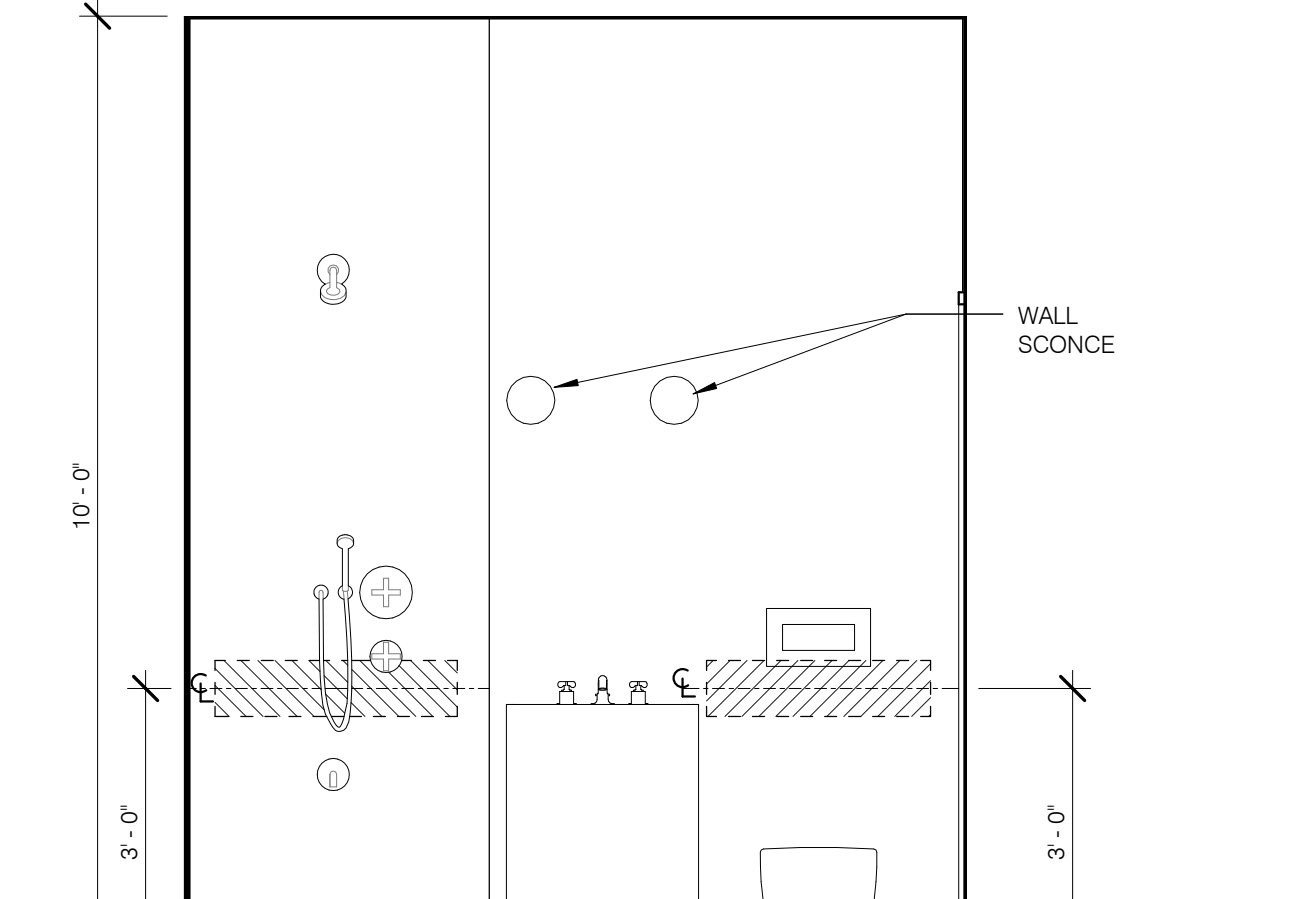
BATH TYPE-6 SHOWER SEAT WALL ELEV 1/2" = 1'-0" 10



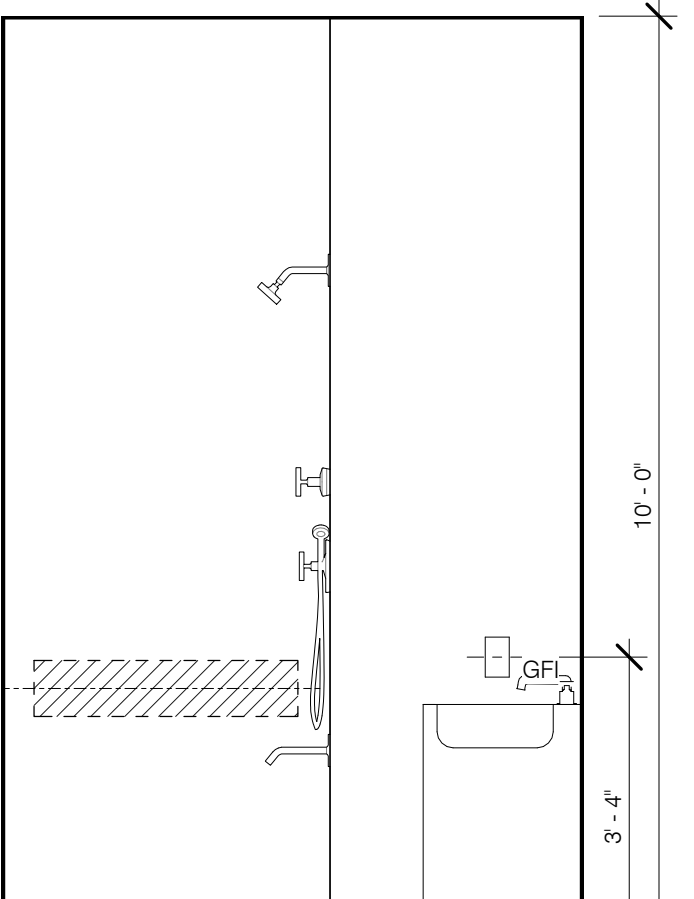
BATH TYPE-5 PLAN 1/2" = 1'-0" 01



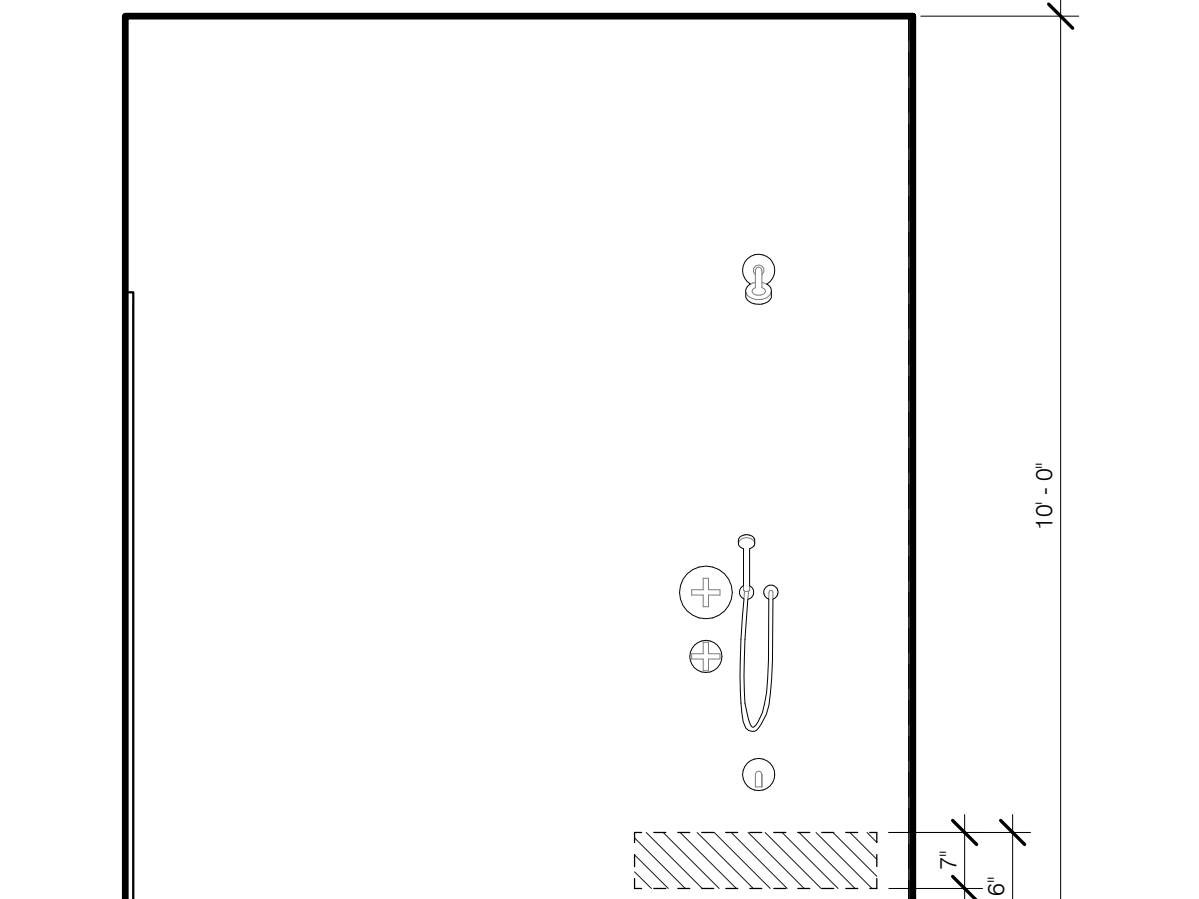
BATH TYPE-5 WC SIDE WALL ELEV 1/2" = 1'-0" 02



BATH TYPE-5 REAR WALL ELEV 1/2" = 1'-0" 03



BATH TYPE-5 SHOWER SIDE WALL ELEV 1/2" = 1'-0" 04



BATH TYPE-5 SHOWER SEAT WALL ELEV 1/2" = 1'-0" 05

ARCHITECT
 SHP ARCHITECTS, P.C.
 235 BROADWAY, 11TH FLOOR
 NEW YORK, NY 10007
 TEL: 212 850 9300

STRUCTURAL ENGINEER
 SHP ARCHITECTS, P.C.
 235 BROADWAY, 11TH FLOOR
 NEW YORK, NY 10007
 TEL: 212 850 9300

MEP ENGINEER
 JACOBS, BALK & BOLLER
 40 WEST STREET, 12TH FLOOR
 NEW YORK, NY 10006
 TEL: 212 850 9300

CIVIL ENGINEER
 AFRIF GENERAL P.C.
 40 WEST 44TH STREET, 7TH FLOOR
 NEW YORK, NY 10018
 TEL: 212 850 9300

ACOUSTICIAN
 LONGMAN LINDSEY
 40 WEST 44TH STREET, 4TH FLOOR
 NEW YORK, NY 10018
 TEL: 212 850 9300

INTERIORS
 TUDOR JOSEPH FIELD
 300 WASHINGTON STREET
 NEW YORK, NY 10013
 TEL: 212 850 9300

FAÇADE
 BURROUGHS WERFIELD
 100 BROADWAY
 NEW YORK, NY 10005
 TEL: 212 850 9300

VERTICAL TRANSPORTATION
 VAN DEUSEN & ASSOCIATES
 100 WEST STREET, SUITE 200
 LARKSPER, NJ 07033
 TEL: 201 984 8100

RESTORATION
 JAN HROFKORNY ASSOCIATES
 80 WEST 10TH STREET, FLOOR 10A
 NEW YORK, NY 10011
 TEL: 212 512 6462

GEOTECH
 MICE
 100 WEST 40TH STREET, 4TH FLOOR
 NEW YORK, NY 10018
 TEL: 917 388 4900

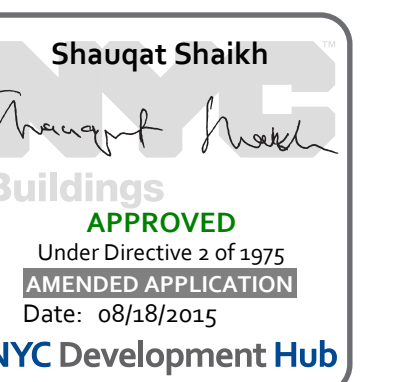
LIGHTING
 COOPERATIVE INTERNATIONAL
 100 WALKER STREET, 7TH FLOOR EAST
 NEW YORK, NY 10002
 TEL: 212 512 4453



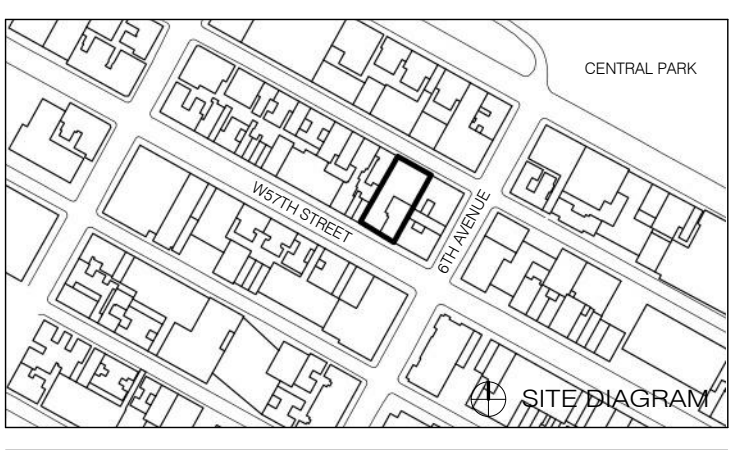
PROPERTY MARKETS GROUP
 140 WEST 47TH STREET, 2ND FLOOR
 NEW YORK, NY 10019
 TEL: 212 850 9300

CURRENT ISSUE

DOB PAA



111 WEST 57TH STREET
 111 WEST 57TH STREET
 NEW YORK, NY 10019

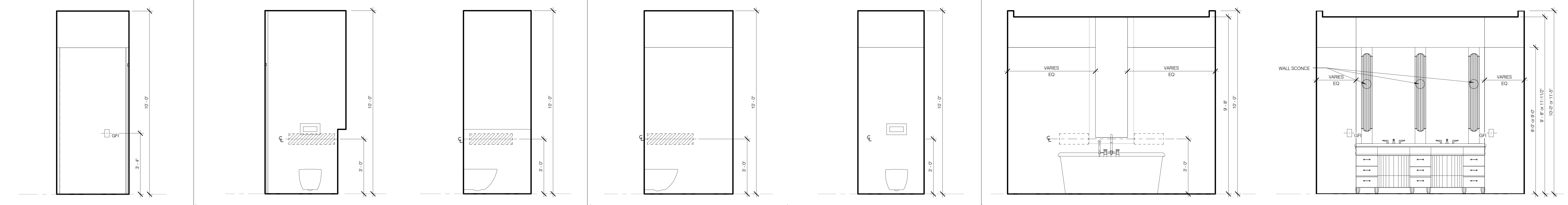


1	13.27.15	DOB PAA
NO.	DATE	REVISION
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHP ARCHITECTS P.C. ALL RIGHTS RESERVED.		

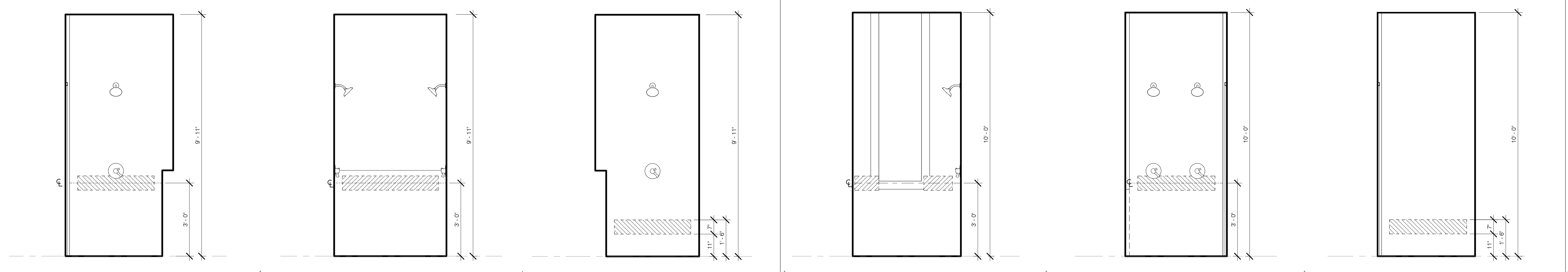
DRAWN/TITLE
BATHROOMS - TOWER ENLARGED PLANS AND ELEVATION

SEAL & SIGNATURE	DATE	13.27.15
PROJECT NO.	130007	
DRAWN BY	SHUP	
CHECKED BY	SHUP	
DOB NO.	121332968	
DRAWING NUMBER		

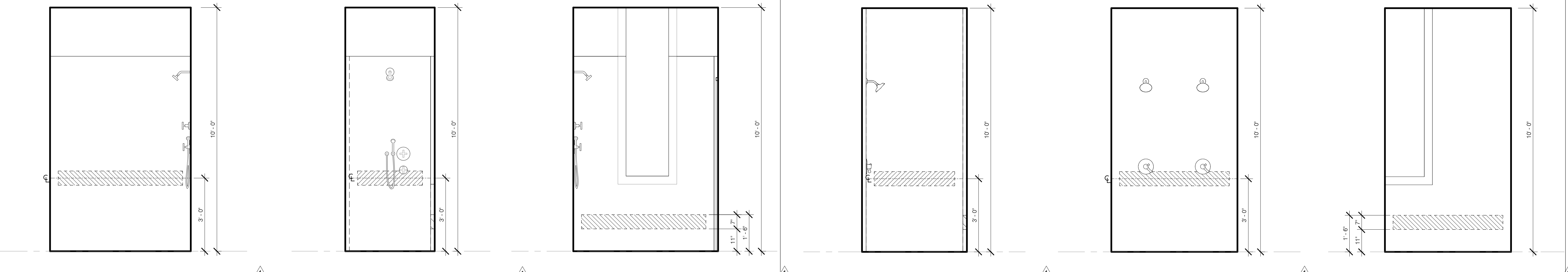
A-443.01



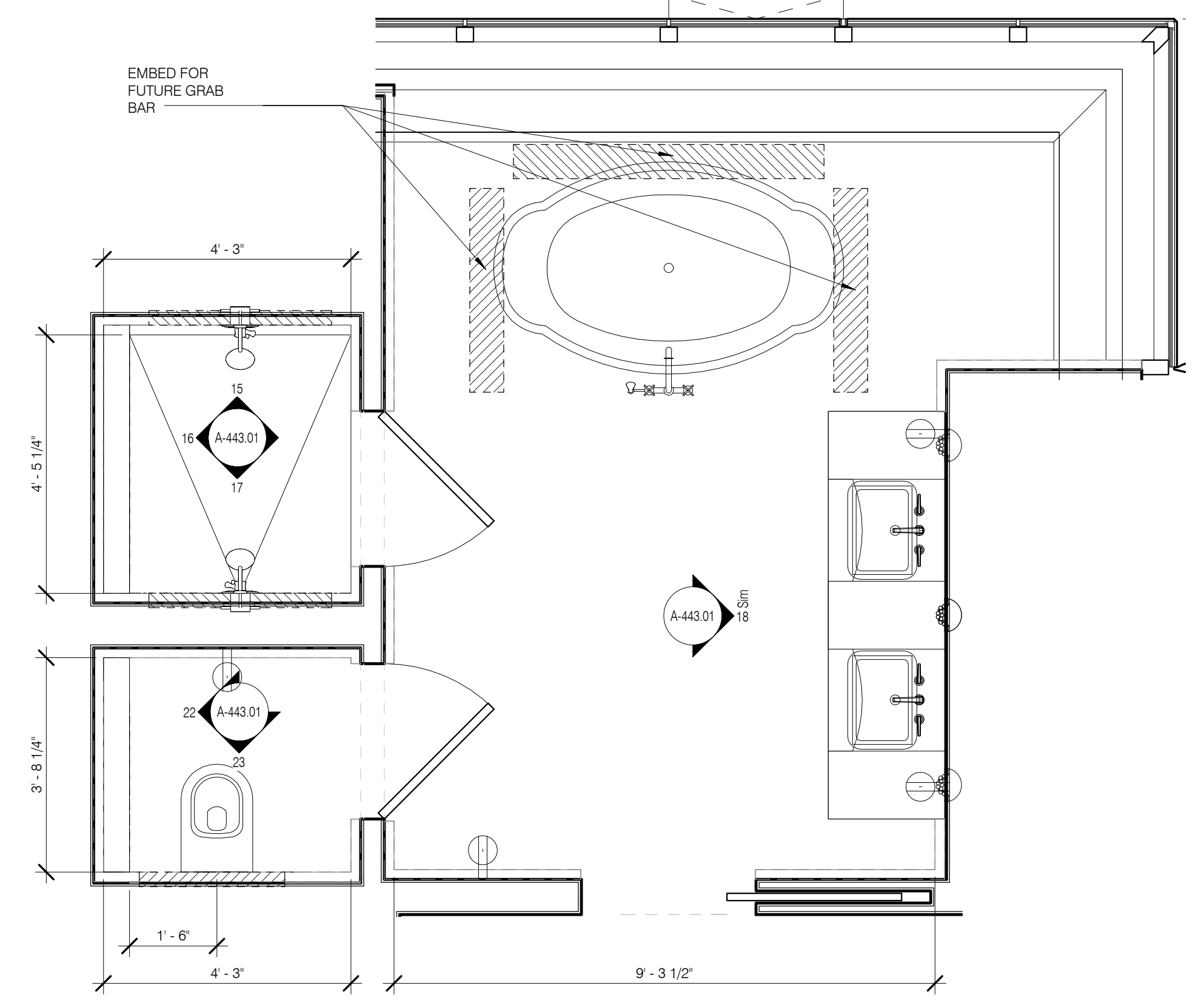
MB TYP GFI 1/2" = 1'-0" 24
 MB-5 WC REAR WALL W/ LEDGE 1/2" = 1'-0" 23
 MB-5 WC SIDE WALL W/ LEDGE 1/2" = 1'-0" 22
 TYP. MASTER WC SIDE ELEV 1/2" = 1'-0" 21
 TYP. MASTER WC FRONT ELEV 1/2" = 1'-0" 20
 TYPICAL MASTER TUB ELEVATION 1/2" = 1'-0" 19
 TYPICAL MASTER SINK ELEVATION 1/2" = 1'-0" 18



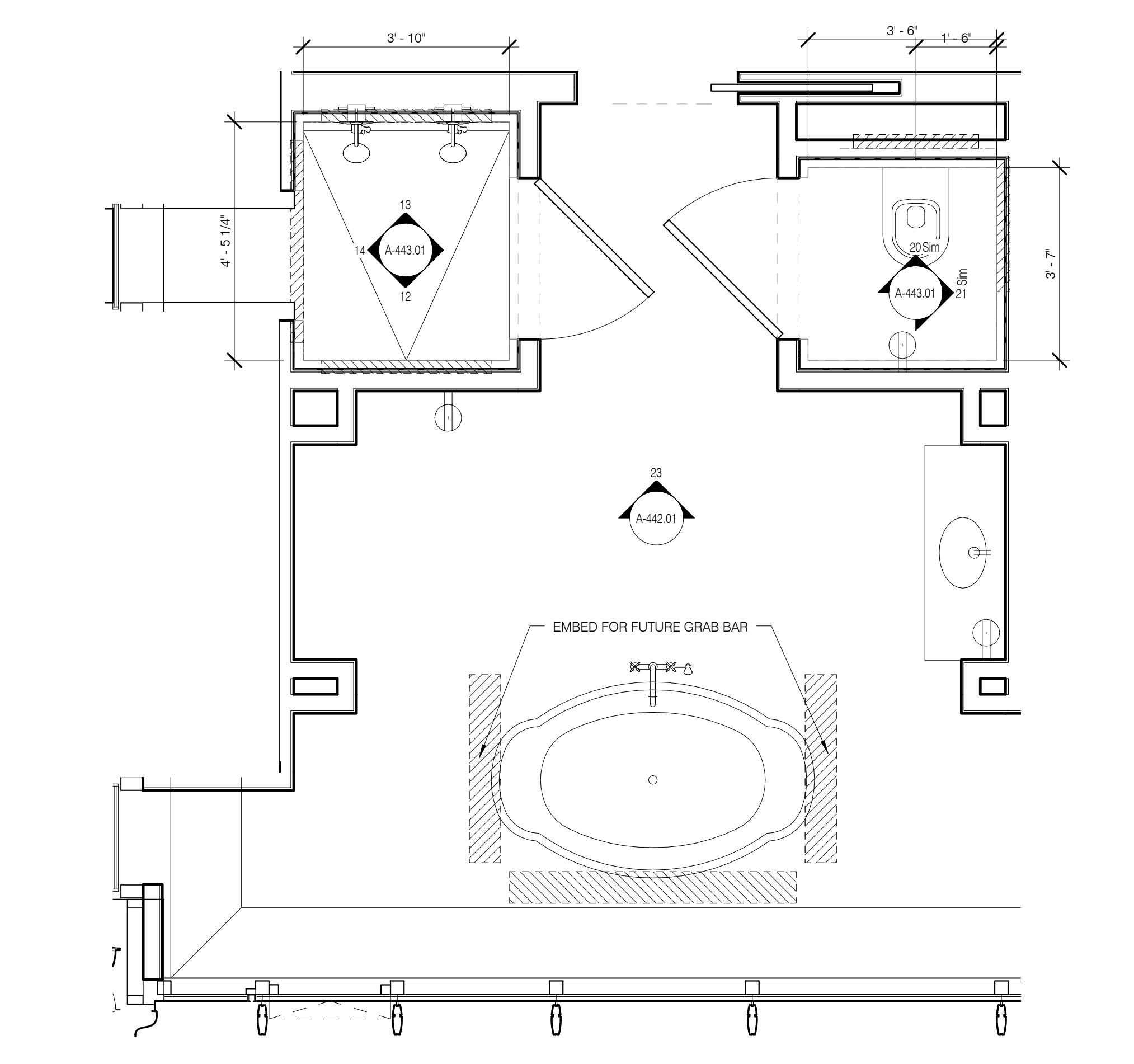
MB-5 SHOWER W/ LEDGE 1/2" = 1'-0" 17
 MB-5 SHOWER SIDE WALL 1/2" = 1'-0" 16
 MB-5 CONTROL WALL W/ LEDGE 1/2" = 1'-0" 15
 MB-4 SIDE WALL W/ WINDOW 1/2" = 1'-0" 14
 MB-4 SHOWER CONTROL 1/2" = 1'-0" 13
 MB-4 SHOWER SEAT WALL 1/2" = 1'-0" 12



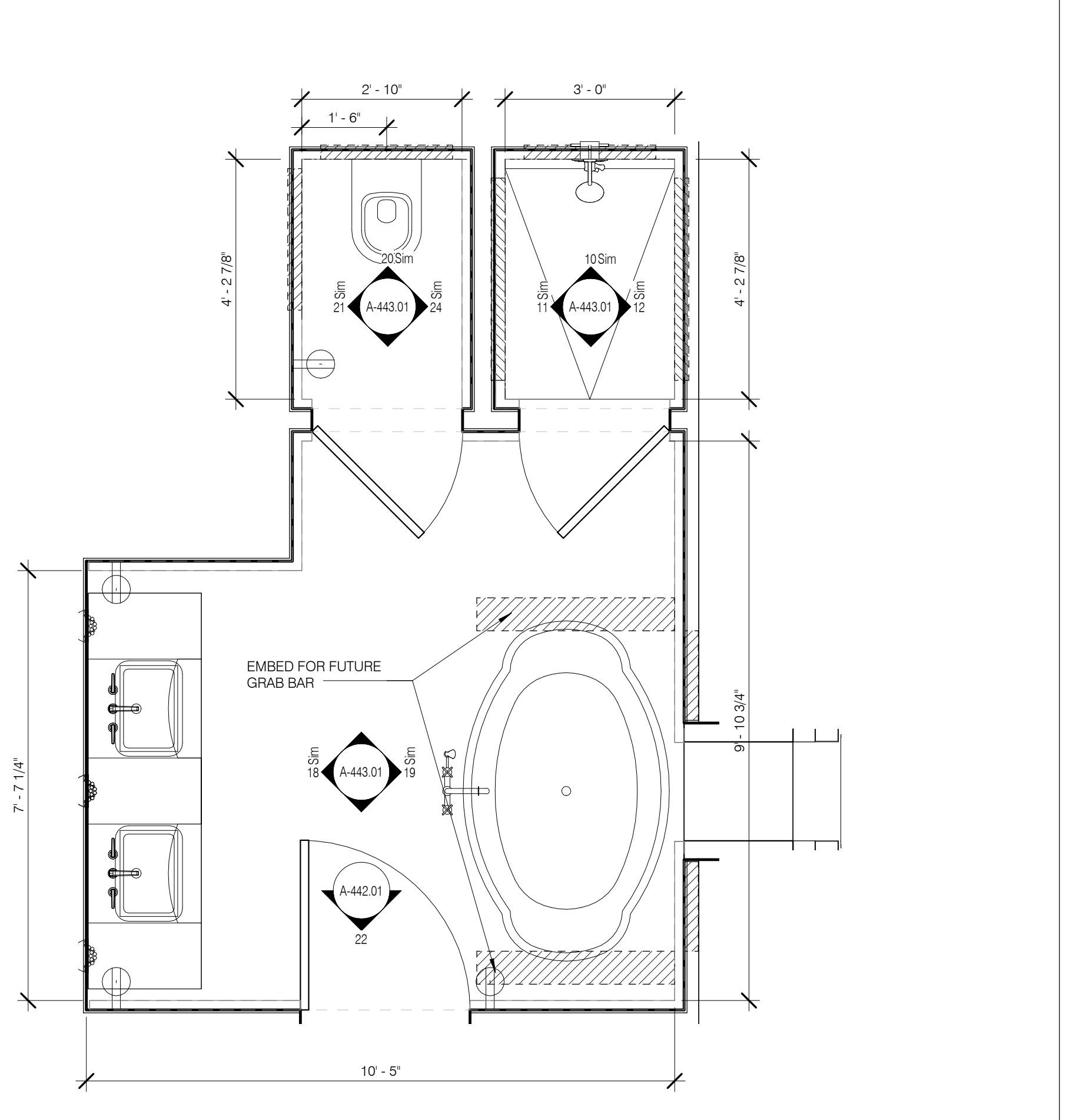
MB-2 SHOWER SIDE ELEV 1/2" = 1'-0" 11
 MB-2 SHOWER CONTROL ELEV 1/2" = 1'-0" 10
 MB-2 SHOWER E 1/2" = 1'-0" 09
 MB-1 SHOWER SIDE ELEV 1/2" = 1'-0" 08
 MB-1 SHOWER CONTROL ELEV 1/2" = 1'-0" 07
 MB-1 SHOWER SEAT WALL 1/2" = 1'-0" 06



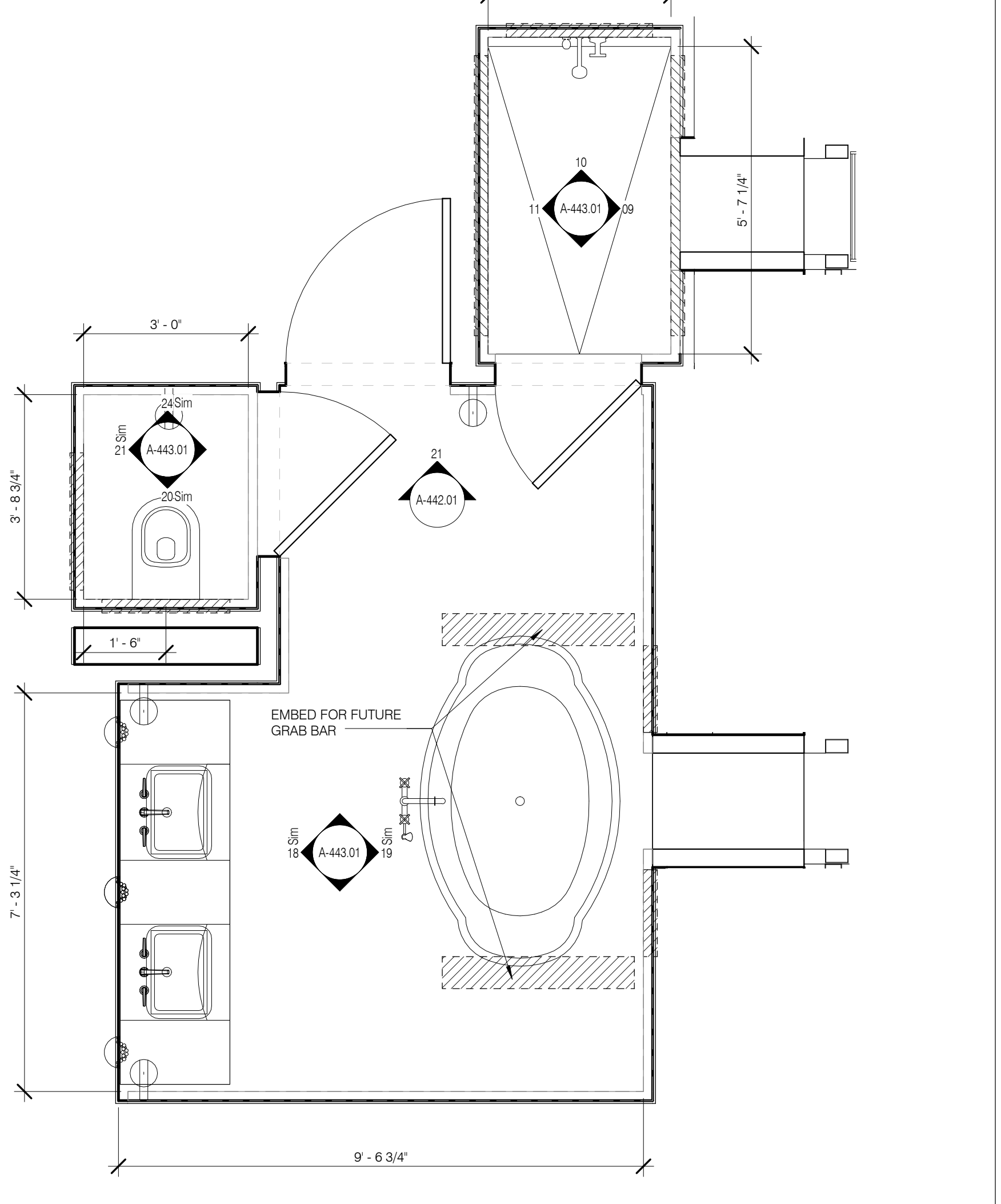
MB-5 MASTER BATH PLAN 1/2" = 1'-0" 05



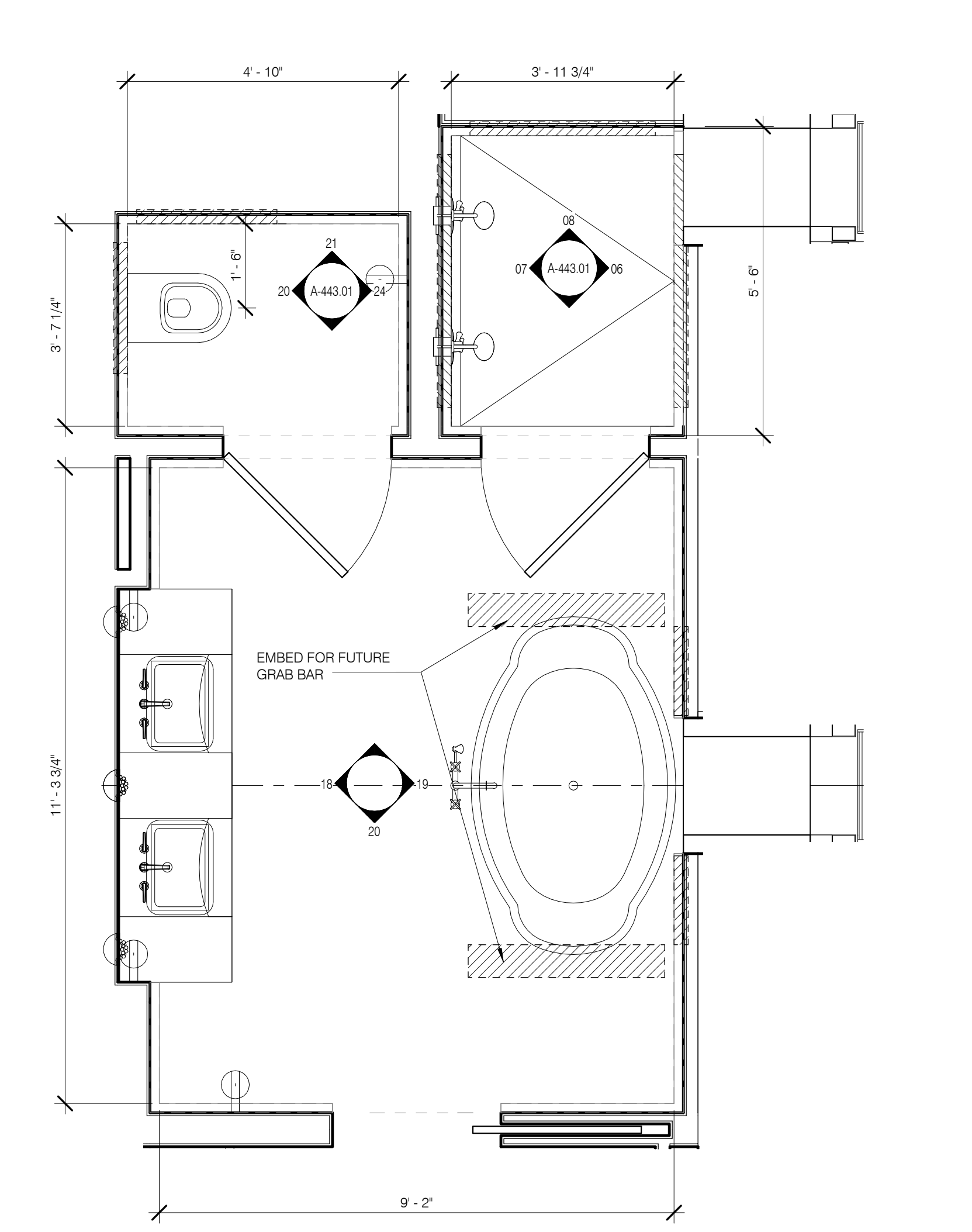
MB-4 MASTER BATH PLAN (T2B.2) 1/2" = 1'-0" 04



MB-3 BATH PLAN (T2B.1) 1/2" = 1'-0" 03



MB-2 MASTER BATH PLAN 1/2" = 1'-0" 02

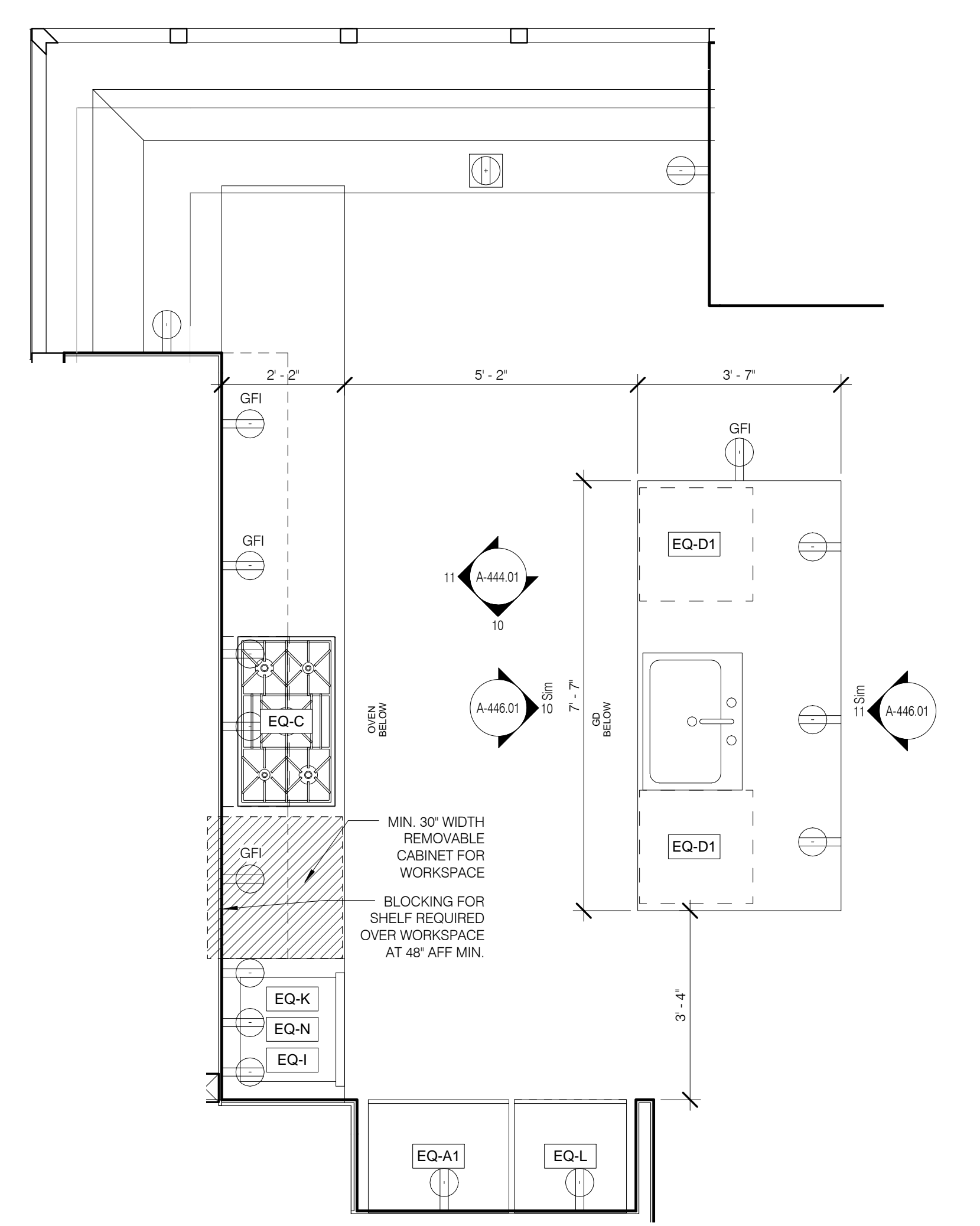
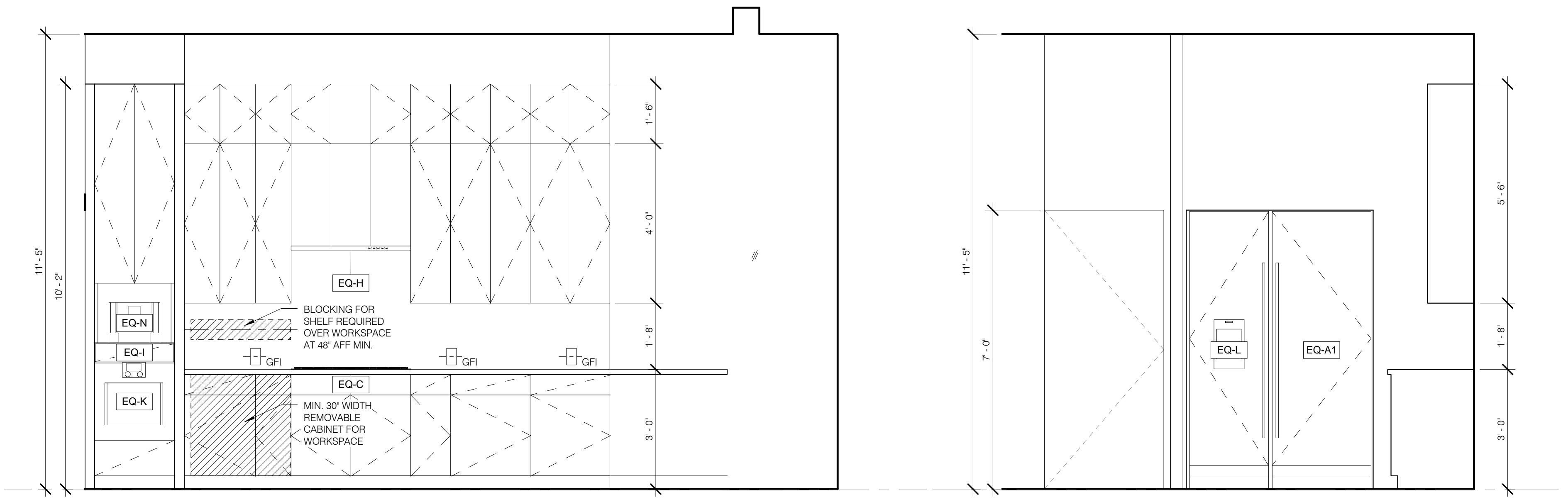


TYPICAL MASTER BATH 1/2" = 1'-0" 01

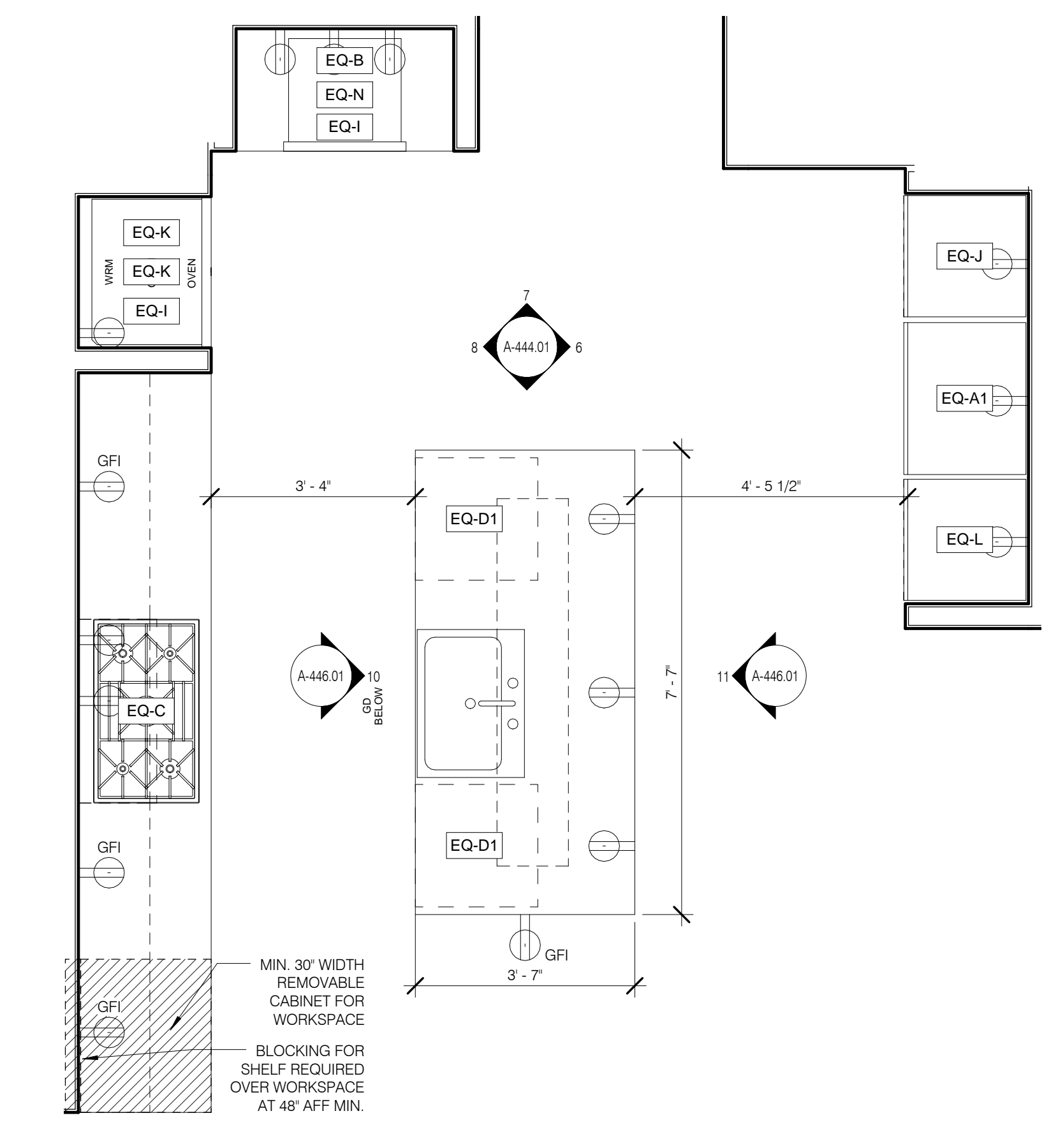
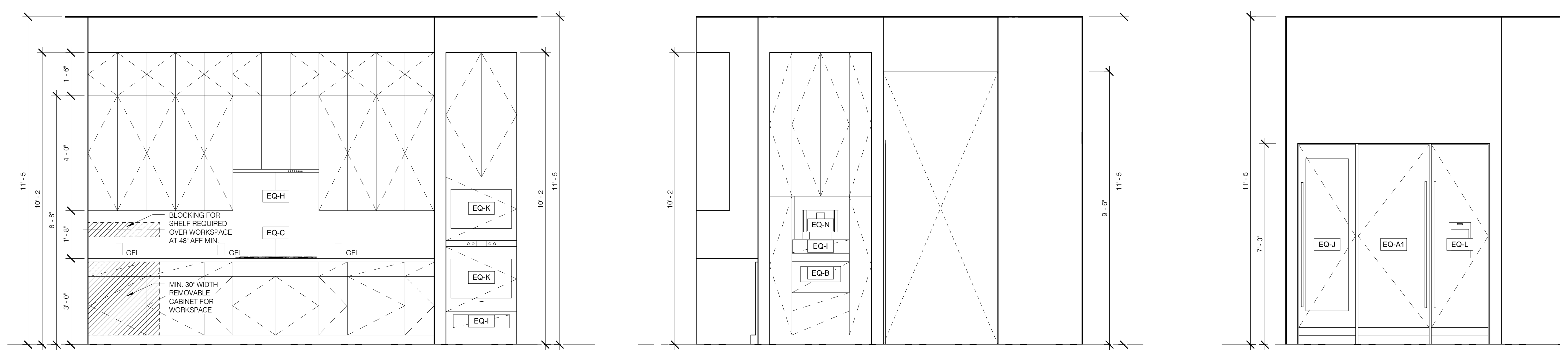
KITCHEN TYPES BY UNIT - TOWER			
UNIT TYPE	FLOOR	RM NUMBER	RM NAME
K-1			
T1A	LEVEL 24	2401.J	KITCHEN (K-1)
K-2			
T1B	LEVEL 29	2901.H	KITCHEN (K-2)
K-3			
T1C	LEVEL 36	3601.A	KITCHEN (K-3)
T3	LEVEL 69	6901.A	KITCHEN (K-3)
K-4			
T2A	LEVEL 46	4601.H	KITCHEN (K-4)
K-5			
T2B	LEVEL 64	6401.G	KITCHEN (K-5)
K-6			
T4	LEVEL 66	6601.G	KITCHEN (K-6)
K-7			
T5	LEVEL 72	7201.B	KITCHEN (K-7)
K-8			
T6A	LEVEL 74	7401.C	KITCHEN (K-8)
T6B	LEVEL 76	7601.B	KITCHEN (K-8)

FOR ALL KITCHEN MILLWORK SEE INTERIOR DESIGN PACKAGE

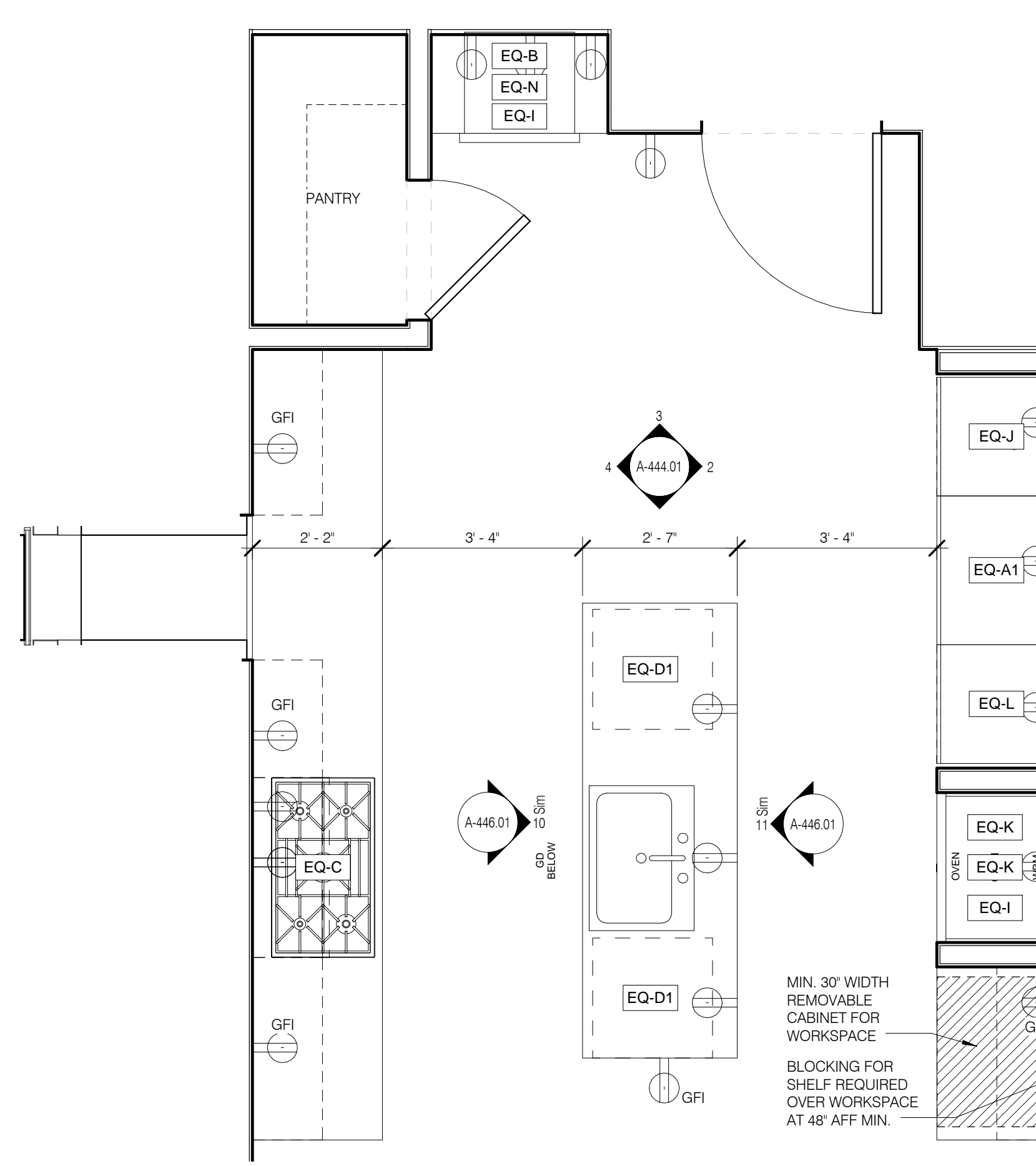
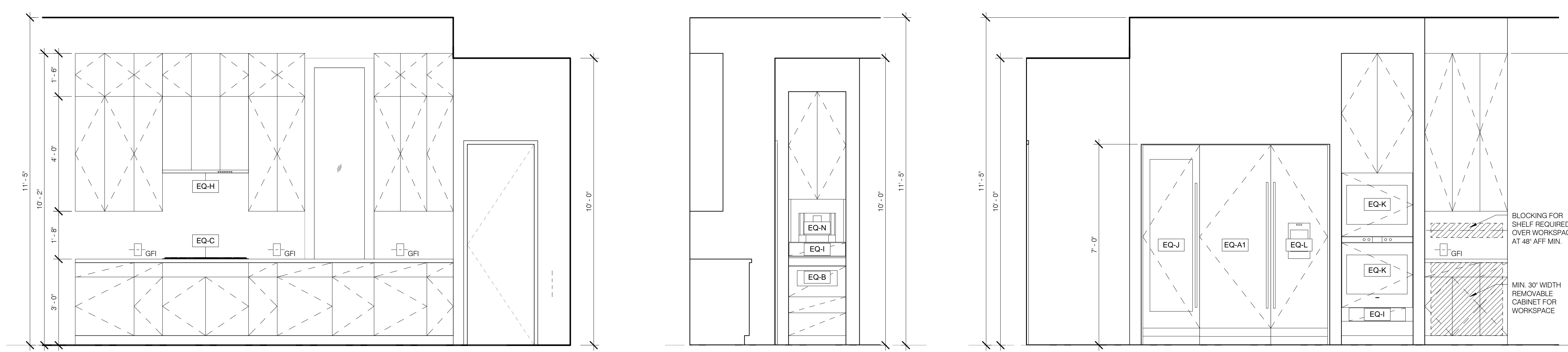
ARCHITECT		STRUCTURAL ENGINEER		MEP ENGINEER		CIVIL ENGINEER	
SHAP ARCHITECTS, P.C. 225 BROADWAY, 11TH FLOOR NEW YORK, NY 10038 212.685.9500		BURD HANCOCK 160 BROADWAY NEW YORK, NY 10037 212.685.9500		VAN DER BEEK 100 BROADWAY NEW YORK, NY 10038 212.685.9500		JAN FINE FORMWORK ASSOCIATES 300 WEST 57TH STREET, 11TH FLOOR NEW YORK, NY 10019 212.758.8462	
JDS DEVELOPMENT GROUP 347 FIFTH AVENUE, 11TH FLOOR NEW YORK, NY 10011 212.685.9500		WSP CANOR SENK 225 BROADWAY, 11TH FLOOR NEW YORK, NY 10038 212.685.9500		VAN DER BEEK 100 BROADWAY NEW YORK, NY 10038 212.685.9500		JAN FINE FORMWORK ASSOCIATES 300 WEST 57TH STREET, 11TH FLOOR NEW YORK, NY 10019 212.758.8462	
JDS DEVELOPMENT GROUP 347 FIFTH AVENUE, 11TH FLOOR NEW YORK, NY 10011 212.685.9500		WSP CANOR SENK 225 BROADWAY, 11TH FLOOR NEW YORK, NY 10038 212.685.9500		VAN DER BEEK 100 BROADWAY NEW YORK, NY 10038 212.685.9500		JAN FINE FORMWORK ASSOCIATES 300 WEST 57TH STREET, 11TH FLOOR NEW YORK, NY 10019 212.758.8462	
JDS DEVELOPMENT GROUP 347 FIFTH AVENUE, 11TH FLOOR NEW YORK, NY 10011 212.685.9500		WSP CANOR SENK 225 BROADWAY, 11TH FLOOR NEW YORK, NY 10038 212.685.9500		VAN DER BEEK 100 BROADWAY NEW YORK, NY 10038 212.685.9500		JAN FINE FORMWORK ASSOCIATES 300 WEST 57TH STREET, 11TH FLOOR NEW YORK, NY 10019 212.758.8462	



K-3 W ELEV 1/2" = 1'-0" 11 A-444.01 | K-3 S ELEV 1/2" = 1'-0" 10 A-444.01 | K-3 PLAN 1/2" = 1'-0" 9 A-444.01



K-2 W ELEV 1/2" = 1'-0" 8 A-444.01 | K-2 N ELEV 1/2" = 1'-0" 7 A-444.01 | K-2 E ELEV 1/2" = 1'-0" 6 A-444.01 | K-2 PLAN 1/2" = 1'-0" 5 A-444.01

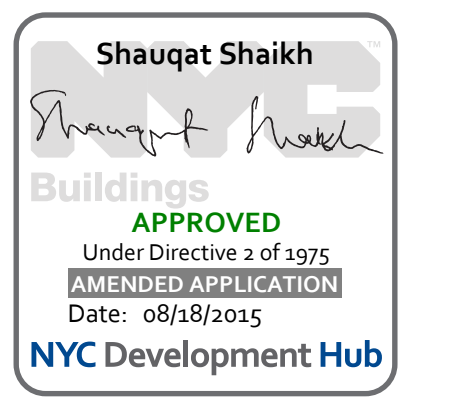


K-1 W ELEV 1/2" = 1'-0" 4 A-444.01 | K-1 N ELEV 1/2" = 1'-0" 3 A-444.01 | K-1 E ELEV 1/2" = 1'-0" 2 A-444.01 | K-1 PLAN 1/2" = 1'-0" 1 A-444.01

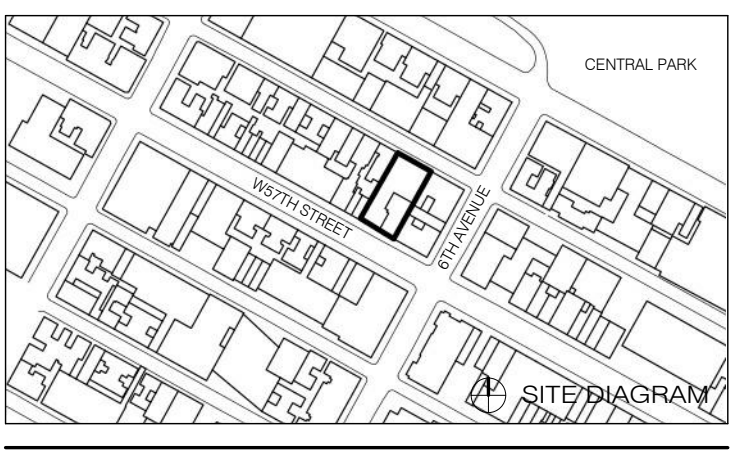


PRIORITY MARKETS GROUP
1540 4TH STREET, 2ND FLOOR
NEW YORK, NY 10003
212.610.2800
CURRENT ISSUE

DOB PAA



111 WEST 57TH STREET
NEW YORK, NY 10019

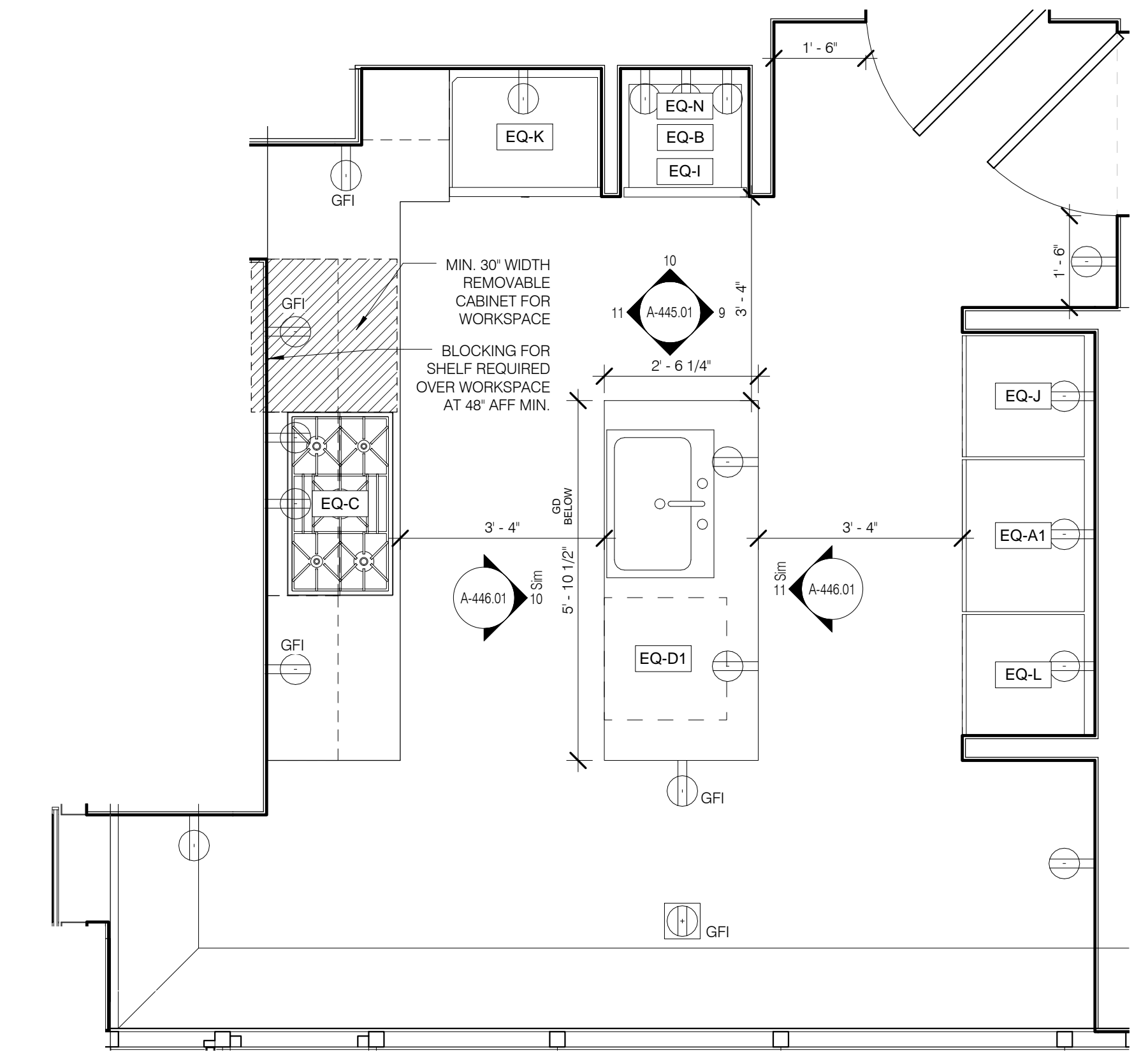
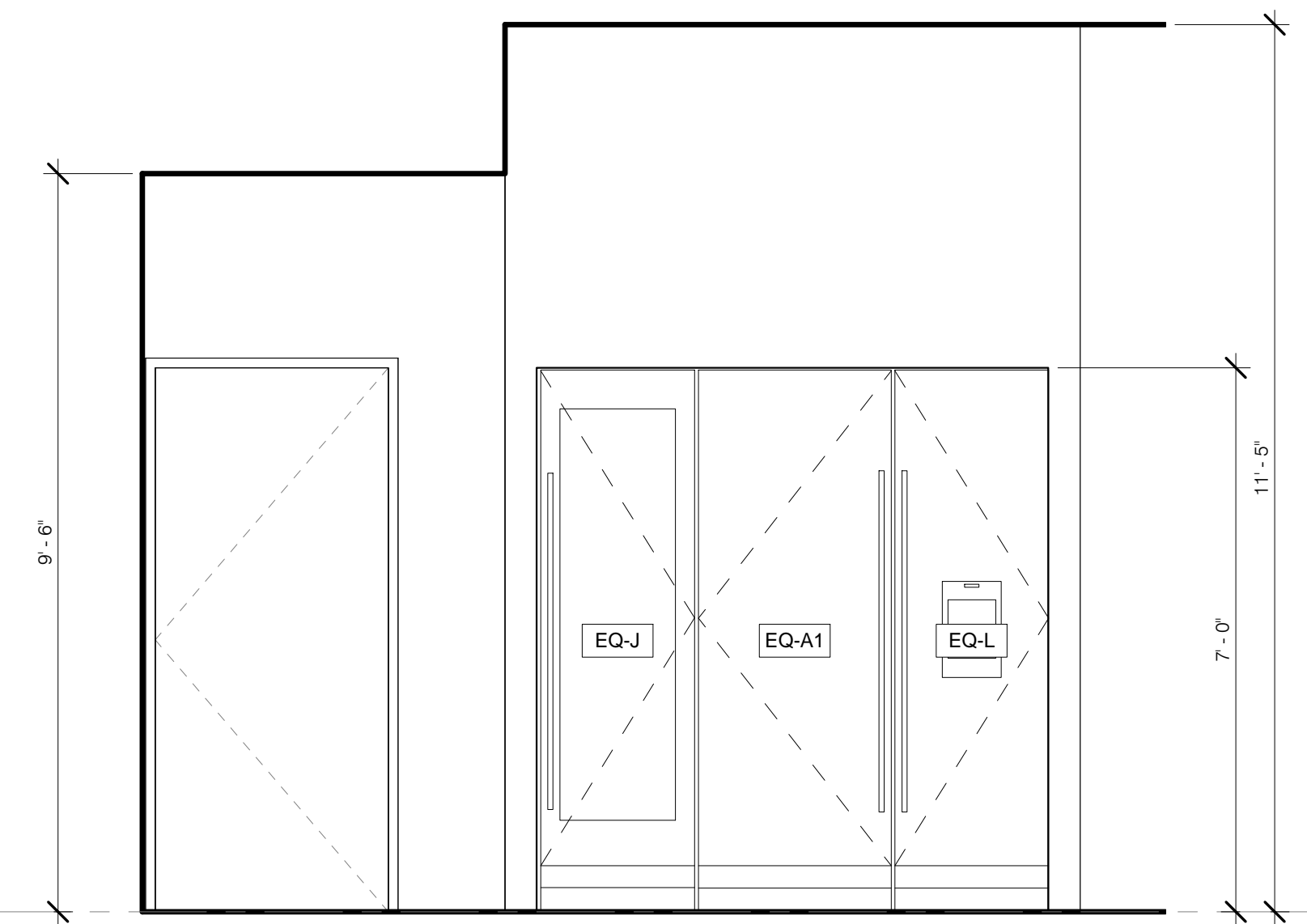
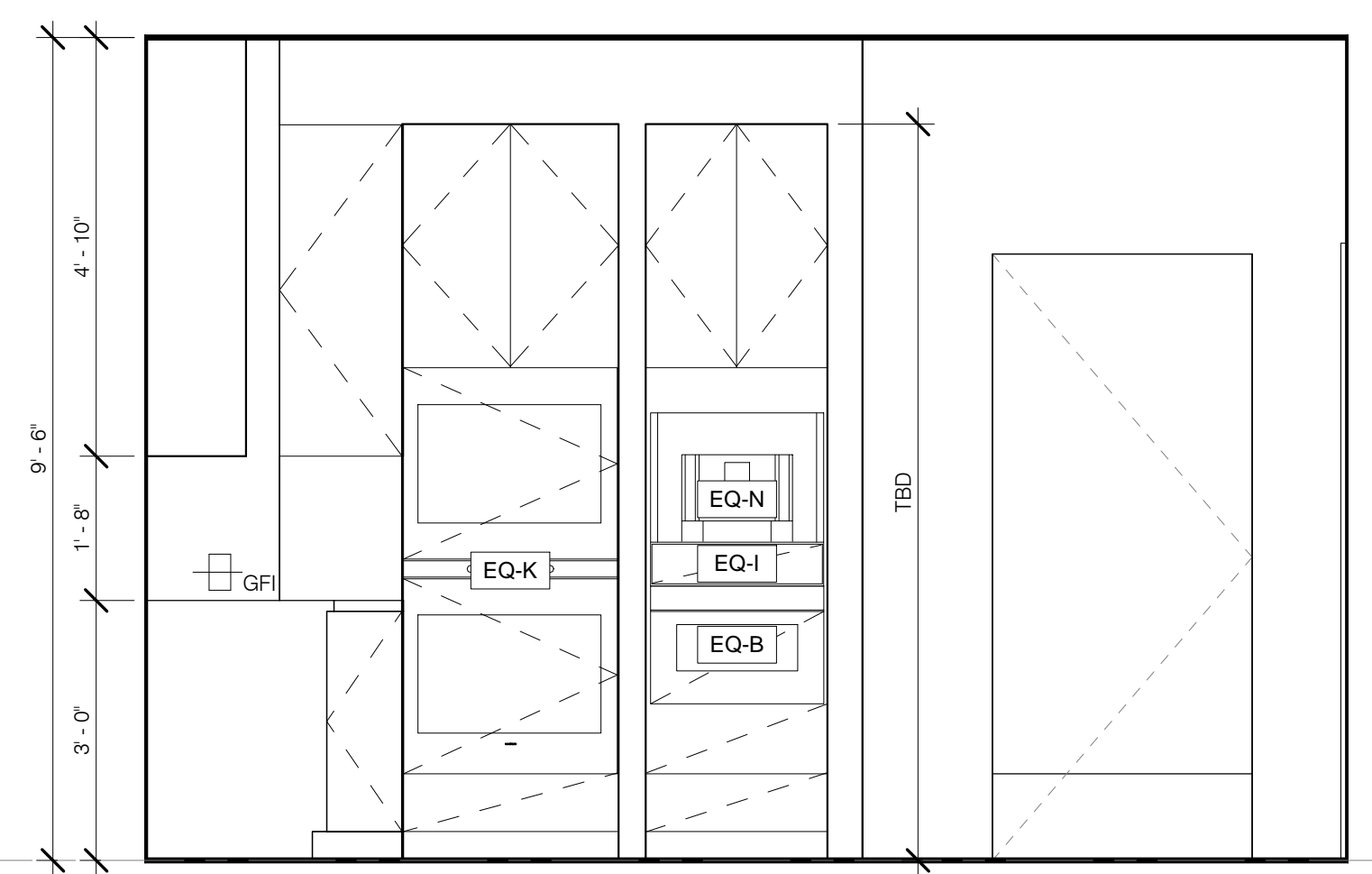
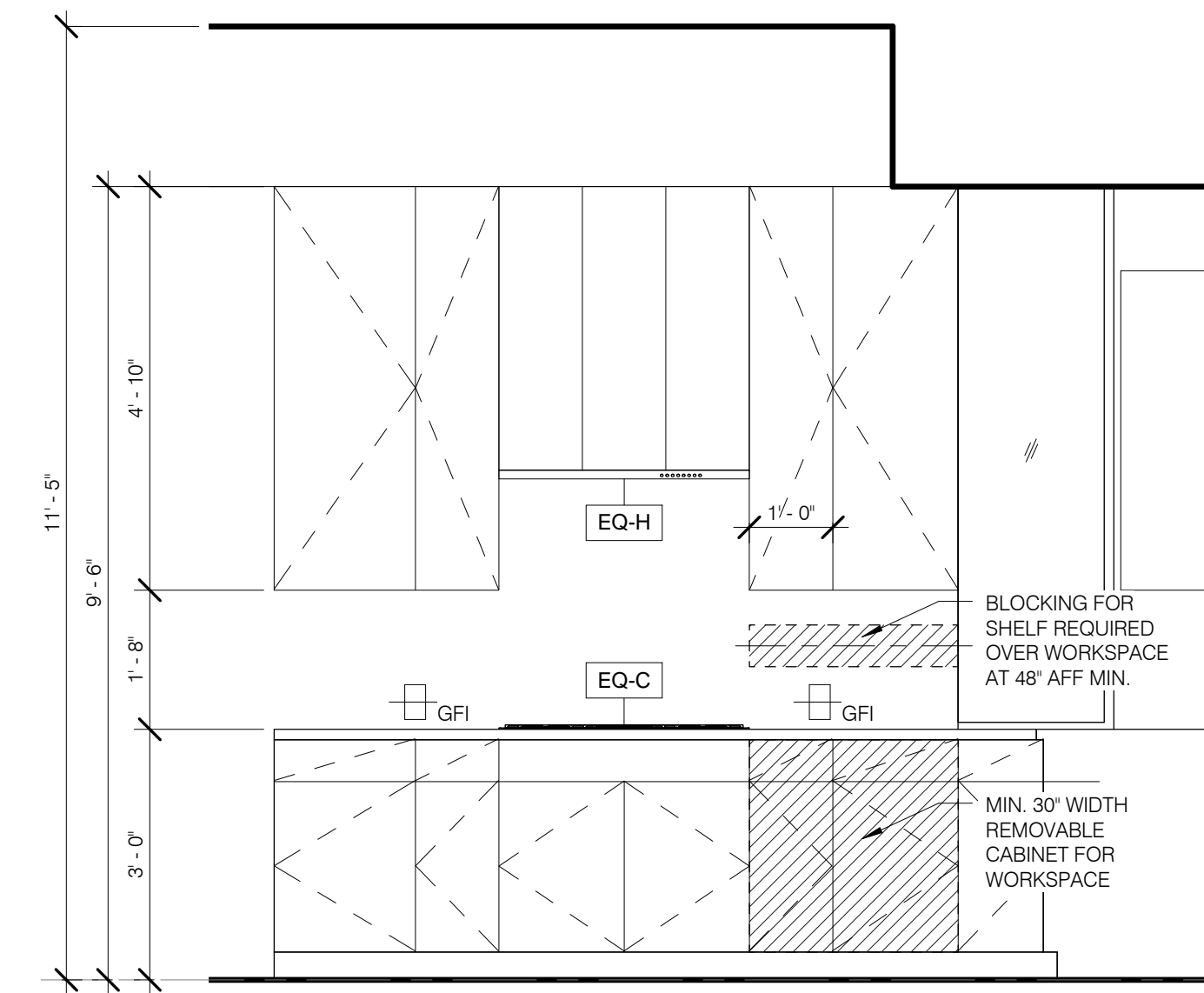


1	3.27.15	DOB PAA
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PRODUCT OR COMPLETION OF THIS PROJECT BY OTHERS.
COPYRIGHT © 2015 SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.

REGISTERED ARCHITECT
STATE OF NEW YORK
DATE: 3.27.15
PROJECT NO: 130007
DRAWN BY: SHAP
CHECKED BY: SHAP
JOB NO: 121820568
DRAWING NUMBER: A-444.01

ARCHITECT	SHAP ARCHITECTS, P.C. 235 BROADWAY, 11TH FLOOR NEW YORK, NY 10007 TEL: 212 880 9300	FAÇADE	SHUP ARCHITECTS, P.C. 235 BROADWAY, 11TH FLOOR NEW YORK, NY 10007 TEL: 212 880 9300
STRUCTURAL ENGINEER	YUSUF GANTON BERKUP 235 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212 880 9300	MEP ENGINEER	JANIS BALK & BOLLER 80 WING STREET, 12TH FLOOR NEW YORK, NY 10003 TEL: 212 880 9300
MEP ENGINEER	JANIS BALK & BOLLER 80 WING STREET, 12TH FLOOR NEW YORK, NY 10003 TEL: 212 880 9300	RESTORATION	JAN HRO FOKORNY ASSOCIATES 80 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212 880 9300
CIVIL ENGINEER	ARIF EGHERIAL, P.C. 400 WEST 46TH STREET, 7TH FLOOR NEW YORK, NY 10018 TEL: 212 880 9300	ACoustics	LONGMAN LINDSEY 40 WEST 58TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212 880 9300
ACoustics	LONGMAN LINDSEY 40 WEST 58TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212 880 9300	INTERIORS	STUDIO SCENEFIELD 200 WASHINGTON STREET NEW YORK, NY 10011 TEL: 212 475 3300
GEOTECH	LONGMAN LINDSEY 40 WEST 58TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212 880 9300	LIGHTING	CONSERVATIVE INTERNATIONAL 100 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10013 TEL: 212 255 4453

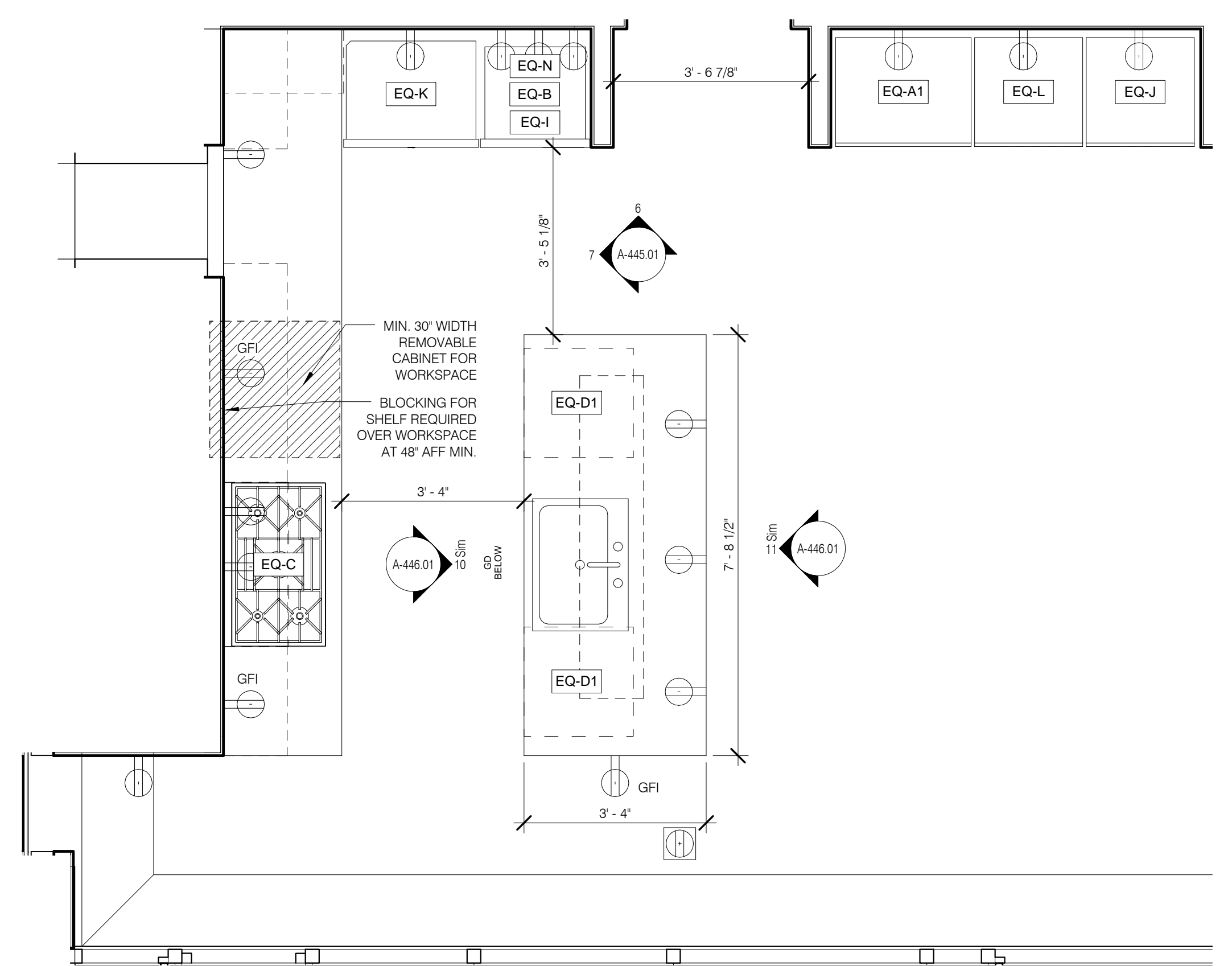
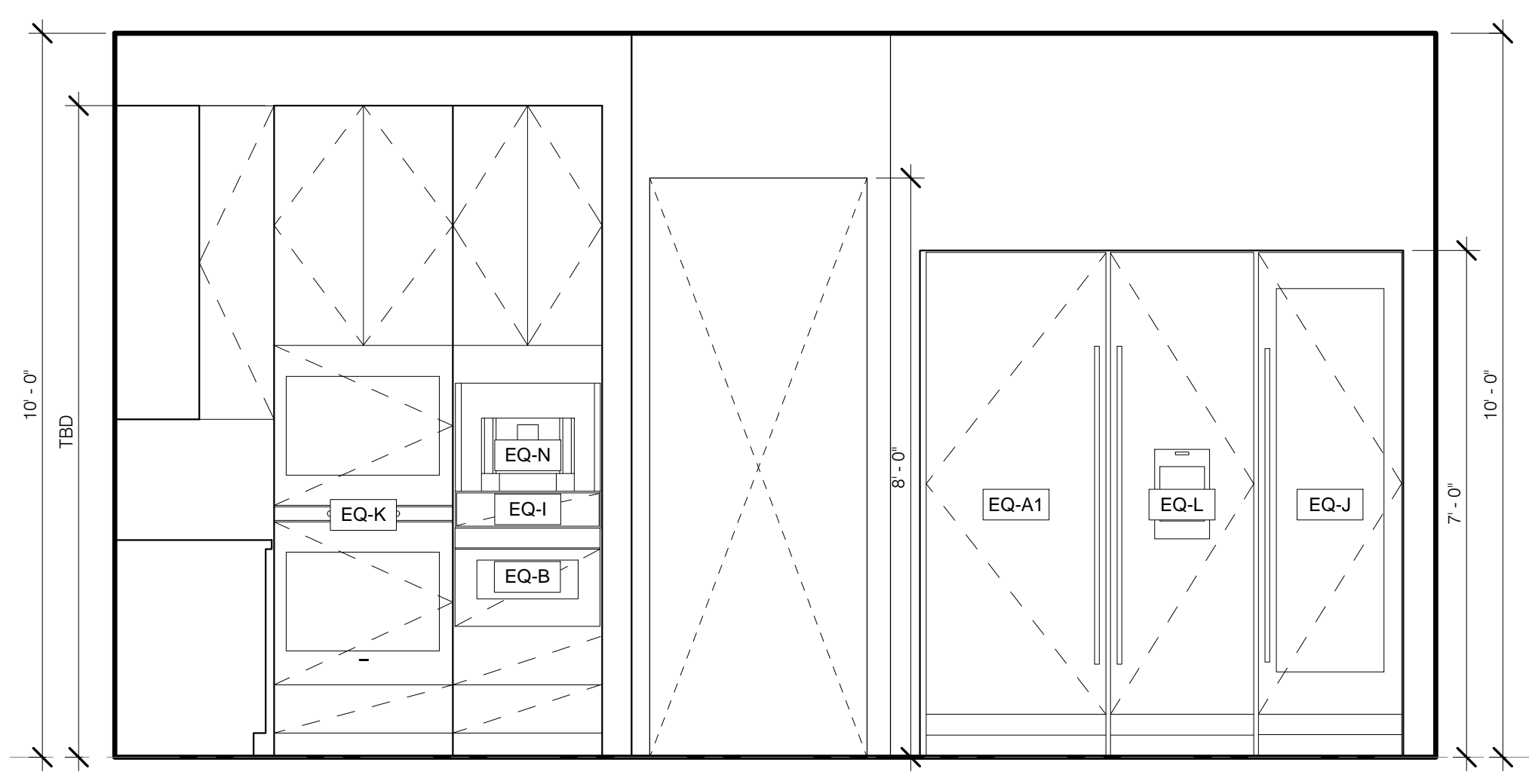
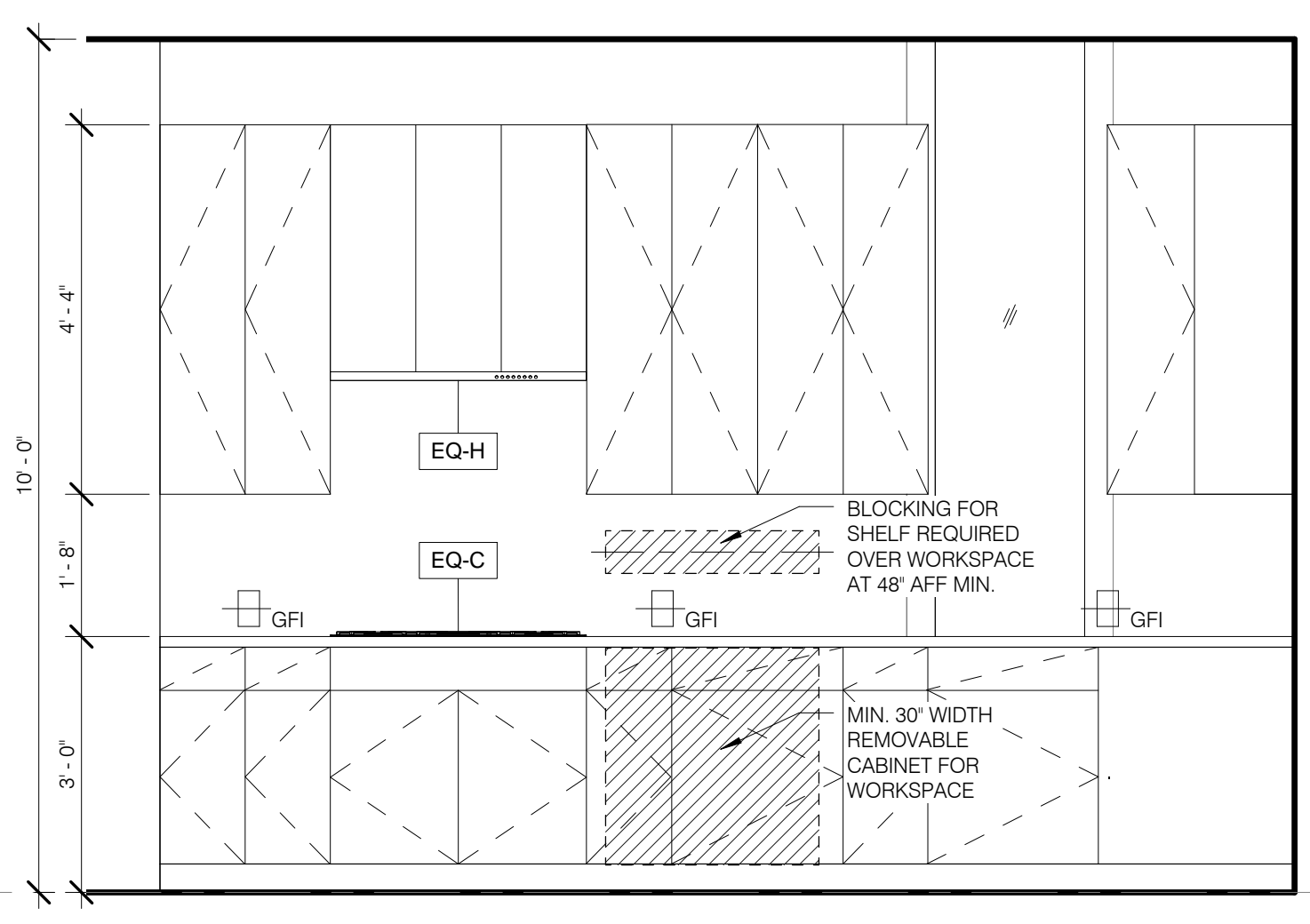


K-6 W ELEV 1/2" = 1'-0" 11 A-445.01

K-6 N ELEV 1/2" = 1'-0" 10 A-445.01

K-5 E ELEV 1/2" = 1'-0" 9 A-445.01

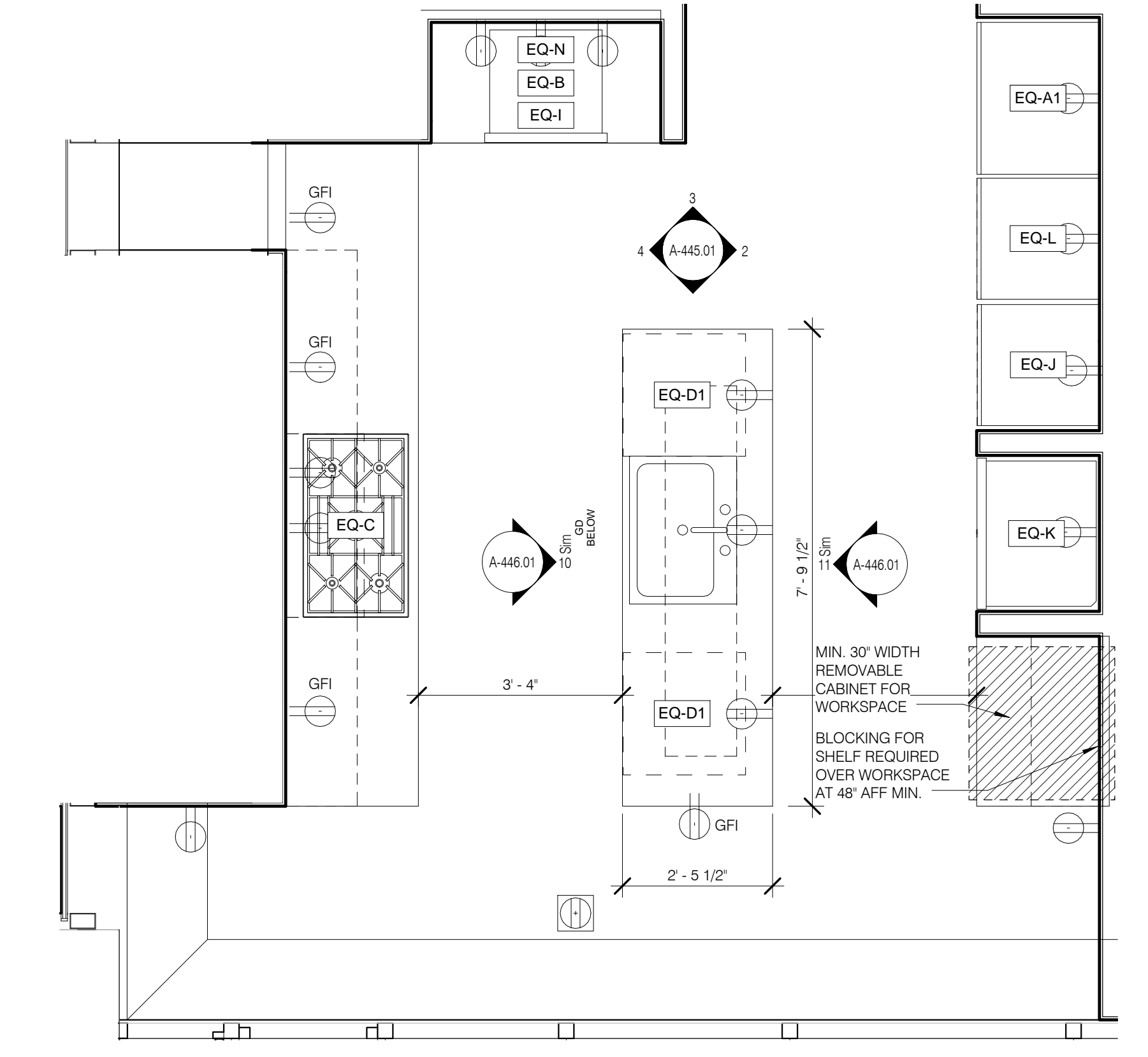
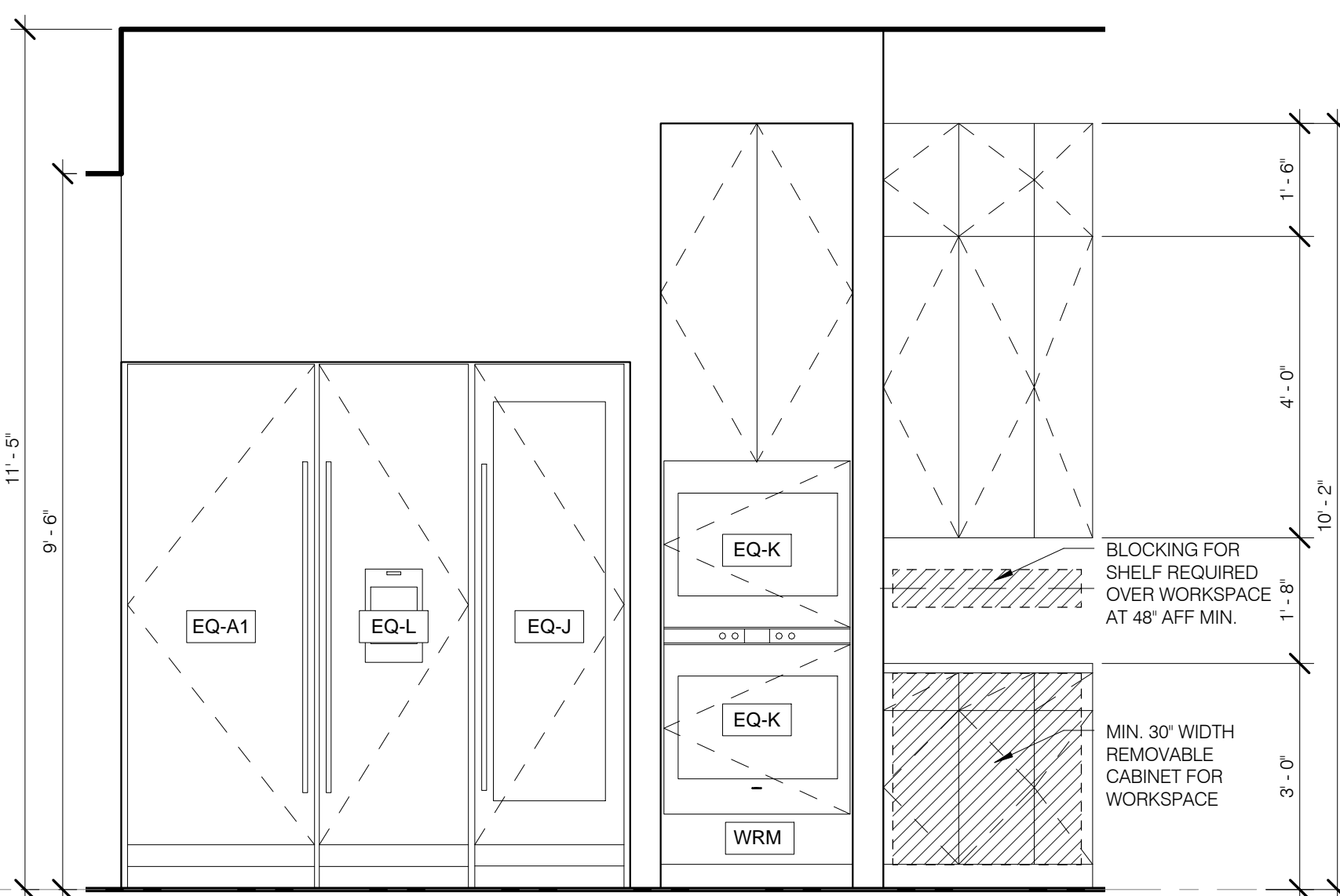
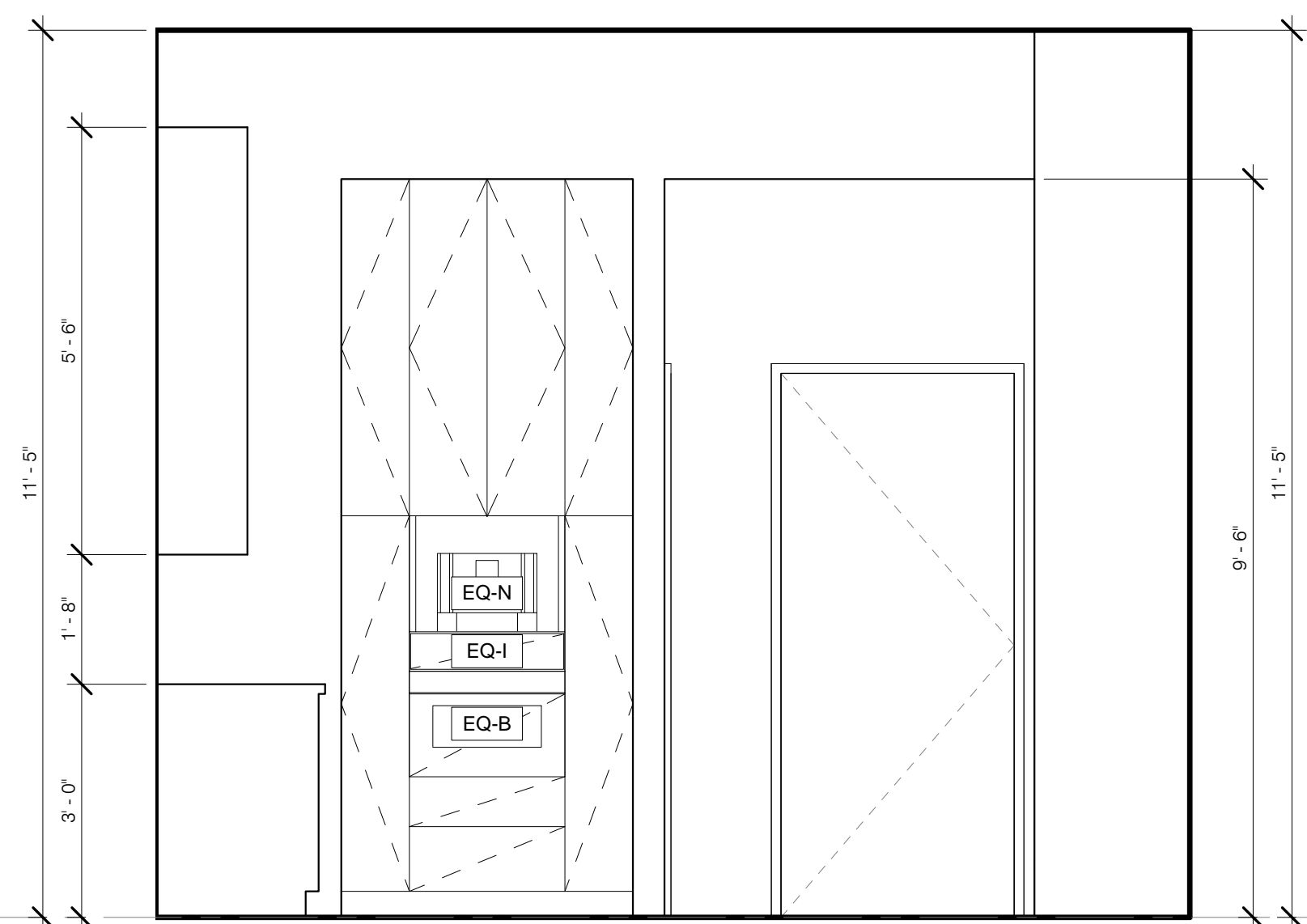
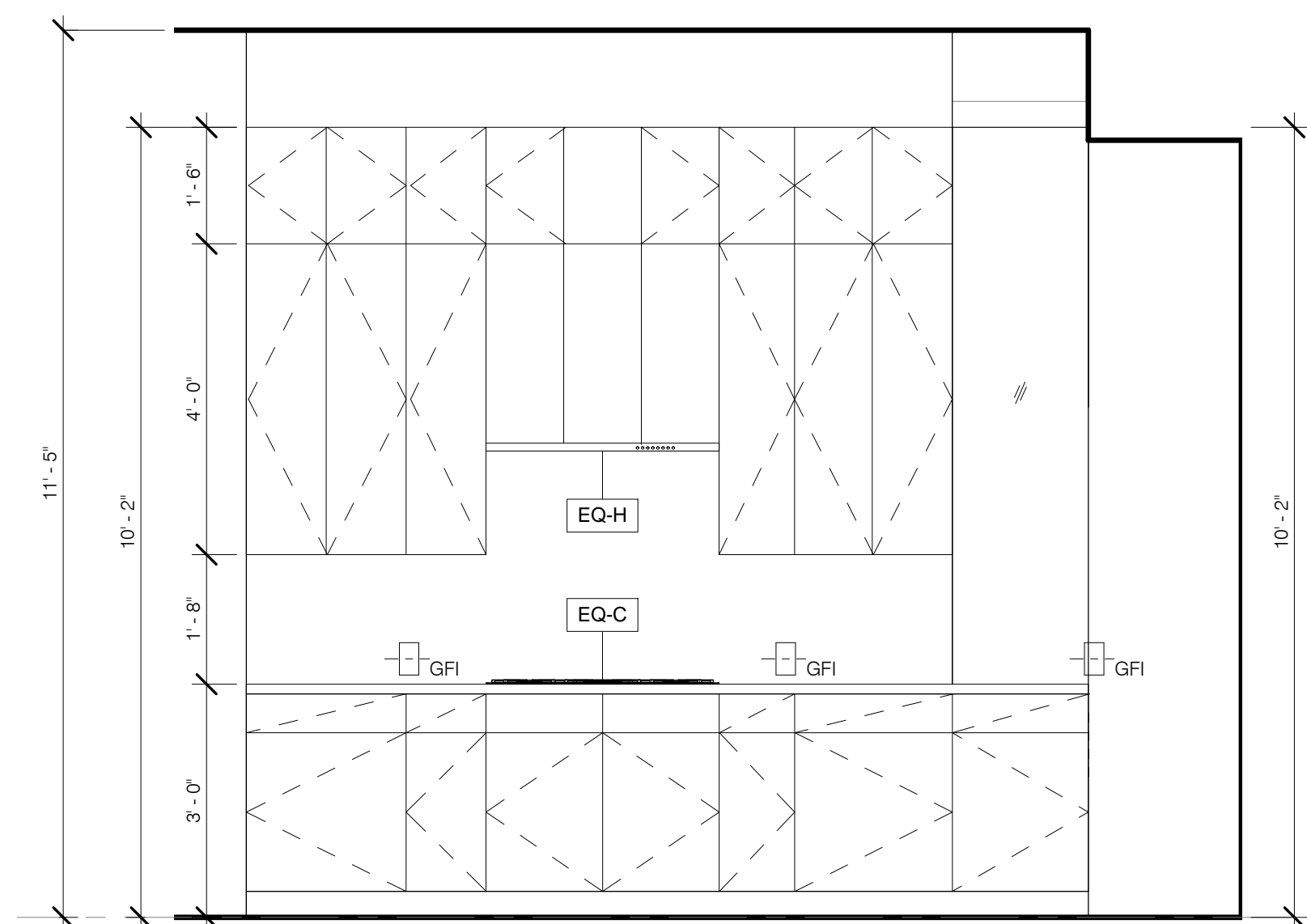
K-6 PLAN 1/2" = 1'-0" 8 A-445.01



K-4 W ELEV 1/2" = 1'-0" 7 A-445.01

K-4 N ELEV 1/2" = 1'-0" 6 A-445.01

K-5 PLAN 1/2" = 1'-0" 5 A-445.01



K-4 W ELEV 1/2" = 1'-0" 4 A-445.01

K-4 N ELEV 1/2" = 1'-0" 3 A-445.01

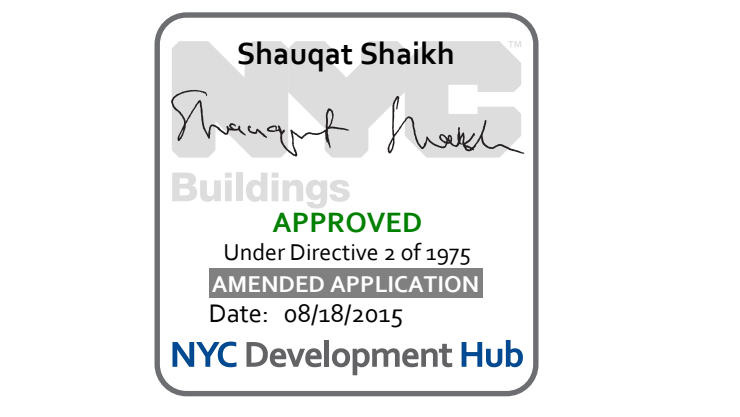
K-4 E ELEV 1/2" = 1'-0" 2 A-445.01

K-4 PLAN 1/2" = 1'-0" 1 A-445.01

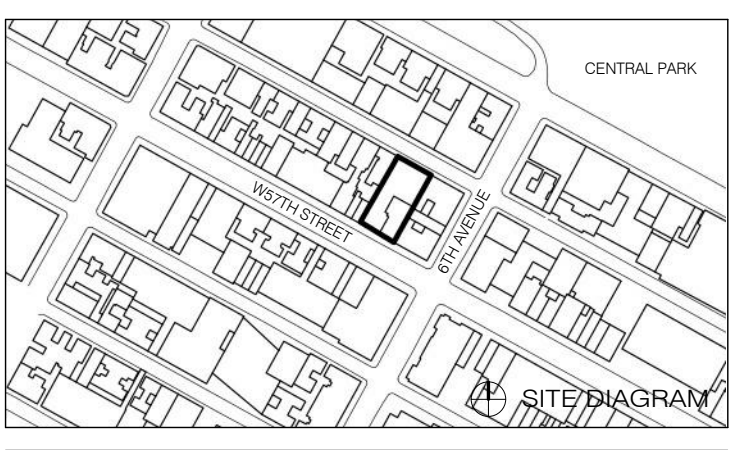


PROPERTY MARKETS GROUP
100 WEST 57TH STREET, 2ND FLOOR
NEW YORK, NY 10019
TEL: 212 880 9300
CURRENT ISSUE

DOB PAA



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



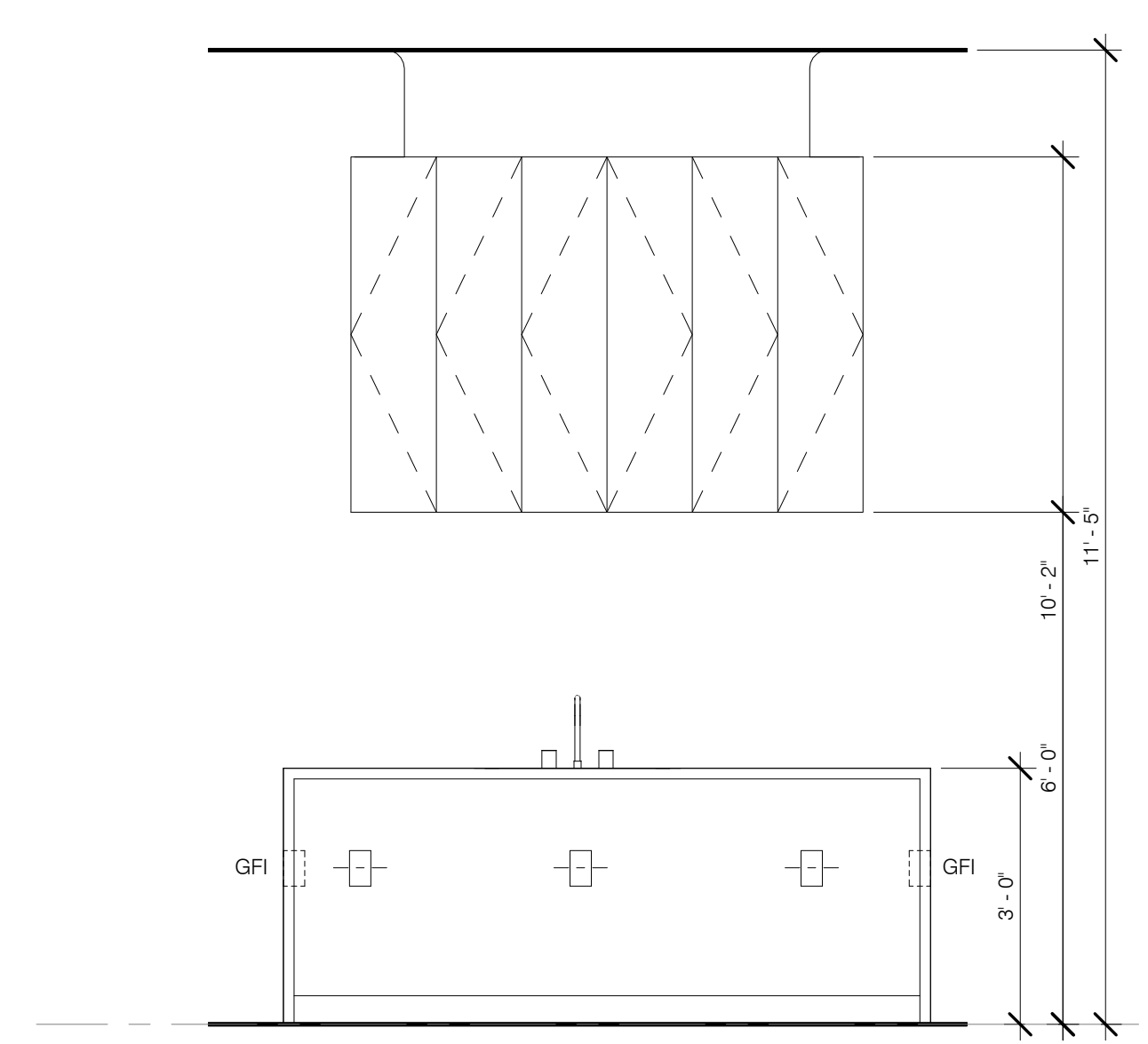
1	3/27/15	DOB PAA	REVISION
NO.	DATE	BY	REVISION

KITCHENS - TOWER ENLARGED PLANS AND ELEVATION

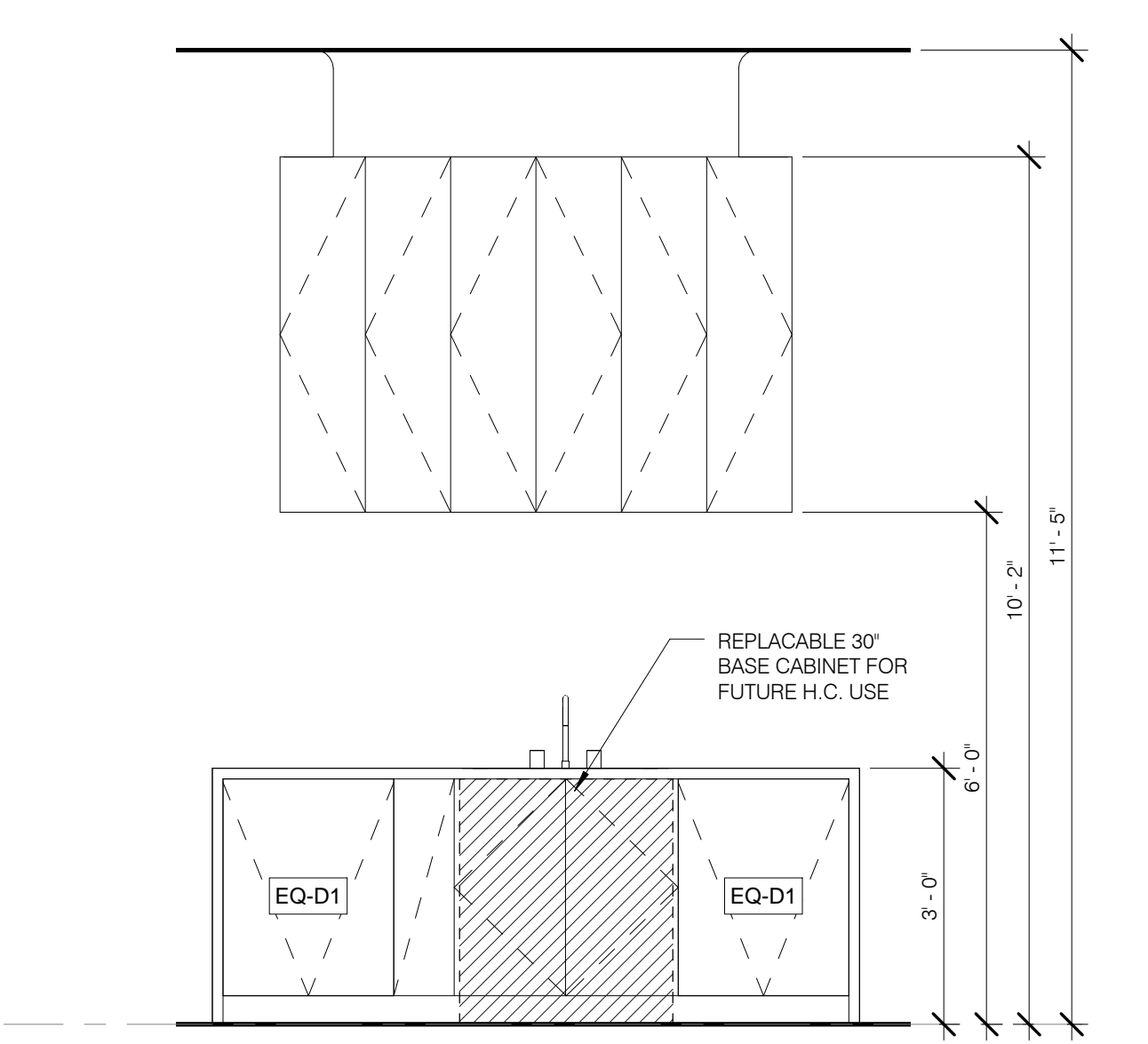
REGISTERED ARCHITECT
STATE OF NEW YORK
A-445.01

DATE: 3/27/15
PROJECT NO.: 130007
DRAWN BY: SHAP
CHECKED BY: SHAP
JOB NO.: 121332968
DRAWING NUMBER

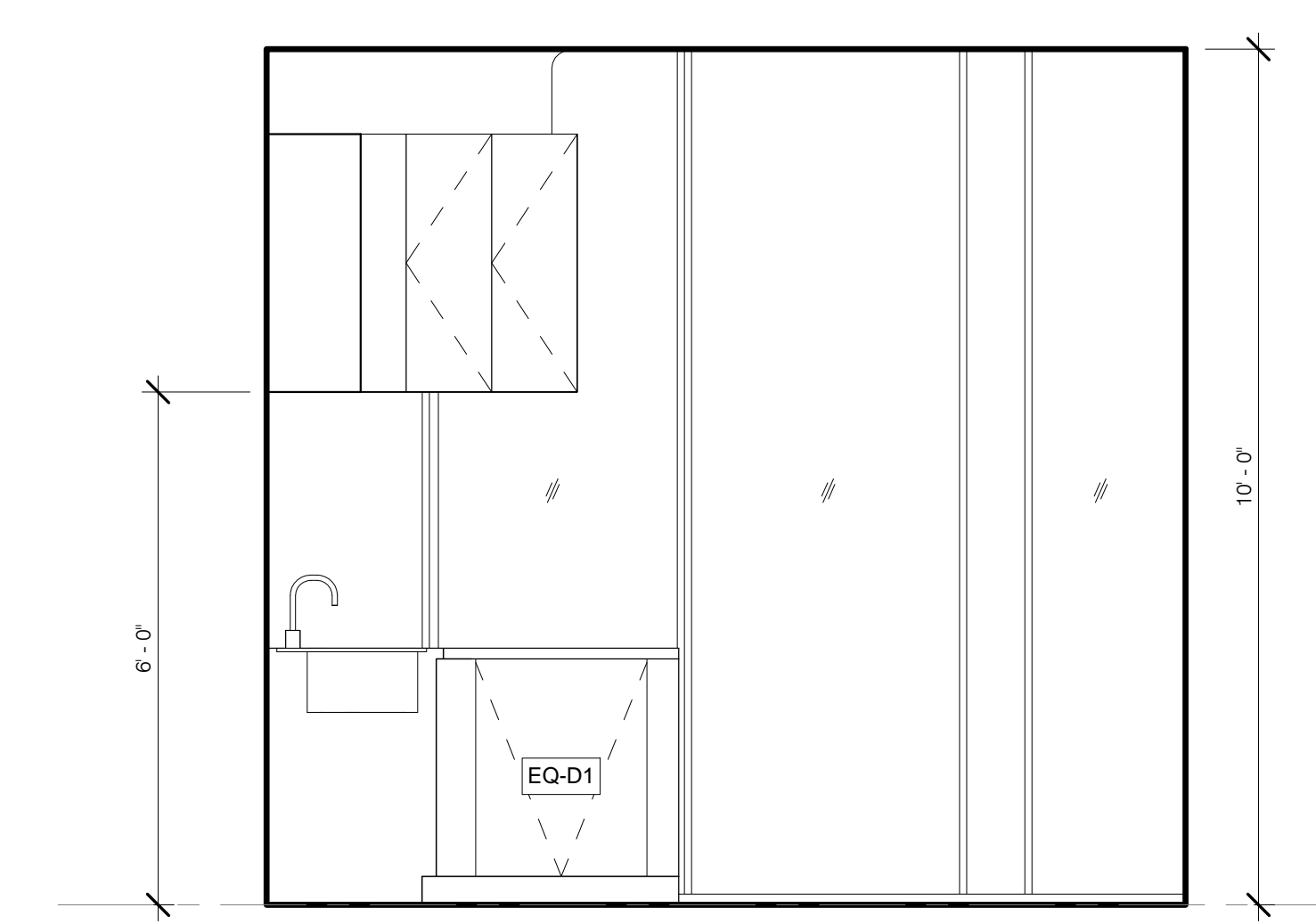
ARCHITECT	SHAP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10007 TEL: 212 869 8300
STRUCTURAL ENGINEER	BOURQUE BARROLD 105 BROADWAY NEW YORK, NY 10005 TEL: 212 254 2025
MEP ENGINEER	VAN DEUSEN & ASSOCIATES 100 WEST STREET, SUITE 204 LARKSPER, NJ 07033 TEL: 973 944 4700
CIVIL ENGINEER	JAN HRO POKORNY ASSOCIATES 30 WEST 17TH STREET, 17TH FLOOR NEW YORK, NY 10011 TEL: 212 259 4442
ACOUSTICS	LONGMAN LINDSEY 40 WEST 48TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 917 238 3300
INTERIORS	STUDIO SCENEFIELD 260 LAURETT STREET NEW YORK, NY 10001 TEL: 212 475 1300
GEOTECH	MTICE 305 WEST 47TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 917 238 4000
LIGHTING	CONSERVATORIE INTERNATIONAL 105 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 255 4443



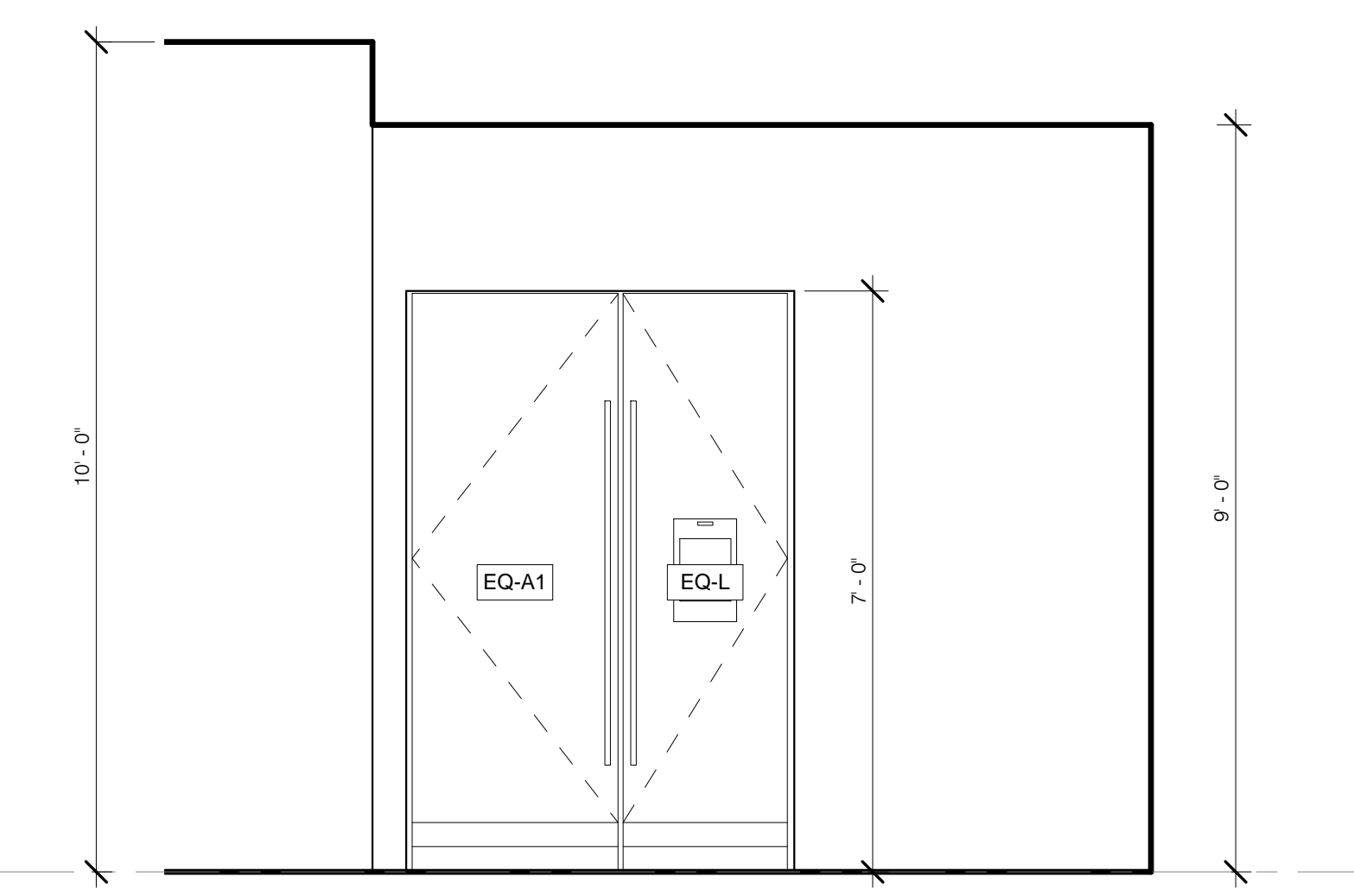
TYP. KITCHEN ISLAND - REAR VIEW 1/2" = 1'-0" 11



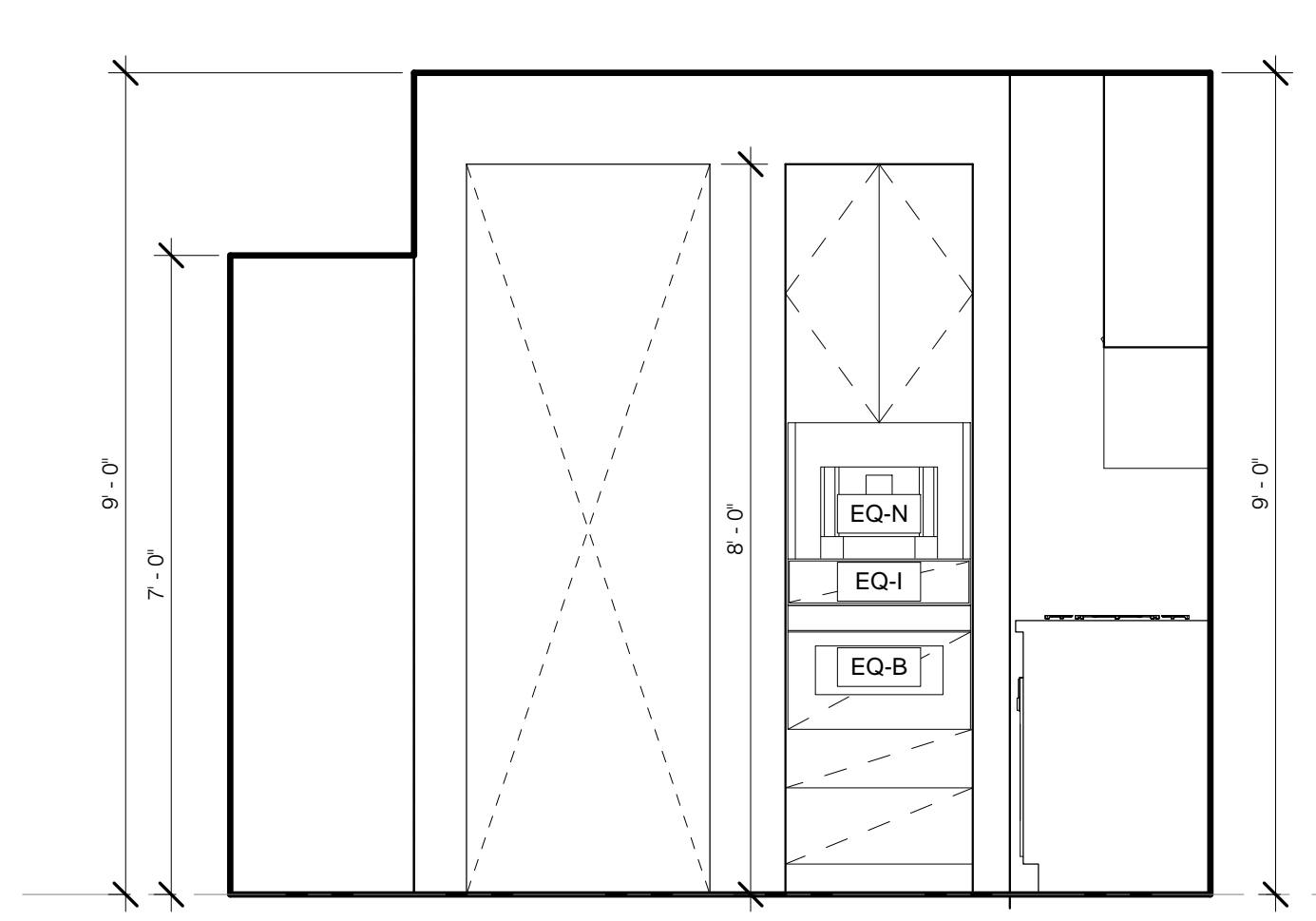
TYP. KITCHEN ISLAND - SINK VIEW 1/2" = 1'-0" 10



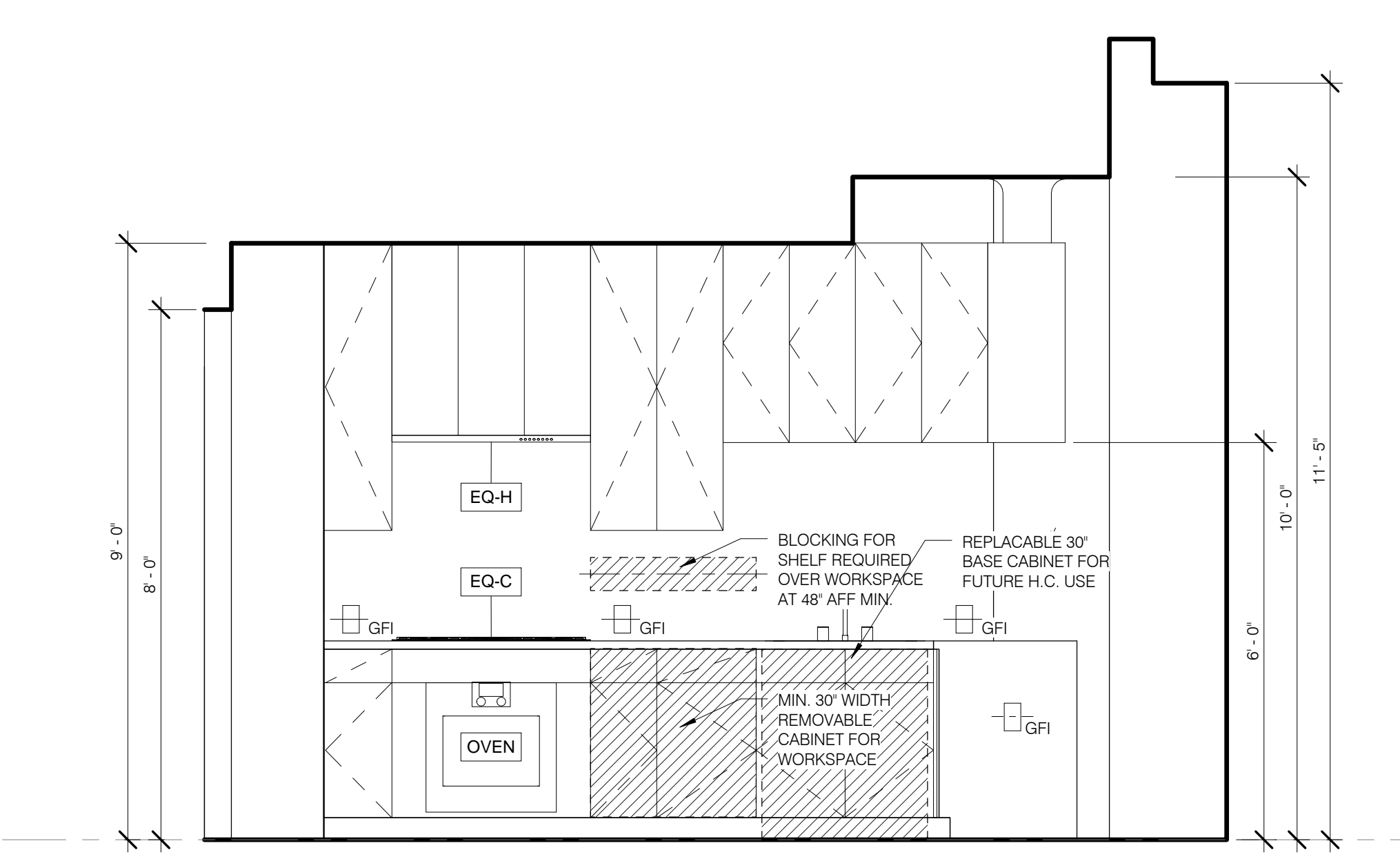
K-8 S ELEV 1/2" = 1'-0" 9



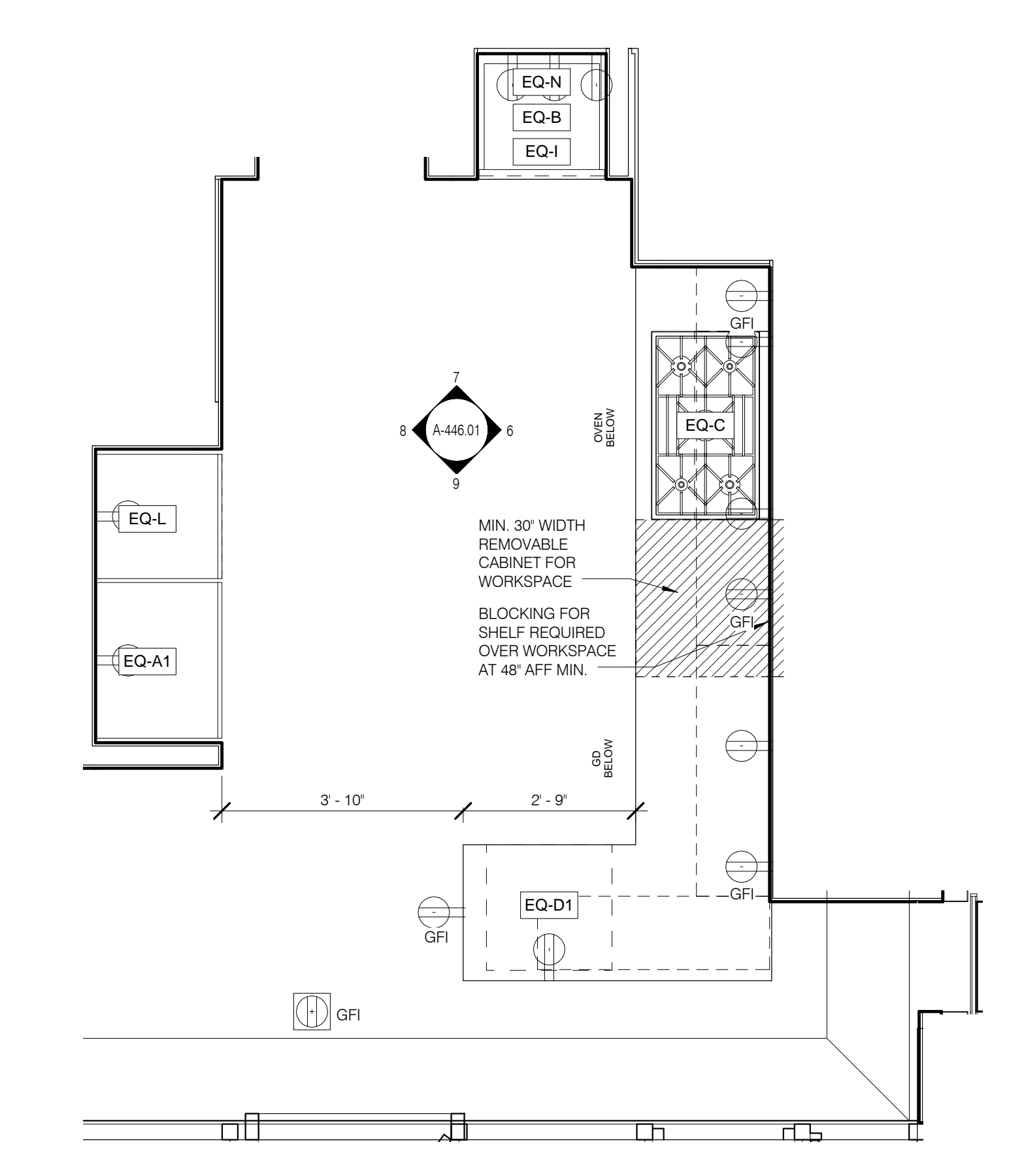
K-8 W ELEV 1/2" = 1'-0" 8



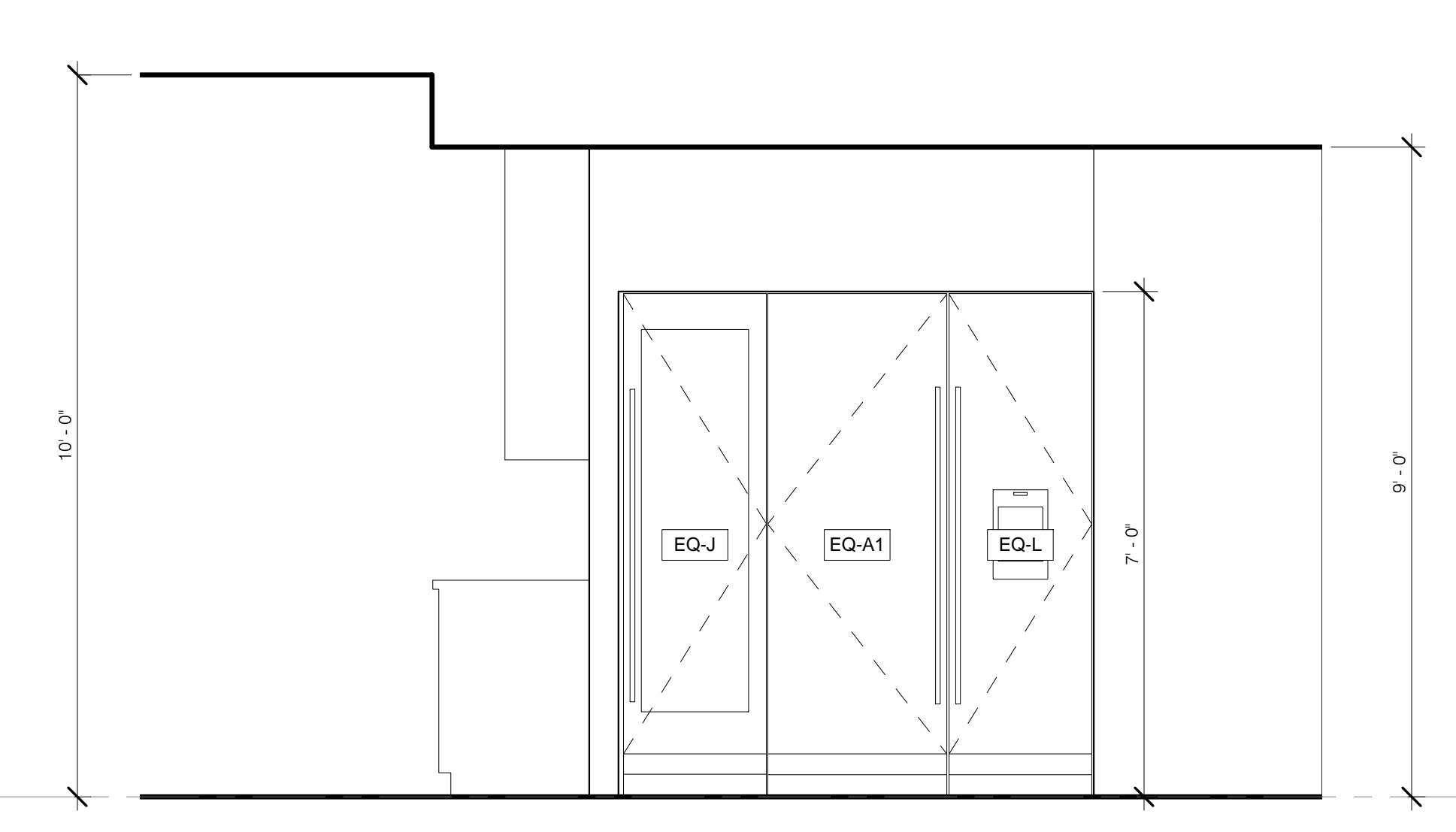
K-8 N ELEV 1/2" = 1'-0" 7



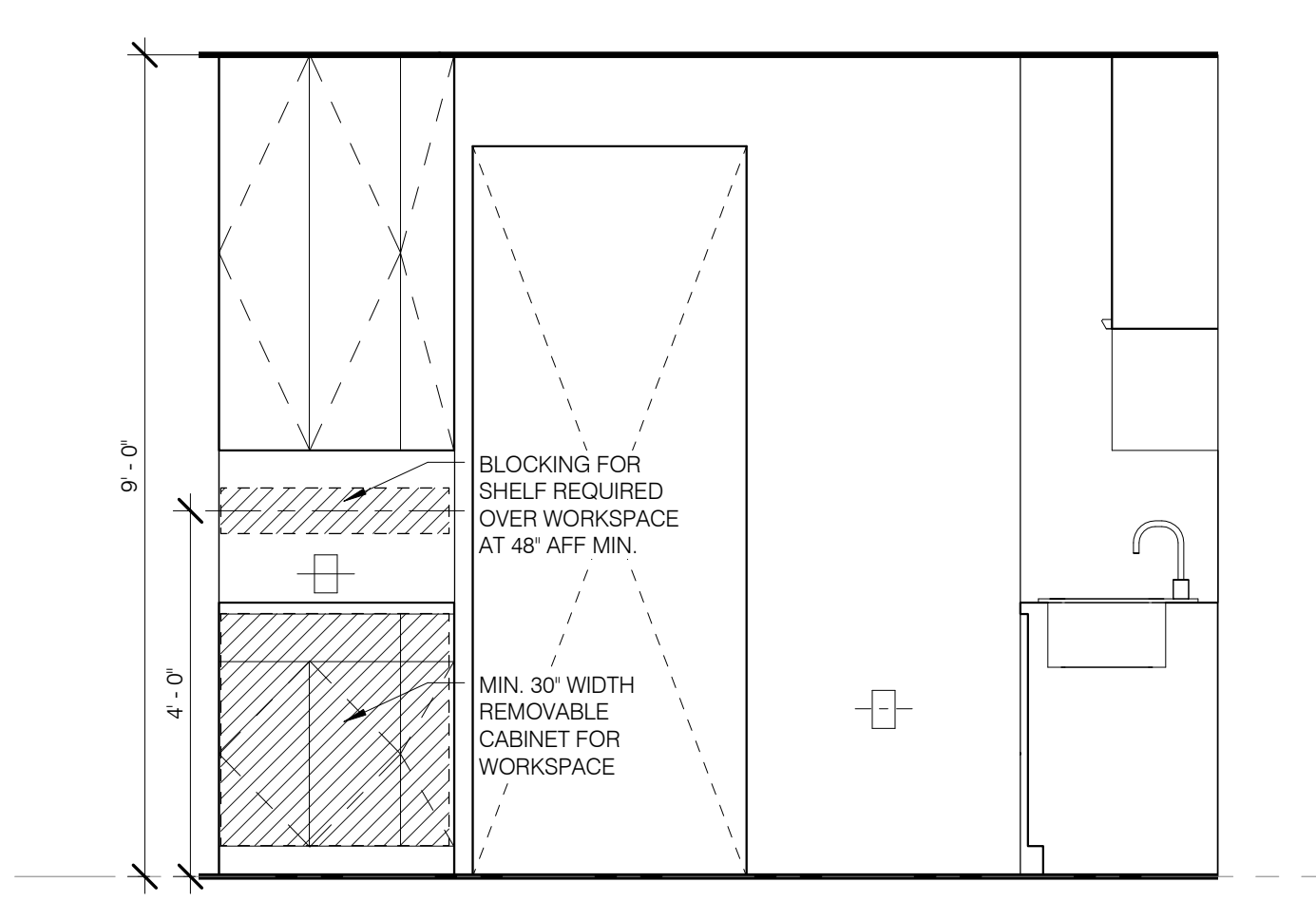
K-8 E ELEV 1/2" = 1'-0" 6



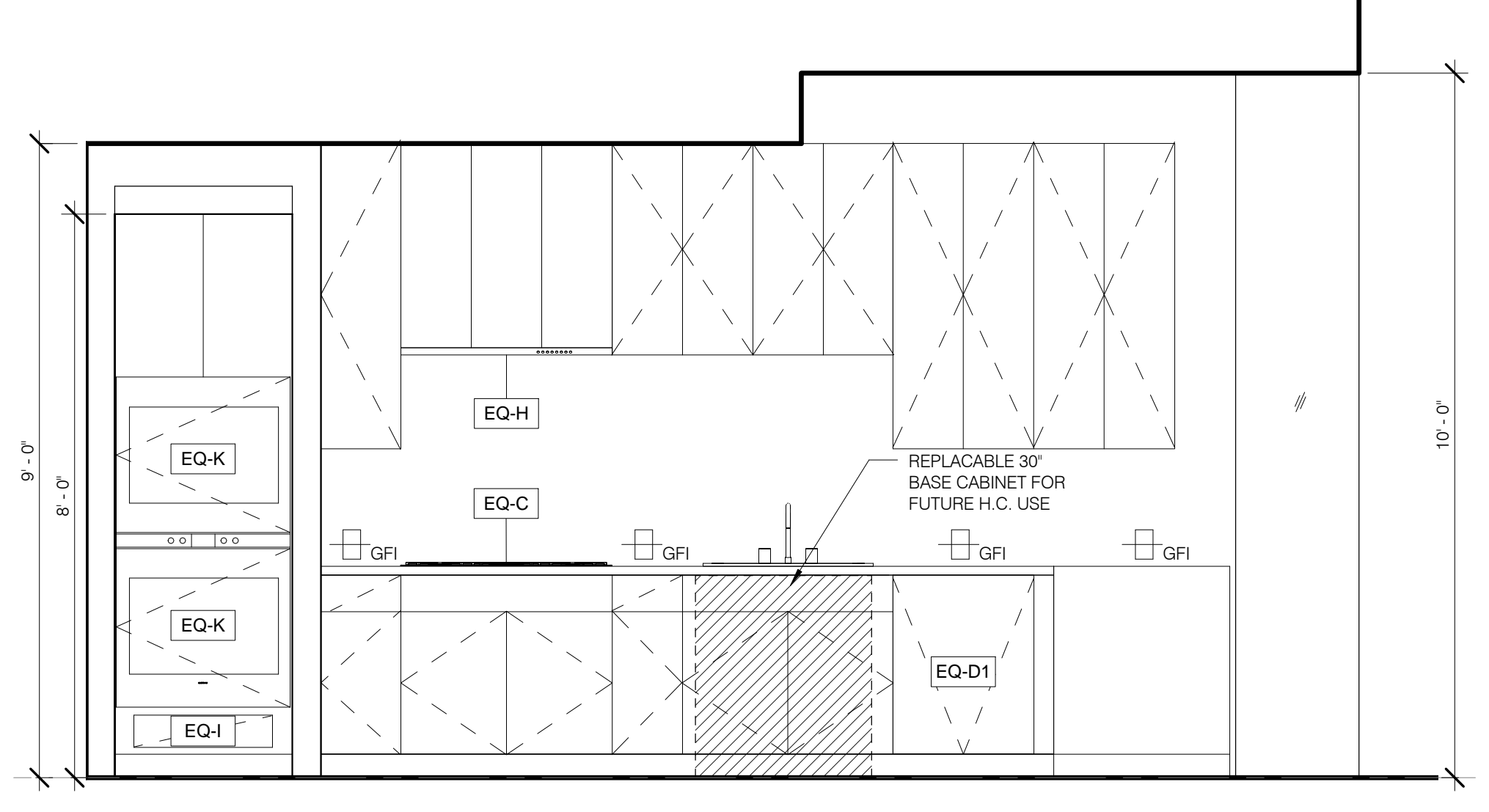
K-8 PLAN 1/2" = 1'-0" 5



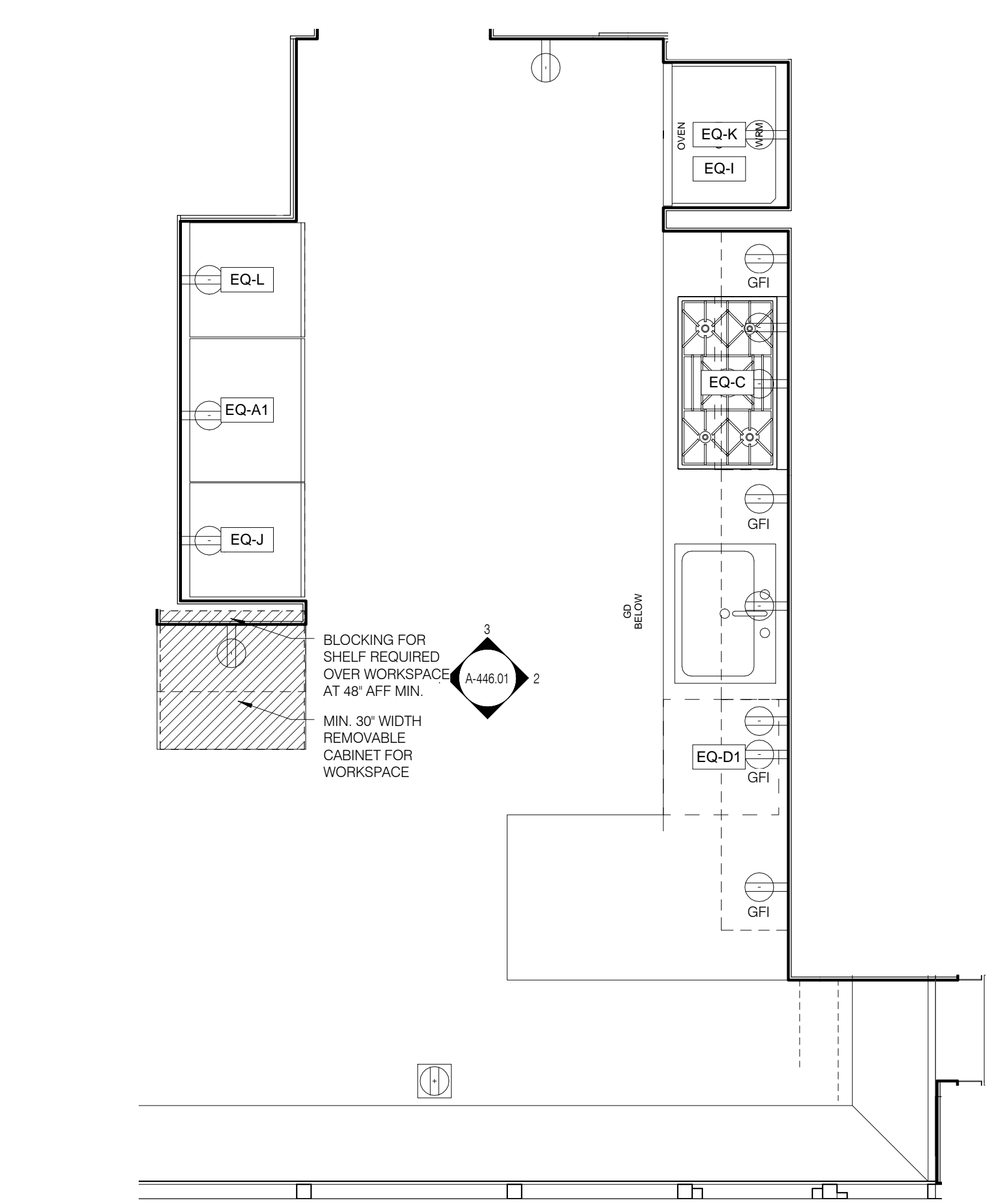
K-7 W ELEV 1/2" = 1'-0" 4



K-7 N ELEV 1/2" = 1'-0" 3



K-7 E ELEV 1/2" = 1'-0" 2



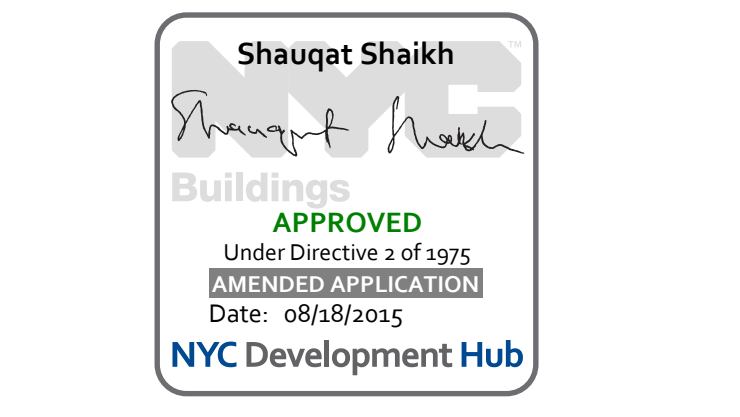
K-7 PLAN 1/2" = 1'-0" 1



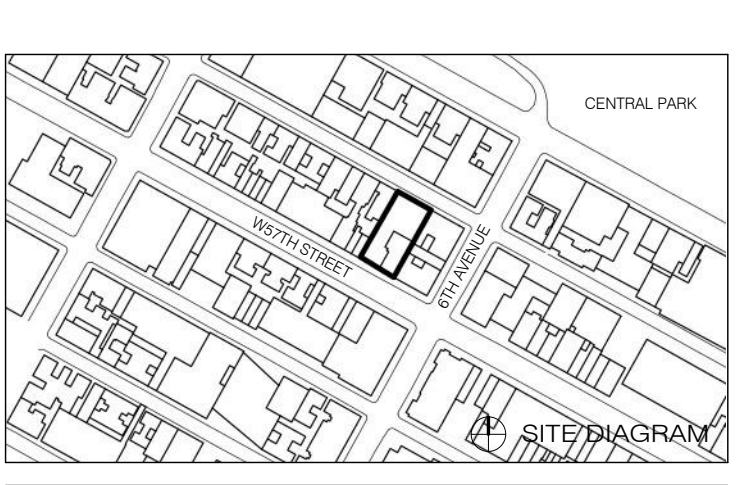
PROPERTY MARKETS GROUP
1345 4TH STREET, 2ND FLOOR
NEW YORK, NY 10007
TEL: 212 899 9900

CURRENT ISSUE

DOB PAA



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



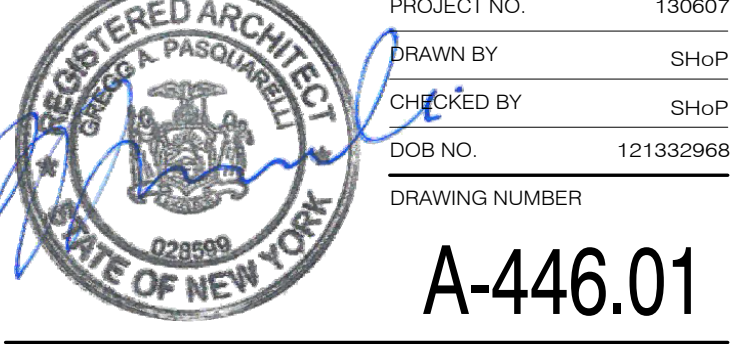
NO.	DATE	REVISION
1	3/27/15	DOB PAA

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.

DRAWN/TITLE

KITCHENS - TOWER ENLARGED PLANS AND ELEVATION

SEAL & SIGNATURE DATE 3/27/15
 PROJECT NO. 130007
 DRAWN BY SHAP
 CHECKED BY SHAP
 DATE 12/13/2008
 DRAWING NUMBER
A-446.01



ARCHITECT	SH&P ARCHITECTS, P.C. 20 BROADWAY, 11TH FLOOR NEW YORK, NY 10004 TEL: 212.869.9300	FAÇADE	SH&P ARCHITECTS, P.C. 20 BROADWAY, 11TH FLOOR NEW YORK, NY 10004 TEL: 212.869.9300
MEP ENGINEER	JORDIS, BAIM & BOLLES 80 WEST STREET, 10TH FLOOR NEW YORK, NY 10006 TEL: 212.869.9300	VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 8 HENRY STREET, SUITE 204 LARKSPUR, NJ 07033 TEL: 201.941.5170
MEP ENGINEER	JORDIS, BAIM & BOLLES 80 WEST STREET, 10TH FLOOR NEW YORK, NY 10006 TEL: 212.869.9300	RESTORATION	JAN HROD POKORNY ASSOCIATES 30 WEST STREET, 11TH FLOOR, 10A NEW YORK, NY 10006 TEL: 212.268.6460
ACQUISITION	LONGMAN LINSEY 40 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212.245.3000	GEOTECH	WPC 305 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212.245.3000
INTERIORS	TLORON DESIGN 300 PARKETTE STREET NEW YORK, NY 10001 TEL: 212.475.3000	LIGHTING	CONSERVATORIES INTERNATIONAL 100 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212.252.4450

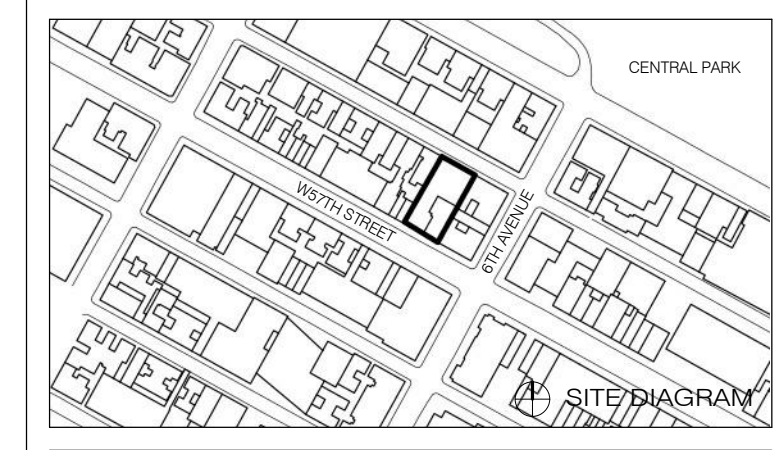


PROPERTY MARKETS GROUP
100 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212.869.9300
CURRENT ISSUE

DOB PAA



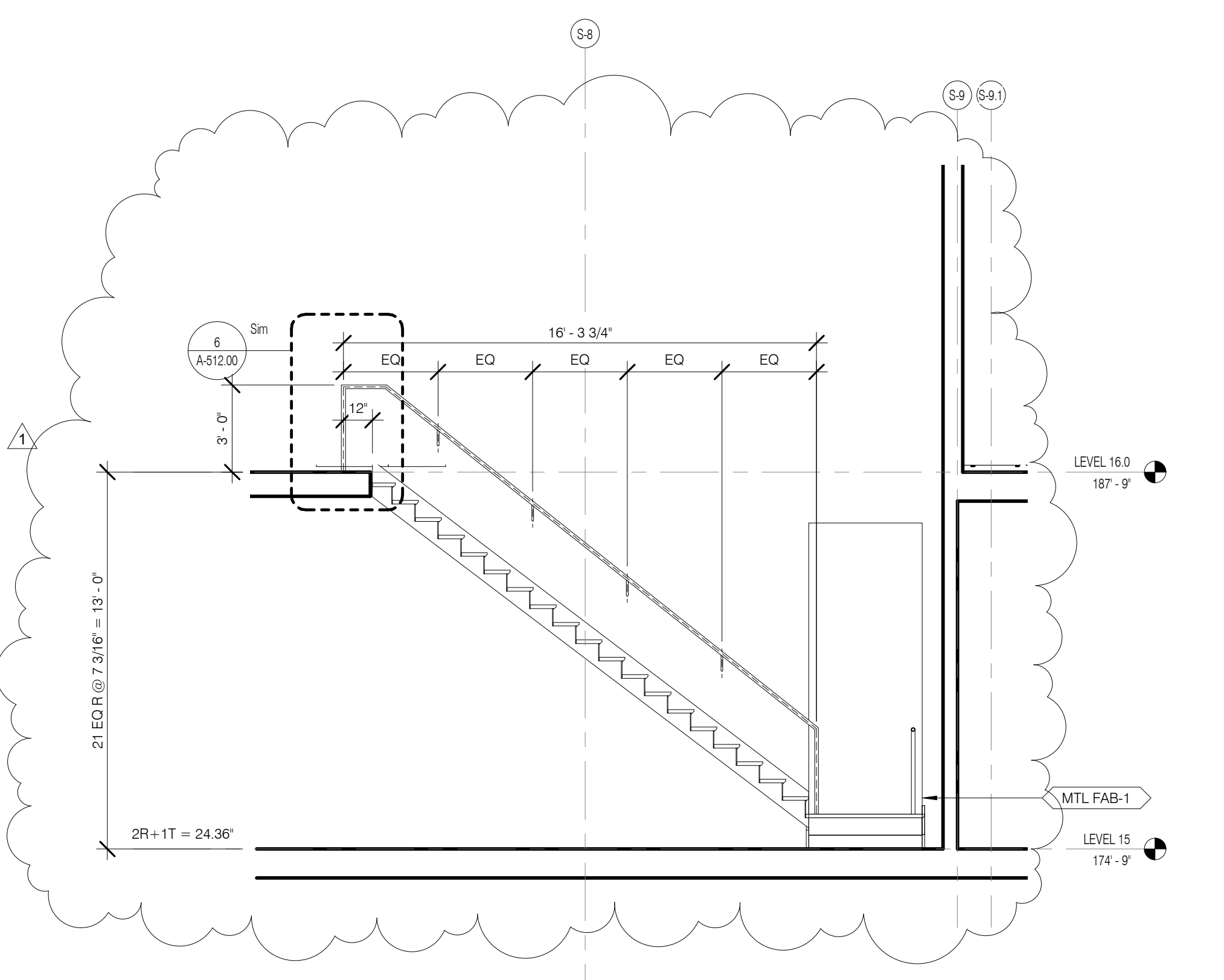
111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



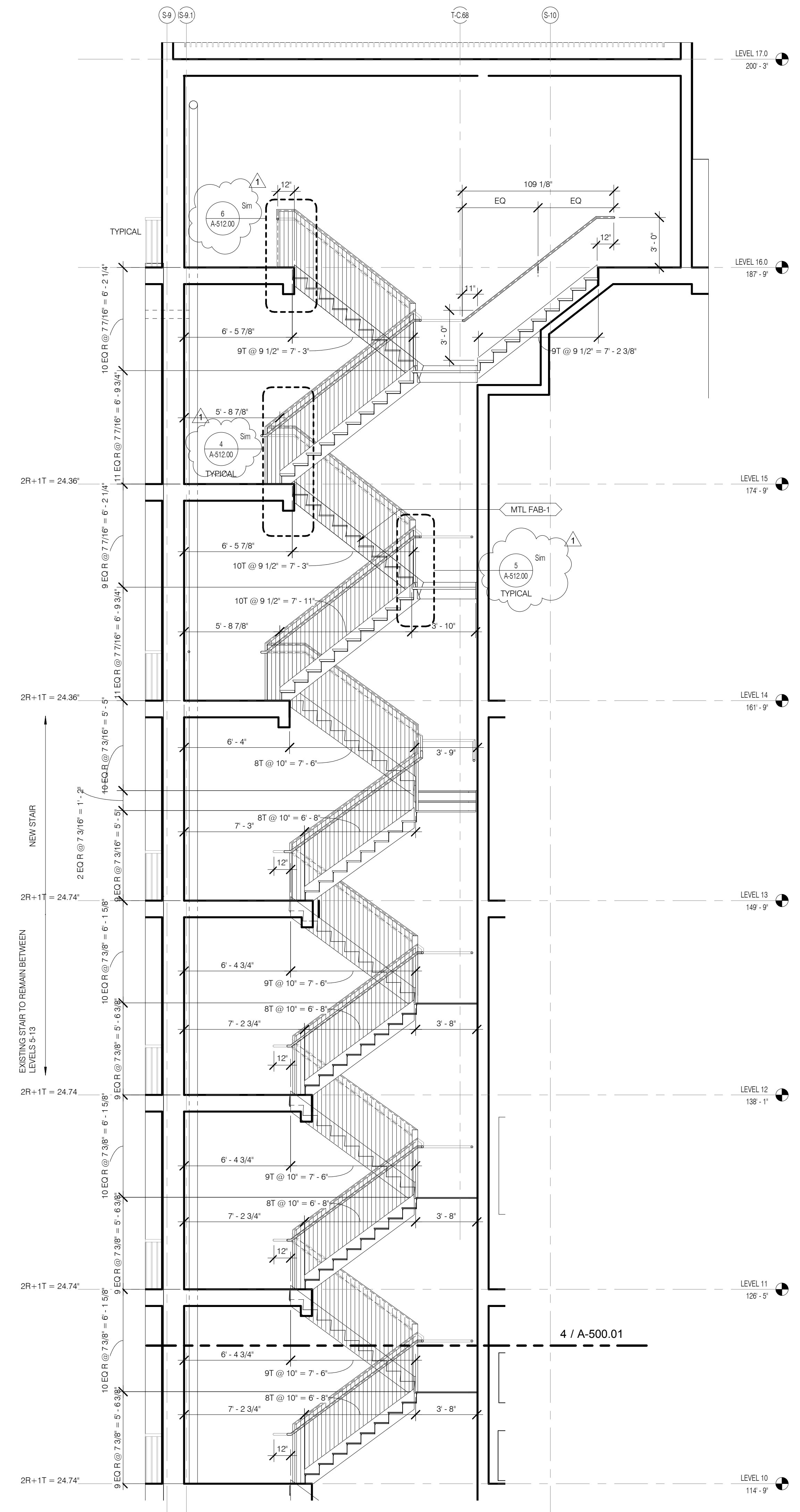
NO.	DATE	REVISION
1	3/27/15	DOB PAA

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SH&P ARCHITECTS, P.C. ALL RIGHTS RESERVED.

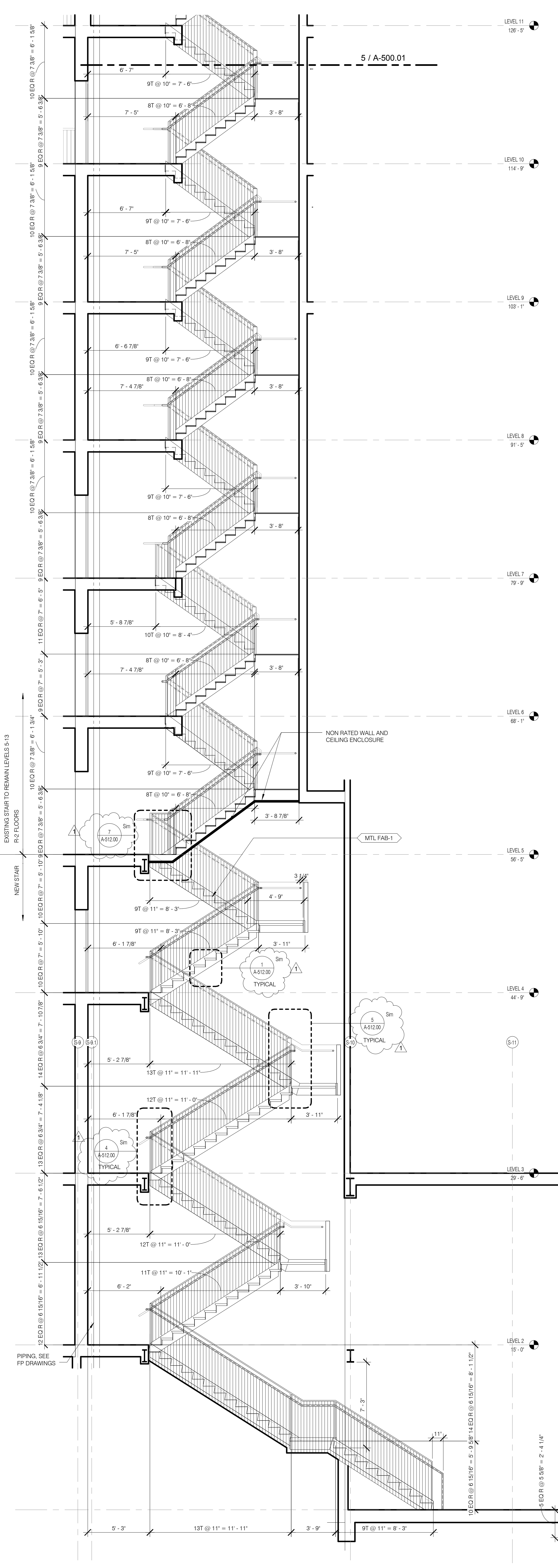
SEAL & SIGNATURE	DATE	2.20.15
PROJECT NO.	130007	
DRAWN BY	SH&P	
CHECKED BY	SH&P	
DOB NO.	121330968	
DRAWING NUMBER	A-500.01	



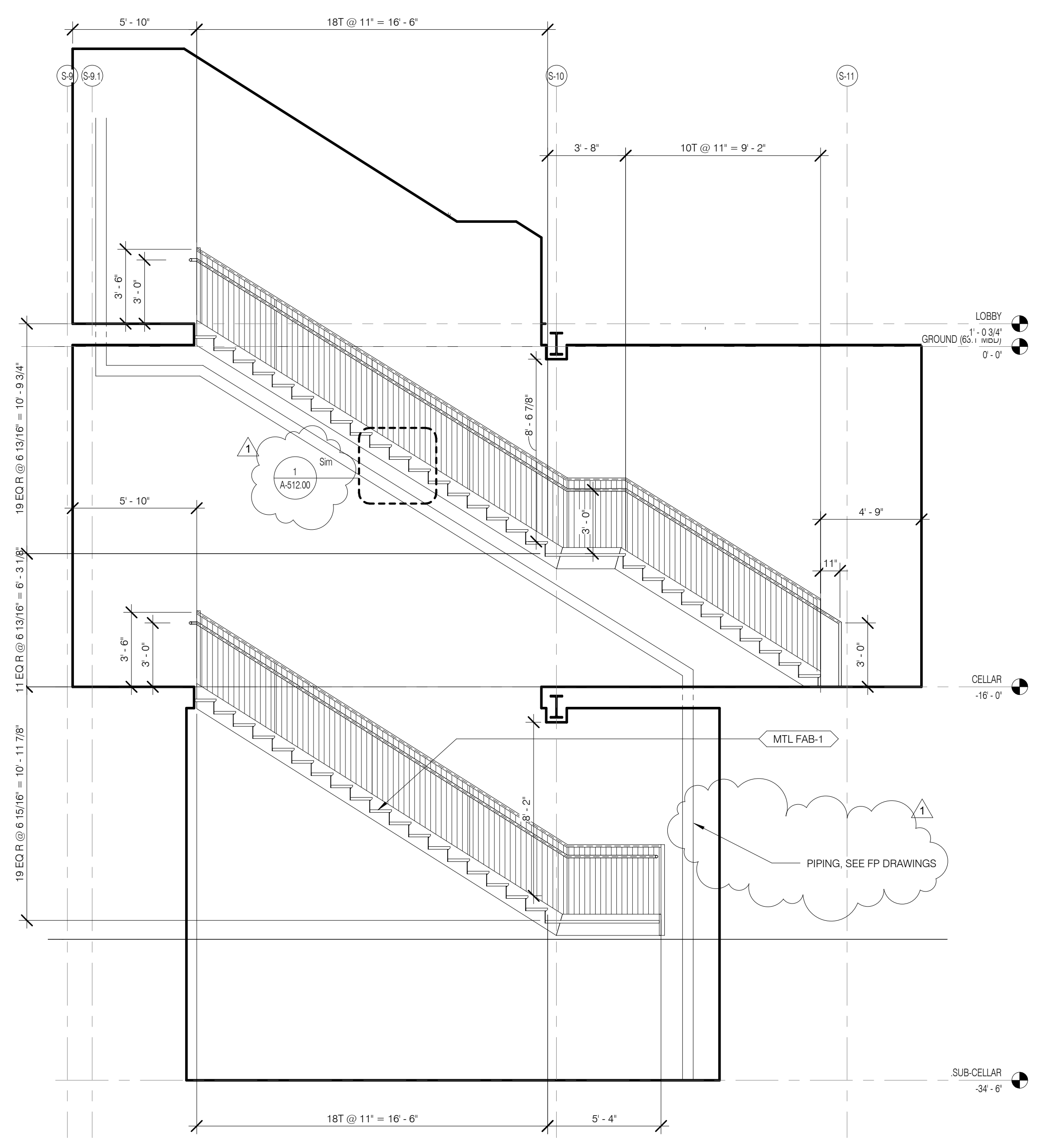
STAIR A DETAIL 15 TO 16 1/4" = 1'-0" 6 A301.00 A3001.00



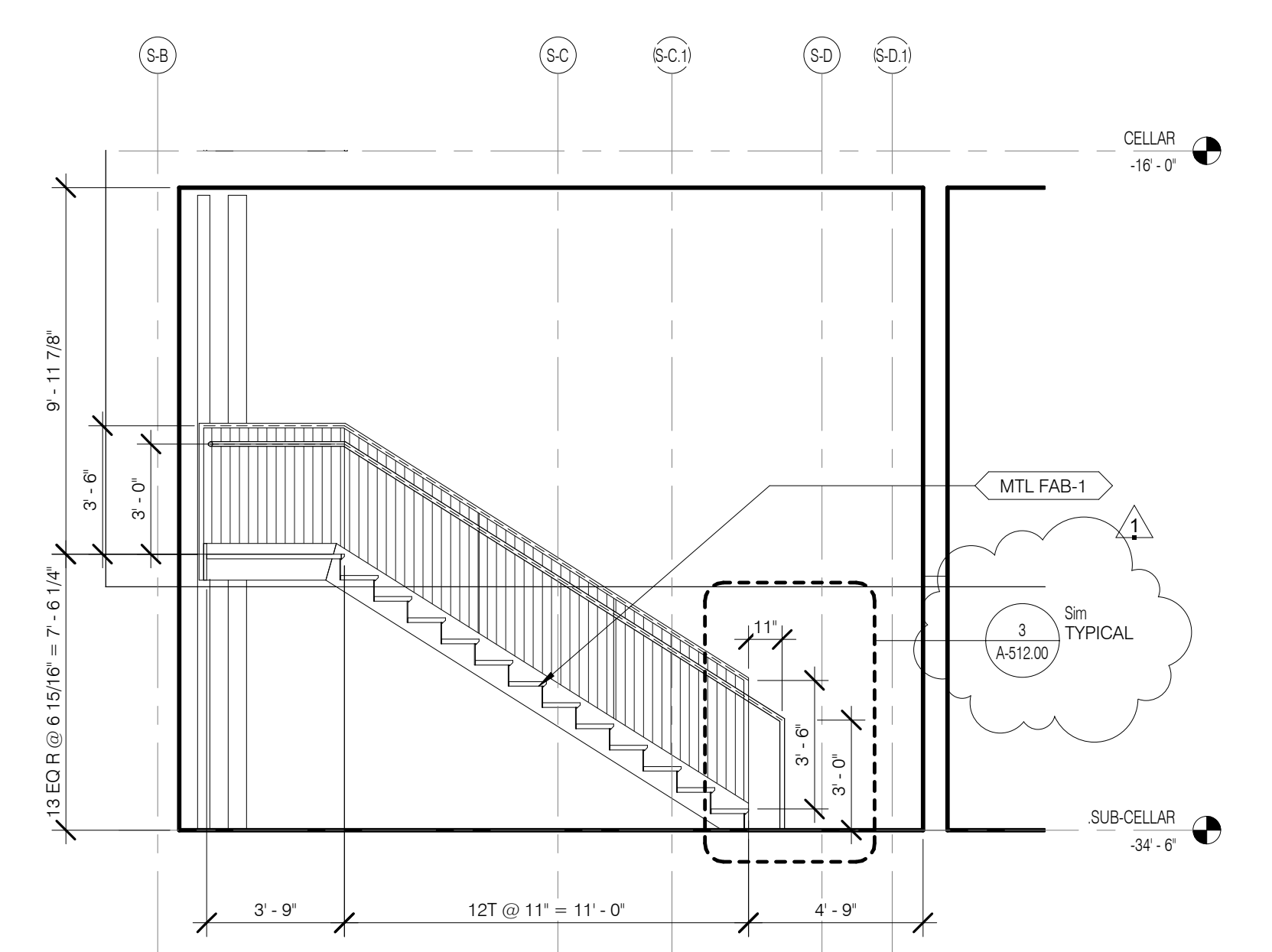
STAIR A SECTION 11 TO 16 1/4" = 1'-0" 5 A301.00 A3001.00



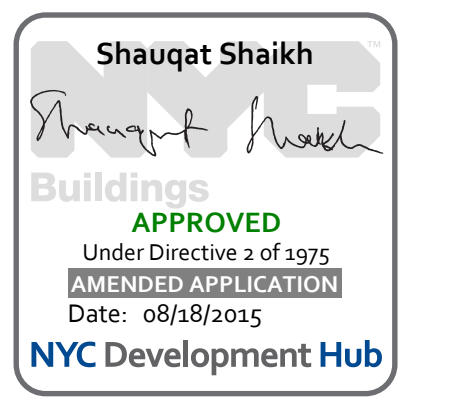
STAIR A SECTION GFL TO 10 1/4" = 1'-0" 4 A3001.00 A3001.00



STAIR C SECTION SB TO GFL 1/4" = 1'-0" 2 A301.00 A3001.00



STAIR C SECTION @ LEVEL SB 1/4" = 1'-0" 1 A301.00 A3001.00



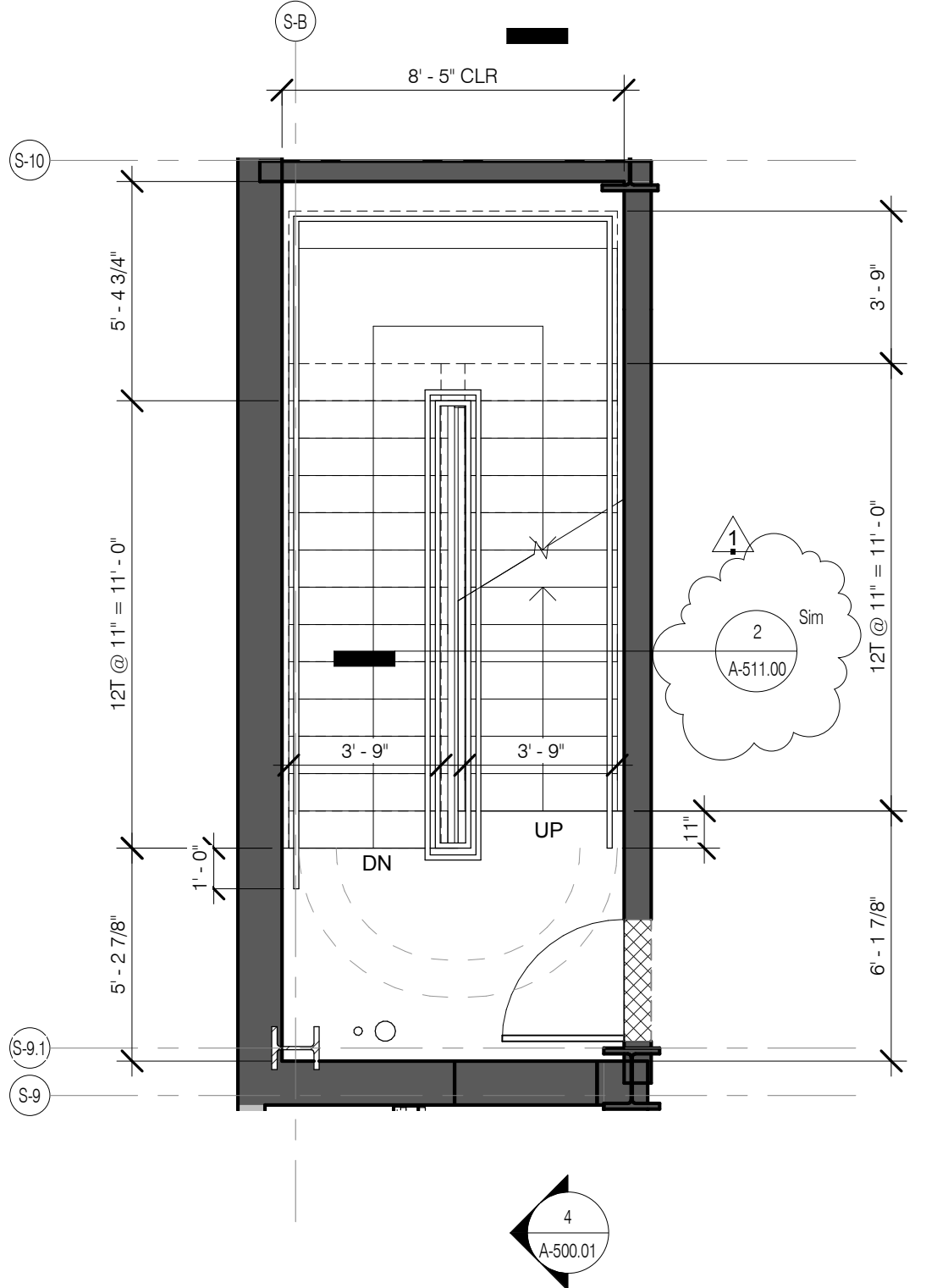
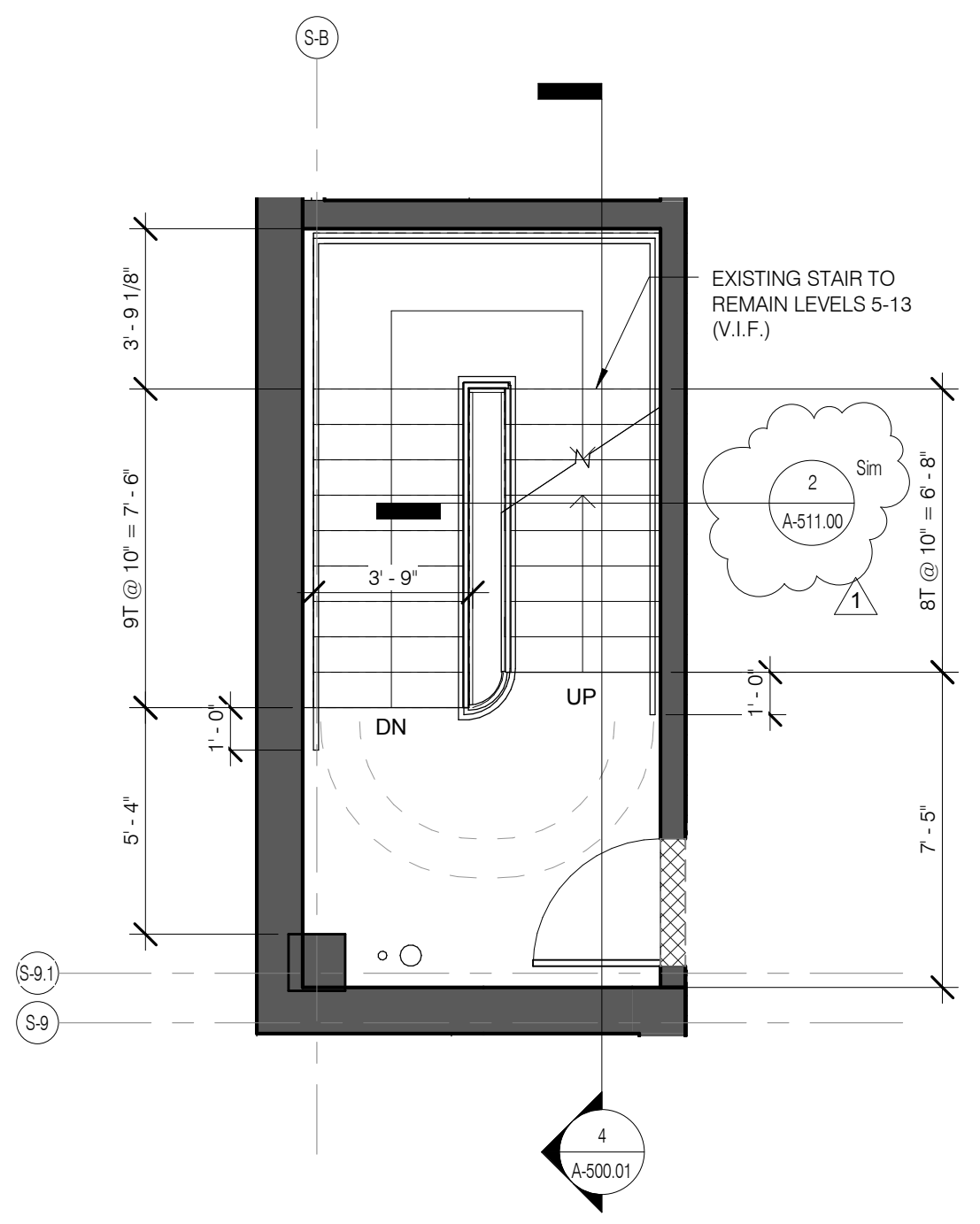
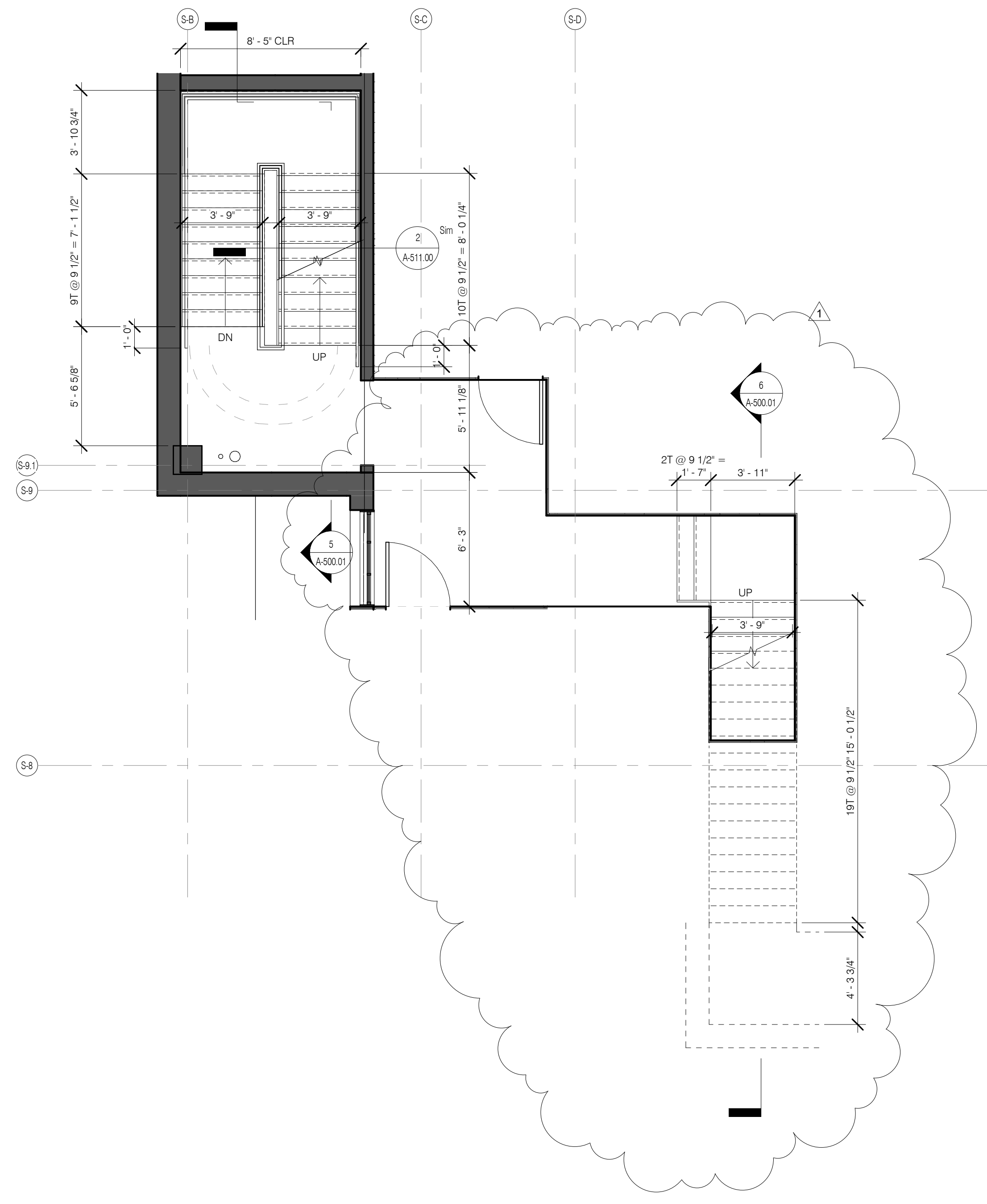
111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.		

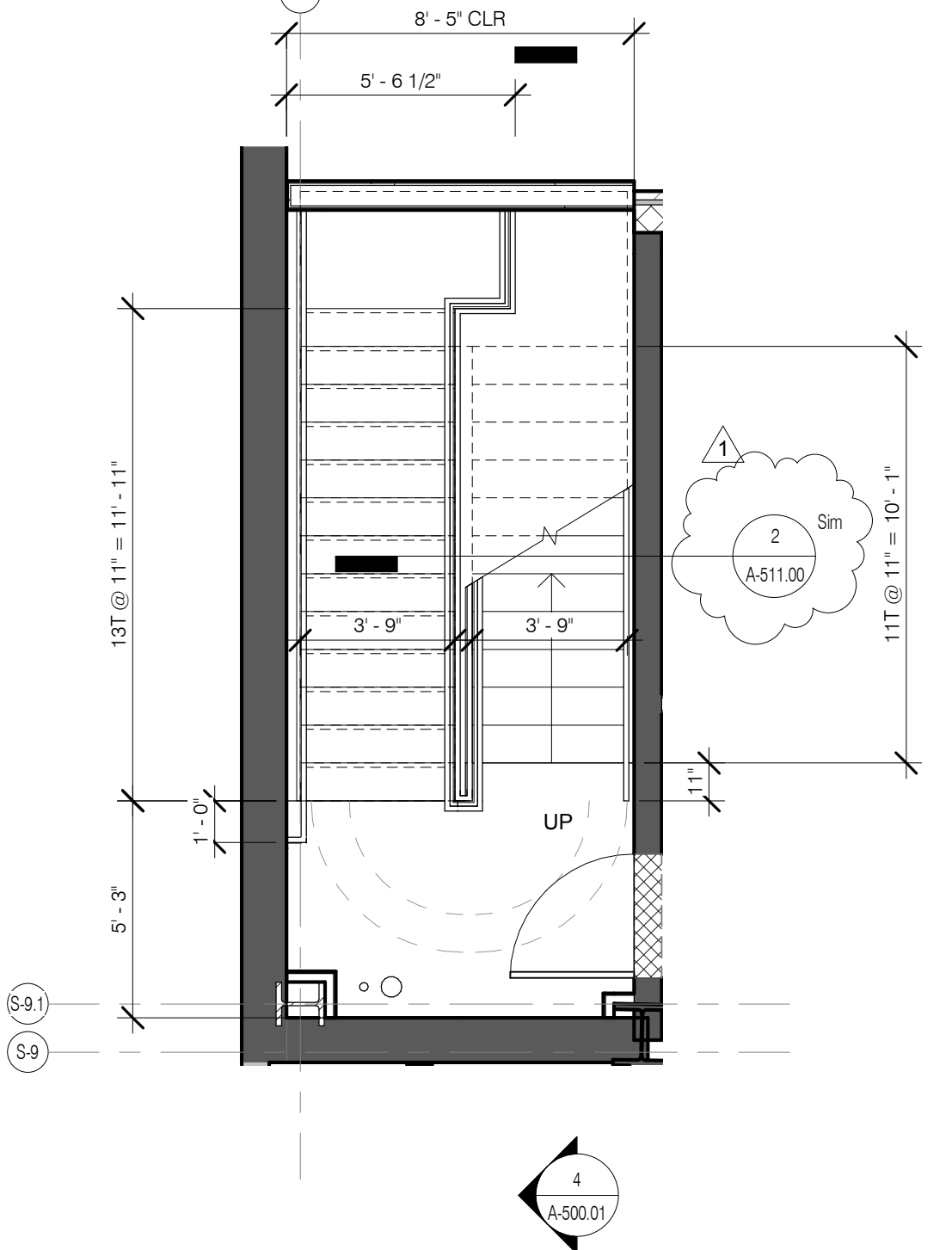
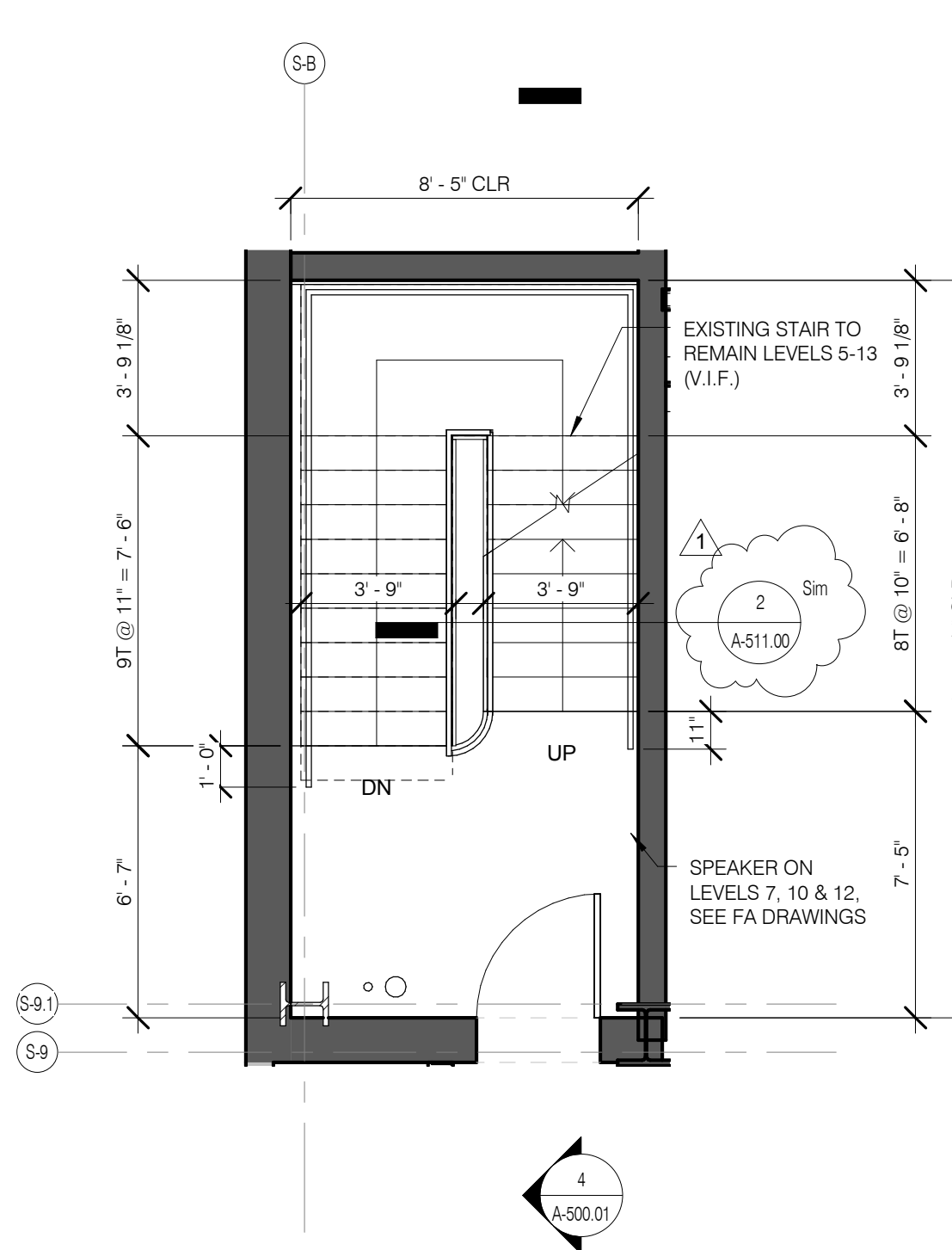
DRAWING TITLE
STAIR A ENLARGED PLANS

SEAL & SIGNATURE	DATE	2.20.15
PROJECT NO.	130907	
DRAWN BY	SHAP	
CHECKED BY	SHAP	
DOB NO.	121332968	
DRAWING NUMBER		
A-501.01		



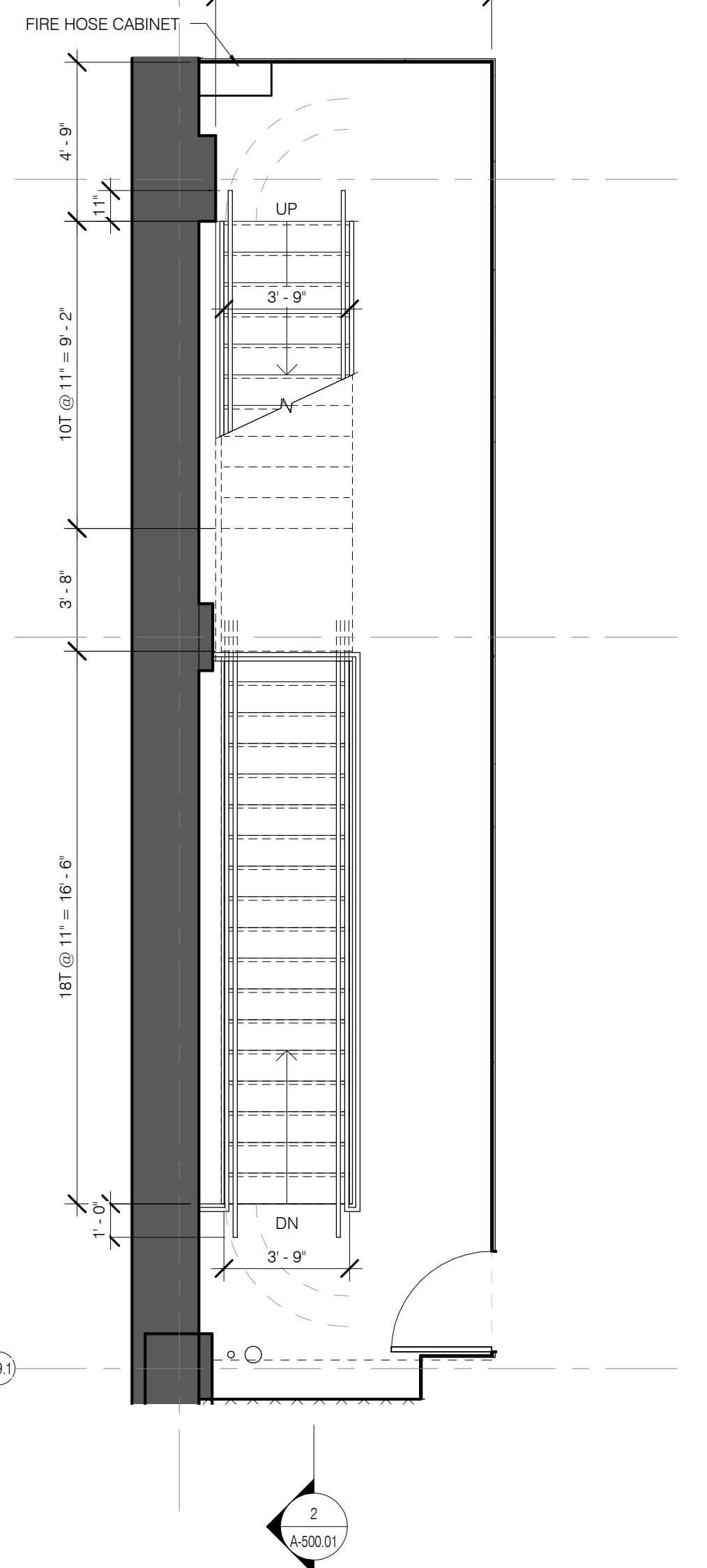
STAIR A LEVEL 9 PLAN 1/4" = 1'-0" 9 A-501.01

STAIR A LEVEL 3 PLAN 1/4" = 1'-0" 5 A-501.01

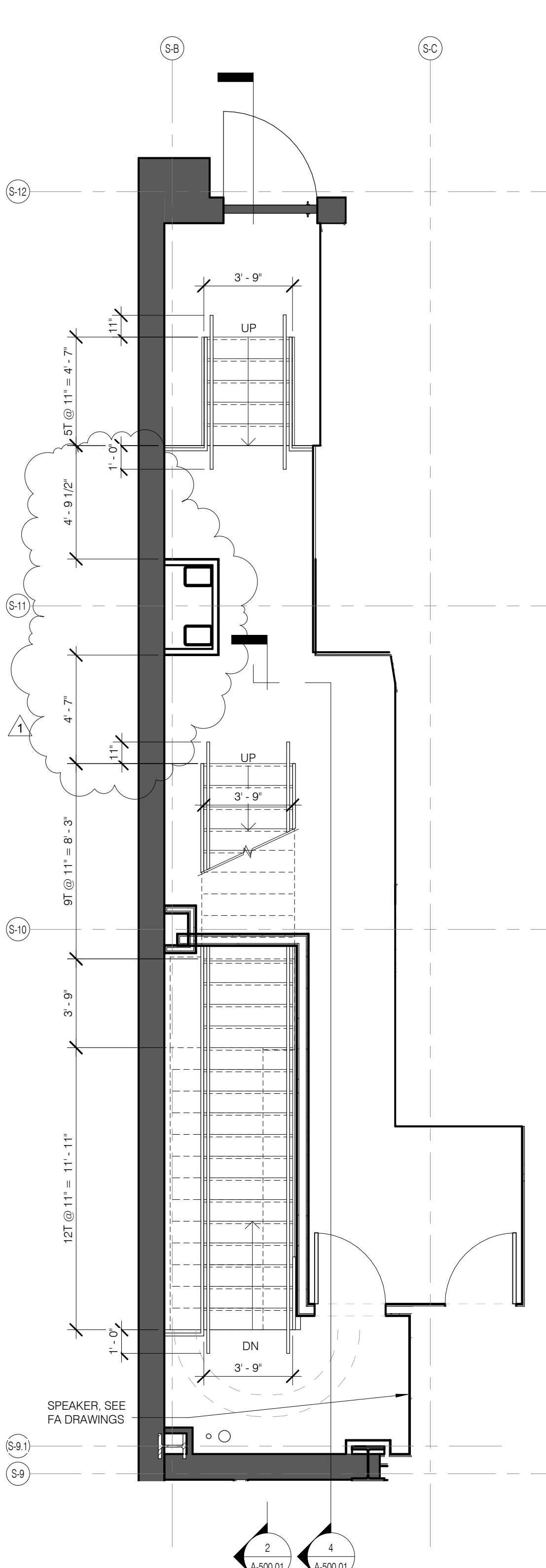
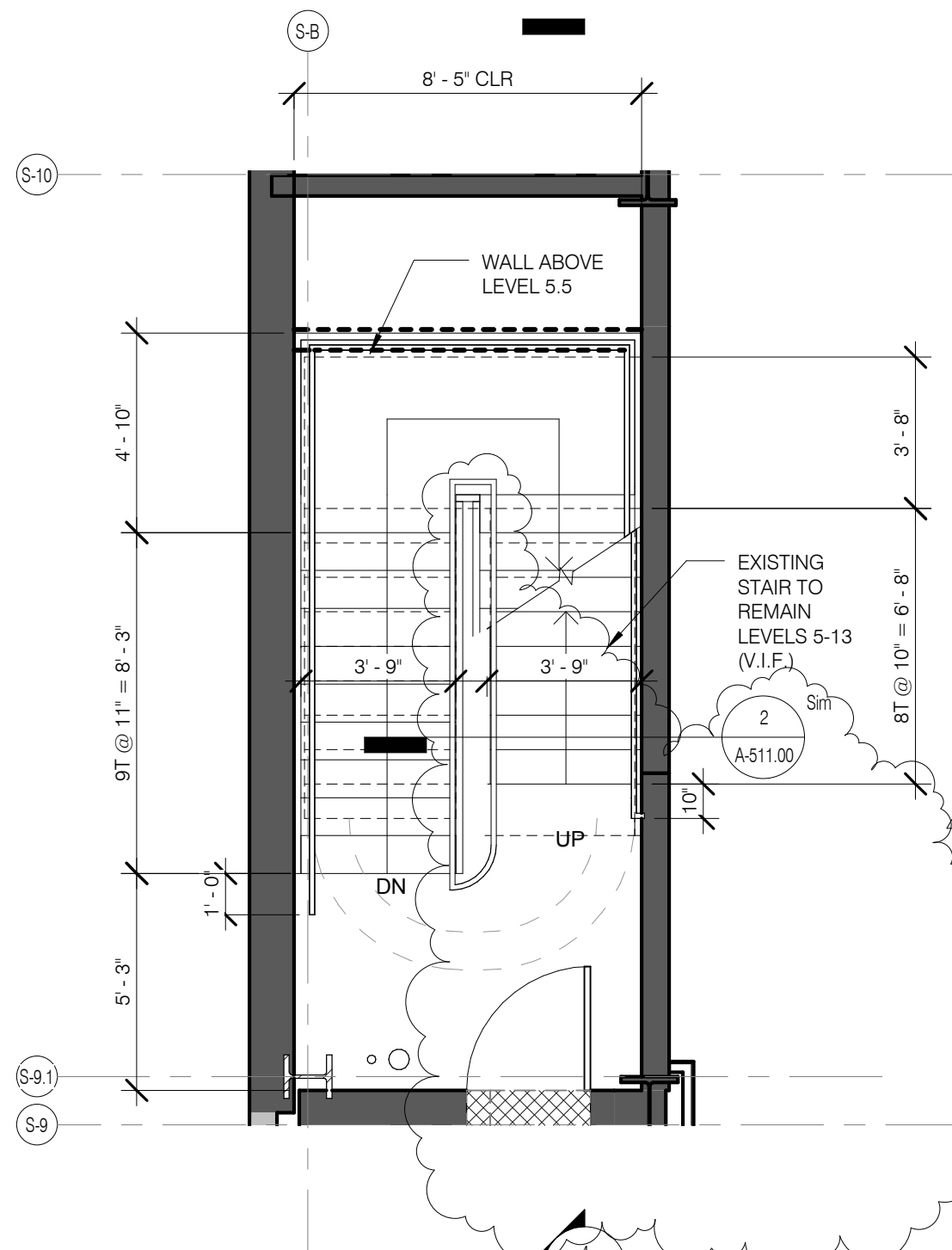
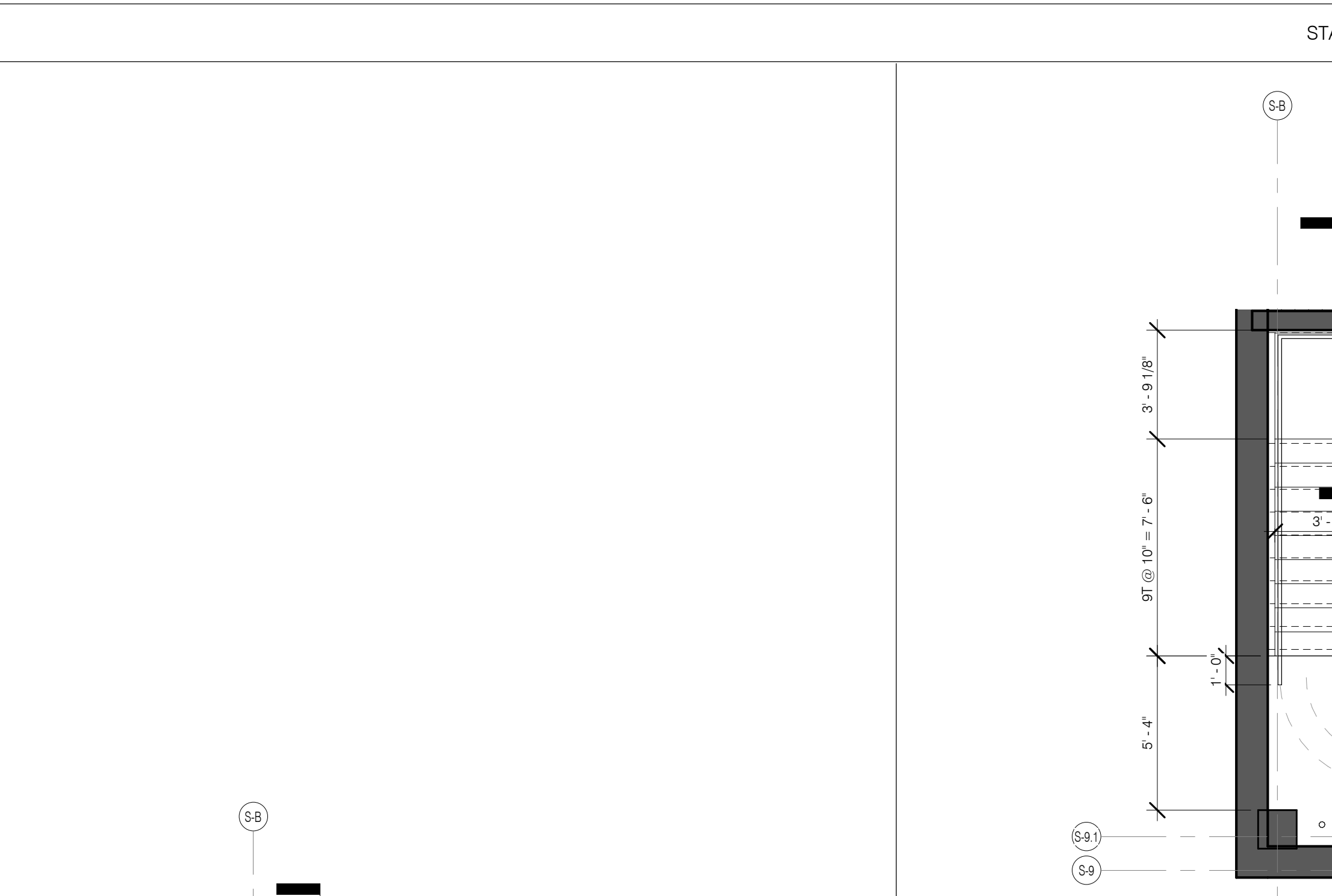


STAIR A LEVEL 15 PLAN 1/4" = 1'-0" 12 A-501.01

STAIR A LEVEL 2 PLAN 1/4" = 1'-0" 4 A-501.01



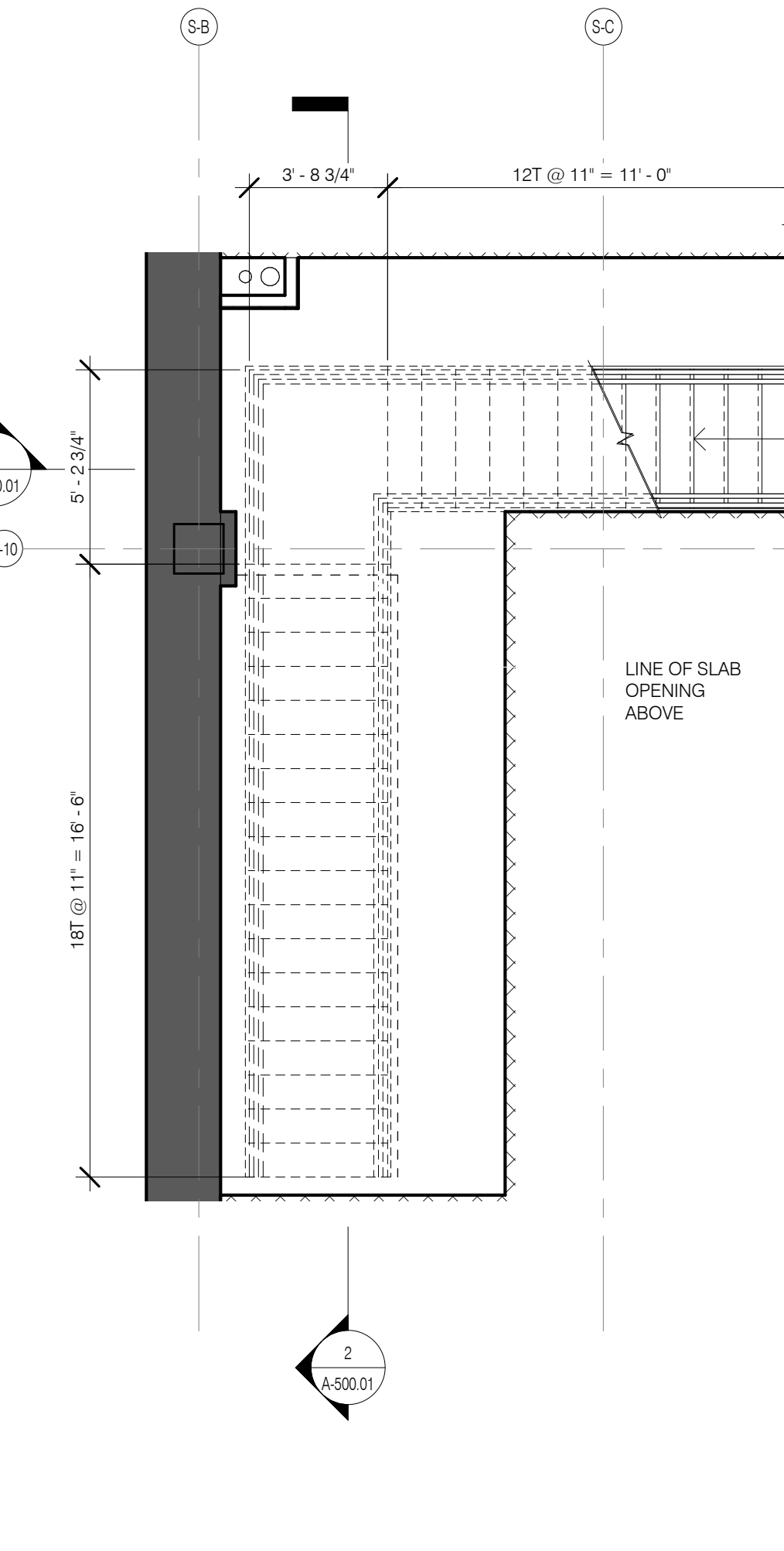
STAIR C CELLAR PLAN 1/4" = 1'-0" 2 A-501.01



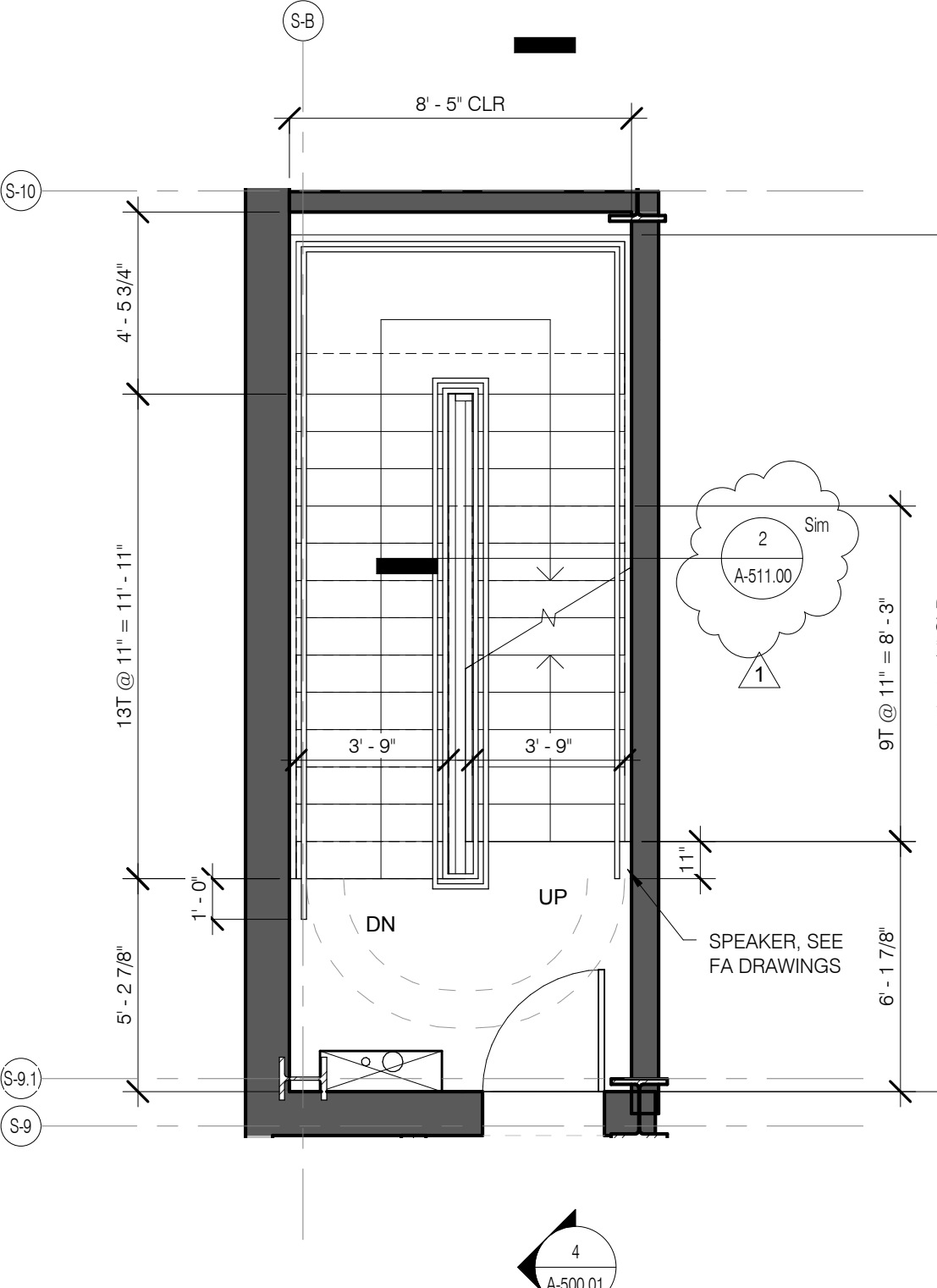
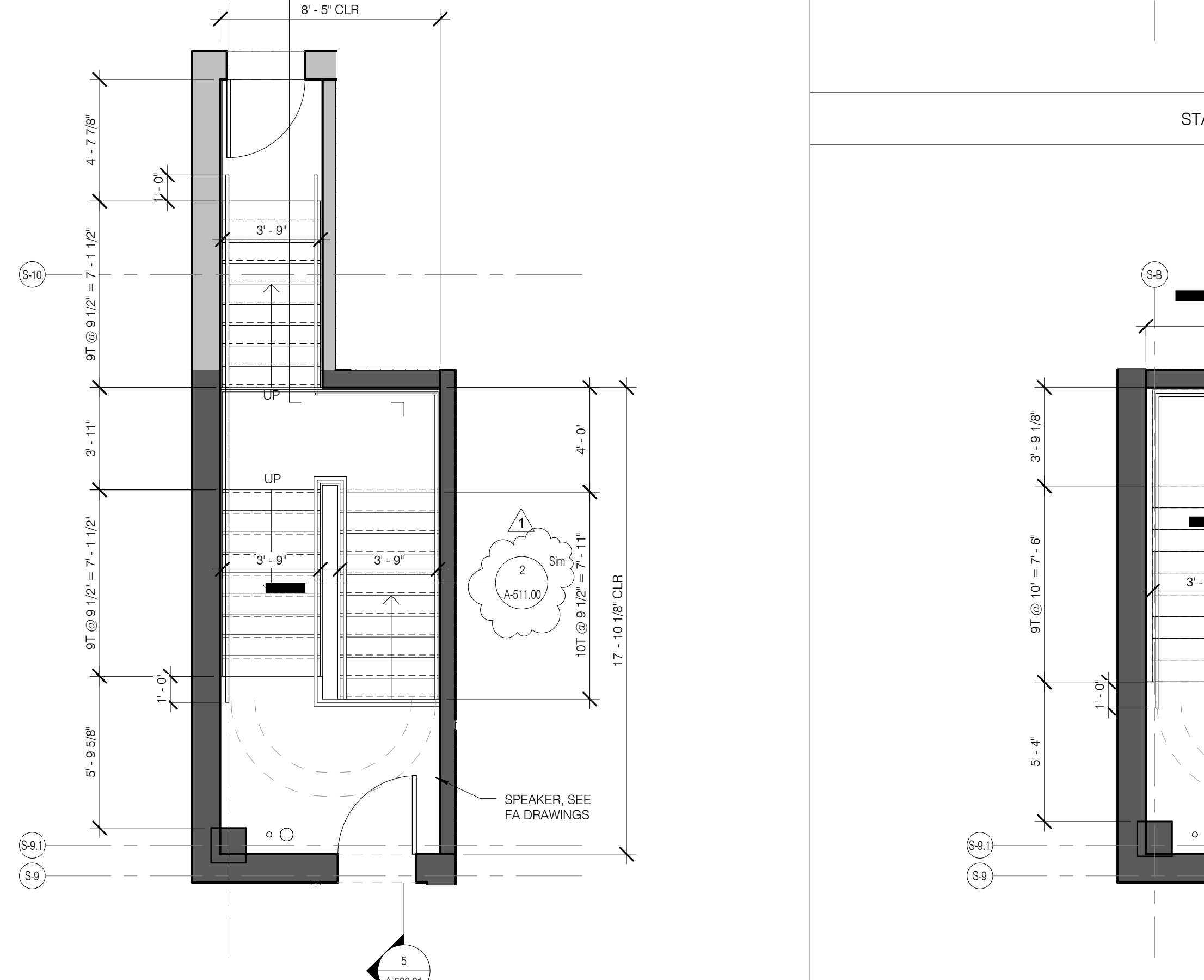
STAIR A LEVEL 14 PLAN 1/4" = 1'-0" 11 A-501.01

STAIR A LEVEL 5 PLAN 1/4" = 1'-0" 7 A-501.01

STAIR A LEVEL 2 PLAN 1/4" = 1'-0" 4 A-501.01



STAIR C SUB-CELLAR PLAN 1/4" = 1'-0" 1 A-501.01



STAIR A LEVEL 16 PLAN 1/4" = 1'-0" 13 A-501.01

STAIR A LEVEL 4 PLAN 1/4" = 1'-0" 6 A-501.01

STAIR A GROUND PLAN 1/4" = 1'-0" 3 A-501.01

STAIR C SUB-CELLAR PLAN 1/4" = 1'-0" 1 A-501.01

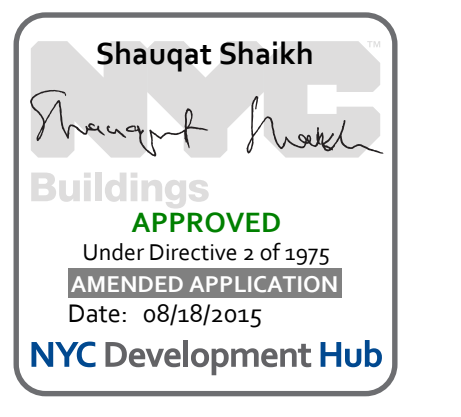
ARCHITECT	SHAP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10038 NY 212.869.9336	FAÇADE	BURTON HARRPOLD 100 BROADWAY NEW YORK, NY 10005 NY 212.254.2025
STRUCTURAL ENGINEER	YUSEF GANTOR BEYRUK 228 EAST 47TH STREET NEW YORK, NY 10017 NY 212.897.5986	VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 1 BROADWAY, SUITE 2000 LARKSPER, NJ 07033 NY 201.983.8775
MEP ENGINEER	JARVIS, BAIN & BOLLER 30 HUNTER STREET, 12TH FLOOR NEW YORK, NY 10003 NY 212.869.9333	RESTORATION	JAN HRO POKORNY ASSOCIATES 30 WEST 57TH STREET, 11TH FLOOR NEW YORK, NY 10019 NY 212.255.4463
CIVIL ENGINEER	AWR ENGINEERING, P.C. 400 WEST 44TH STREET, 7TH FLOOR NEW YORK, NY 10018 NY 800.288.8028	GEO TECH	LONGMAN LINSEY 40 WEST 59TH STREET, 4TH FLOOR NEW YORK, NY 10019 NY 917.288.8900
ACOUSTIC	LONGMAN LINSEY 40 WEST 59TH STREET, 4TH FLOOR NEW YORK, NY 10019 NY 917.288.8900	INTERIORS	TLONK ZENFIELD 300 WAREHOUSES STREET NEW YORK, NY 10001 NY 212.475.3300
CONSERVATION	CONSERVATION INTERNATIONAL 100 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10001 NY 212.255.4463	LIGHTING	CONSERVATION INTERNATIONAL 100 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10001 NY 212.255.4463



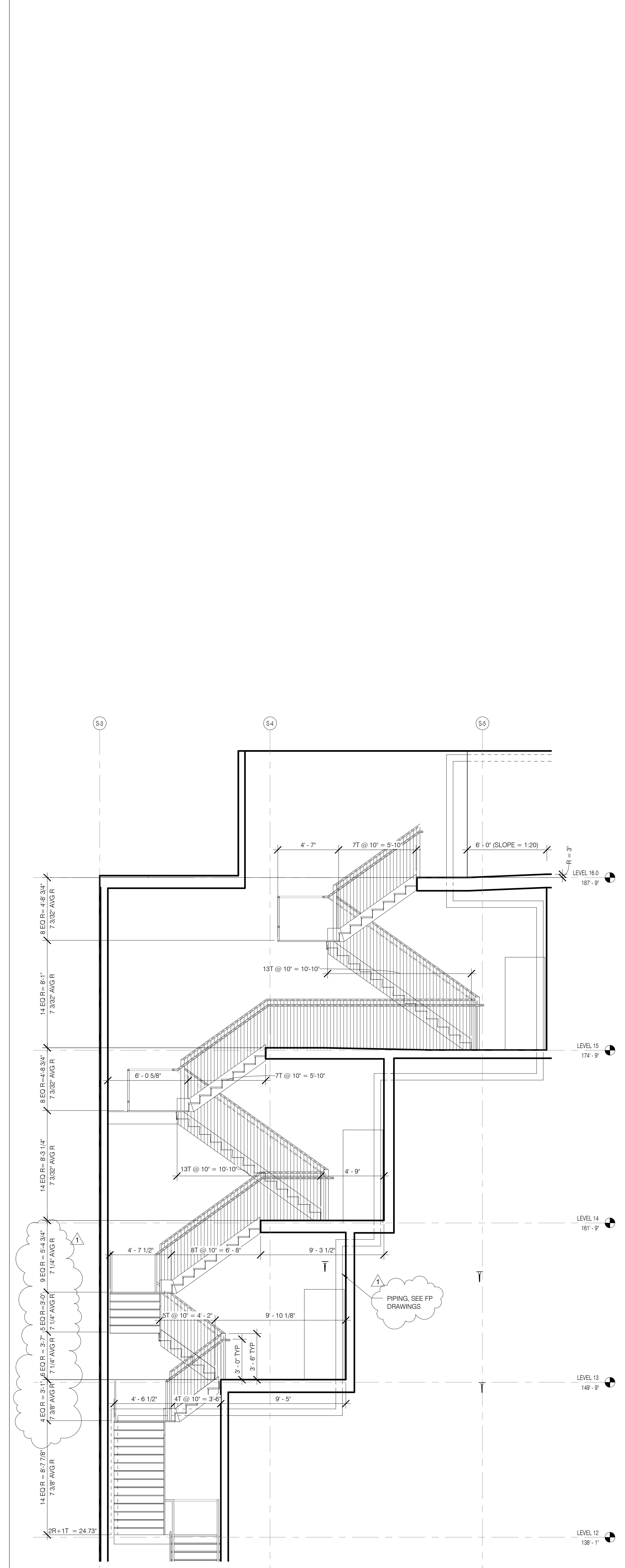
PROPERTY MARKETS GROUP
100 WEST 57TH STREET, 2ND FLOOR
NEW YORK, NY 10019
NY 212.869.9336

CURRENT ISSUE

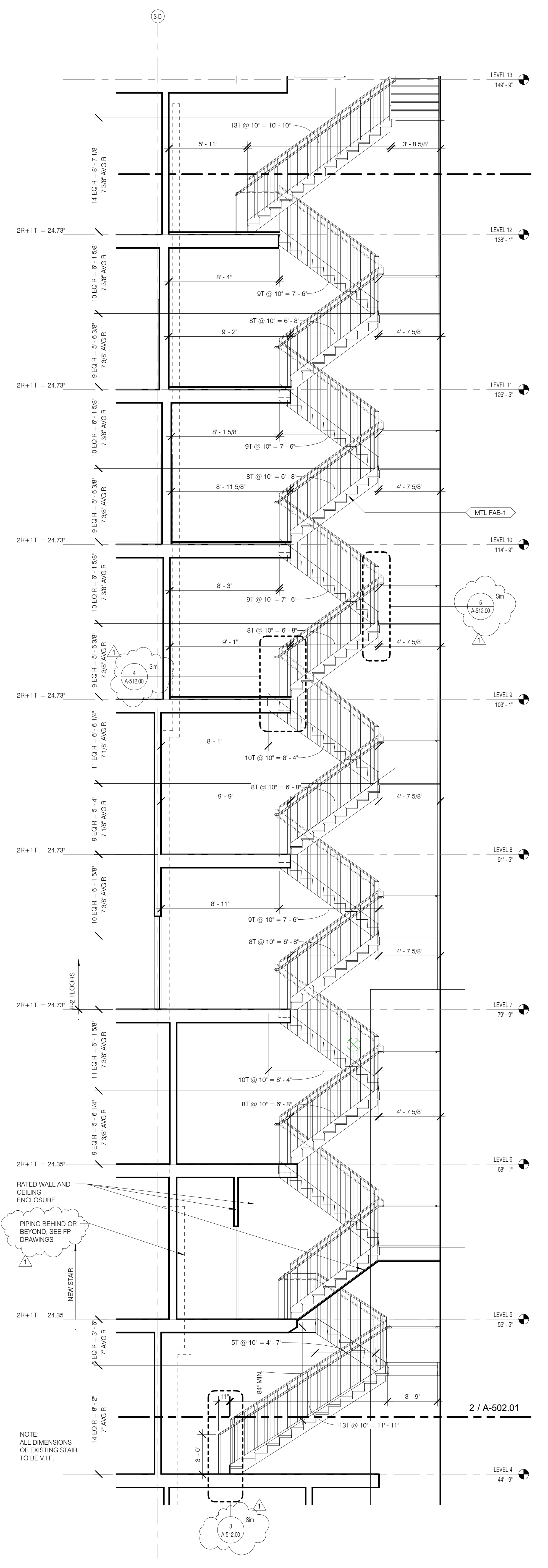
DOB PAA



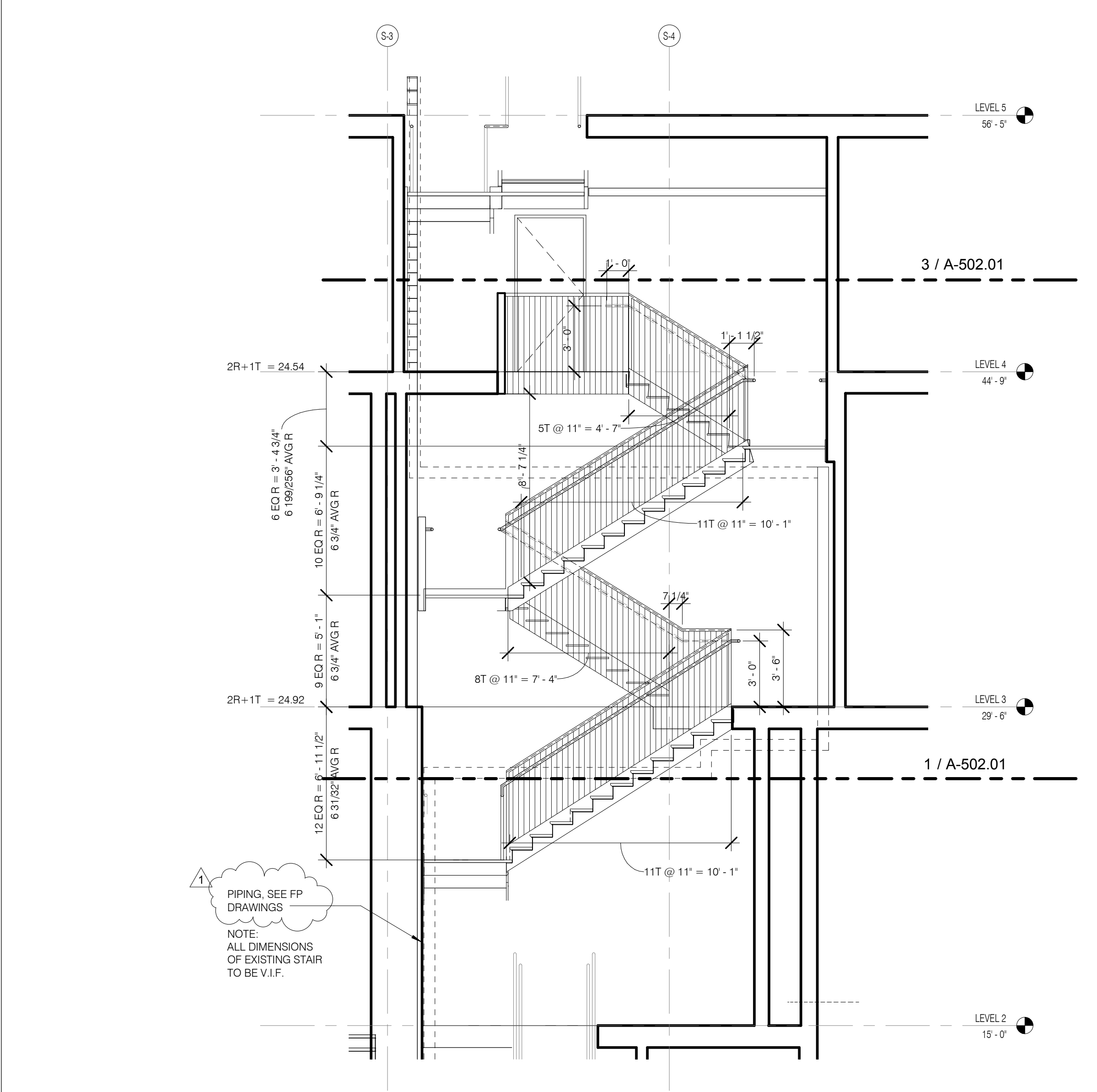
111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



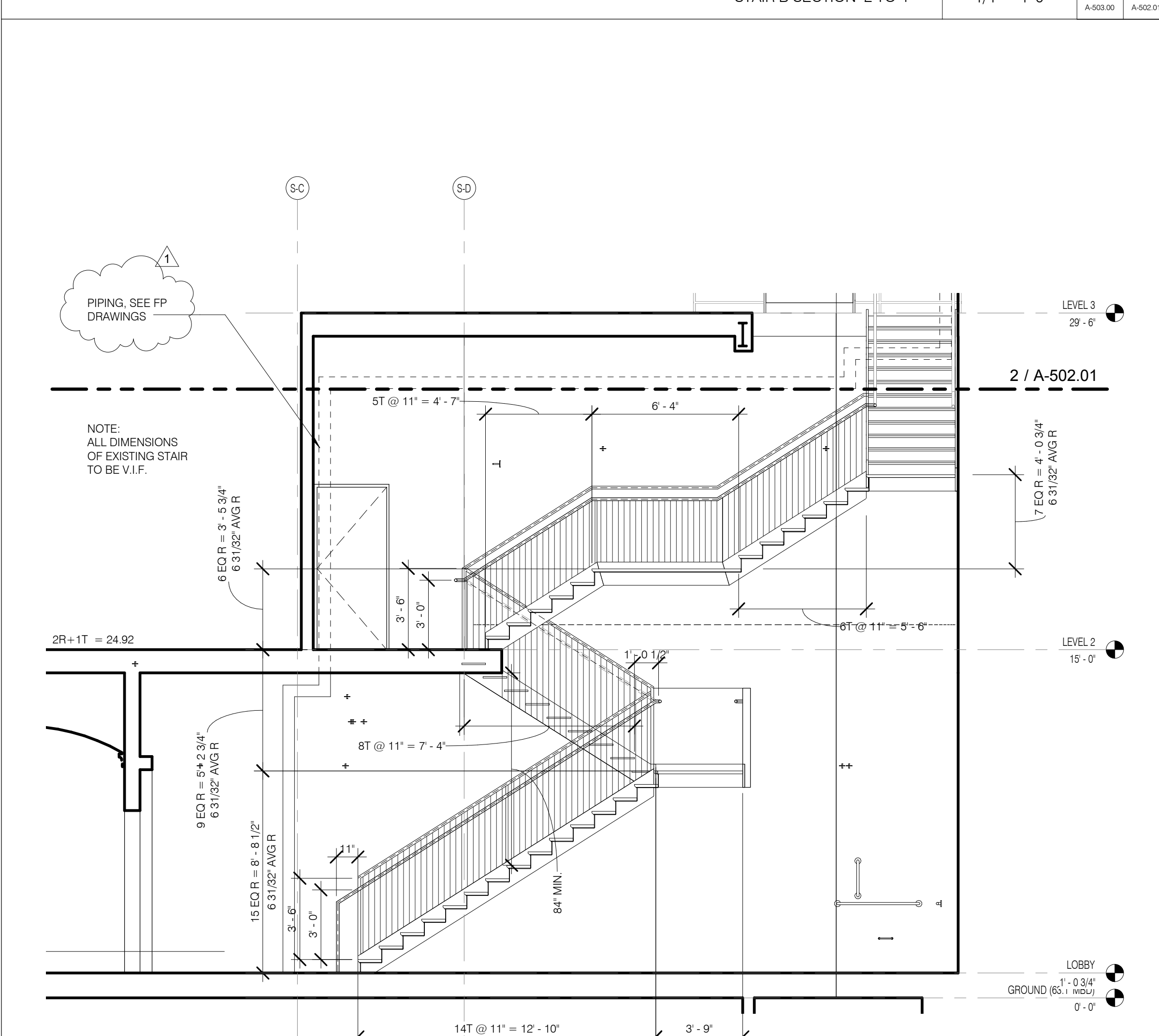
STAIR B SECTION 13 TO 16 1/4" = 1'-0" 4 A-502.01



STAIR B SECTION 5 TO 12 1/4" = 1'-0" 3 A-502.01



STAIR B SECTION 2 TO 4 1/4" = 1'-0" 2 A-502.01



STAIR B SECTION GFL TO 2 1/4" = 1'-0" 1 A-502.01

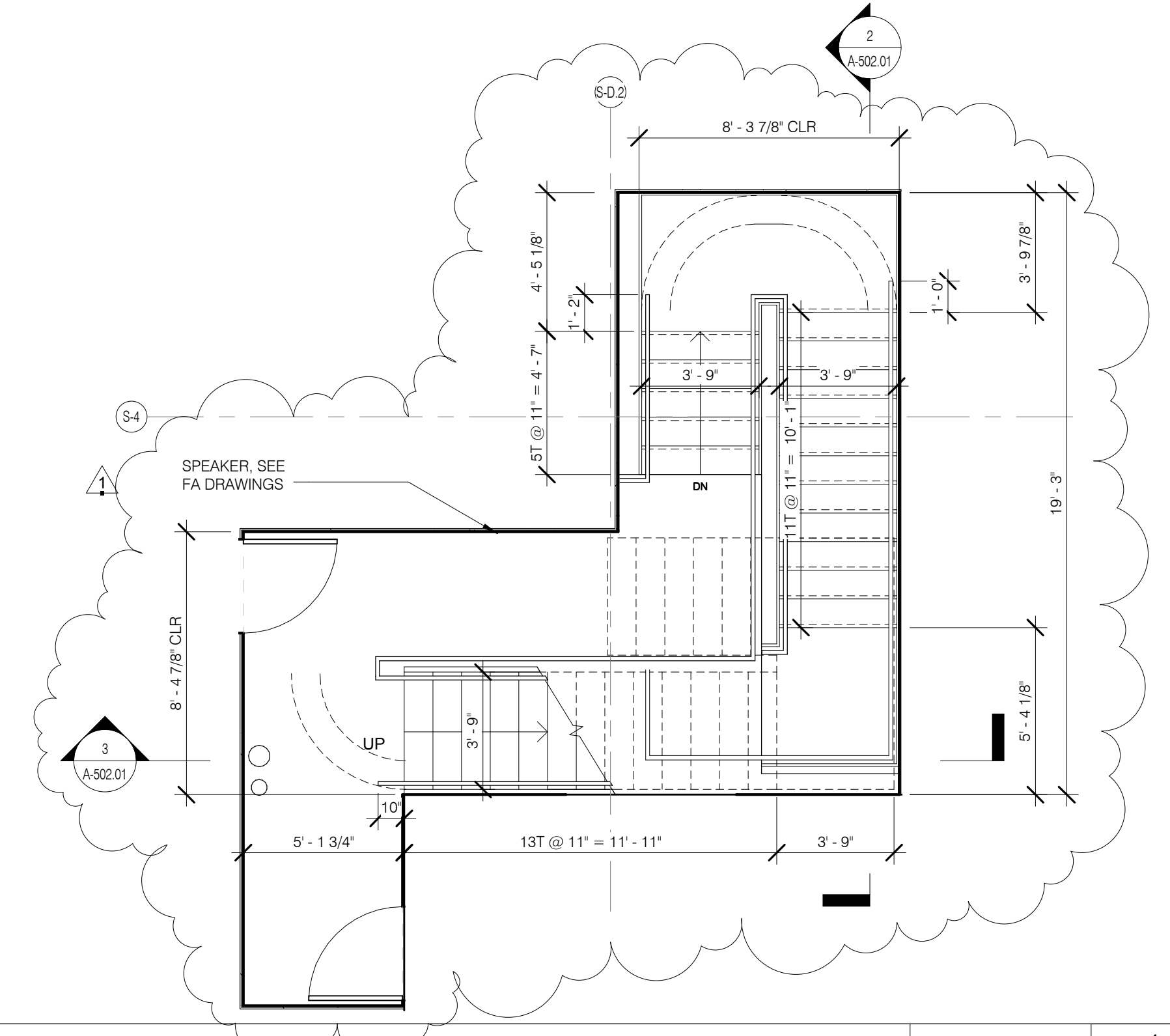
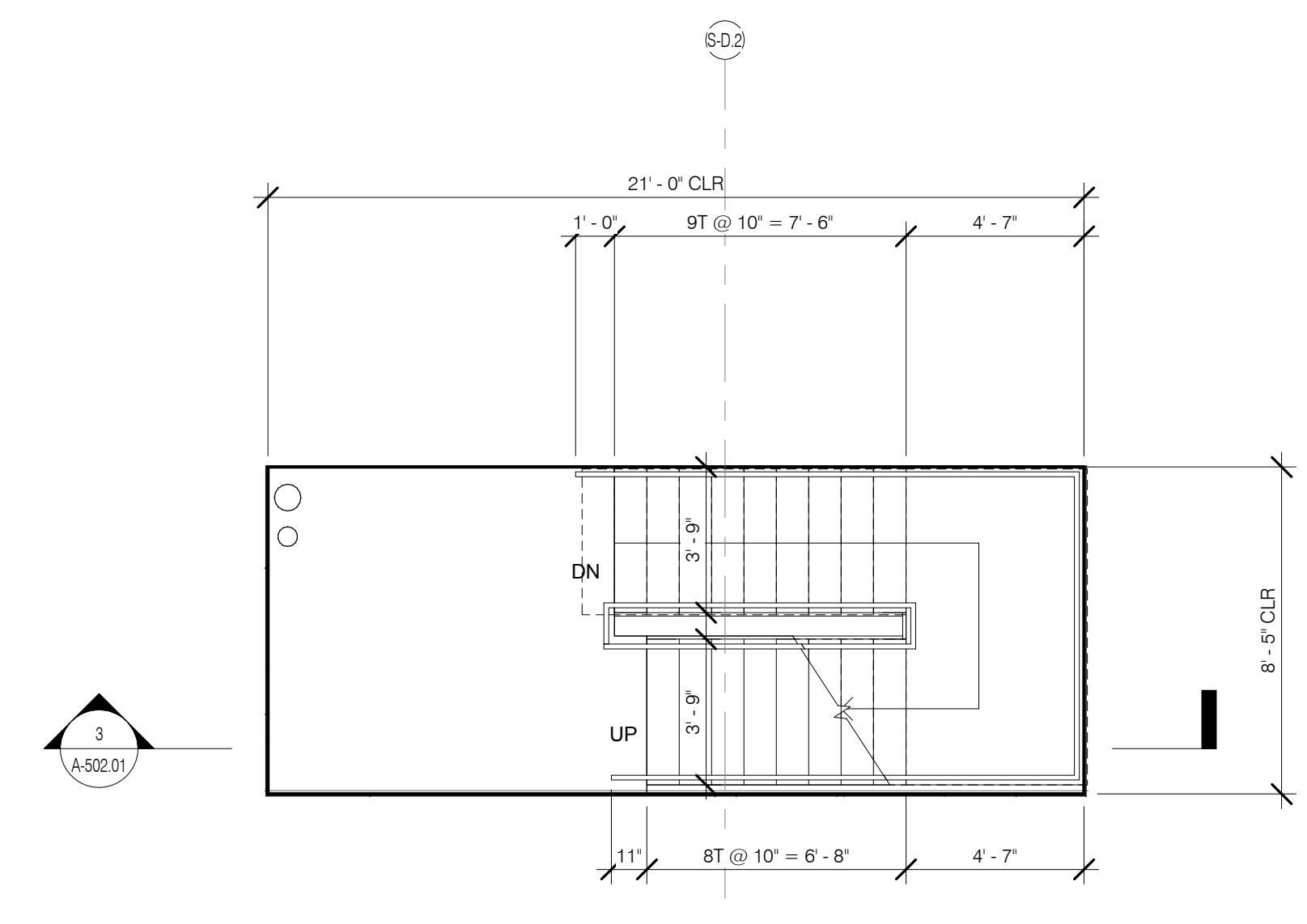
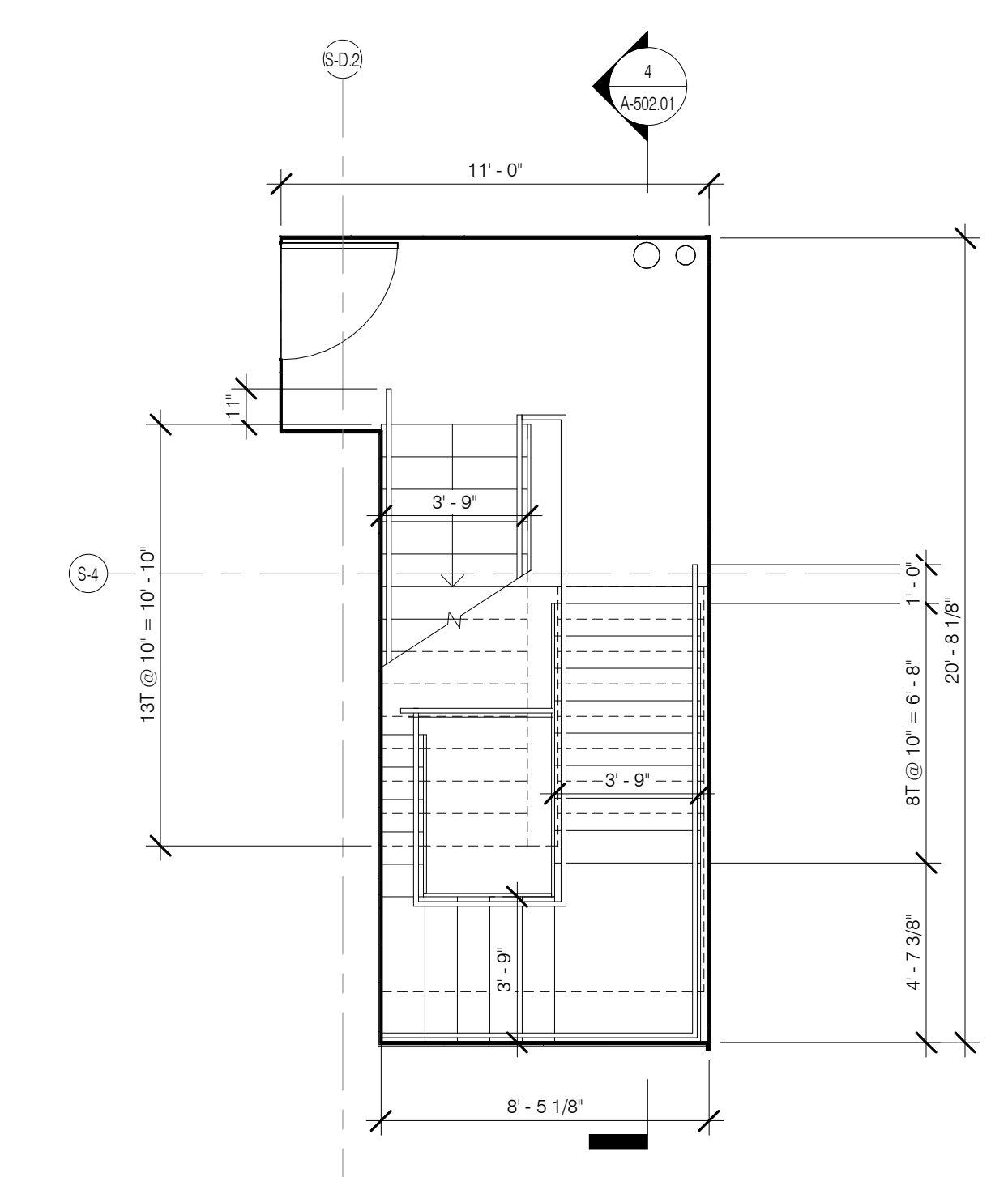
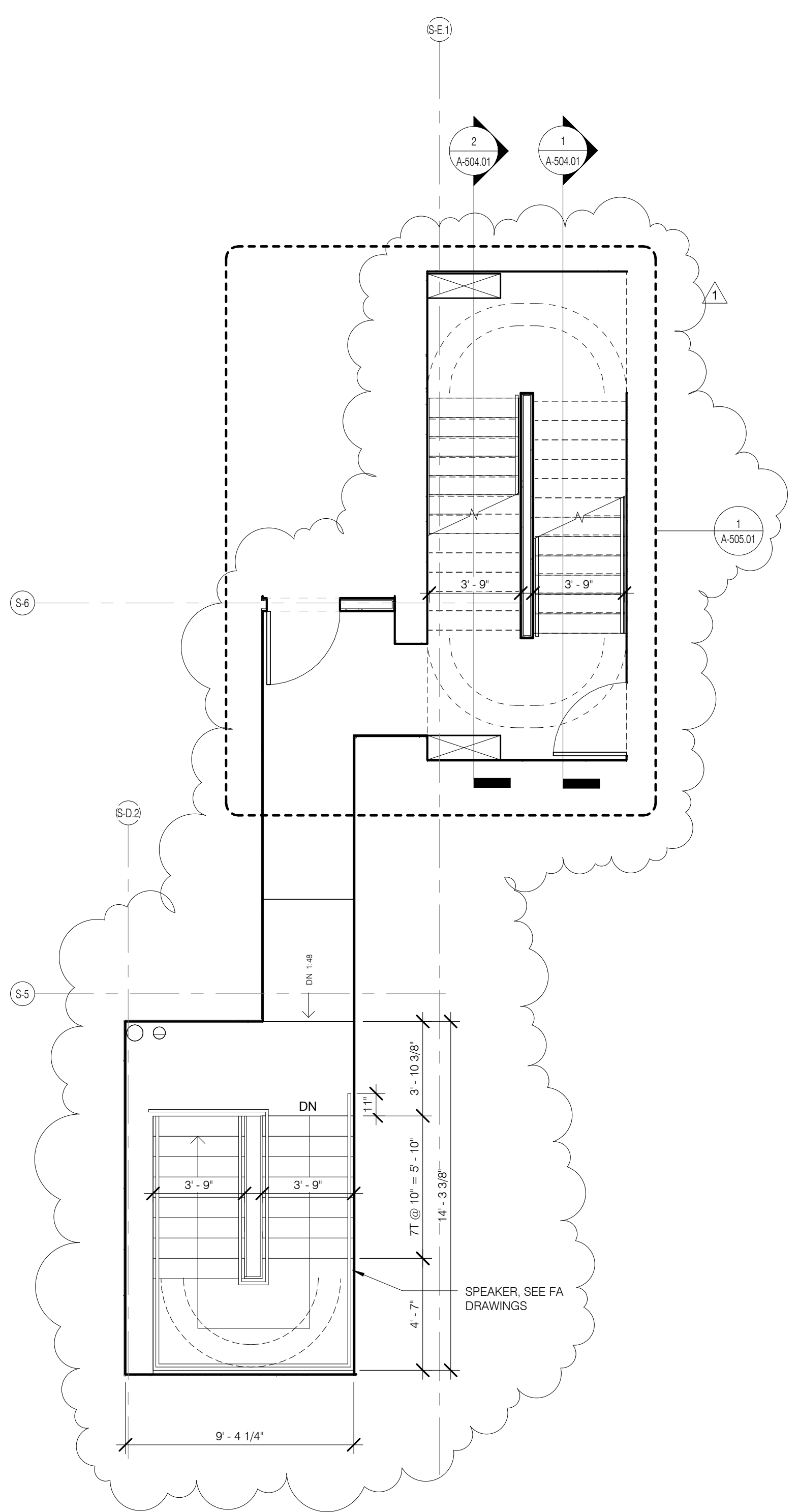
NO.	DATE	REVISION
1	3/27/15	DOB PAA

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS, P.C. ALL RIGHTS RESERVED.

DRAWING TITLE
STAIR B SECTIONS

SEAL & SIGNATURE DATE 2.20.15
PROJECT NO. 130607
DRAWN BY SHAP
CHECKED BY SHAP
DOB NO. 121332066
DRAWING NUMBER
A-502.01

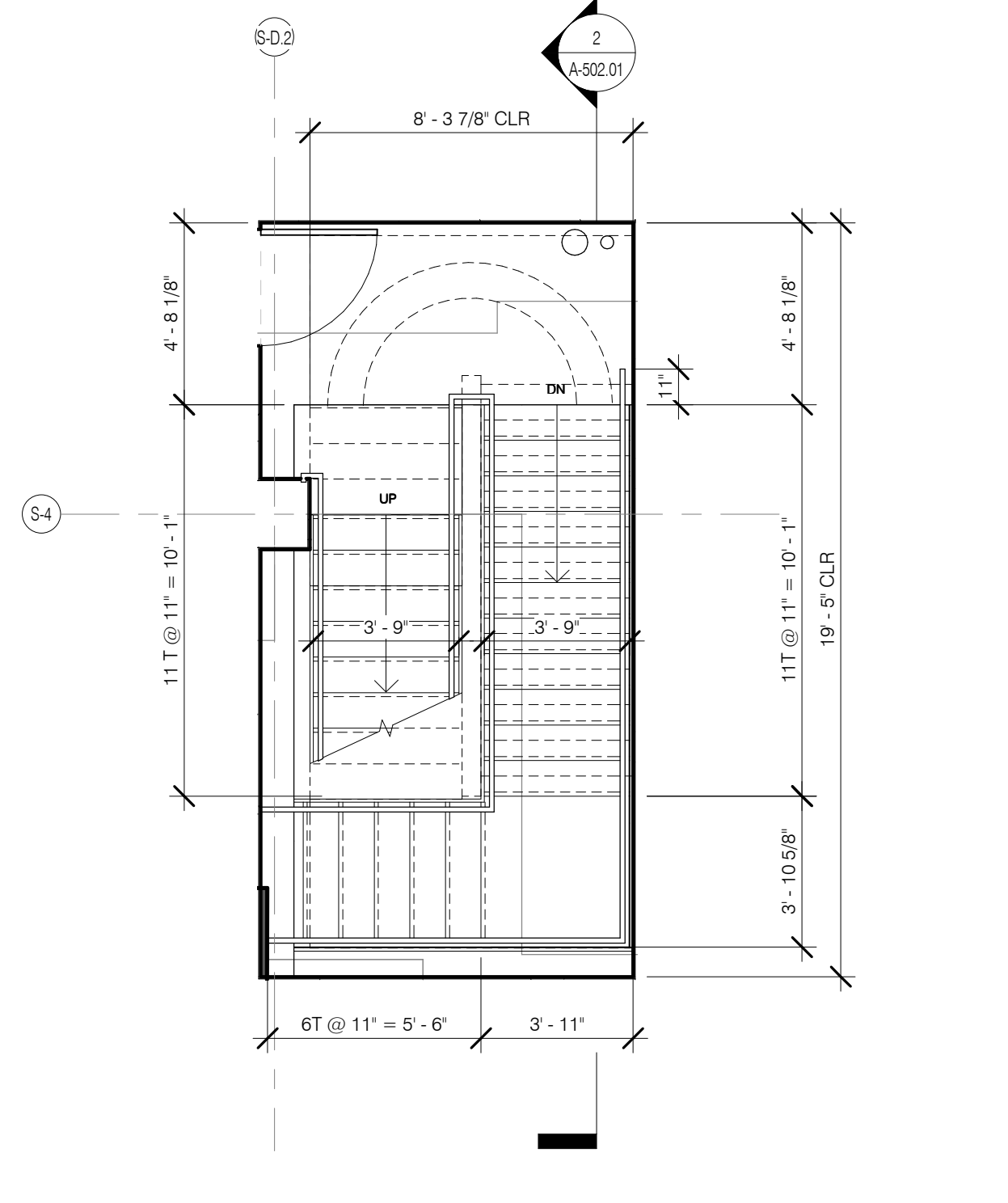
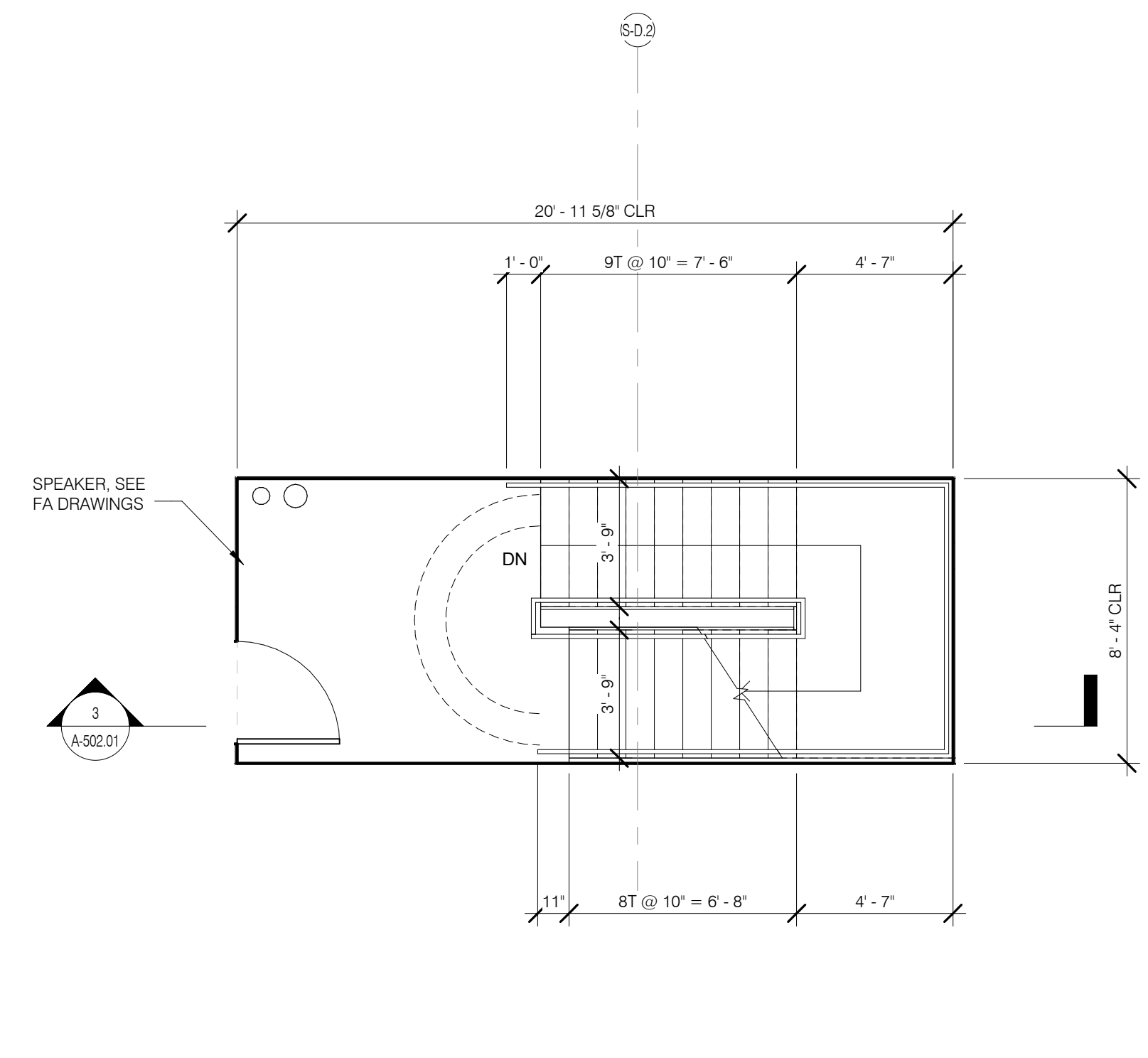
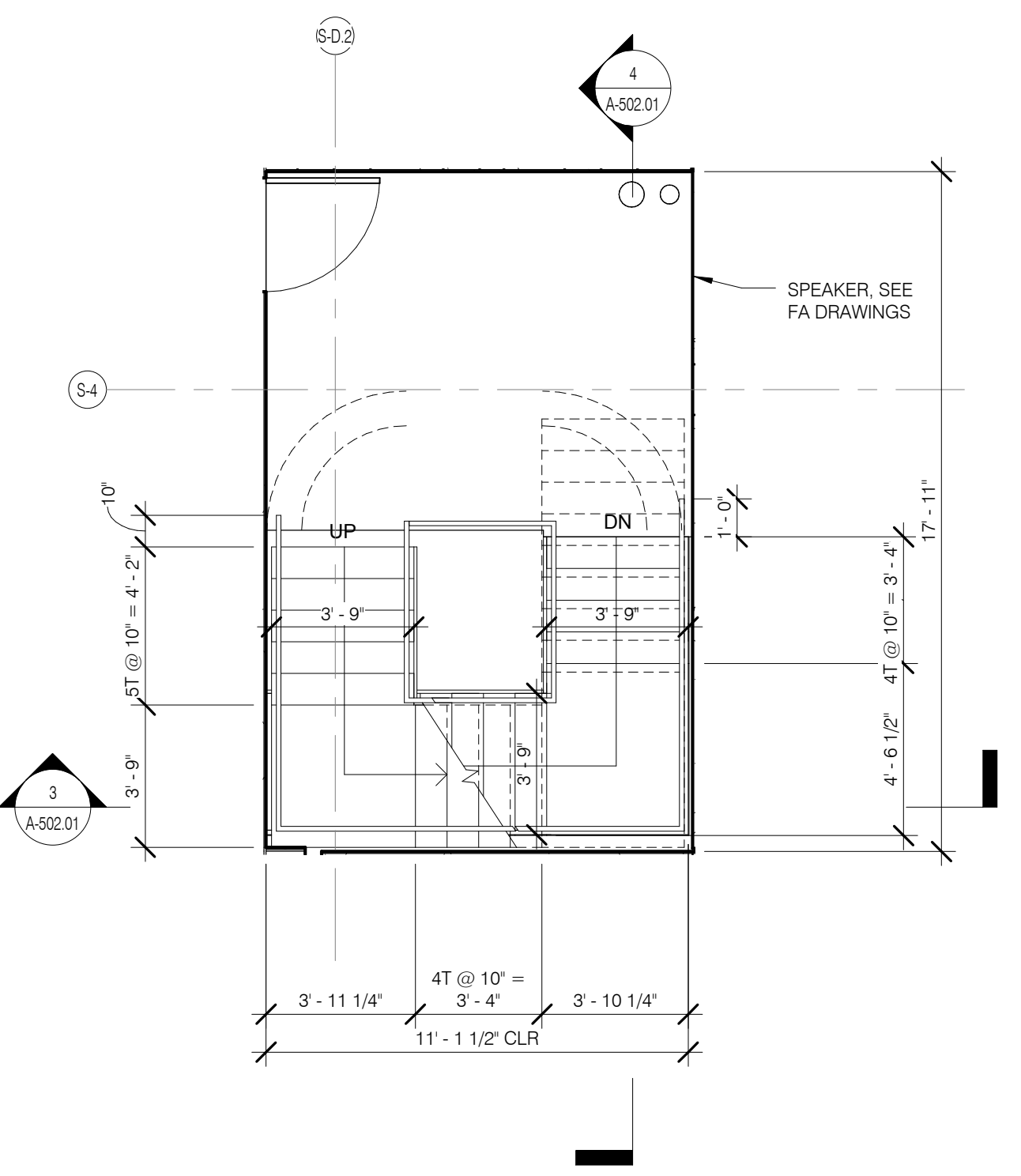




STAIR B LEVEL 14 PLAN 1/4" = 1'-0" 12 A-503.01

STAIR B LEVEL 8 PLAN 1/4" = 1'-0" 8 A-503.01

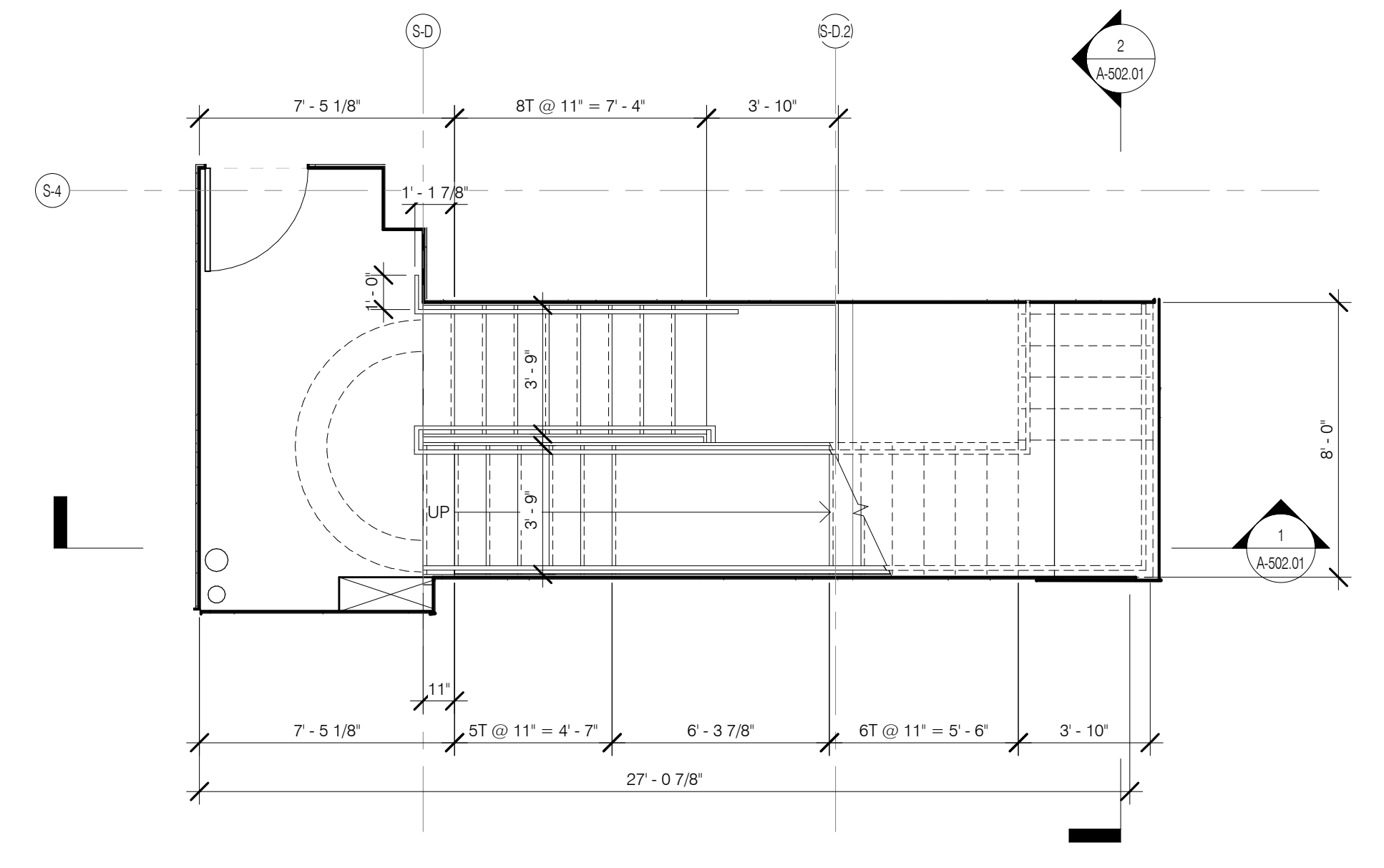
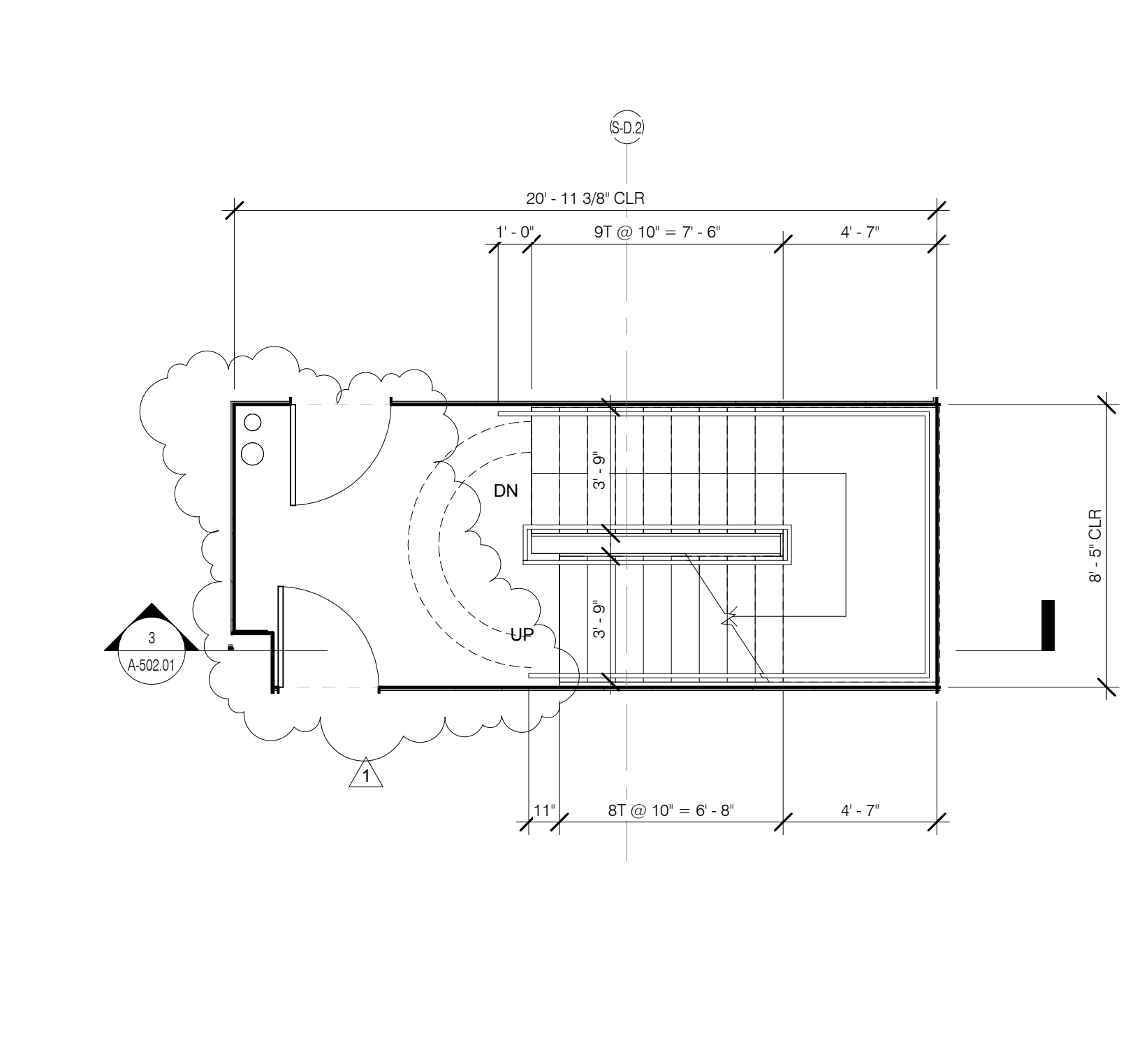
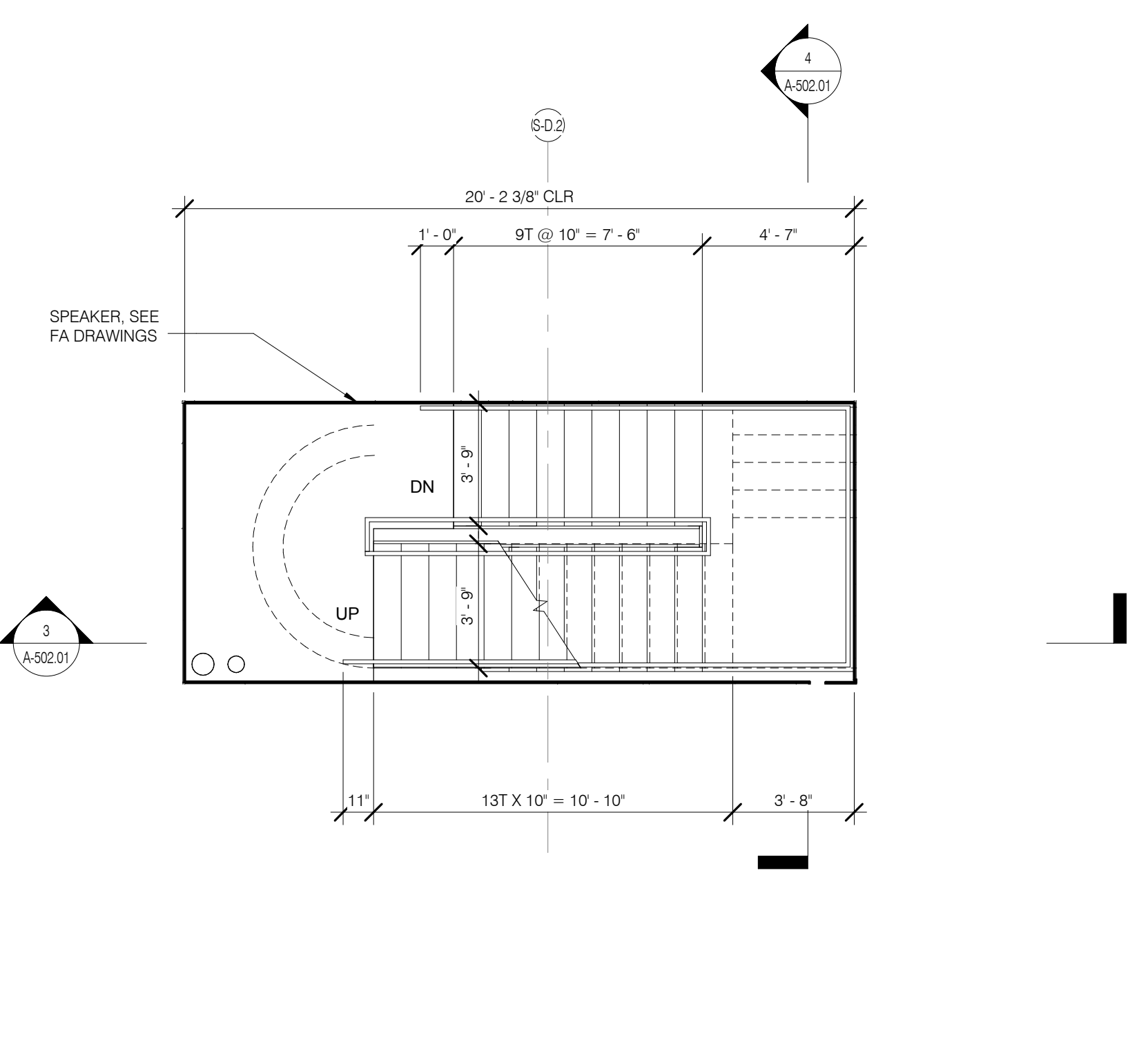
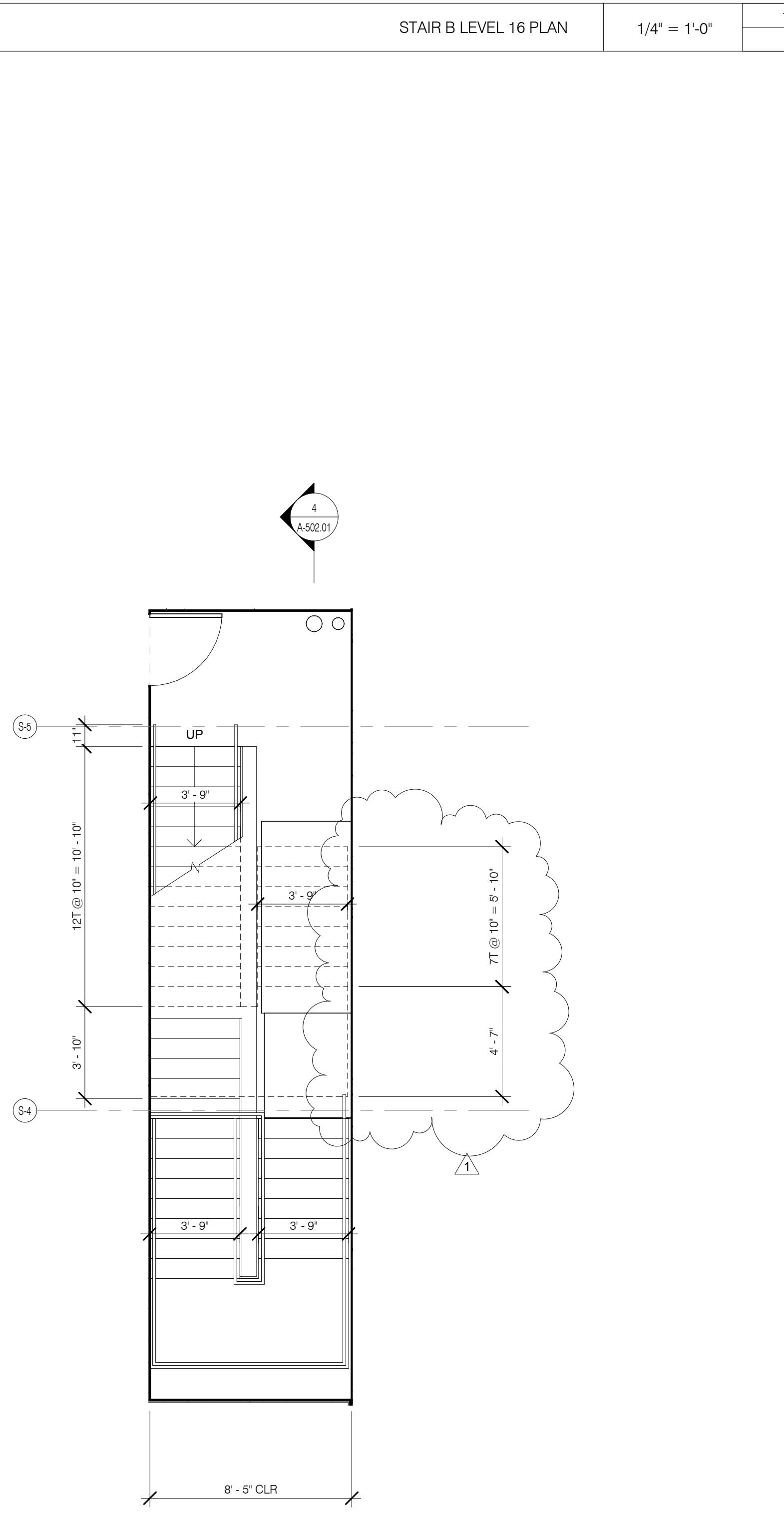
STAIR B LEVEL 4 PLAN 1/4" = 1'-0" 4 A-503.01



STAIR B LEVEL 13 PLAN 1/4" = 1'-0" 11 A-503.01

STAIR B LEVEL 7 PLAN 1/4" = 1'-0" 7 A-503.01

STAIR B LEVEL 3 PLAN 1/4" = 1'-0" 3 A-503.01

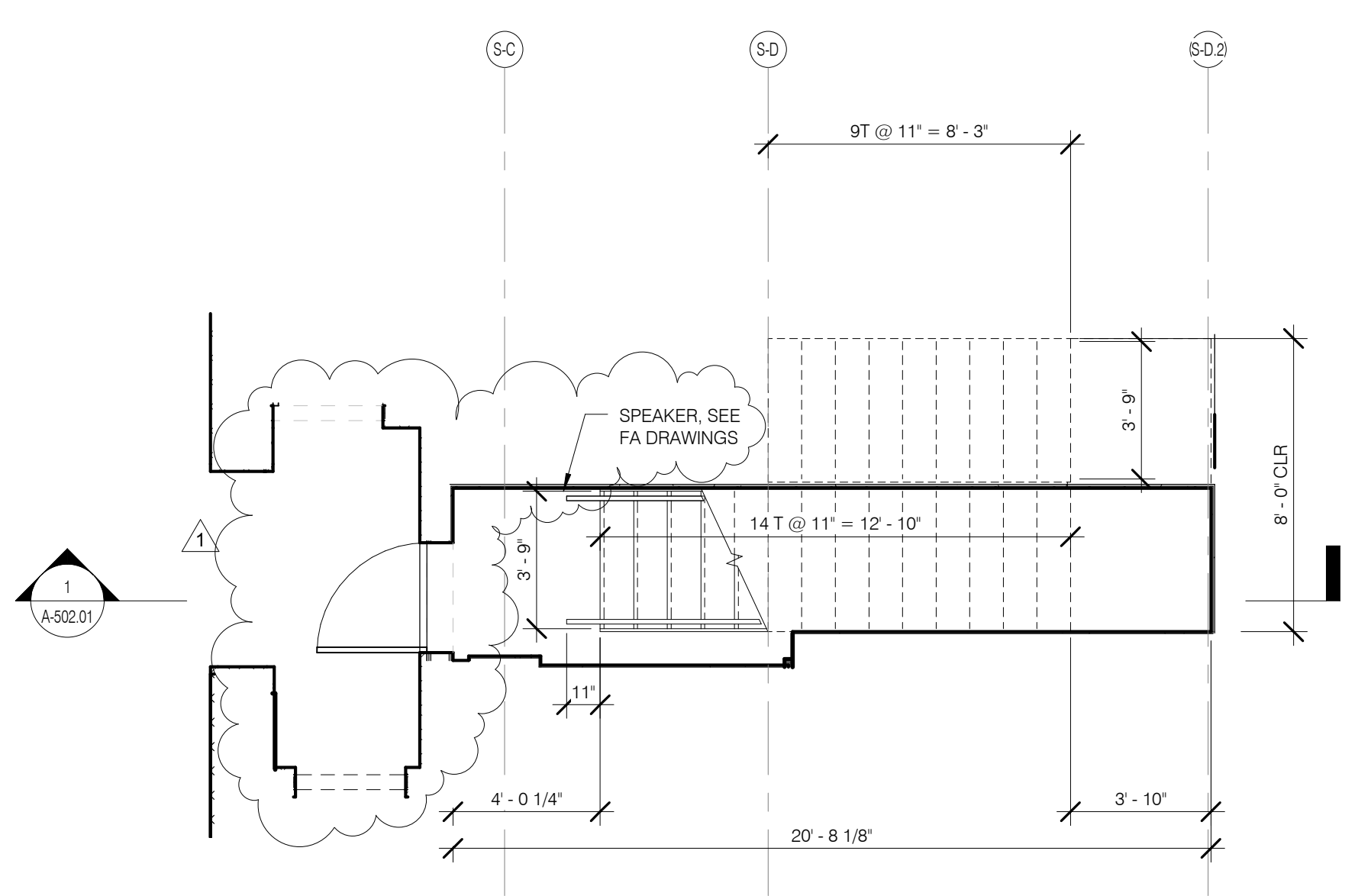
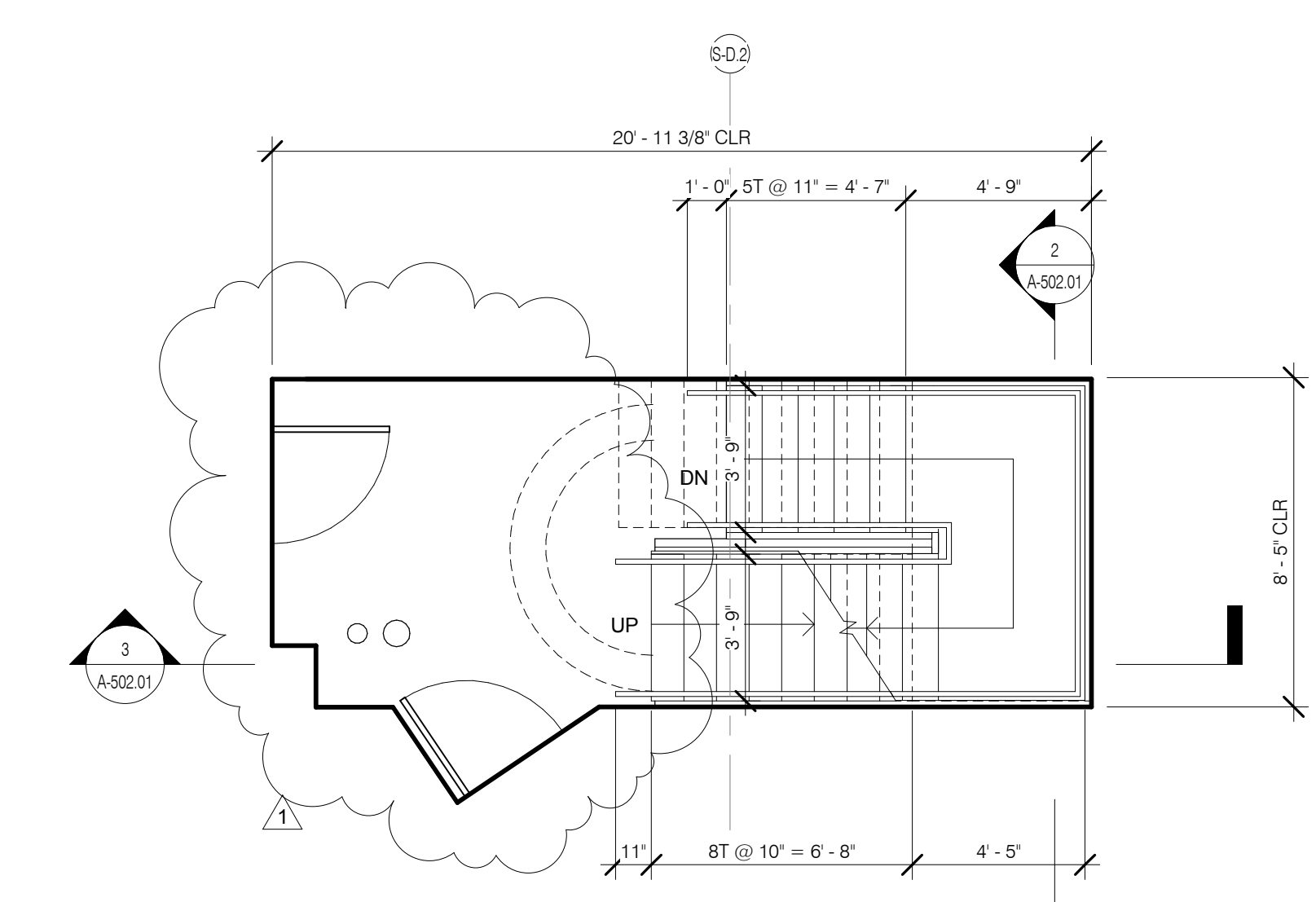
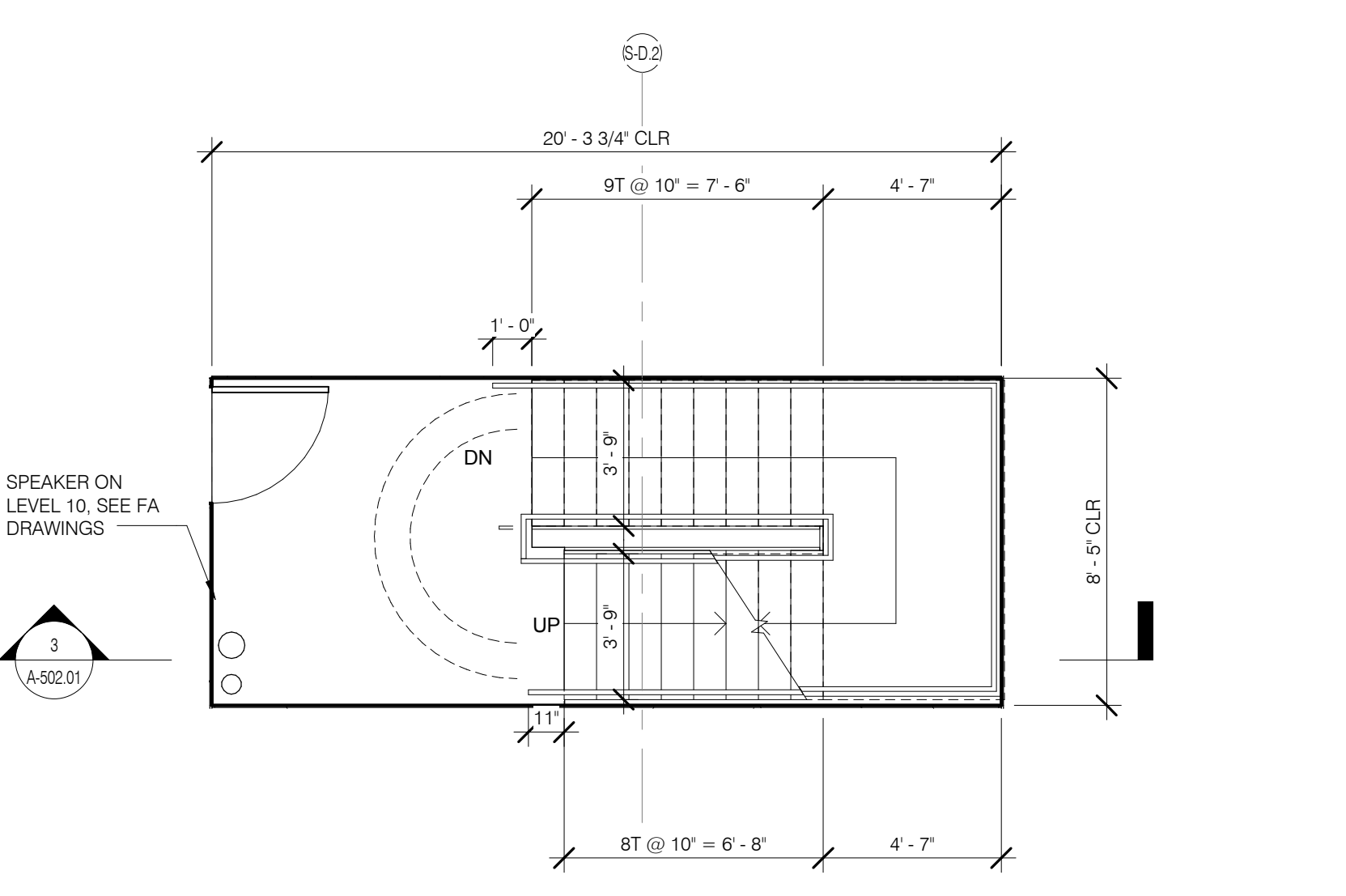


STAIR B LEVEL 16 PLAN 1/4" = 1'-0" 14 A-503.01

STAIR B LEVEL 12 PLAN 1/4" = 1'-0" 10 A-503.01

STAIR B LEVEL 6 PLAN 1/4" = 1'-0" 6 A-503.01

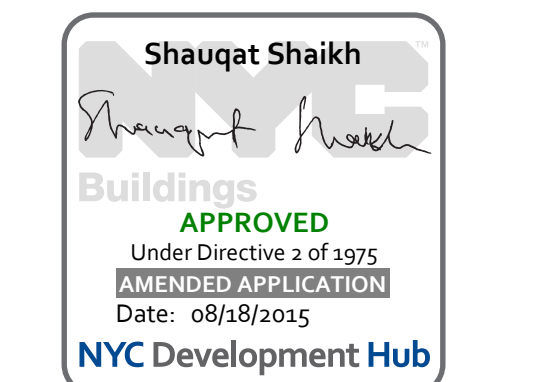
STAIR B LEVEL 2 PLAN 1/4" = 1'-0" 2 A-503.01



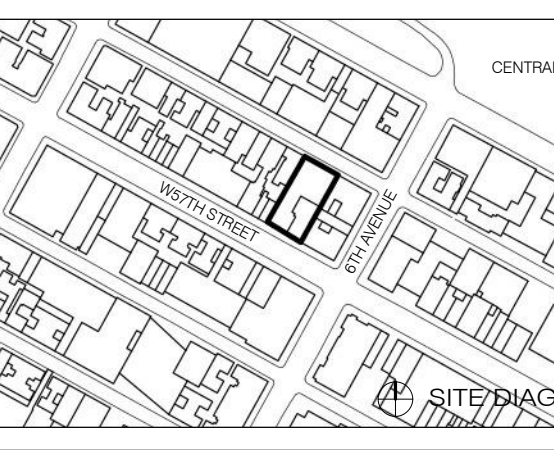
STAIR B LEVEL 11 PLAN 1/4" = 1'-0" 9 A-503.01

STAIR B LEVEL 5 PLAN 1/4" = 1'-0" 5 A-503.01

STAIR B GROUND PLAN 1/4" = 1'-0" 1 A-503.01



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB FILING SET

NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHIP ARCHITECTS P.C. ALL RIGHTS RESERVED.

DRAWING TITLE

STAIR B ENLARGED PLANS

SEAL & SIGNATURE DATE 2.20.15

PROJECT NO. 130907

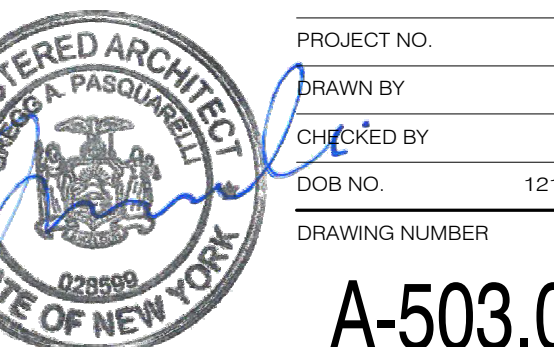
DRAWN BY SHIP

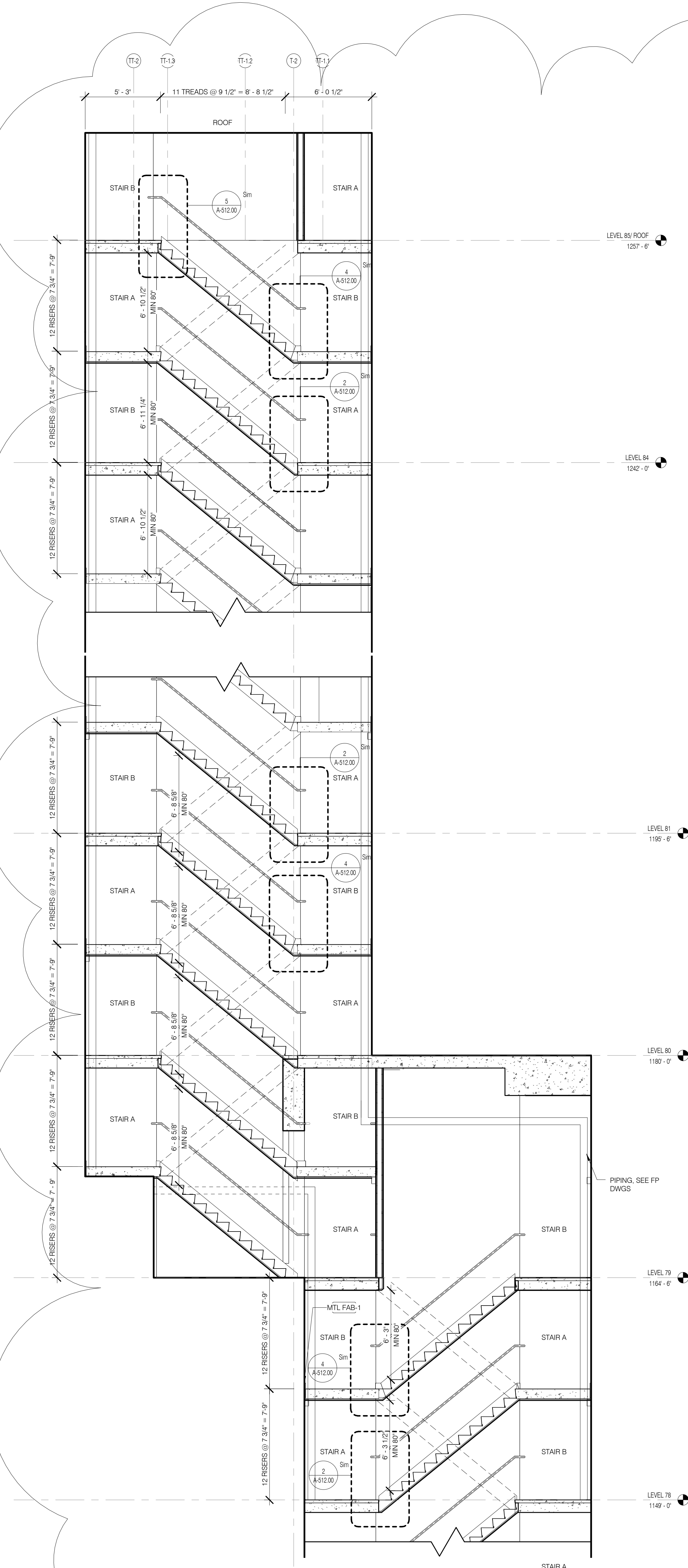
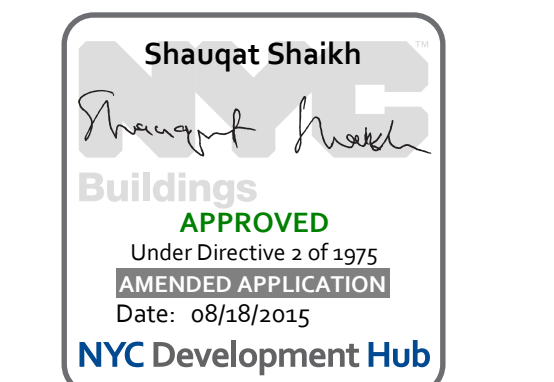
CHECKED BY SHIP

DOB NO. 121302068

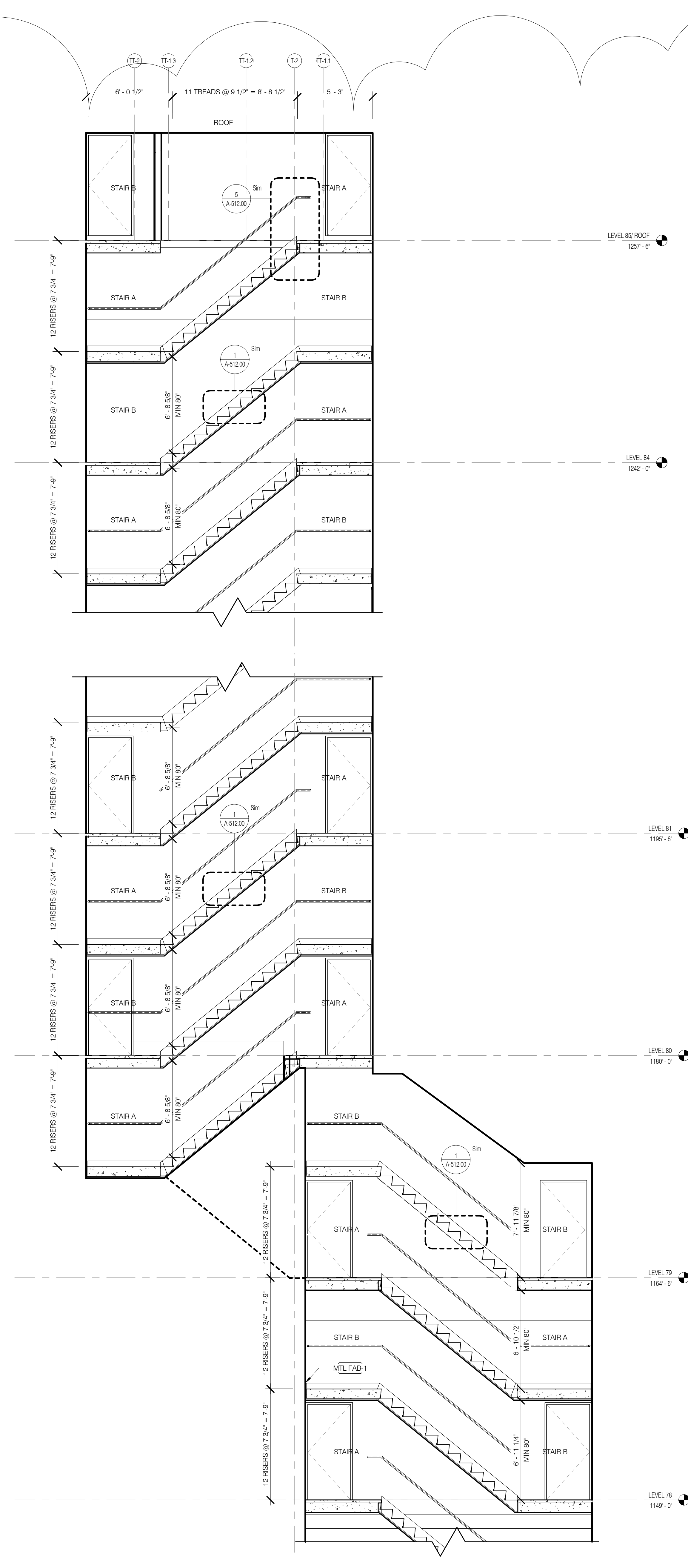
DRAWING NUMBER

A-503.01

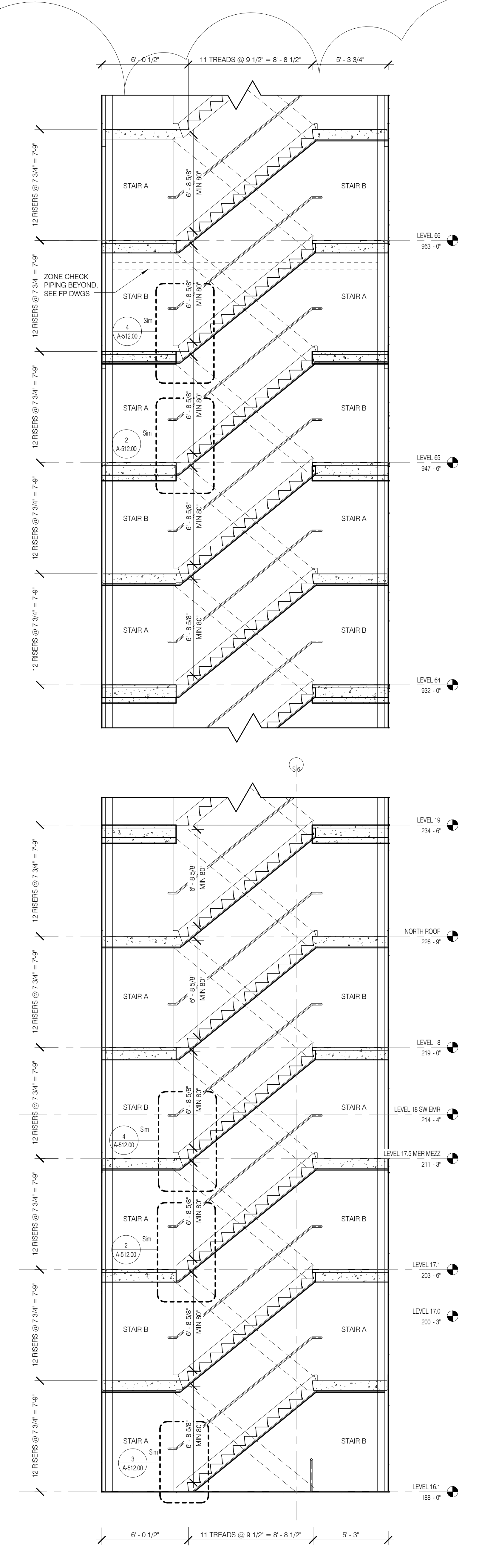




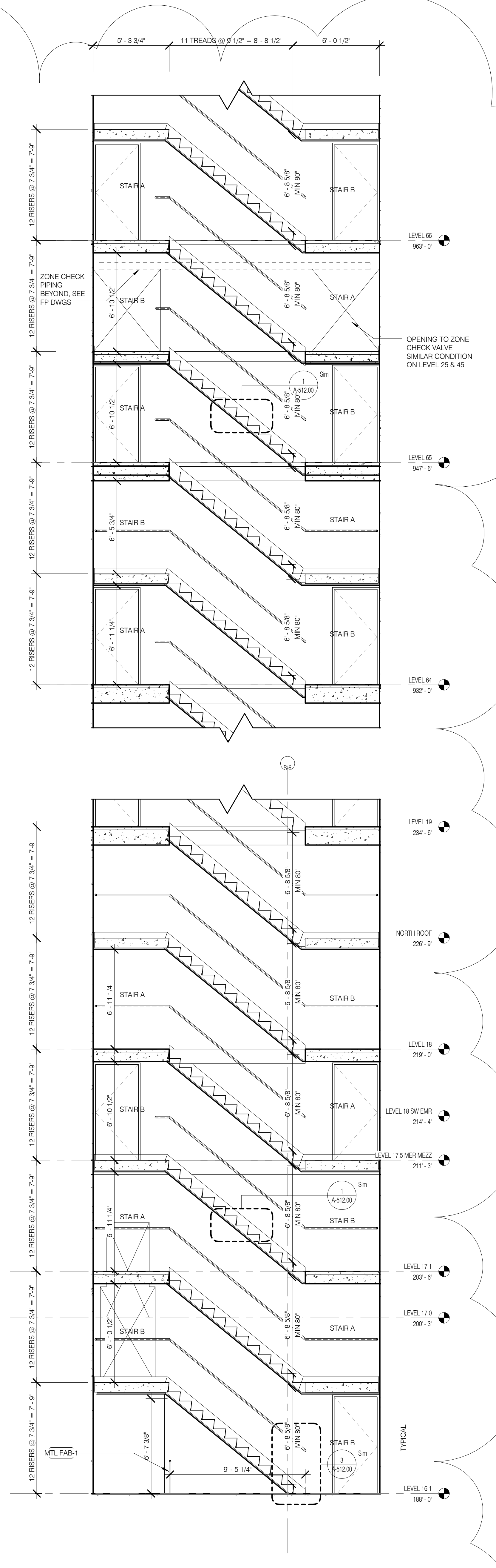
TOWER STAIR SECTION - 2B - LEVEL 77 - ROOF 1/4" = 1'-0" 4



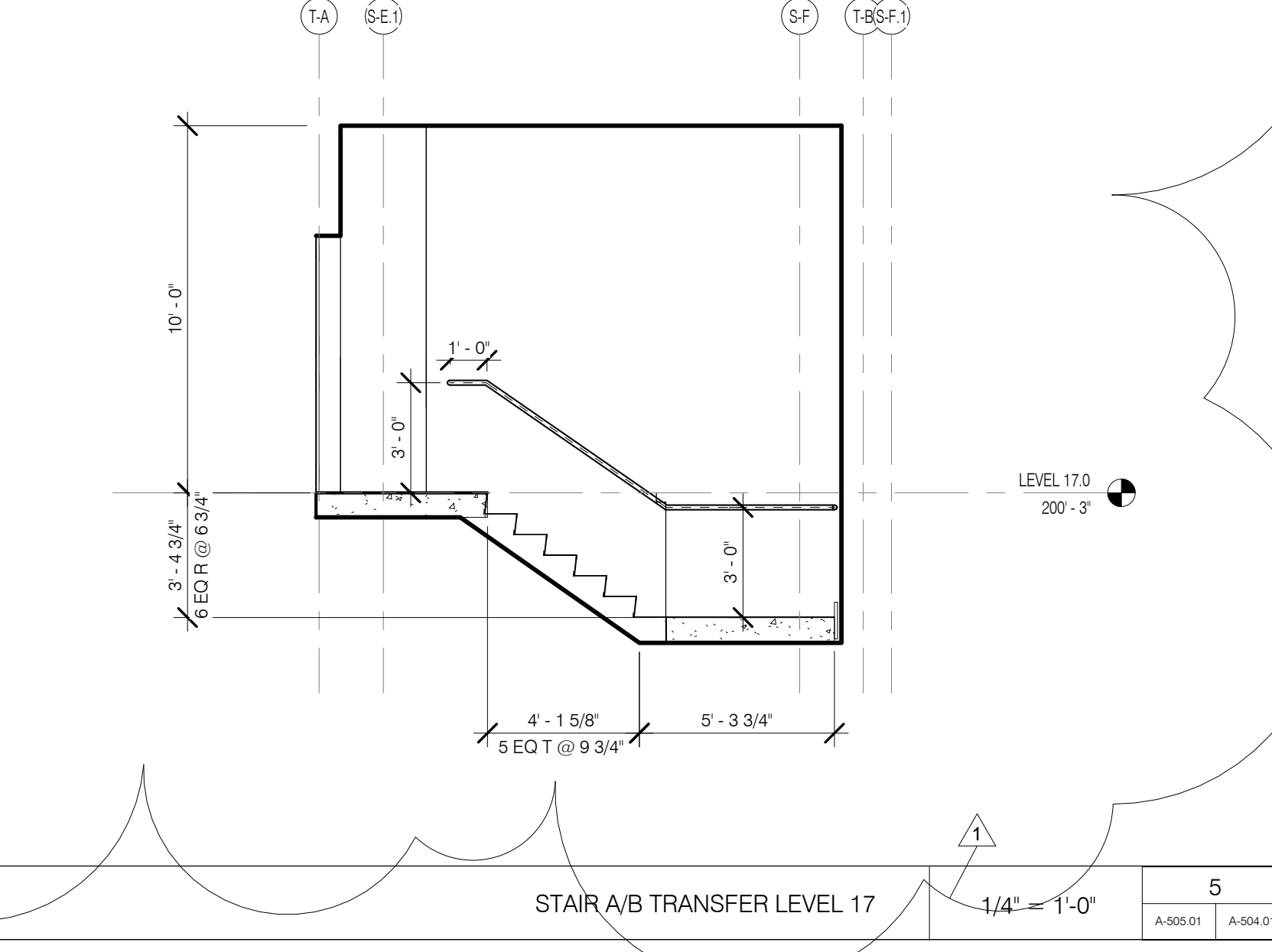
TOWER STAIR SECTION - 2A - LEVEL 77 - ROOF 1/4" = 1'-0" 3



TOWER STAIR SECTION - 1B - LEVEL 16 - 66 1/4" = 1'-0" 2



TOWER STAIR SECTION - 1A - LEVEL 16 - 66 1/4" = 1'-0" 1



STAIR A/B TRANSFER LEVEL 17 1/4" = 1'-0" 5

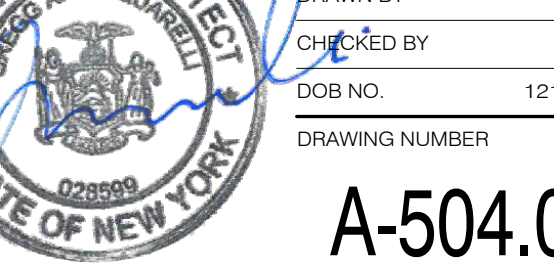
NO.	DATE	REVISION
1	3.27.15	DOB PAA
2	5.1.14	DOB FILING SET

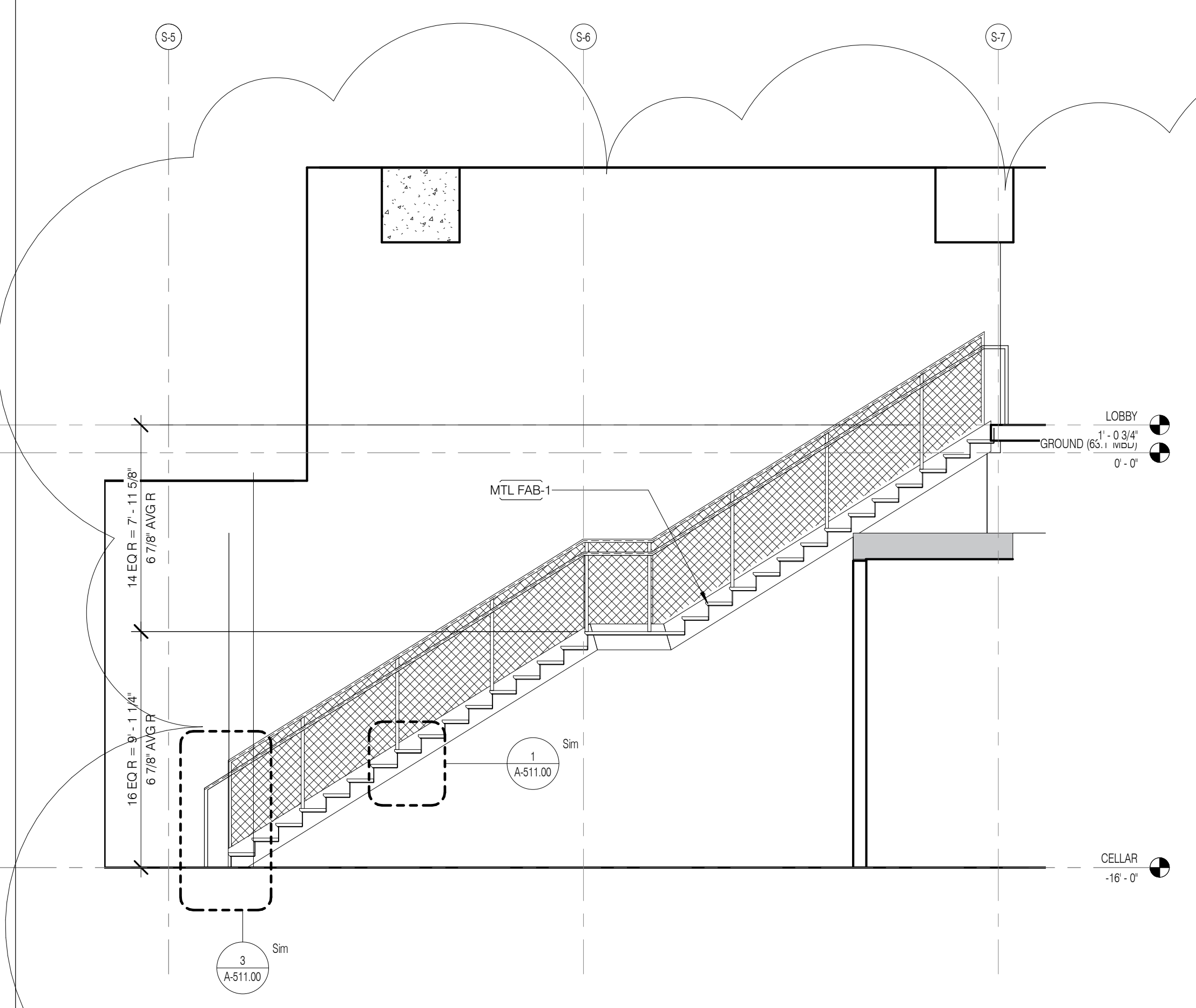
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS, P.C.

COPYRIGHT © 2015 SHAP ARCHITECTS, P.C. ALL RIGHTS RESERVED.

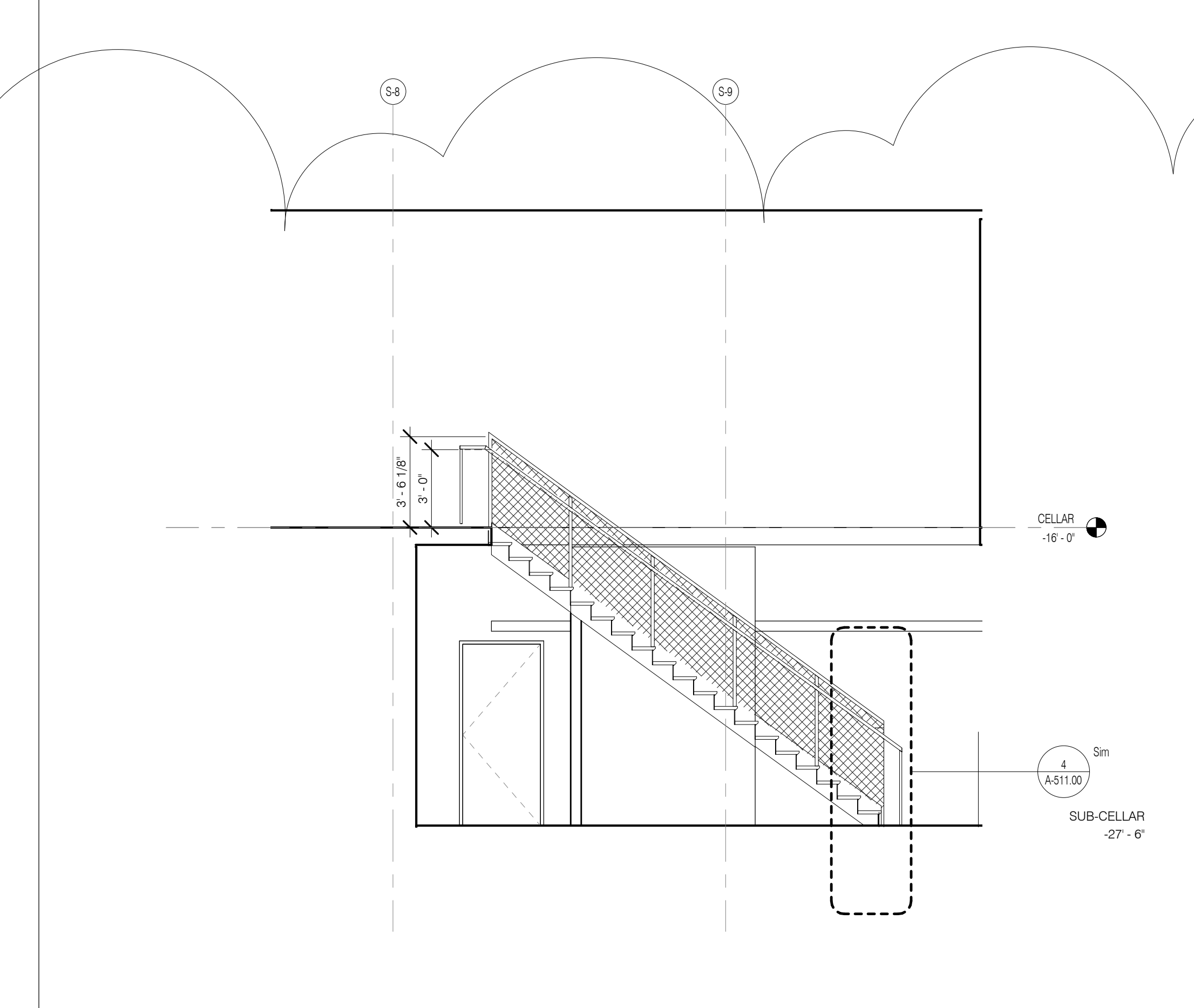
DRAWING TITLE
STAIR A/B TOWER SECTIONS

SEAL & SIGNATURE DATE 3.27.15
PROJECT NO. 130907
DRAWN BY SHAP
CHECKED BY SHAP
DATE 5.1.14
DRAWN NO. 121820368
DRAWING NUMBER

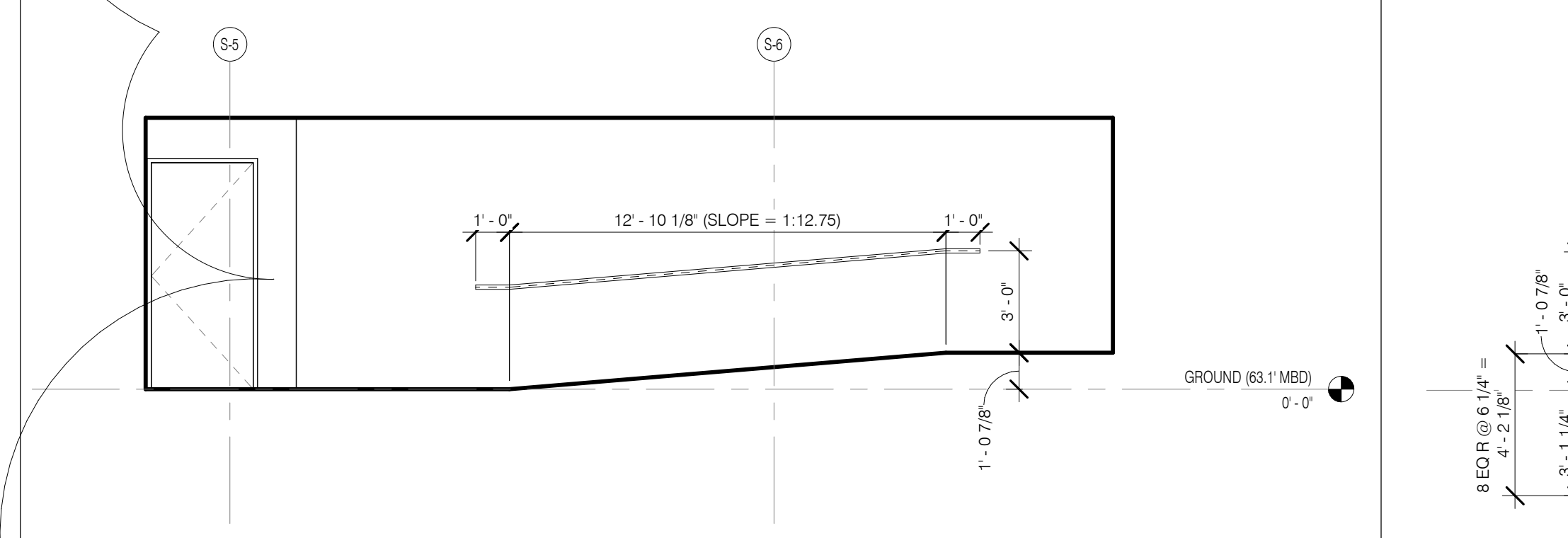




STAIR D - SECTION 2 1/4" = 1'-0" 10



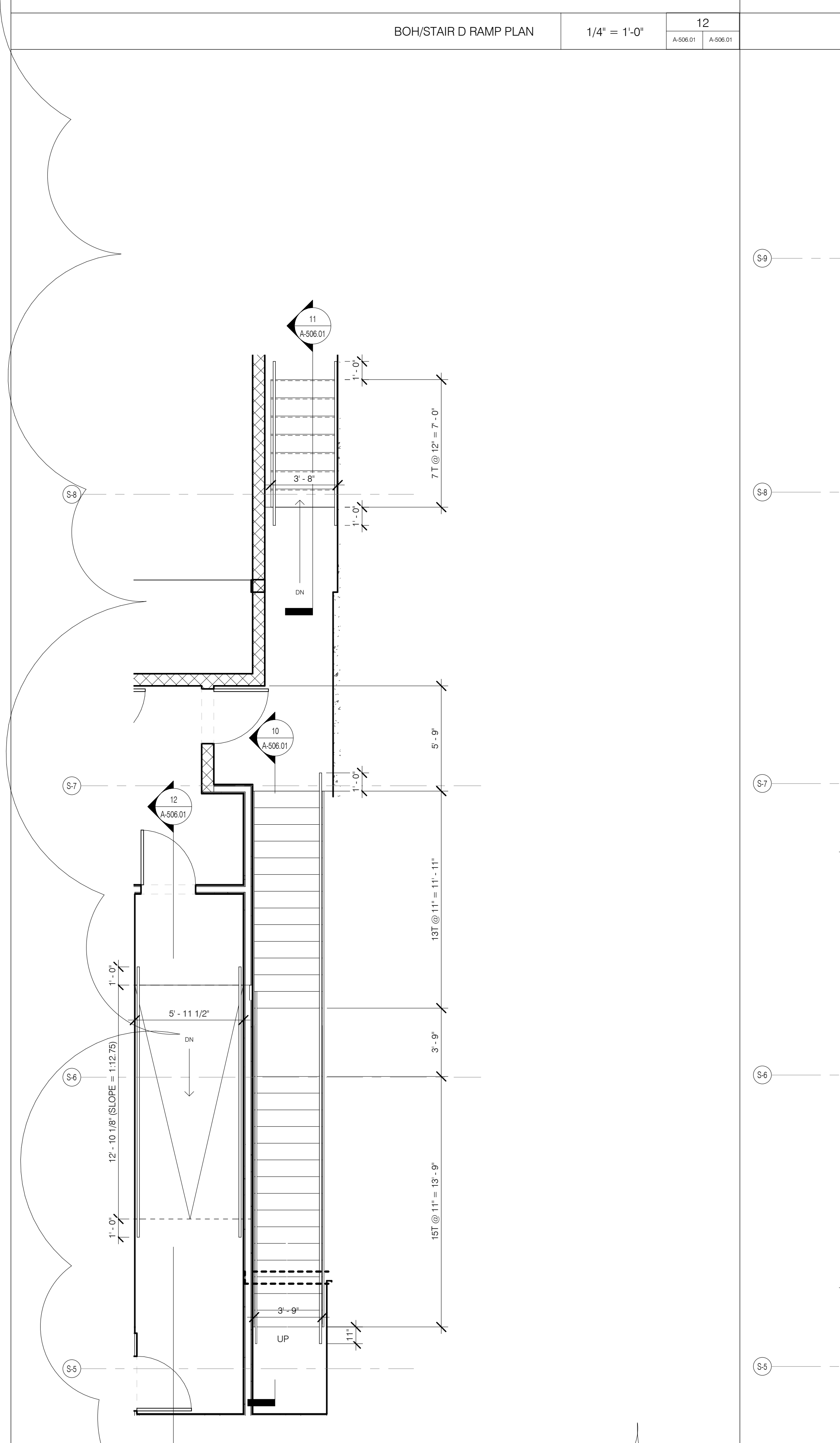
STAIR D - SECTION 1 1/4" = 1'-0" 9



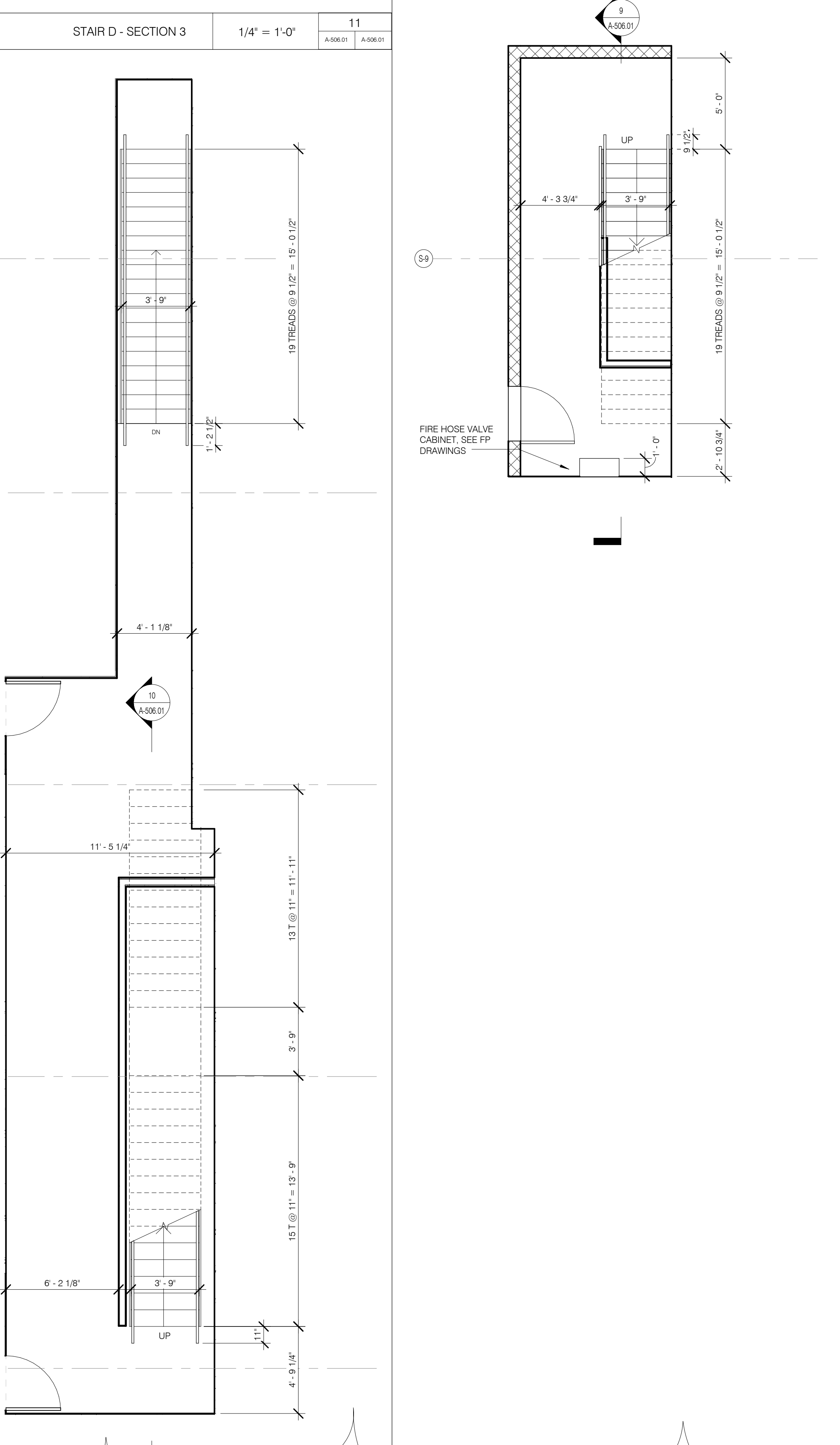
BOH/STAIR D RAMP PLAN 1/4" = 1'-0" 12



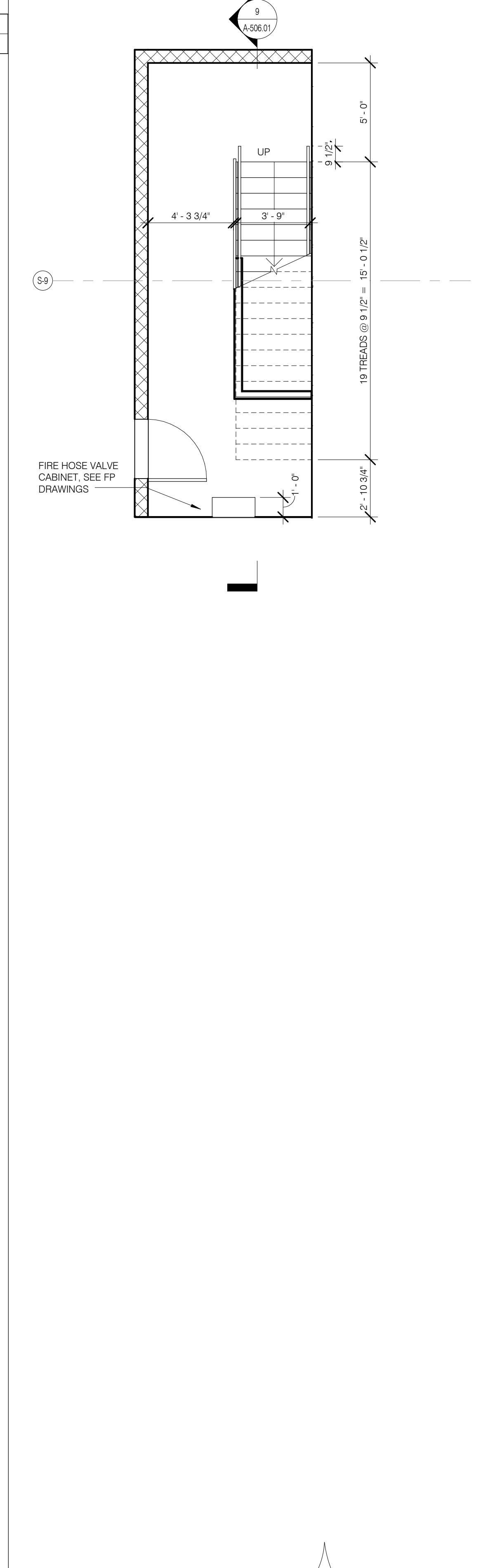
STAIR D - SECTION 3 1/4" = 1'-0" 11



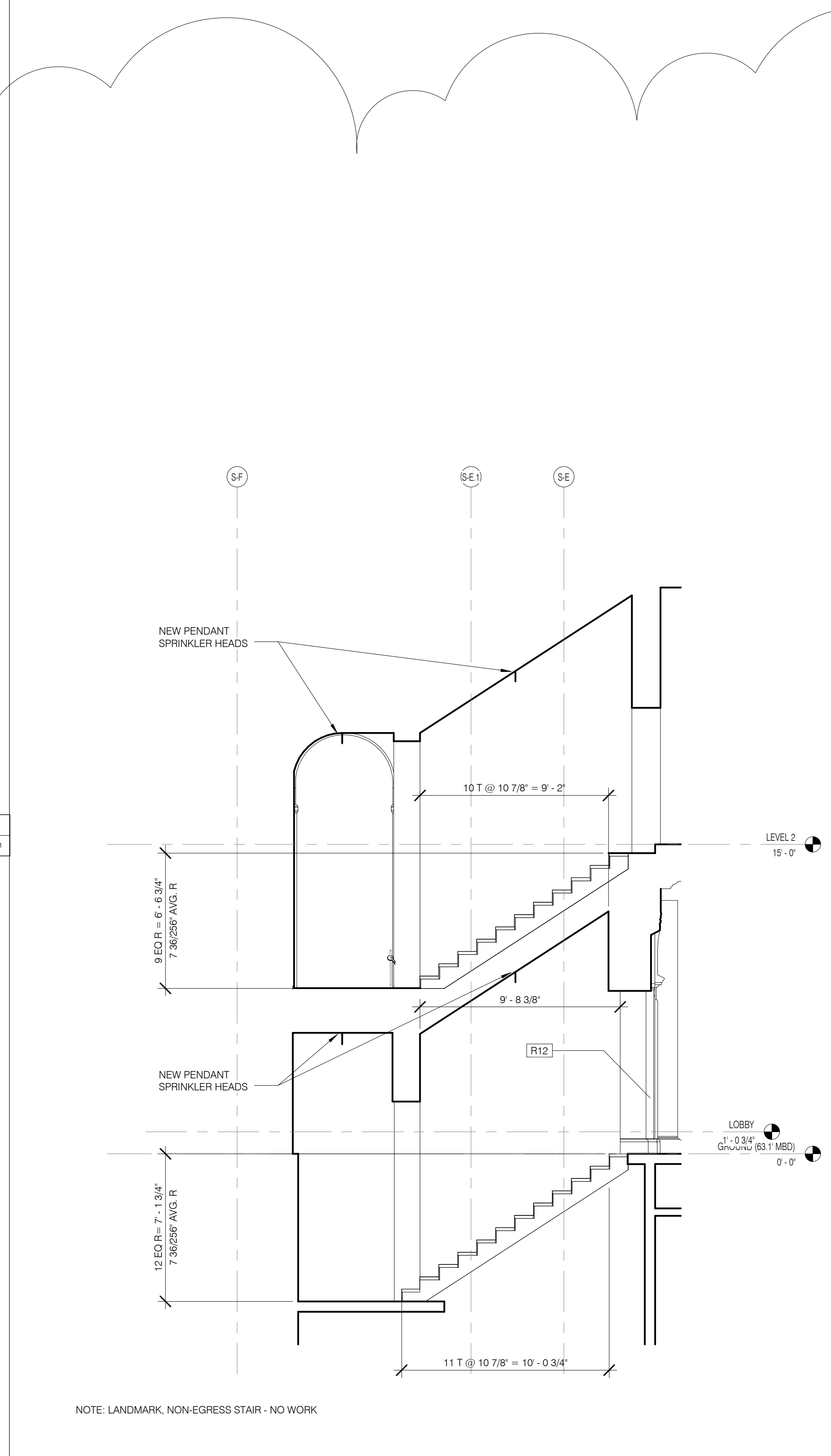
STAIR D GROUND PLAN 1/4" = 1'-0" 8



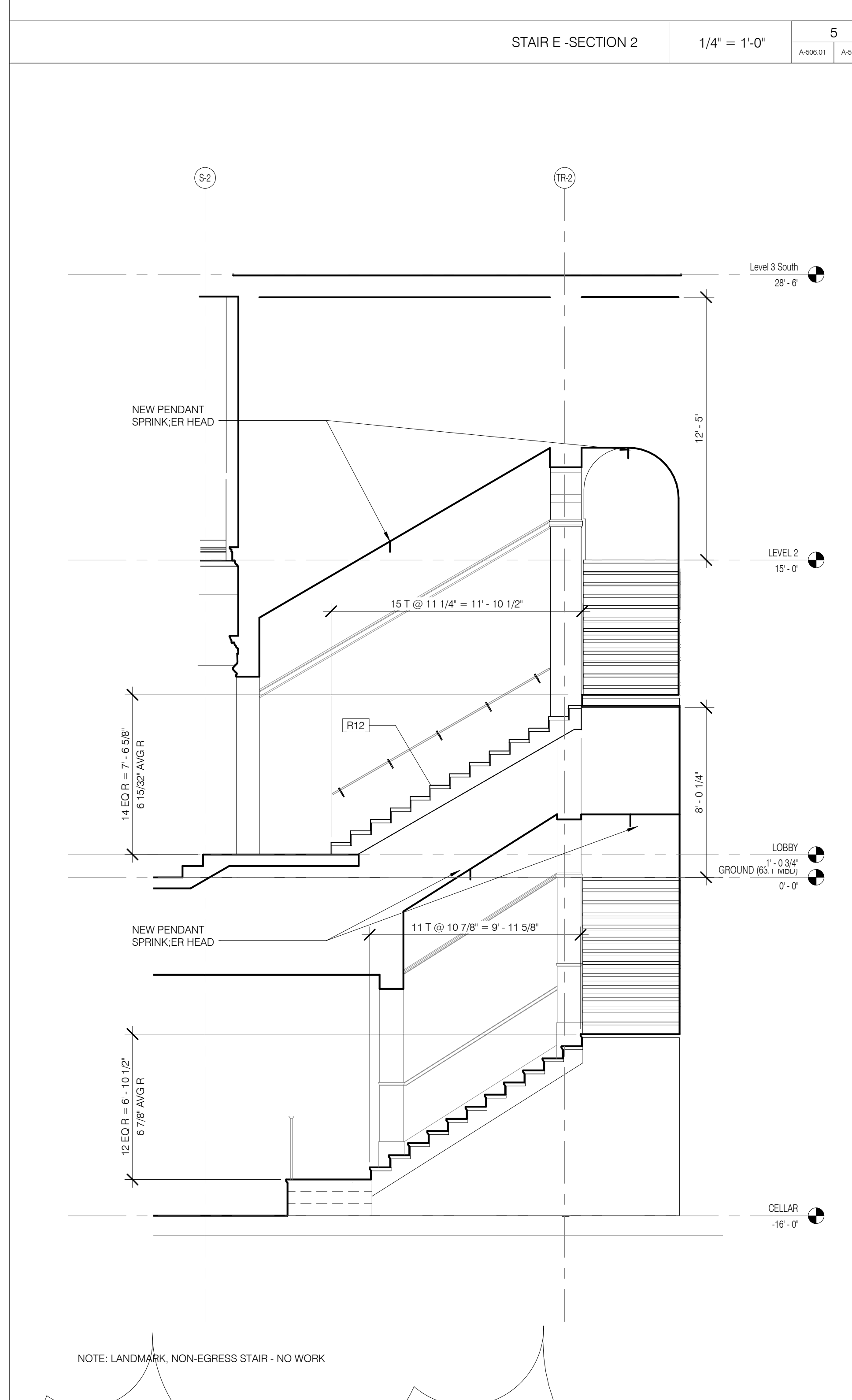
STAIR D CELLAR PLAN 1/4" = 1'-0" 7



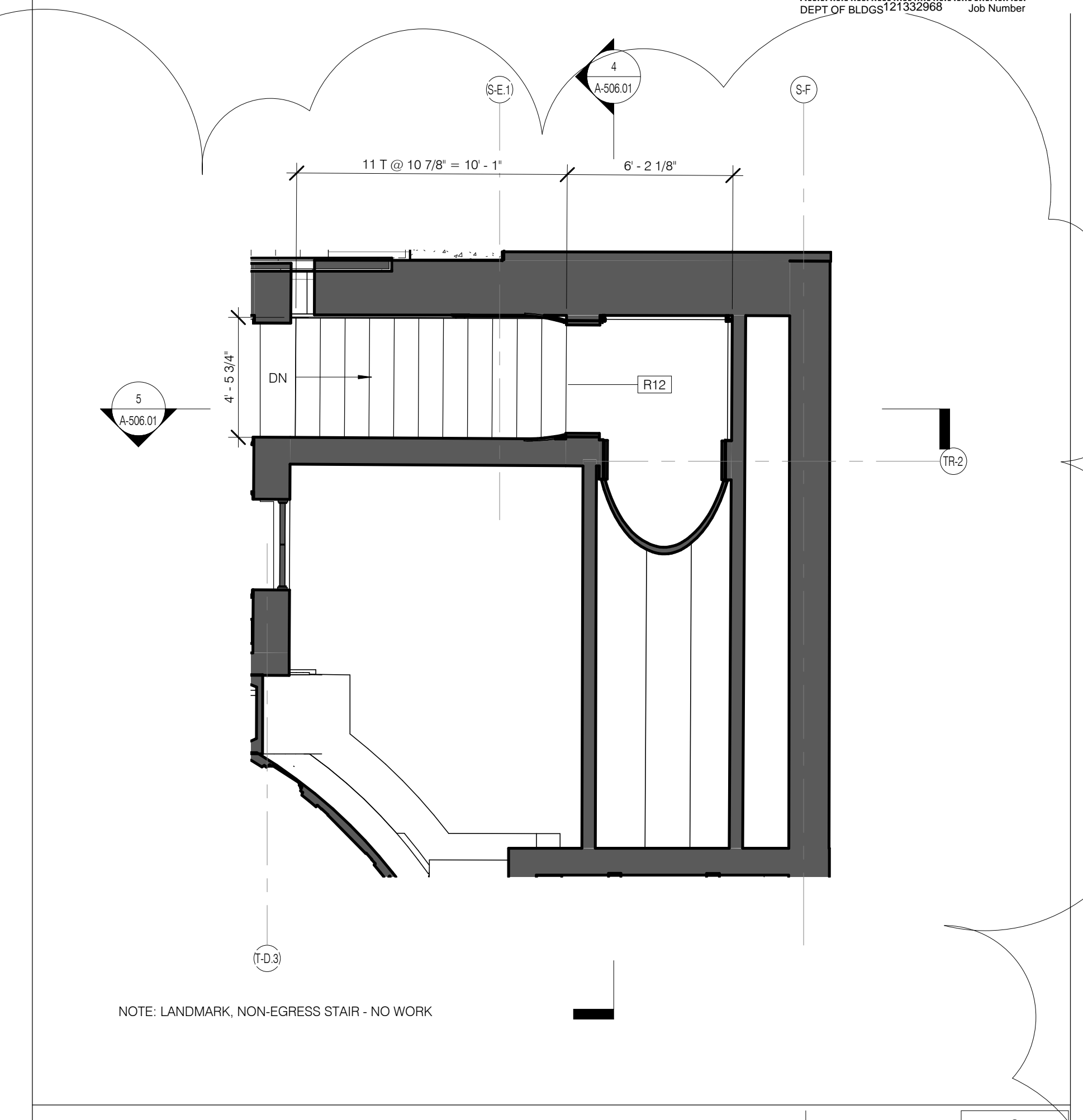
STAIR D SUB-CELLAR PLAN 1/4" = 1'-0" 6



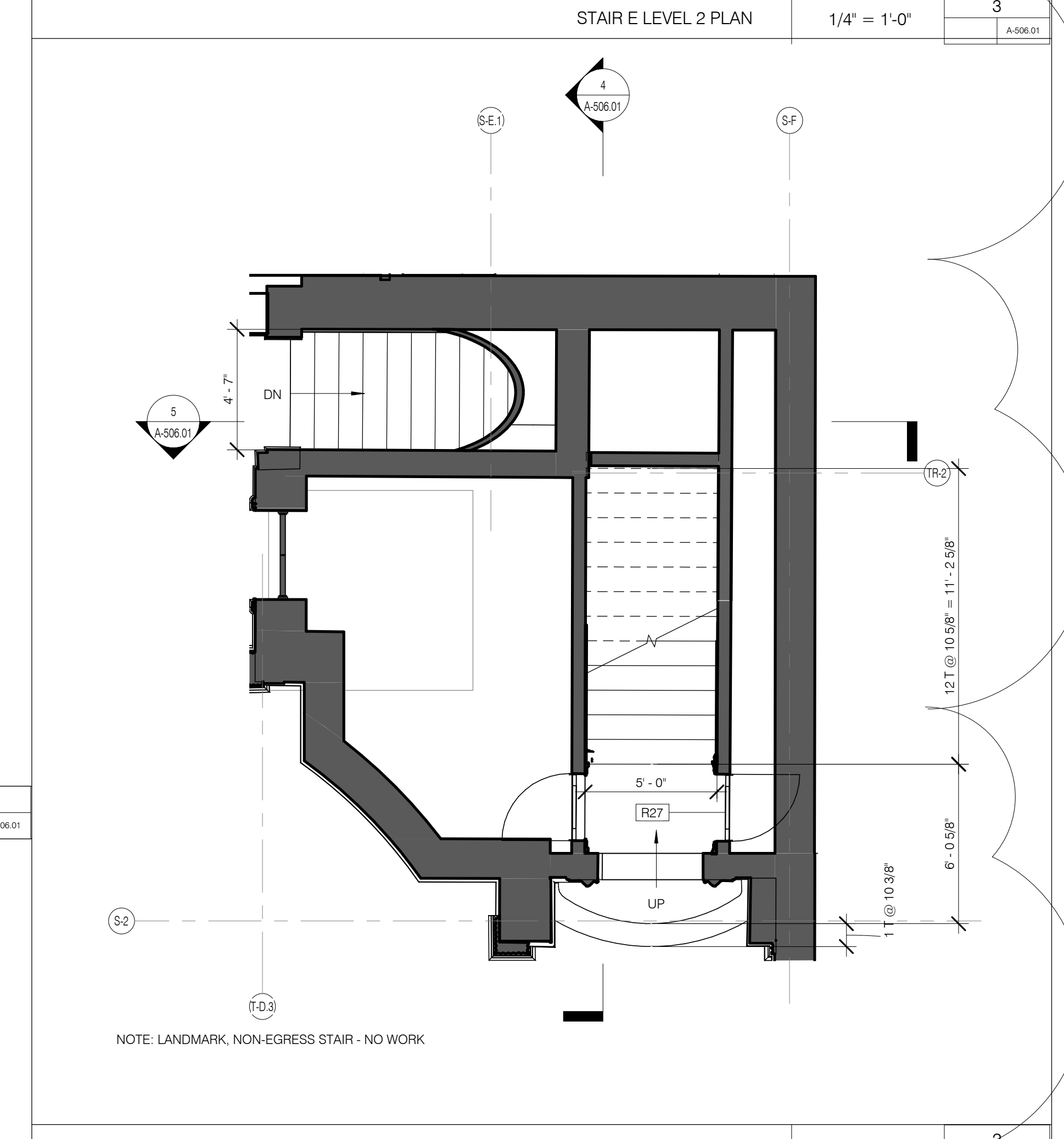
STAIR E - SECTION 1 1/4" = 1'-0" 4



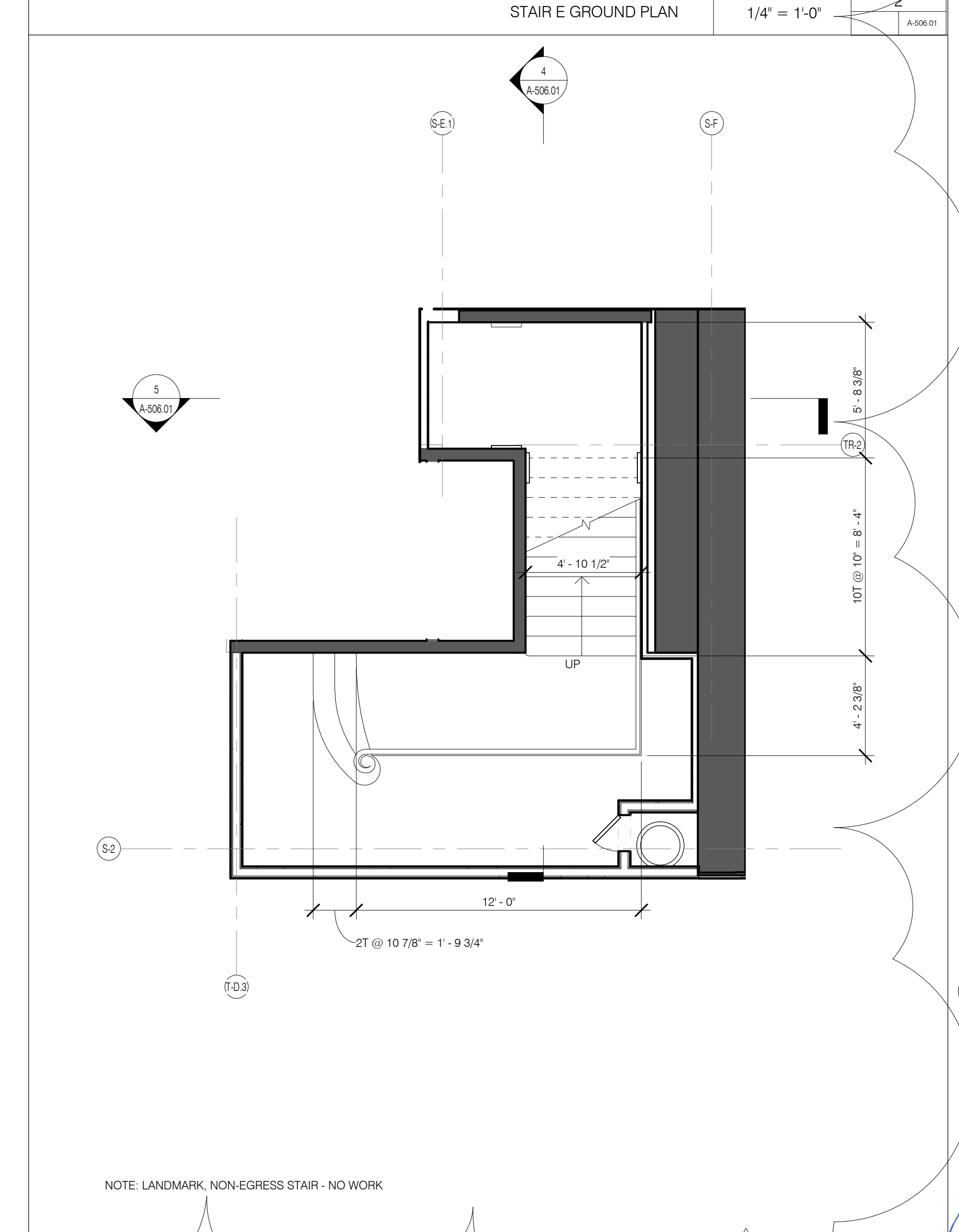
STAIR E - SECTION 2 1/4" = 1'-0" 5



STAIR E LEVEL 2 PLAN 1/4" = 1'-0" 3



STAIR E GROUND PLAN 1/4" = 1'-0" 2



STAIR E CELLAR PLAN 1/4" = 1'-0" 1

JDS DEVELOPMENT GROUP

111 WEST 57TH STREET, 2ND FLOOR
NEW YORK, NY 10019
Tel: 212.251.2000

sh p

ARCHITECT SHAP ARCHITECTS, P.C. 220 W. 42ND STREET, 17TH FLOOR NEW YORK, NY 10036 Tel: 212.251.2000	STRUCTURAL ENGINEER WSP PARTNER BENKIN 300 W. 42ND STREET, 17TH FLOOR NEW YORK, NY 10018 Tel: 212.251.2000	MEP ENGINEER JAHOS BAUM & BOLLES 80 W. 42ND STREET, 17TH FLOOR NEW YORK, NY 10018 Tel: 212.251.2000	CIVIL ENGINEER LORIKMAN LINDESEY 40 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 Tel: 212.251.2000	ACoustICS STUDIO SOUND 120 W. 42ND STREET, 17TH FLOOR NEW YORK, NY 10018 Tel: 212.251.2000	INTERIORS STUDIO SOUND 120 W. 42ND STREET, 17TH FLOOR NEW YORK, NY 10018 Tel: 212.251.2000	FAÇADE BIRDO HOFFFOLD 140 W. 42ND STREET, 17TH FLOOR NEW YORK, NY 10018 Tel: 212.251.2000	VERTICAL TRANSPORTATION VAN DEUSEN & ASSOCIATES 100 WEST 57TH STREET, SUITE 504 LONGISLAND CITY, NY Tel: 347.394.8225	RESTORATION JAN HIND FORKOVY ASSOCIATES 100 WEST 57TH STREET, FLOOR 504 NEW YORK, NY 10019 Tel: 212.251.2000	GEOTECH MKCE 220 WEST 42ND STREET, 4TH FLOOR NEW YORK, NY 10018 Tel: 212.251.2000	LIGHTING LOGORATIORS INTERNATIONAL 120 W. 42ND STREET, 17TH FLOOR NEW YORK, NY 10018 Tel: 212.251.2000
--	---	--	---	---	---	--	--	---	--	---

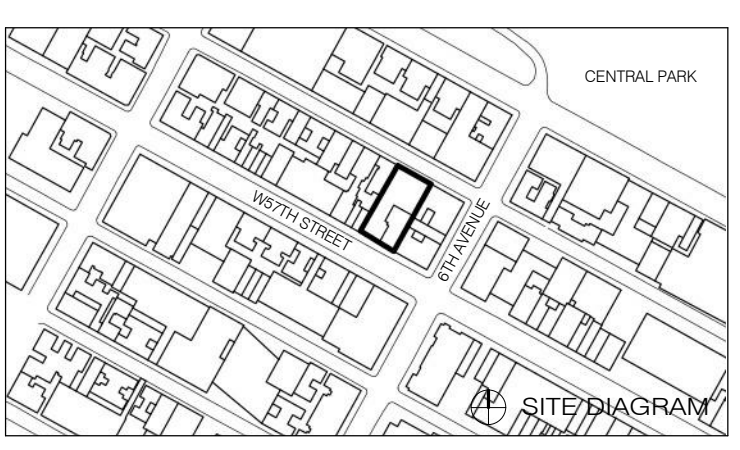


PROPERTY MARKETS GROUP
1 EAST 57TH STREET, 2ND FLOOR
NEW YORK, NY 10022
Tel: 212.611.2000
CURRENT ISSUE

DOB PAA



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



1	3/27/15	DOB PAA
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS, P.C.

COPYRIGHT © 2015 SHAP ARCHITECTS, P.C. ALL RIGHTS RESERVED.

DRAWING TITLE
STAIR D & STAIR E PLANS AND SECTIONS

DATE: 3/27/15

PROJECT NO: 130607

DESIGNED BY: SHAP

DRAWN BY: SHAP

CHECKED BY: SHAP

DRAWING NUMBER: 131320306

DRAWING REVISION:

A-506.01

ARCHITECT
 SHIP ARCHITECTS, P.C.
 225 WEST 57TH STREET, 8TH FLOOR
 NEW YORK, NY 10019
 TEL: 212.633.8558

STRUCTURAL ENGINEER
 WSP PARTNER BENJUK
 100 WEST 45TH STREET
 NEW YORK, NY 10018
 TEL: 212.633.8558

MEP ENGINEER
 JARVIS, BAIAM & BOLLER
 80 WEST STREET, 10TH FLOOR
 NEW YORK, NY 10006
 TEL: 212.512.8100

CIVIL ENGINEER
 ANSOF CONSULTING, P.C.
 440 PARK AVE SOUTH 7TH FLOOR
 NEW YORK, NY 10014
 TEL: 486.386.8826

ACoustics
 LONGMAN LINDSEY
 40 WEST 57TH STREET, 8TH FLOOR
 NEW YORK, NY 10019
 TEL: 472.293.2200

INTERIORS
 STUDIO SCHEFF
 120 JARVIS STREET
 NEW YORK, NY 10003
 TEL: 212.673.1000

FAÇADE
 BURRO HAPFELD
 100 WEST 45TH STREET
 NEW YORK, NY 10019
 TEL: 212.633.8558

VERTICAL TRANSPORTATION
 VAN DEUSEN & ASSOCIATES
 180 WEST STREET, SUITE 614
 LONGBEACH, CALIFORNIA
 TEL: 913.841.8225

RESTORATION
 JEN HING FORKOVY ASSOCIATES
 10 WEST 57TH STREET, FLOOR 10A
 NEW YORK, NY 10019
 TEL: 212.238.8462

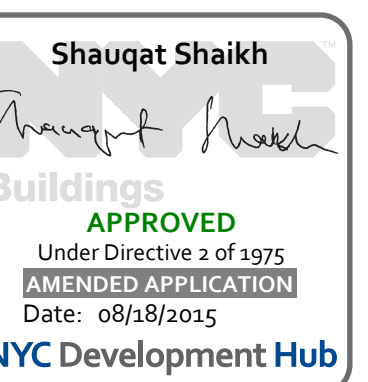
MEPCE
 225 WEST 57TH STREET, 8TH FLOOR
 NEW YORK, NY 10019-0000
 TEL: 212.633.8558

LIGHTING
 LUMINAIRES INTERNATIONAL
 120 JARVIS STREET, 7TH FLOOR EAST
 NEW YORK, NY 10003
 TEL: 212.222.4444

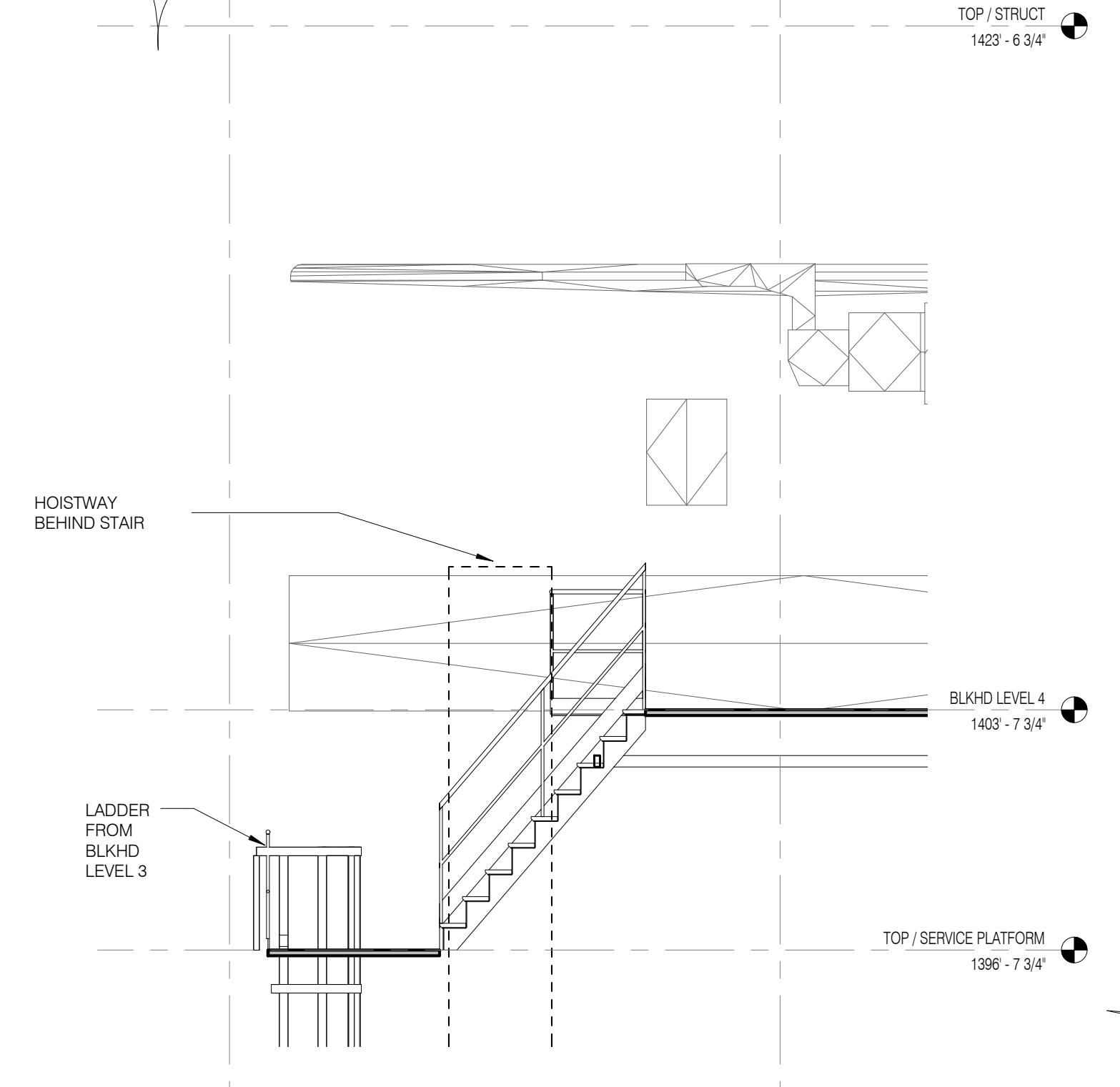
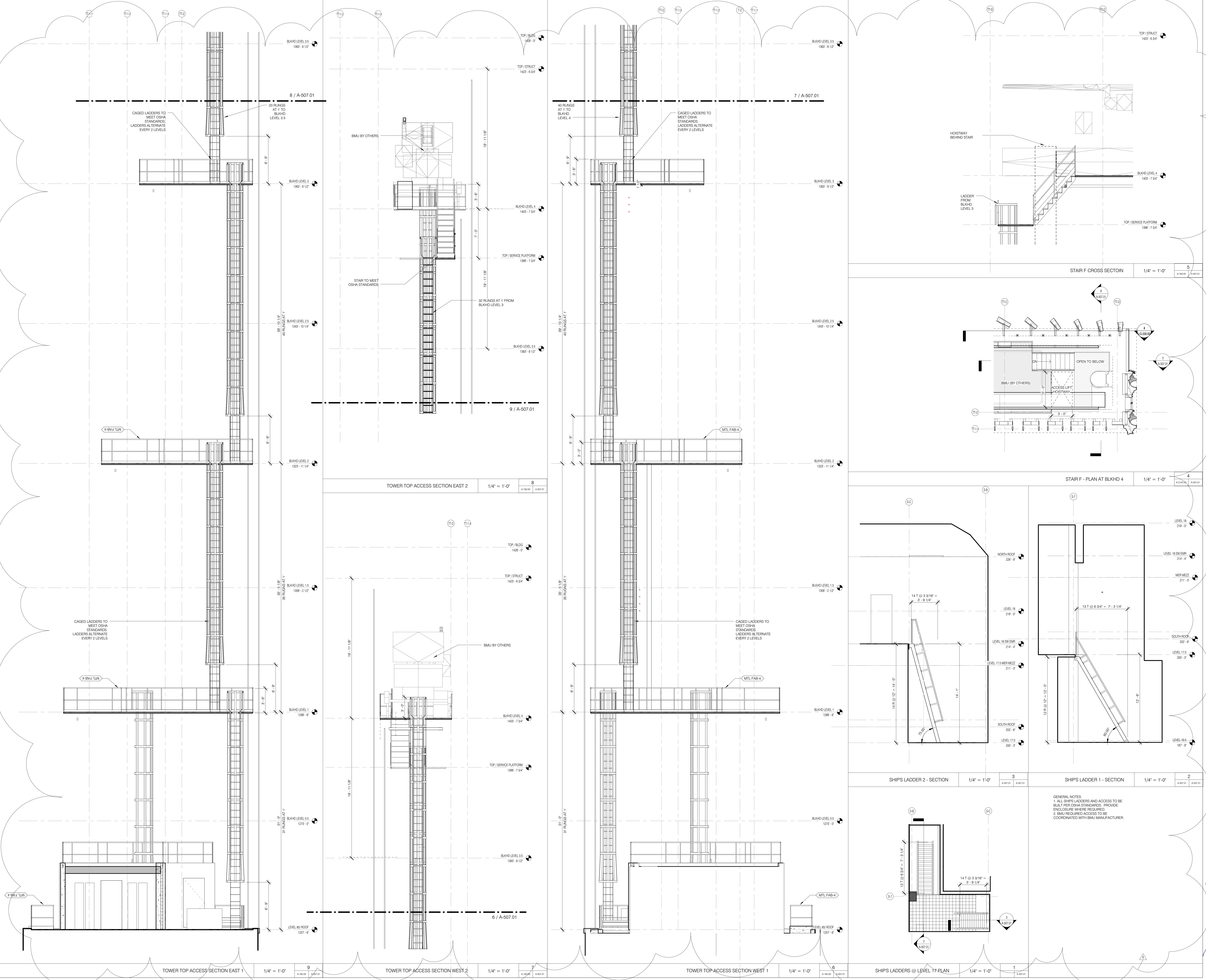


PROPERTY MARKETS GROUP
 1 EAST 57TH STREET, 2ND FLOOR
 NEW YORK, NY 10022
 TEL: 212.613.2800
 CURRENT ISSUE

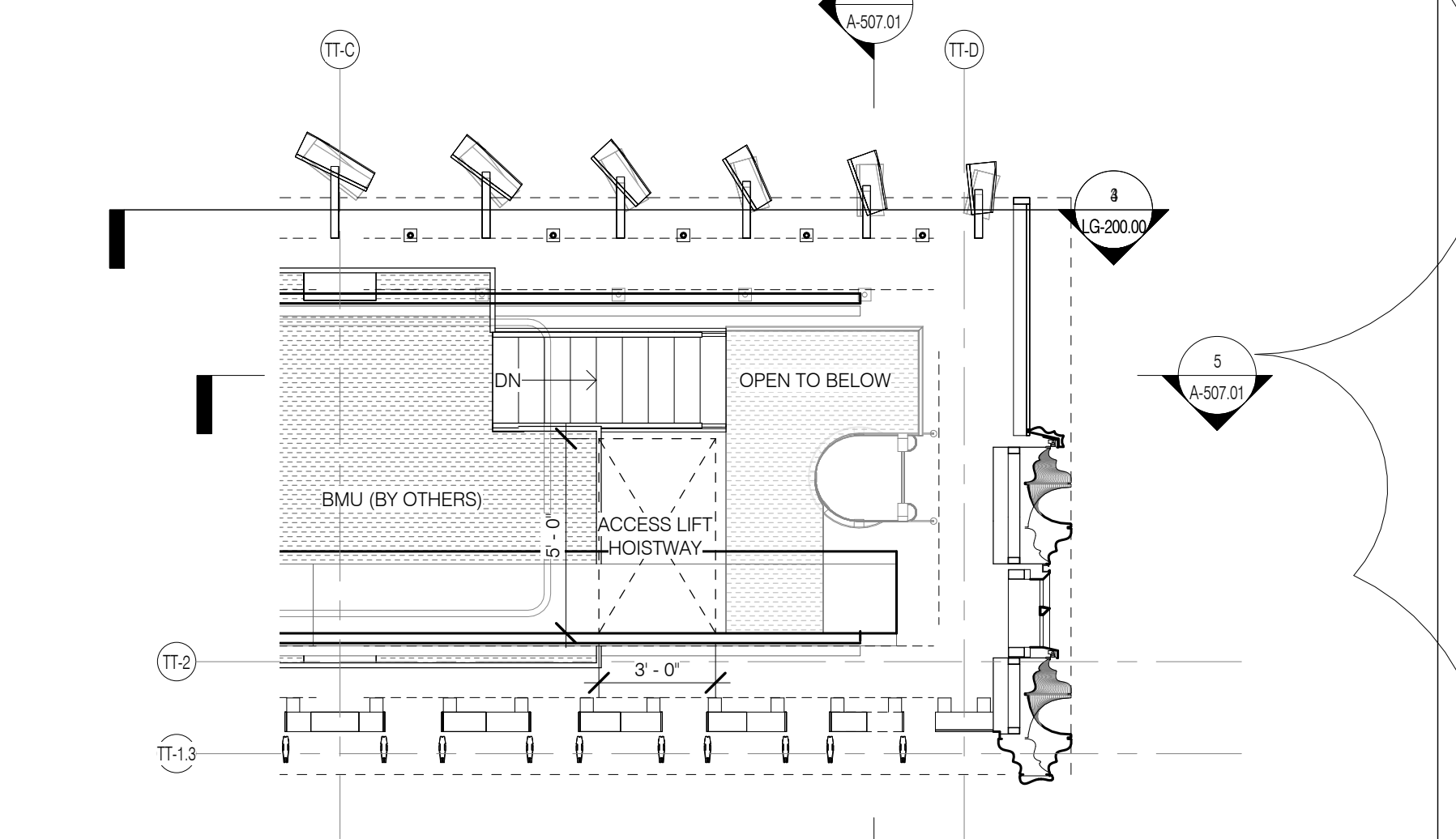
DOB PAA



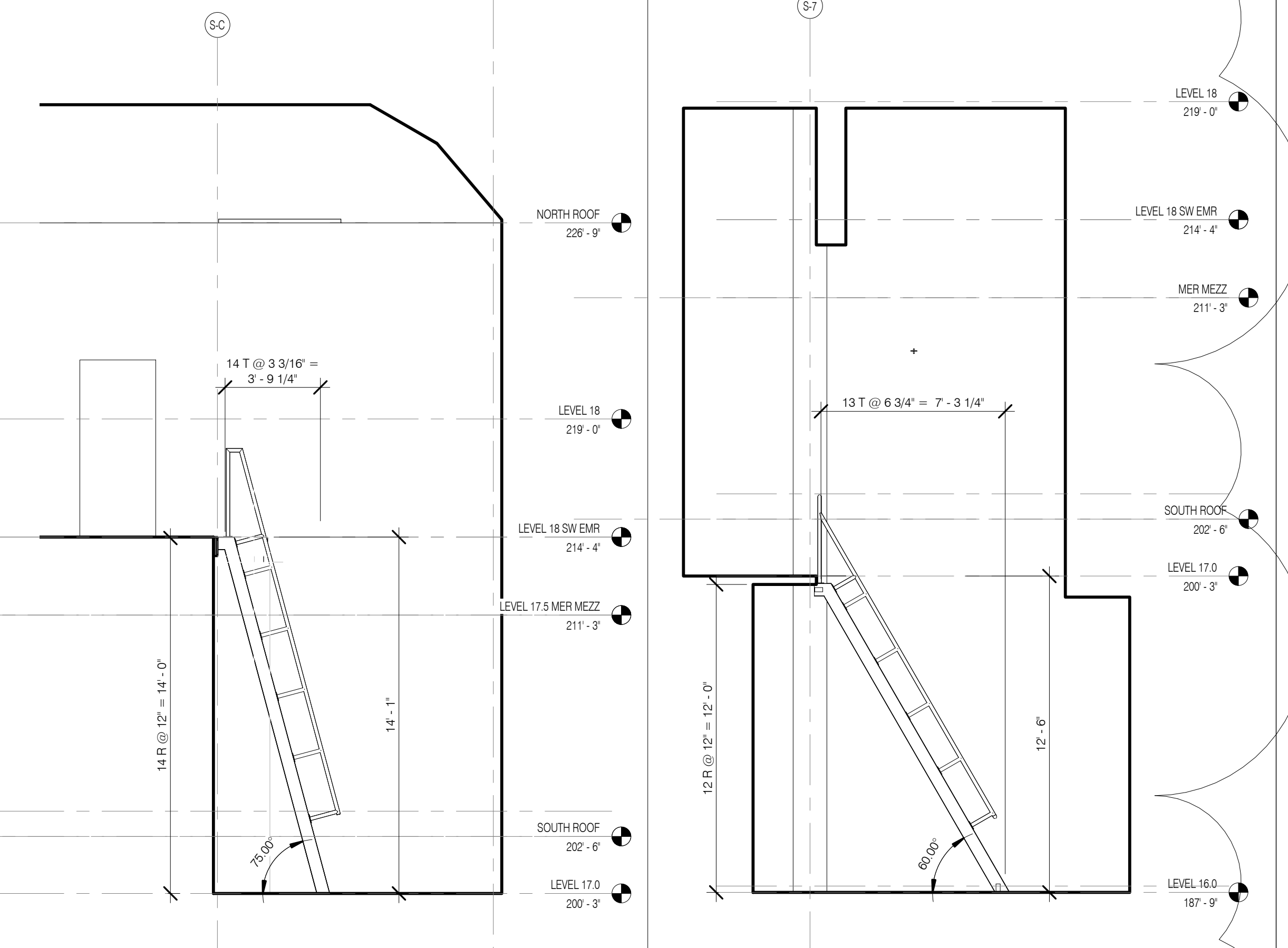
111 WEST 57TH STREET
 111 WEST 57TH STREET
 NEW YORK, NY 10019



STAIR F CROSS SECTION 1/4" = 1'-0" 5



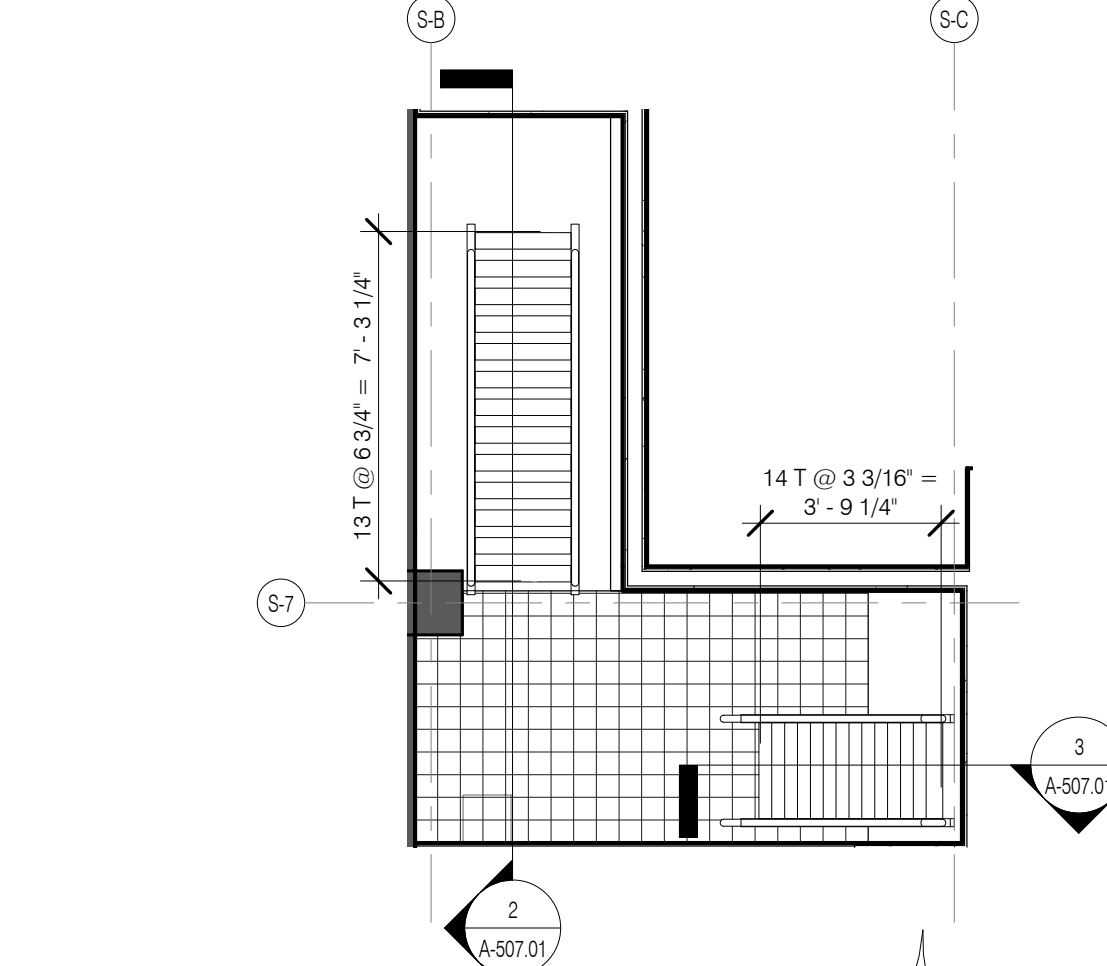
STAIR F - PLAN AT BLKHD 4 1/4" = 1'-0" 4



SHIPS LADDER 2 - SECTION 1/4" = 1'-0" 3

SHIPS LADDER 1 - SECTION 1/4" = 1'-0" 2

GENERAL NOTES:
 1. ALL SHIP LADDERS AND ACCESS TO BE BUILT PER OSHA STANDARDS. PROVIDE ENCLOSURE WHERE REQUIRED.
 2. BMJ REQUIRED ACCESS TO BE COORDINATED WITH BMJ MANUFACTURER.



SHIPS LADDERS @ LEVEL 17 - PLAN 1/4" = 1'-0" 1

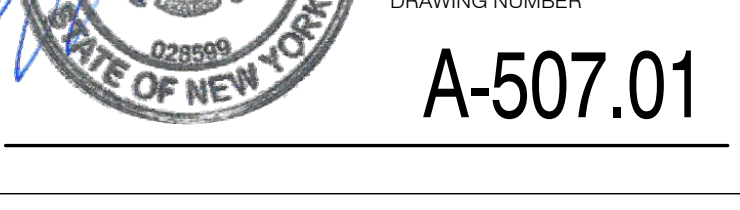
1	1.27.15	DOB PAA
2	5.11.14	DOB FLING SET
NO.	DATE	REVISION

THESE REVISIONS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS WITHOUT PERMISSIONS TO THIS PROJECT OR COMPLETION OF THIS PROJECT BY OTHERS.

COPYRIGHT © 2016 SHIP ARCHITECTS P.C. ALL RIGHTS RESERVED.

DRAWING TITLE
TOWER TOP, BMJ & EMR ACCESS STAIRS

DATE	3.27.15
PROJECT NO.	130907
DESIGNED BY	SHIP
CHECKED BY	SHIP
DRAWING NUMBER	121320306
DRAWING NUMBER	



A-507.01

ARCHITECT
SNAP ARCHITECTS, P.C.
225 BROADWAY, 11TH FLOOR
NEW YORK, NY 10007
212.693.2500

STRUCTURAL ENGINEER
WSP PARTOR BENKIN
300 WEST 42ND STREET
NEW YORK, NY 10018
212.693.2500

MEP ENGINEER
JAMES BAUM & ROLLER
BUNKER STREET, 10TH FLOOR
NEW YORK, NY 10018
212.693.2500

CIVIL ENGINEER
ANF ENGINEERING, P.C.
440 PARK AVE SOUTH 7TH FLOOR
NEW YORK, NY 10014
408.986.8208

ACOUSTICS
LONGMAN LINDSEY
40 WEST 89TH STREET, 6TH FLOOR
NEW YORK, NY 10024
647.293.2200

INTERIORS
STUDIO SCHFIELD
122 BROADWAY STREET
NEW YORK, NY 10003
212.473.1300

FAÇADE
BURO HAPPOLD
100 BROADWAY
NEW YORK, NY 10005
212.693.2500

VERTICAL TRANSPORTATION
VAN DEUSEN & ASSOCIATES
LARGENT STREET, SUITE 504
LONDON, ENGLAND
013 294 8205

RESTORATION
JAN HVO FORKROYER ASSOCIATES
10 WEST 37TH STREET, FLOOR 5A
NEW YORK, NY 10018
212.758.6462

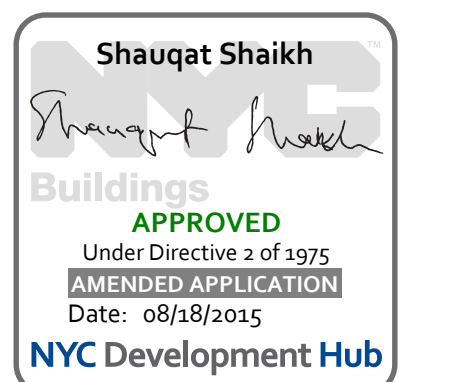
GEOTECH
MPC
220 WEST 14TH STREET, 6TH FLOOR
NEW YORK, NY 10002-2000
647.293.2200

LIGHTING
LEGGERER INTERIOR LIGHTING
122 BROADWAY STREET, 7TH FLOOR EAST
NEW YORK, NY 10003
212.228.4484



PROPERTY MARKETS GROUP
1 EAST 10TH STREET, 2ND FLOOR
NEW YORK, NY 10003
212.611.2000

DOB PAA



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



NO.	DATE	REVISION
1	3.27.15	DOB PAA

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

COPYRIGHT © 2015 SNAP ARCHITECTS P.C. ALL RIGHTS RESERVED.

DRAWING TITLE
STAIR PLANS & SECTIONS

SEAL & SIGNATURE DATE 3.27.15

PROJECT NO. 130907

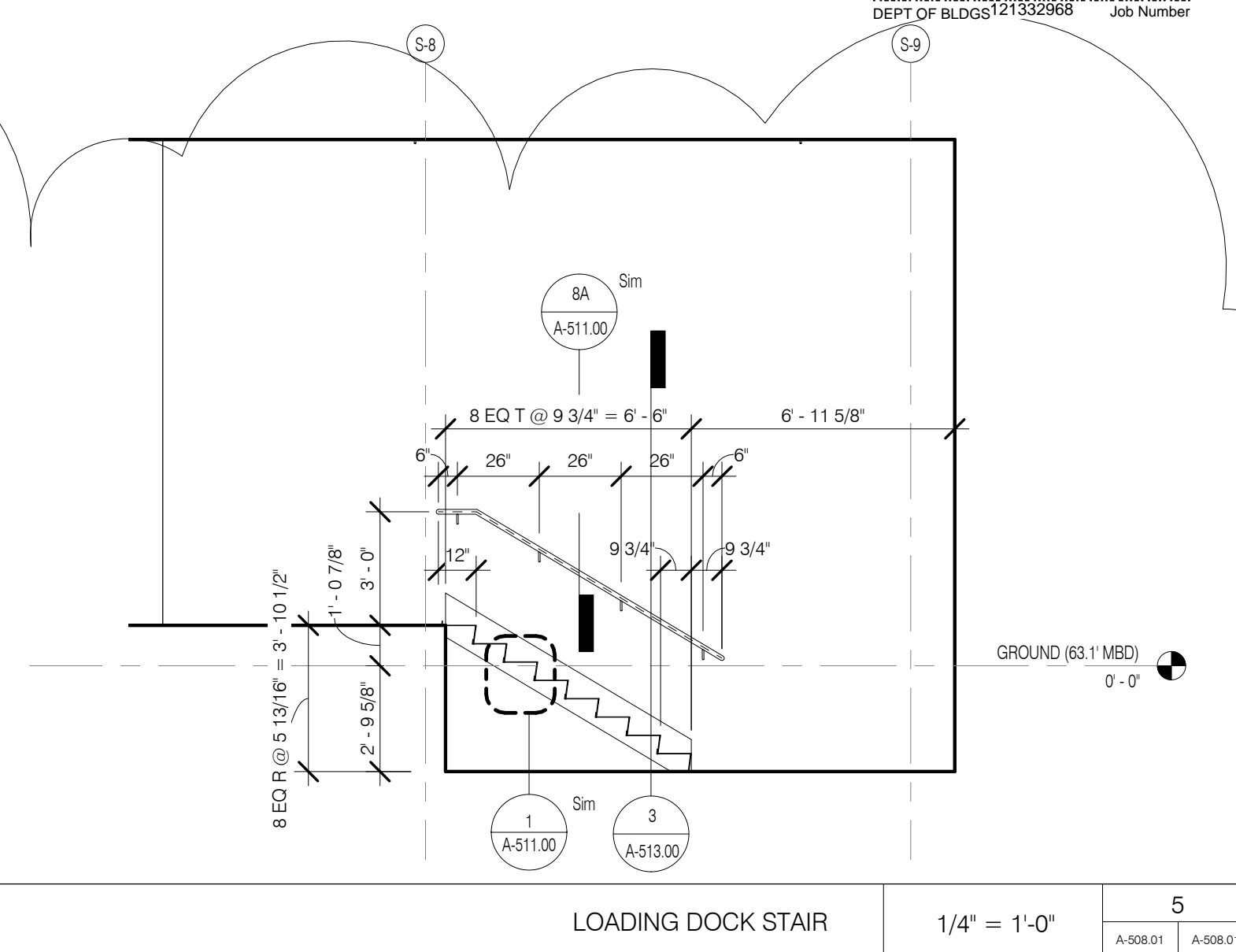
DRAWN BY SHAP

CHECKED BY SHAP

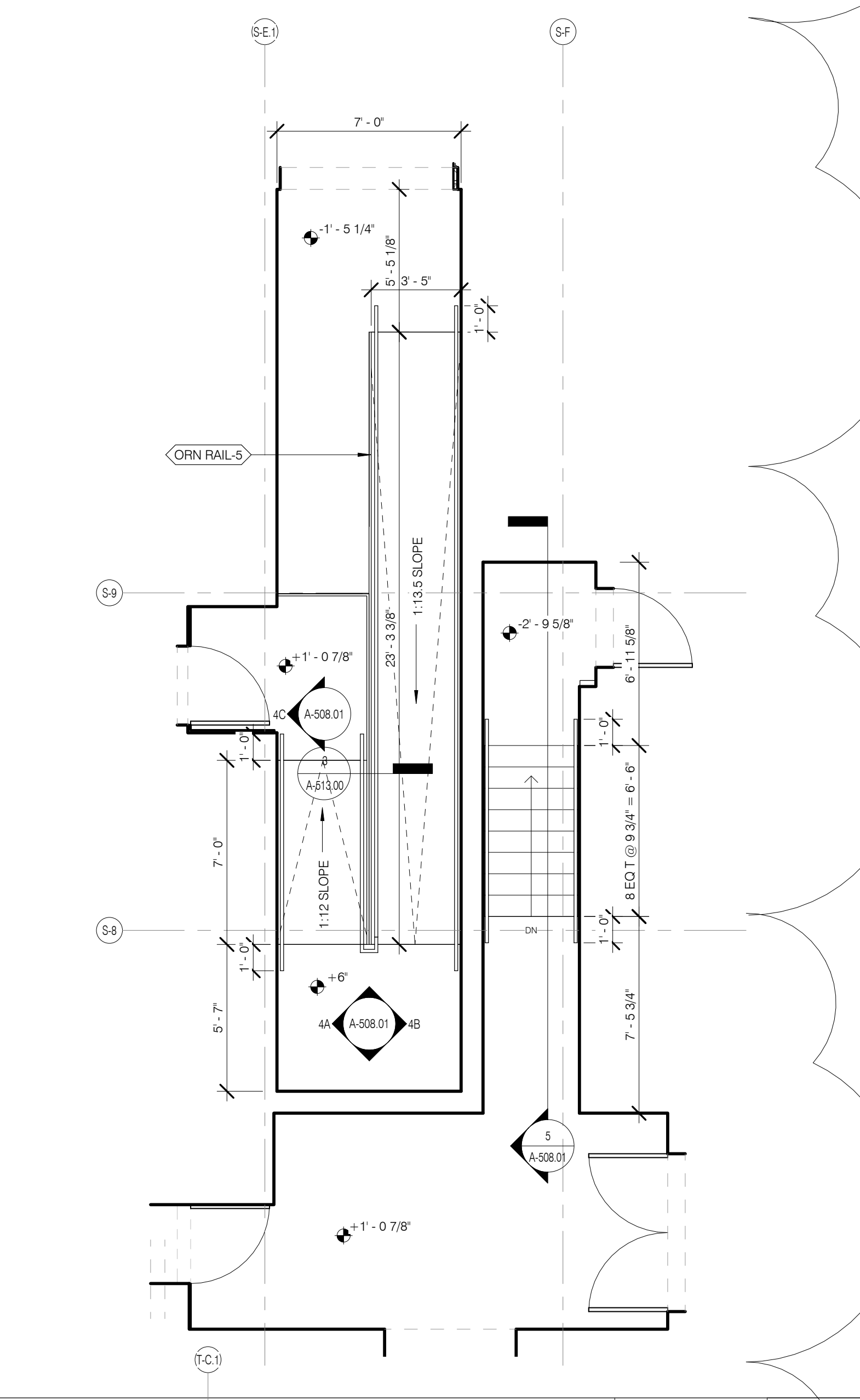
DRAWING NUMBER 121323008

DRAWING NUMBER

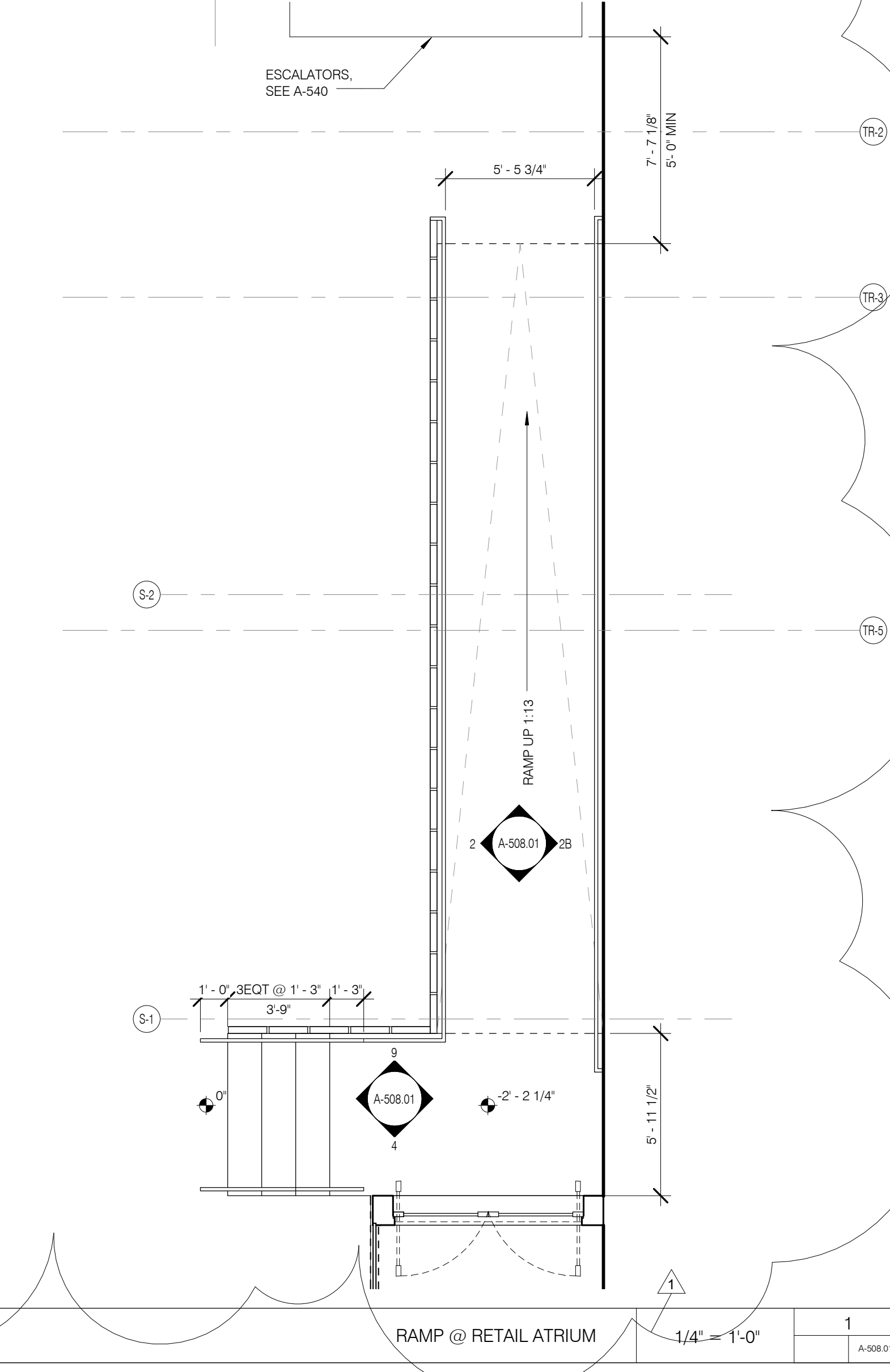
A-508.01



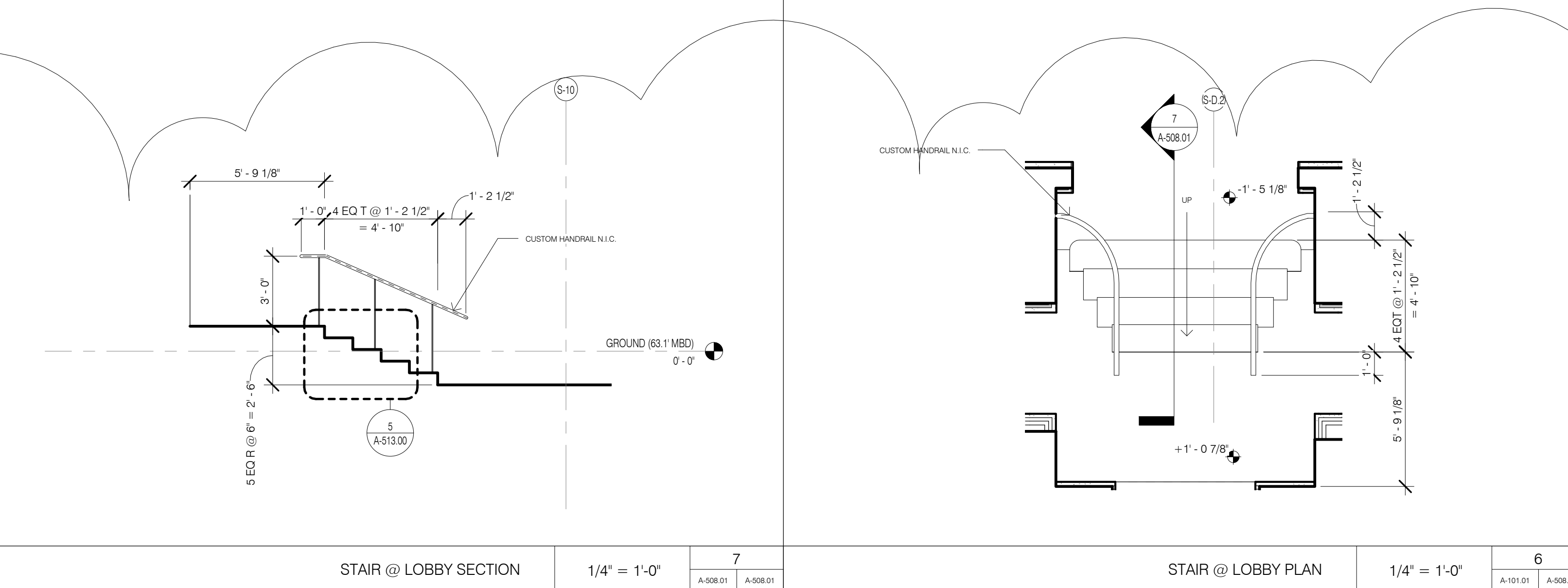
LOADING DOCK STAIR 1/4" = 1'-0" 5 A-508.01 A-508.01



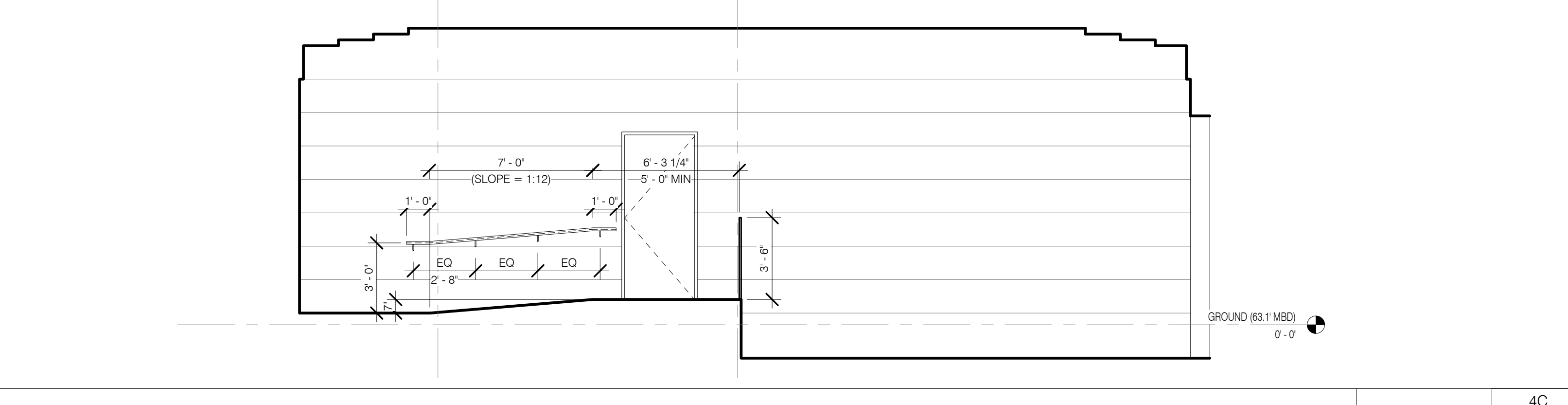
LOADING DOCK RAMP AND STAIR 1/4" = 1'-0" 3 A-508.01 A-508.01



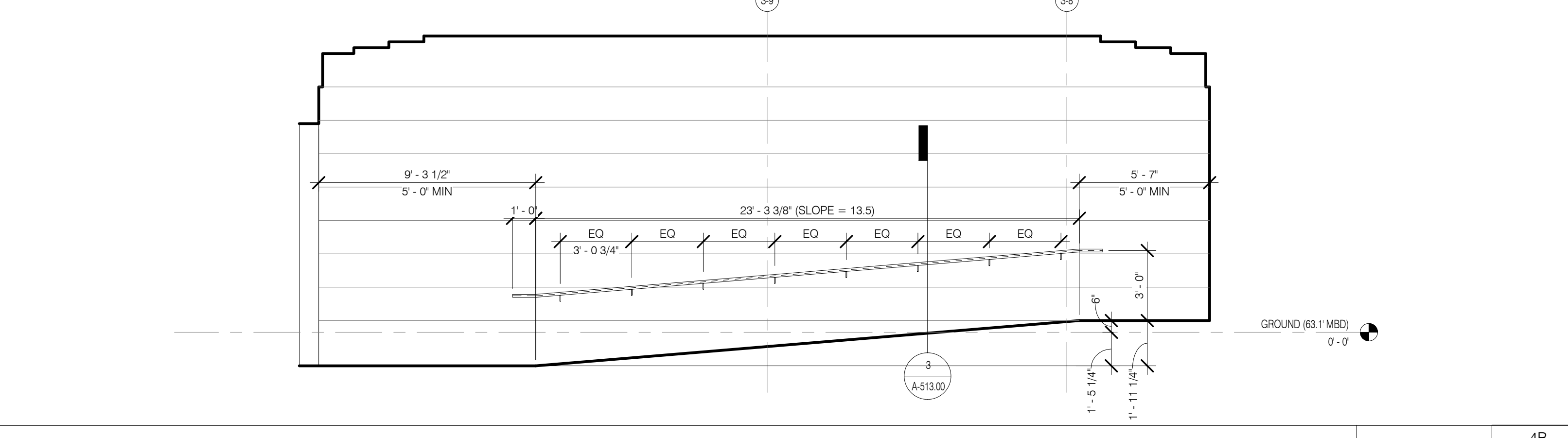
RAMP @ RETAIL ATRIUM 1/4" = 1'-0" 1 A-508.01



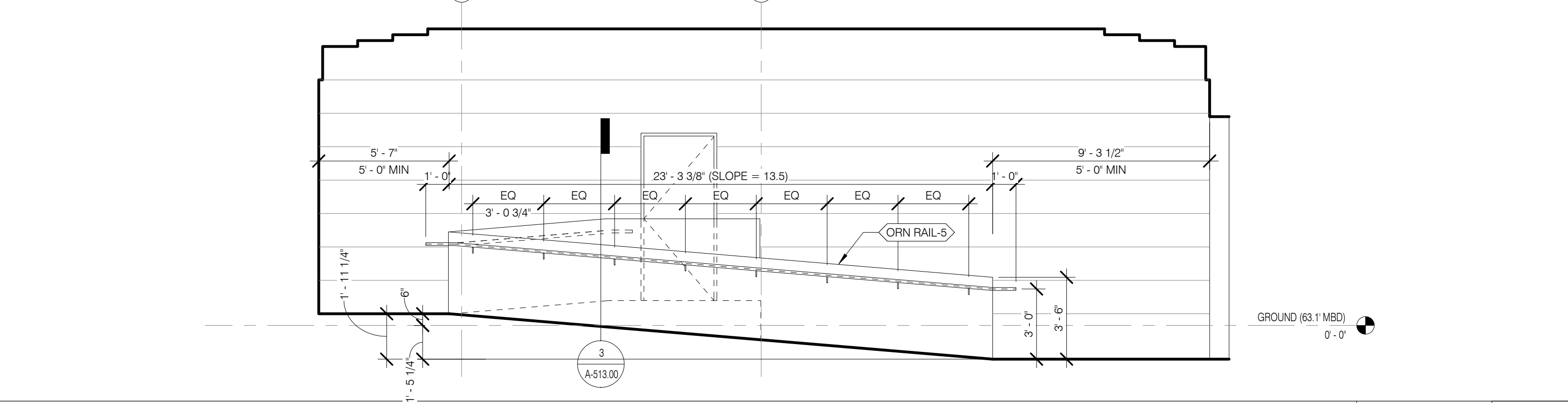
STAIR @ LOBBY SECTION 1/4" = 1'-0" 7 A-508.01 A-508.01



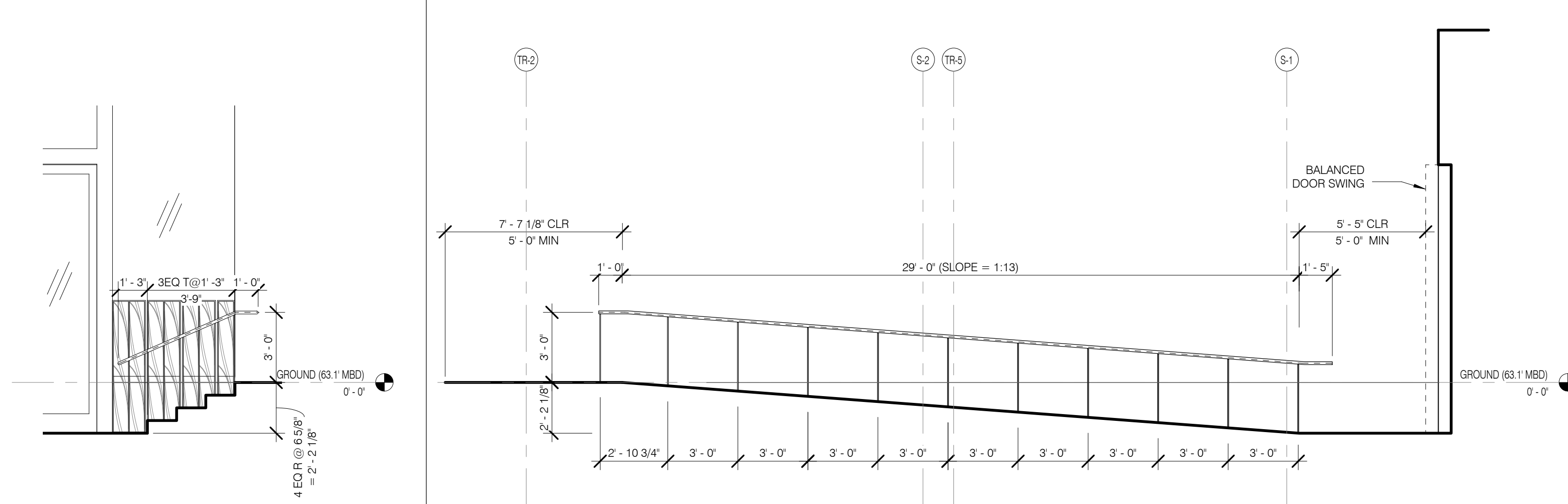
RAMP @ LOADING DOCK ELEVATION C 1/4" = 1'-0" 4C A-101.01 A-508.01



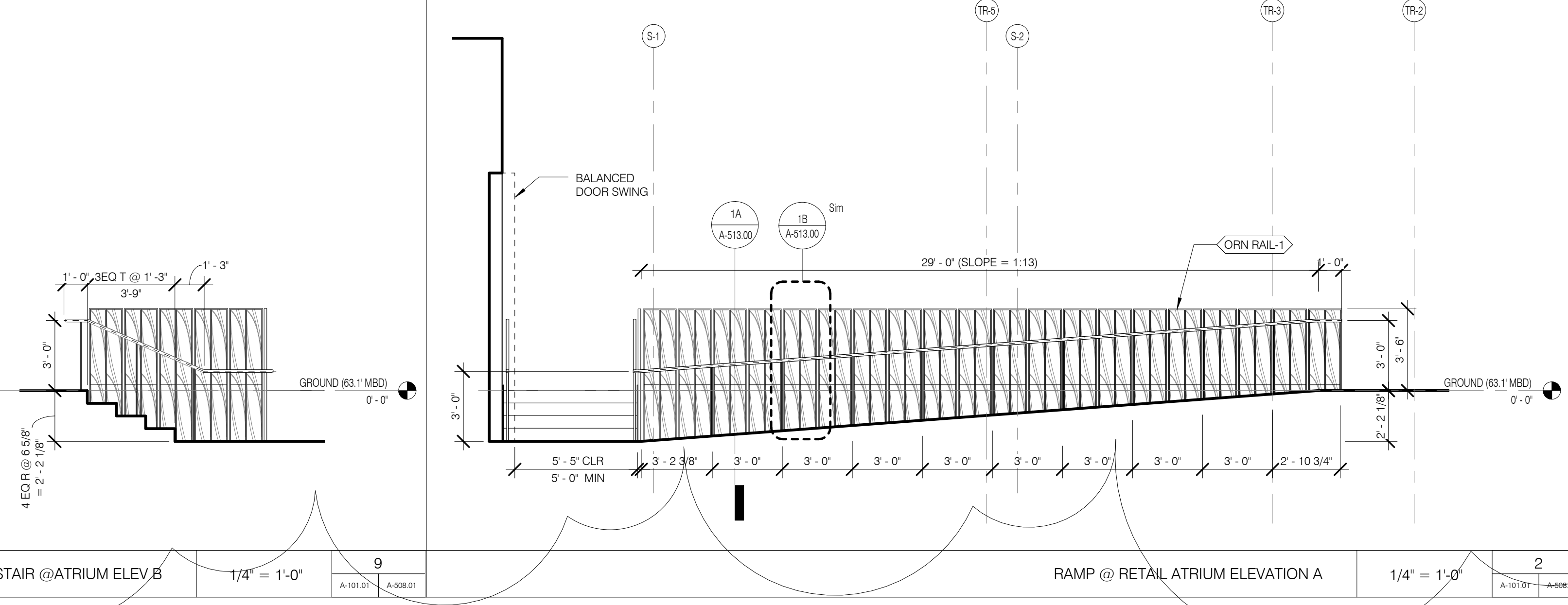
RAMP @ LOADING DOCK ELEVATION B 1/4" = 1'-0" 4B A-101.01 A-508.01



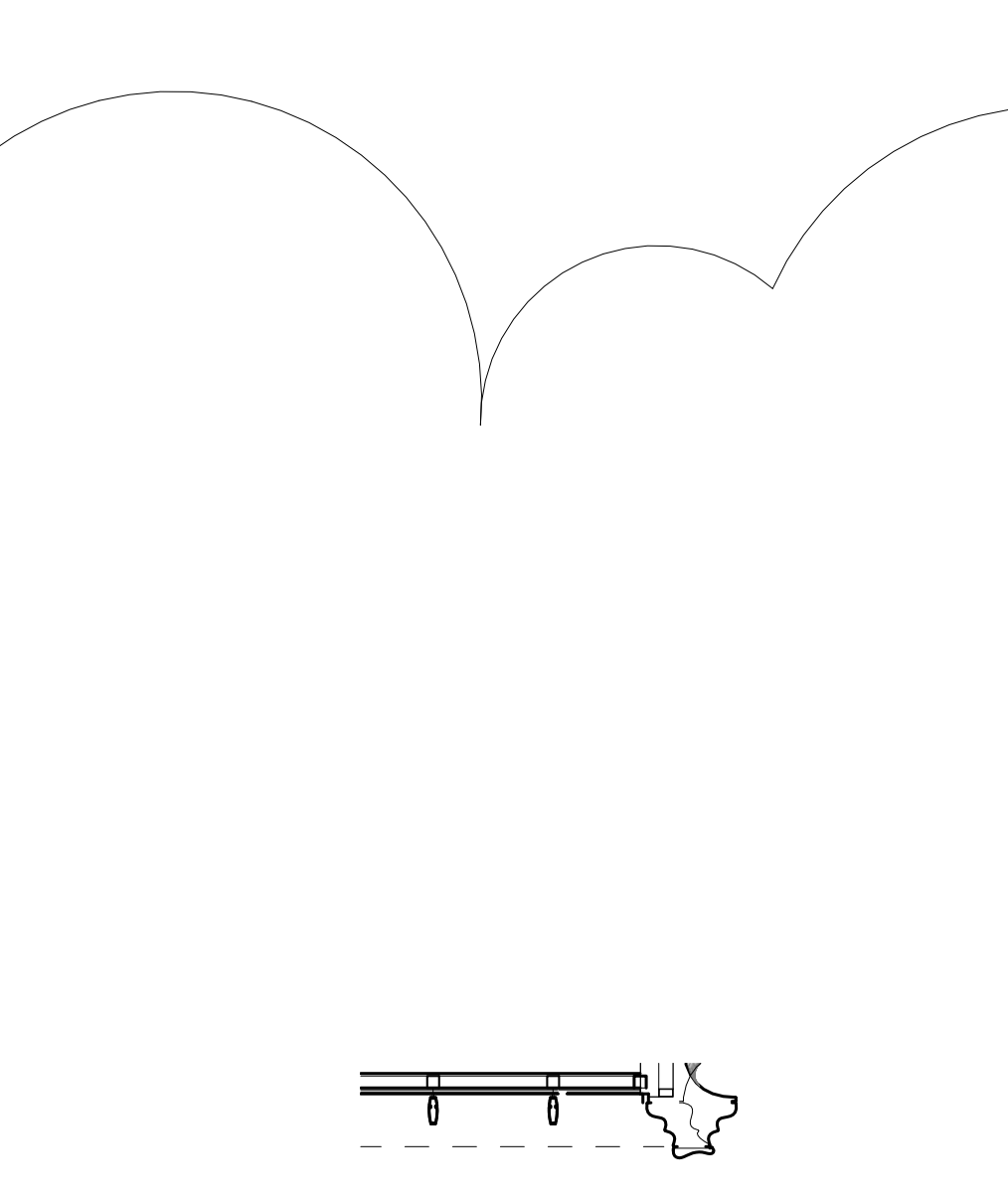
RAMP @ LOADING DOCK ELEVATION A 1/4" = 1'-0" 4A A-101.01 A-508.01



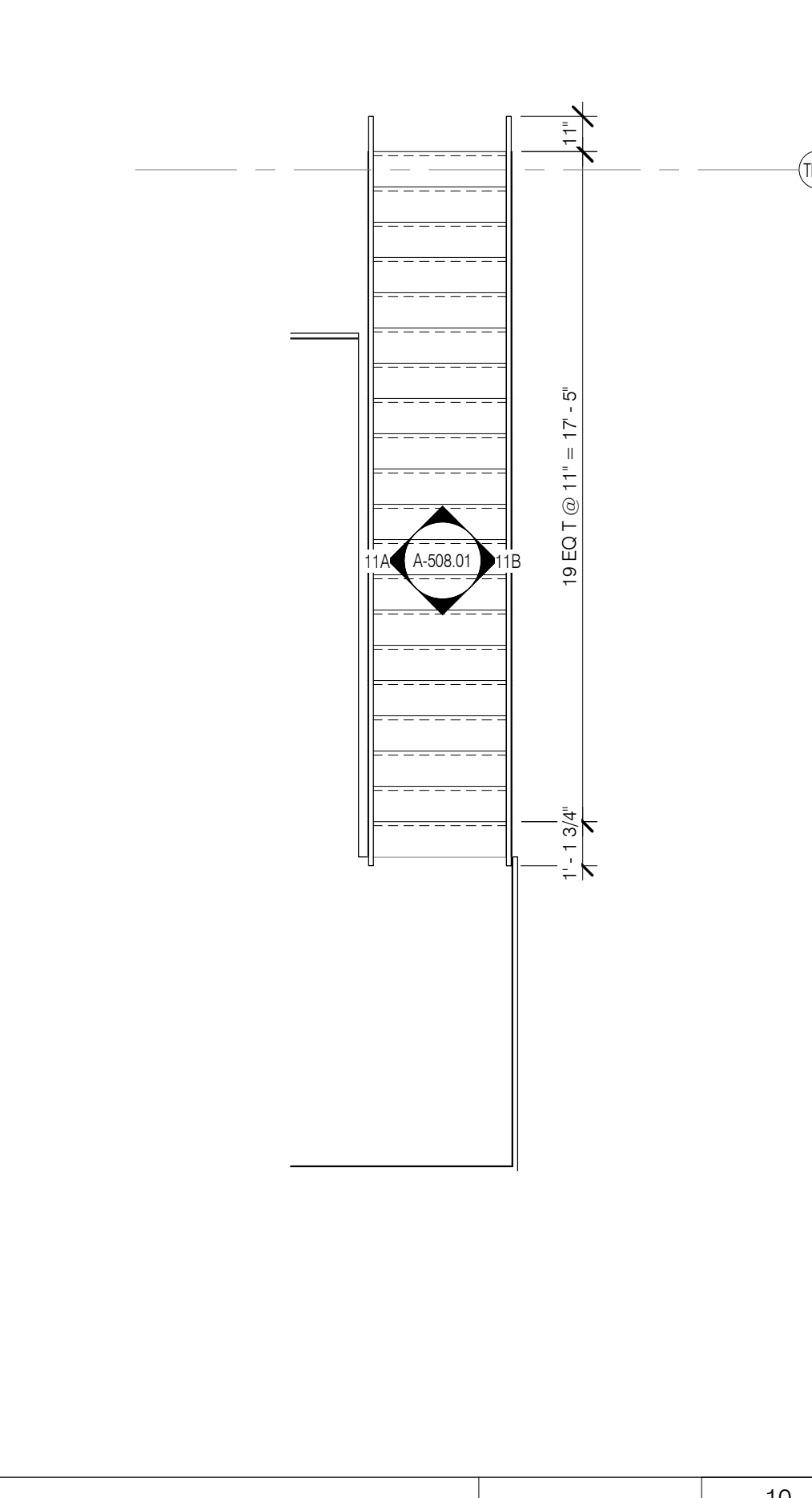
RAMP @ RETAIL ATRIUM ELEVATION B 1/4" = 1'-0" 2B A-101.01 A-508.01



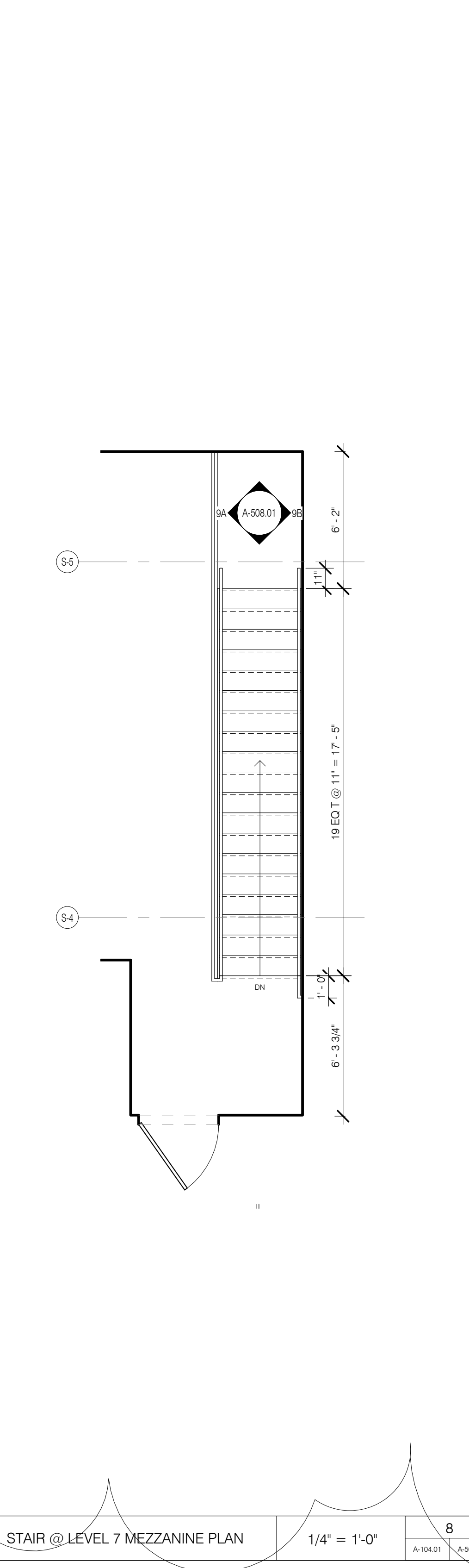
RAMP @ RETAIL ATRIUM ELEVATION A 1/4" = 1'-0" 2 A-101.01 A-508.01



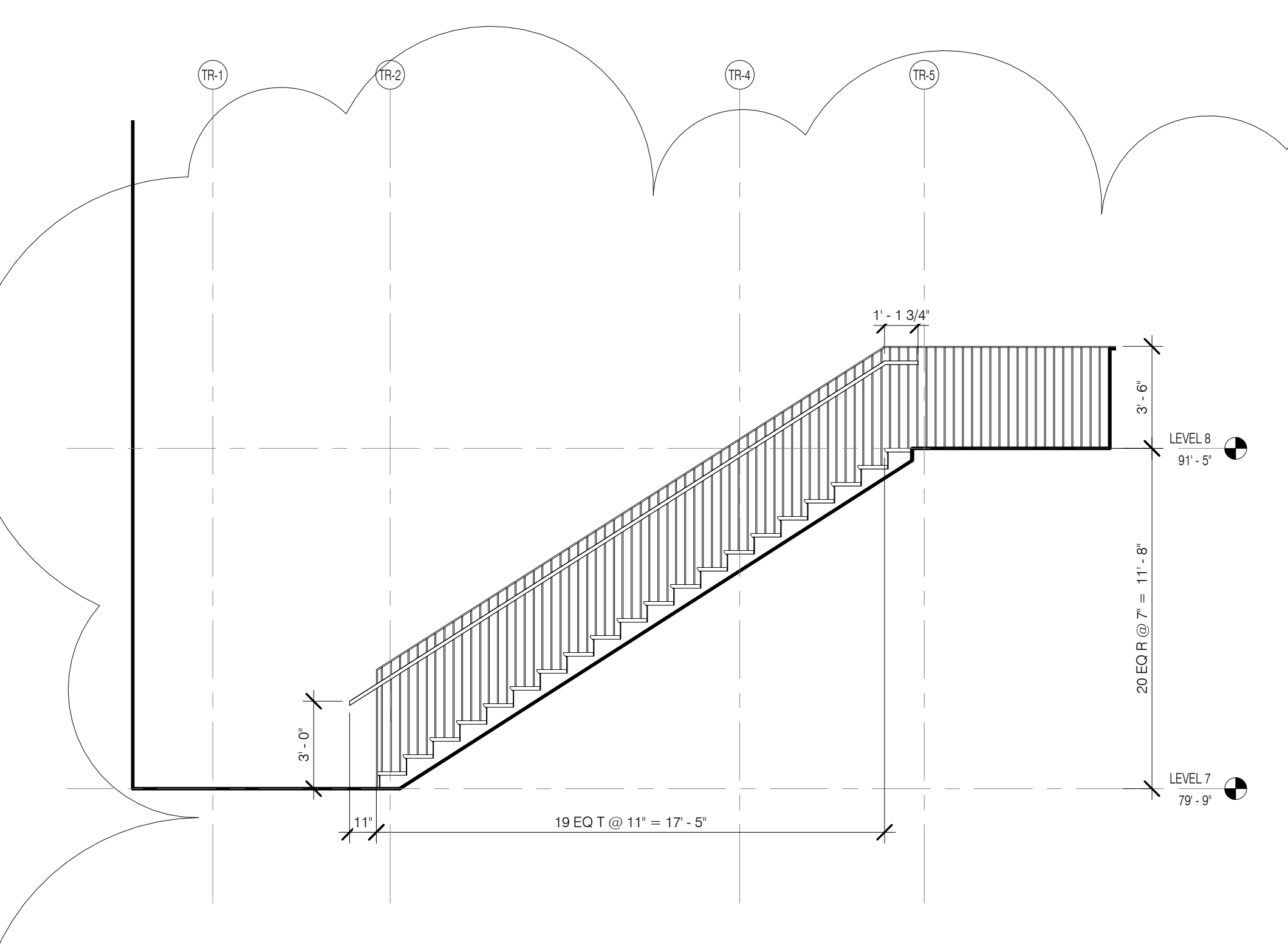
STAIR @ LOBBY PLAN 1/4" = 1'-0" 6 A-101.01 A-508.01



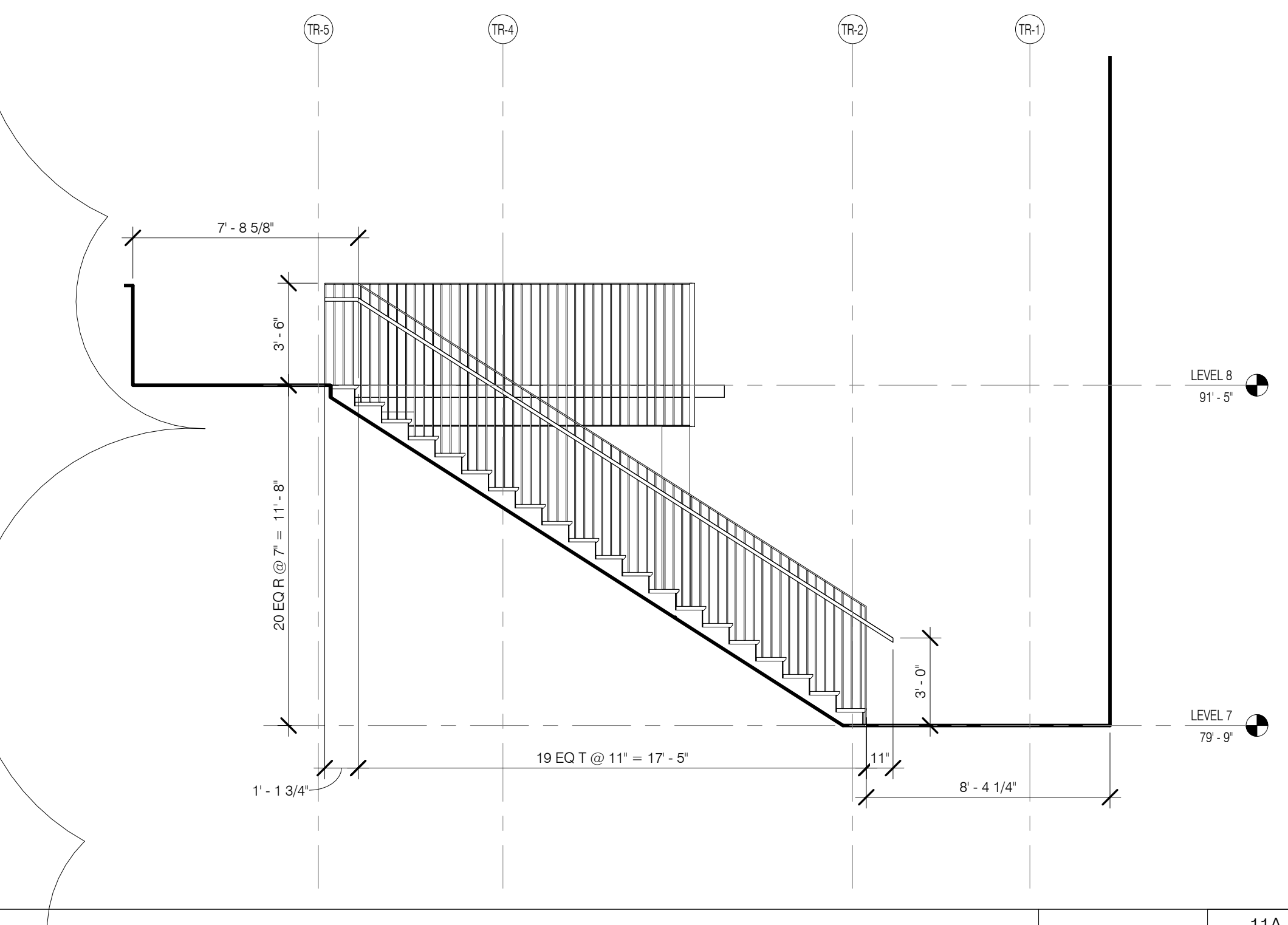
STAIR @ RESI FITNESS BALCONY 1/4" = 1'-0" 10 A-101.01 A-508.01



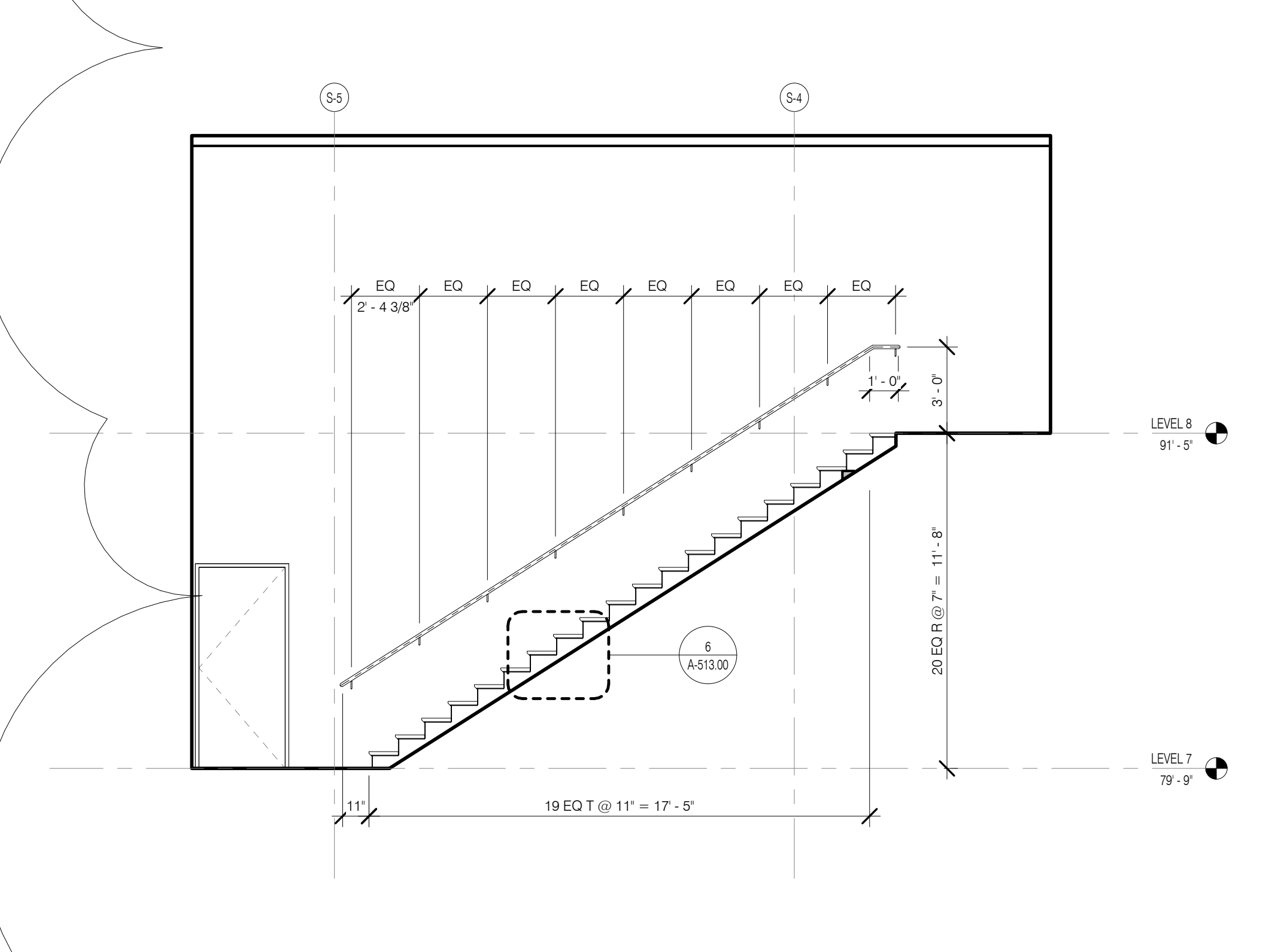
STAIR @ LEVEL 7 MEZZANINE PLAN 1/4" = 1'-0" 8 A-101.01 A-508.01



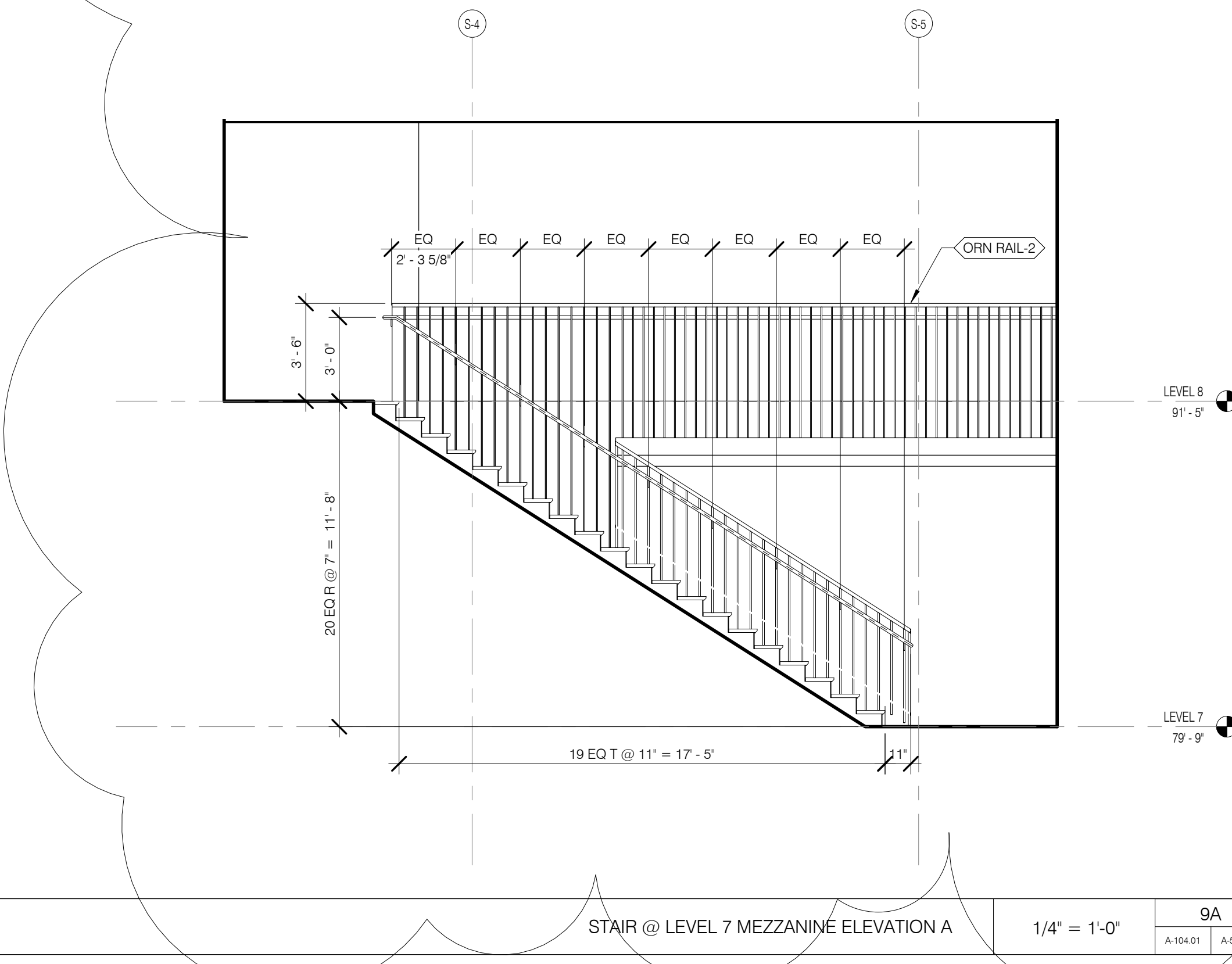
STAIR @ RESIDENTIAL FITNESS BALCONY ELEVATION B 1/4" = 1'-0" 11B A-101.01 A-508.01



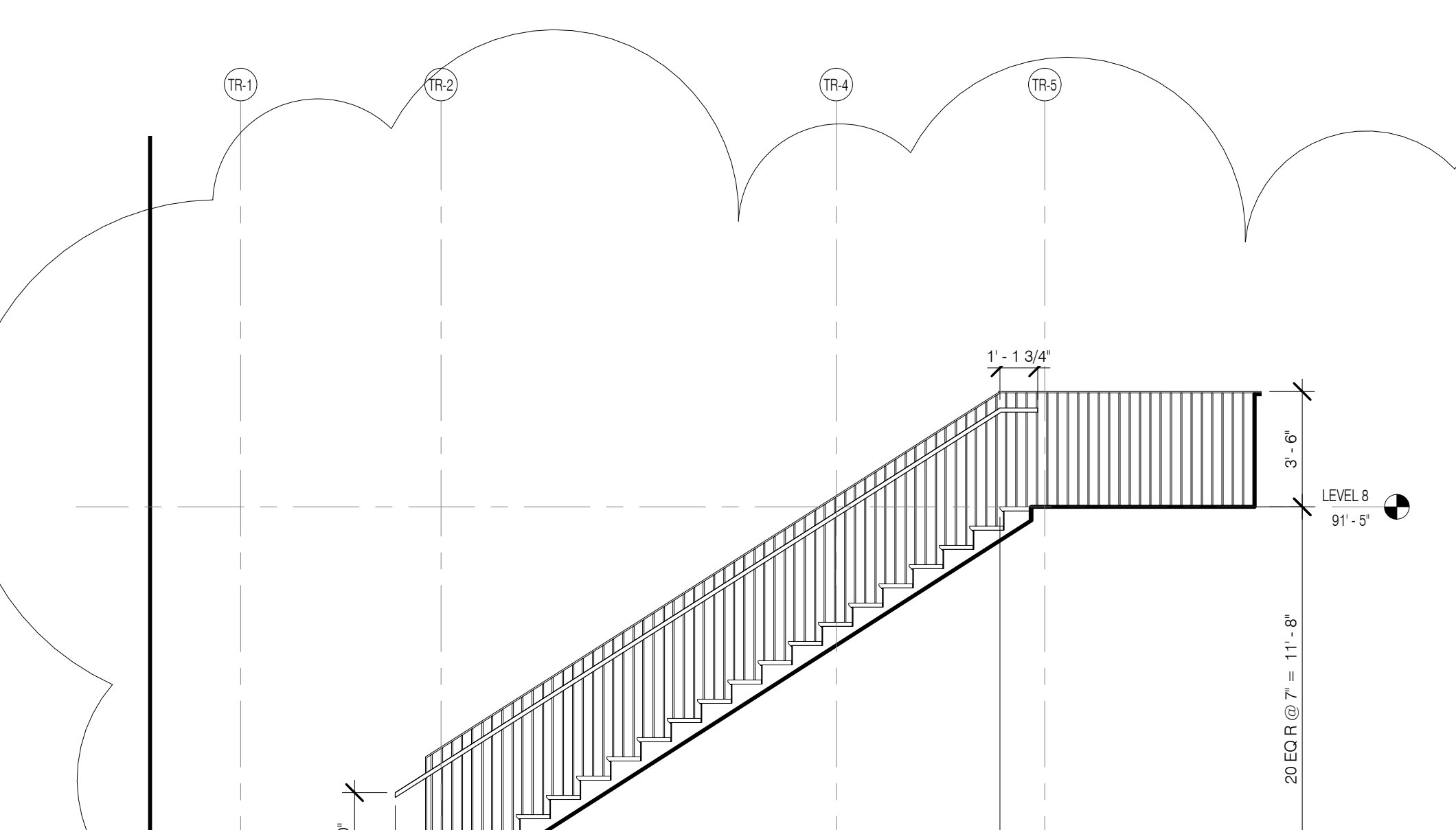
STAIR @ RESIDENTIAL FITNESS BALCONY ELEVATION A 1/4" = 1'-0" 11A A-101.01 A-508.01



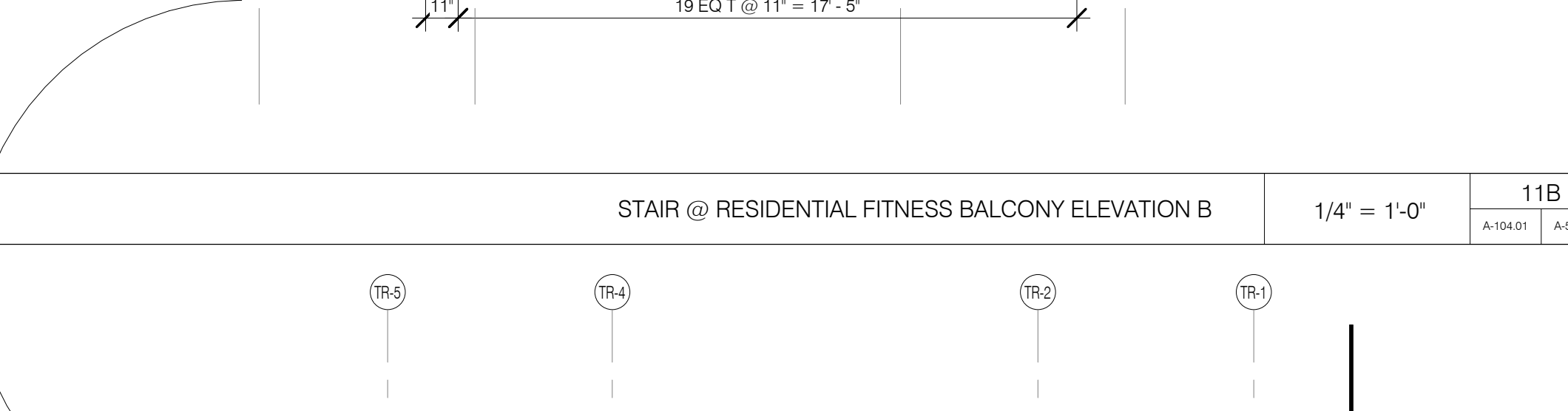
STAIR @ LEVEL 7 MEZZANINE ELEVATION B 1/4" = 1'-0" 9B A-101.01 A-508.01



STAIR @ LEVEL 7 MEZZANINE ELEVATION A 1/4" = 1'-0" 9A A-101.01 A-508.01



STAIR @ ATRIUM ELEV B 1/4" = 1'-0" 4 A-101.01 A-508.01



STAIR @ ATRIUM ELEV A 1/4" = 1'-0" 4 A-101.01 A-508.01



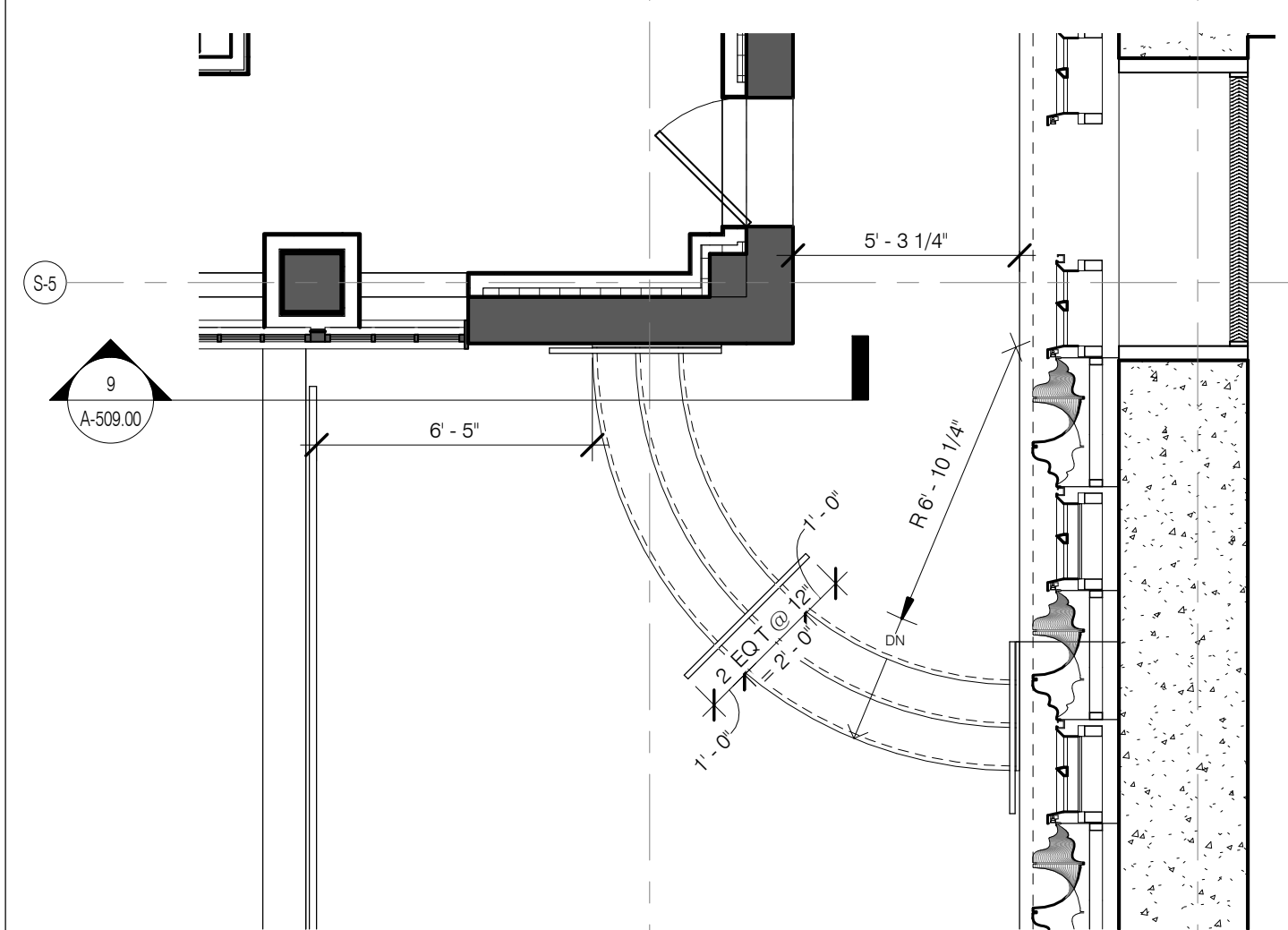
111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



1	3/27/15	DOB PAA
NO.	DATE	REVISION
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS.		
COPYRIGHT © 2015 SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.		

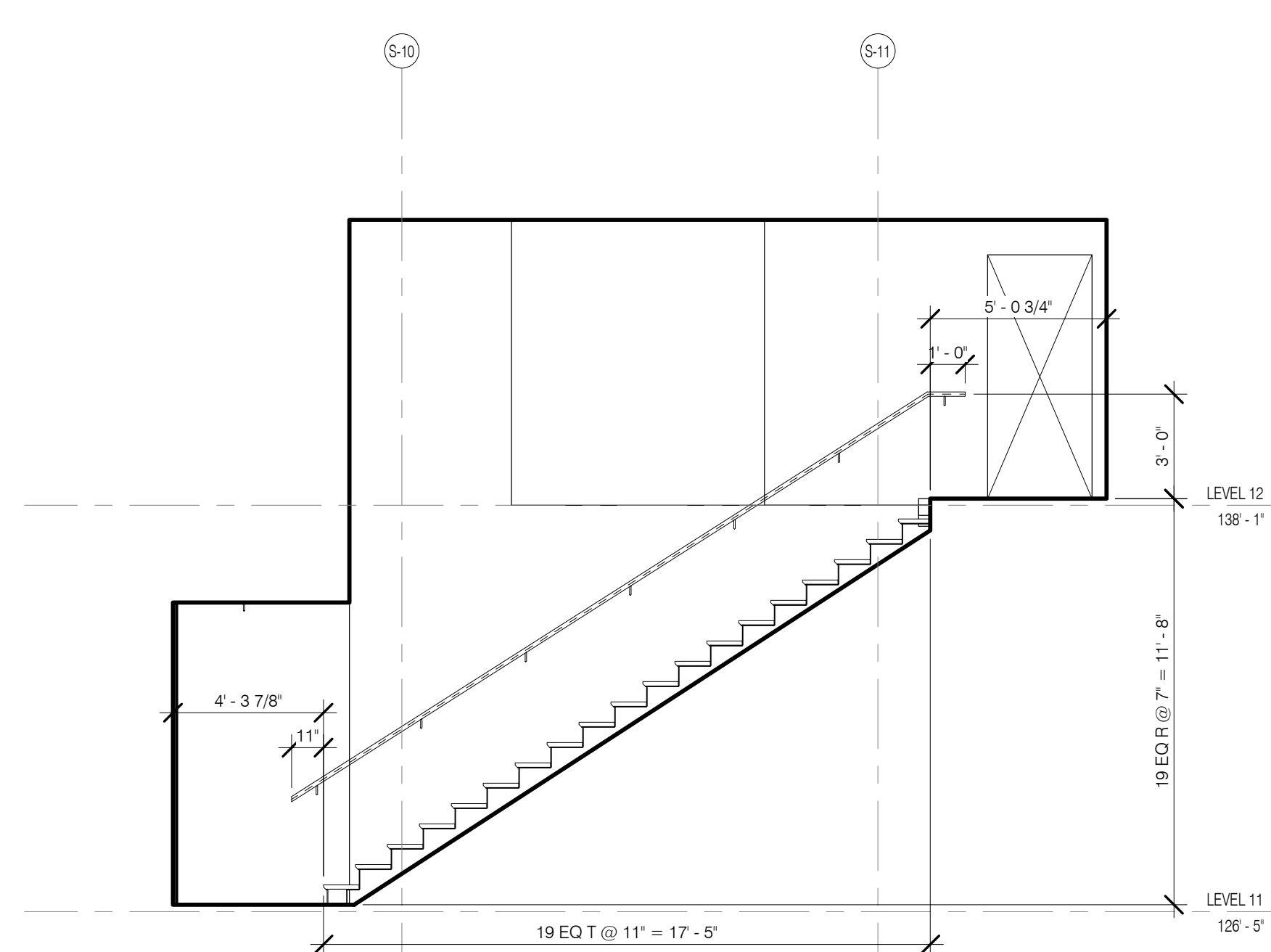
DRAWING TITLE
STAIR PLANS & SECTIONS

SEALED SIGNATURE	DATE	3/27/15
PROJECT NO.	130667	
DRAWN BY	SHAP	
CHECKED BY	SHAP	
DATE NO.	12/18/2008	
DRAWING NUMBER		
A-509.00		

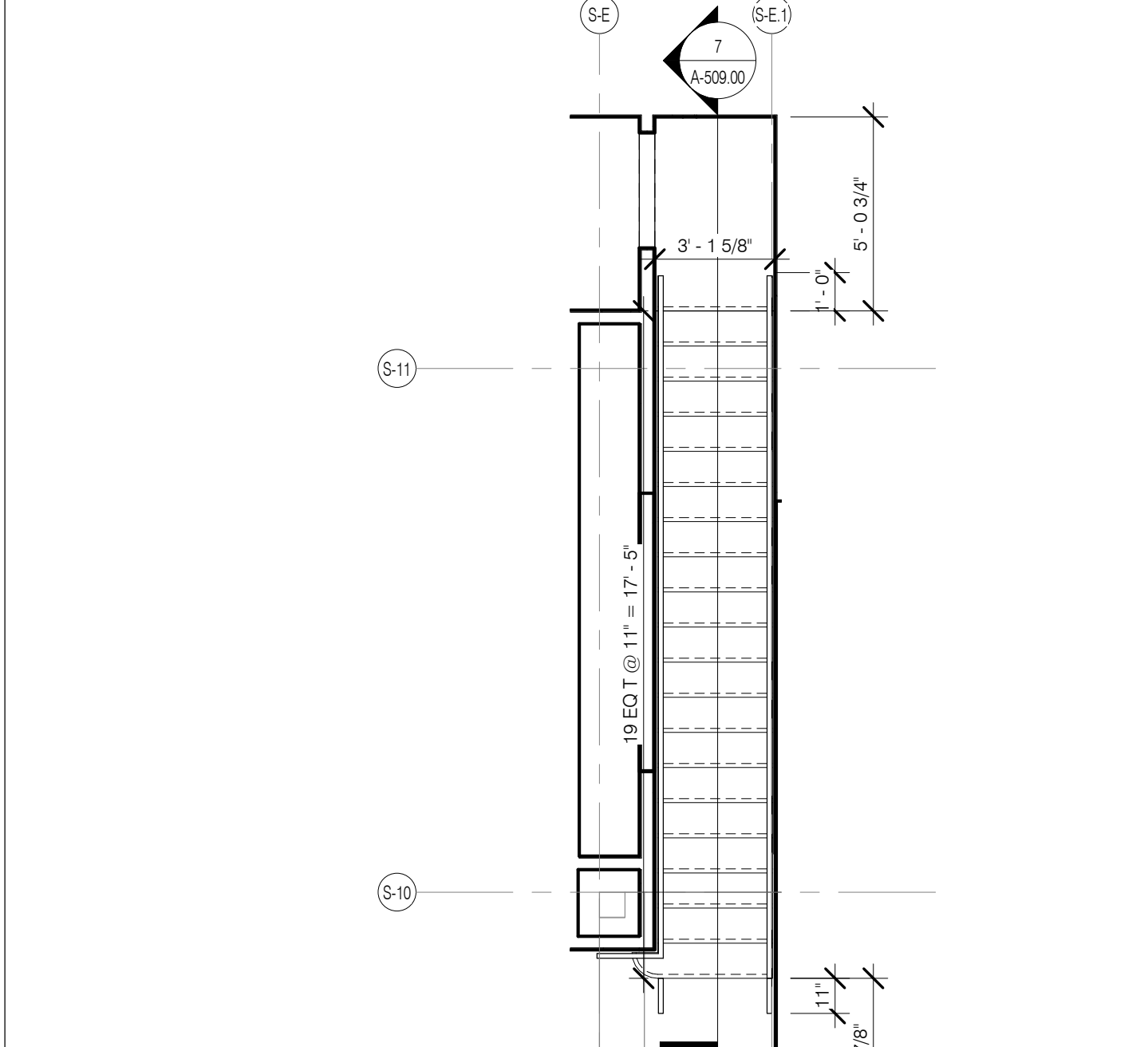


STAIR @ LEVEL 17 TERRACE SECTION 1/4" = 1'-0" 9

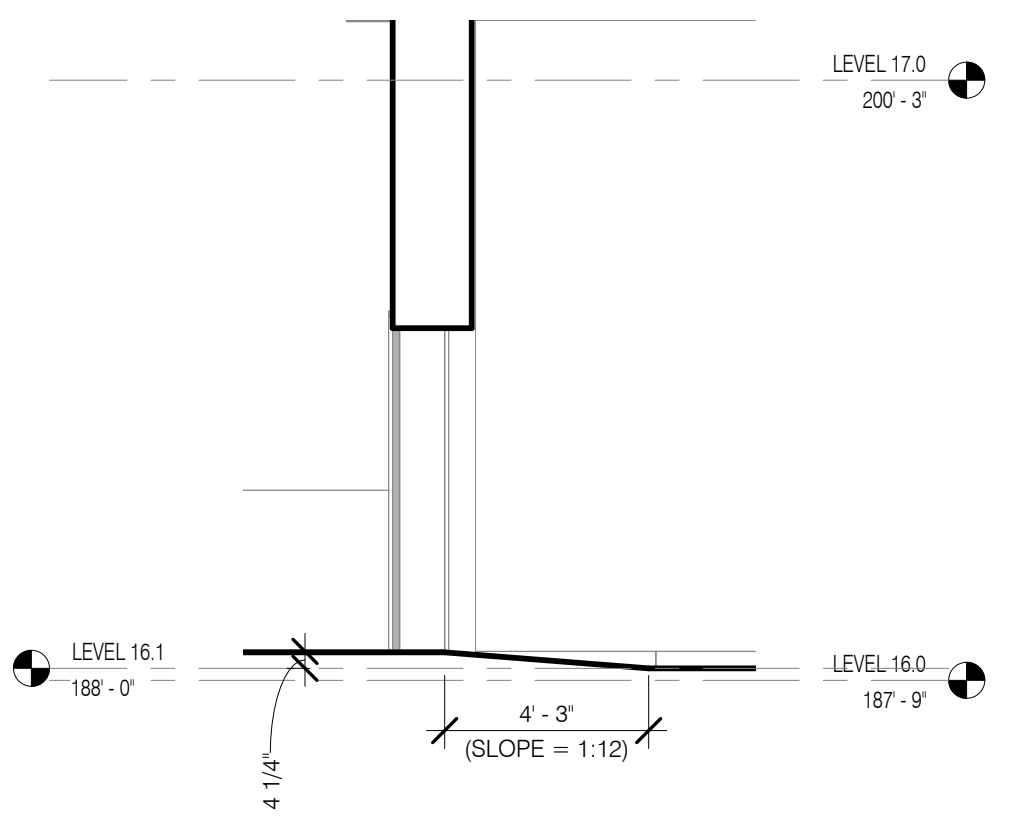
STAIR @ LEVEL 17 TERRACE PLAN 1/4" = 1'-0" 8



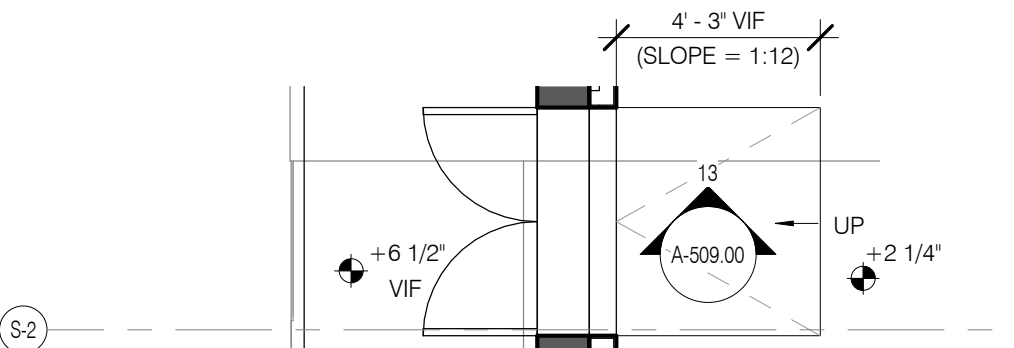
STAIR @ 1102 MEZZANINE SECTION 1/4" = 1'-0" 7



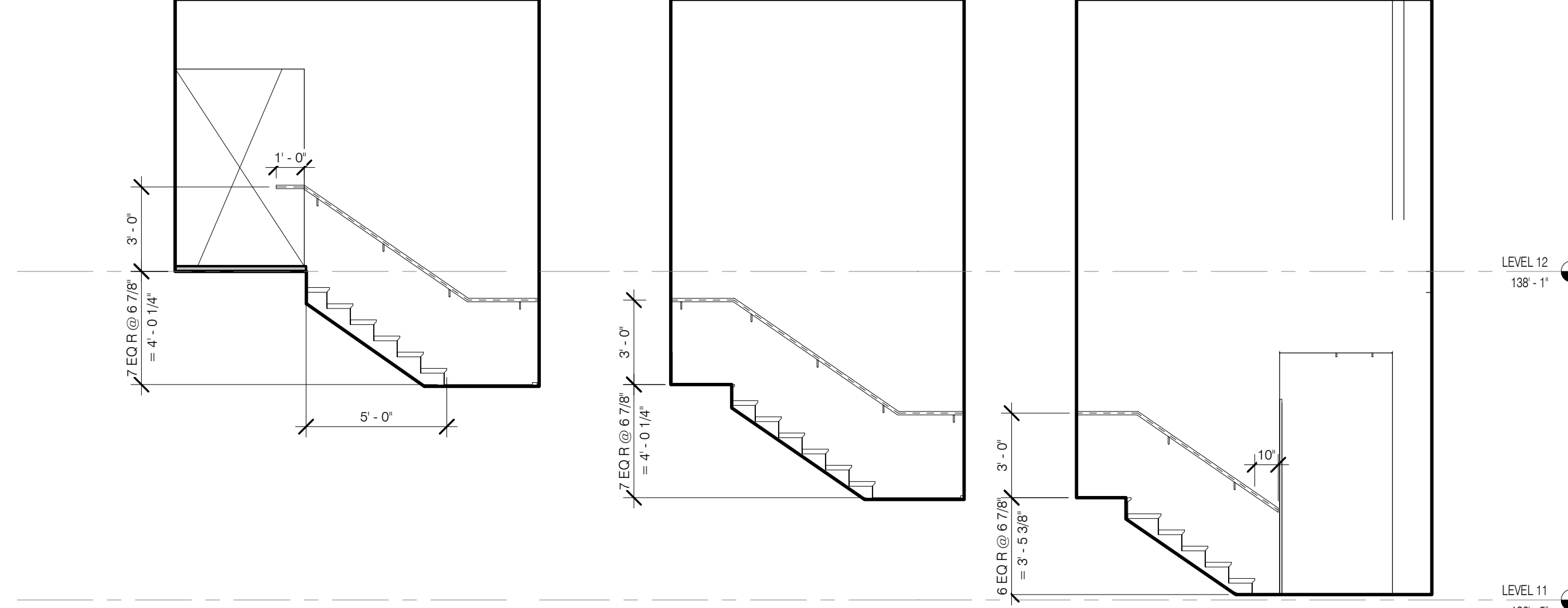
STAIR @ 1102 MEZZANINE PLAN 1/4" = 1'-0" 6



LEVEL 16 SOUTH TERRACE ACCESS RAMP SECTION 1/4" = 1'-0" 13



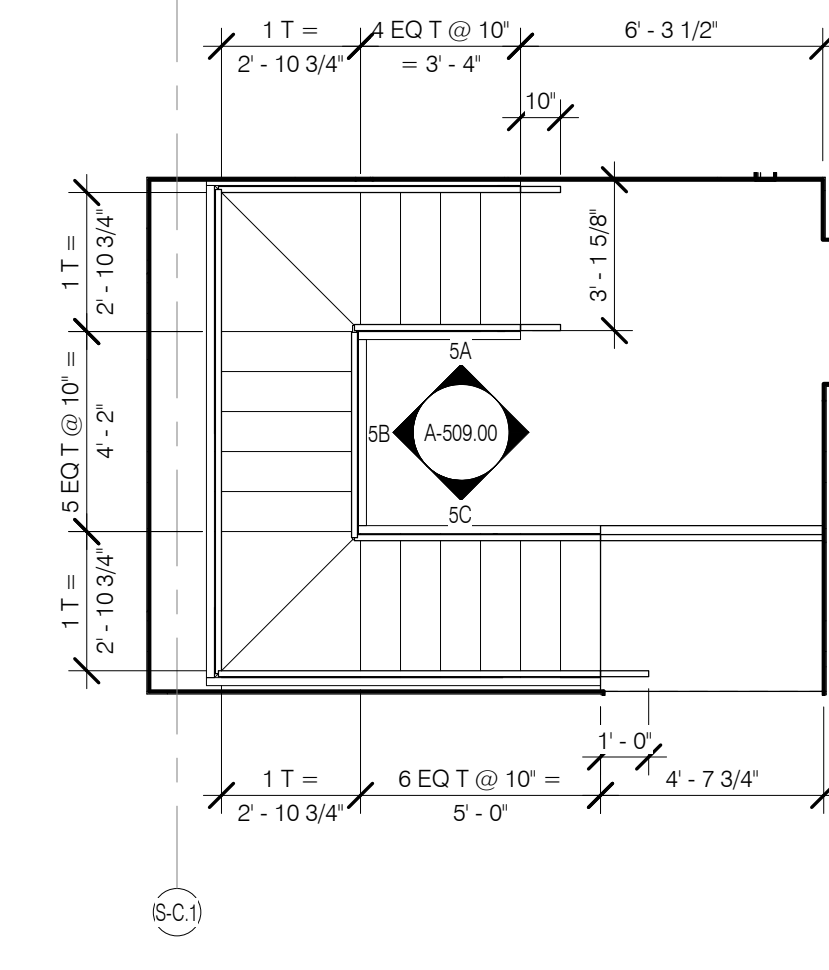
LEVEL 16 SOUTH TERRACE ACCESS RAMP PLAN 1/4" = 1'-0" 12



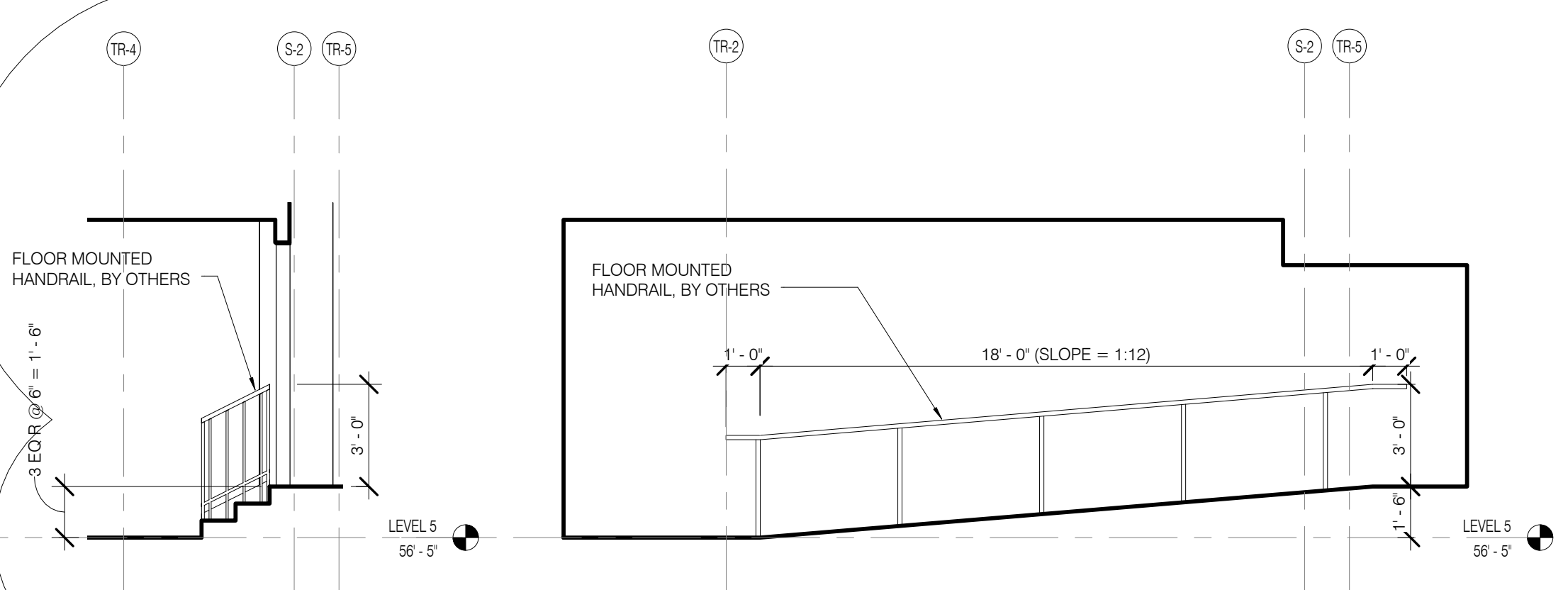
STAIR @ 1101 ELEVATION C 1/4" = 1'-0" 5C

STAIR @ 1101 ELEVATION B 1/4" = 1'-0" 5B

STAIR @ 1101 ELEVATION A 1/4" = 1'-0" 5A

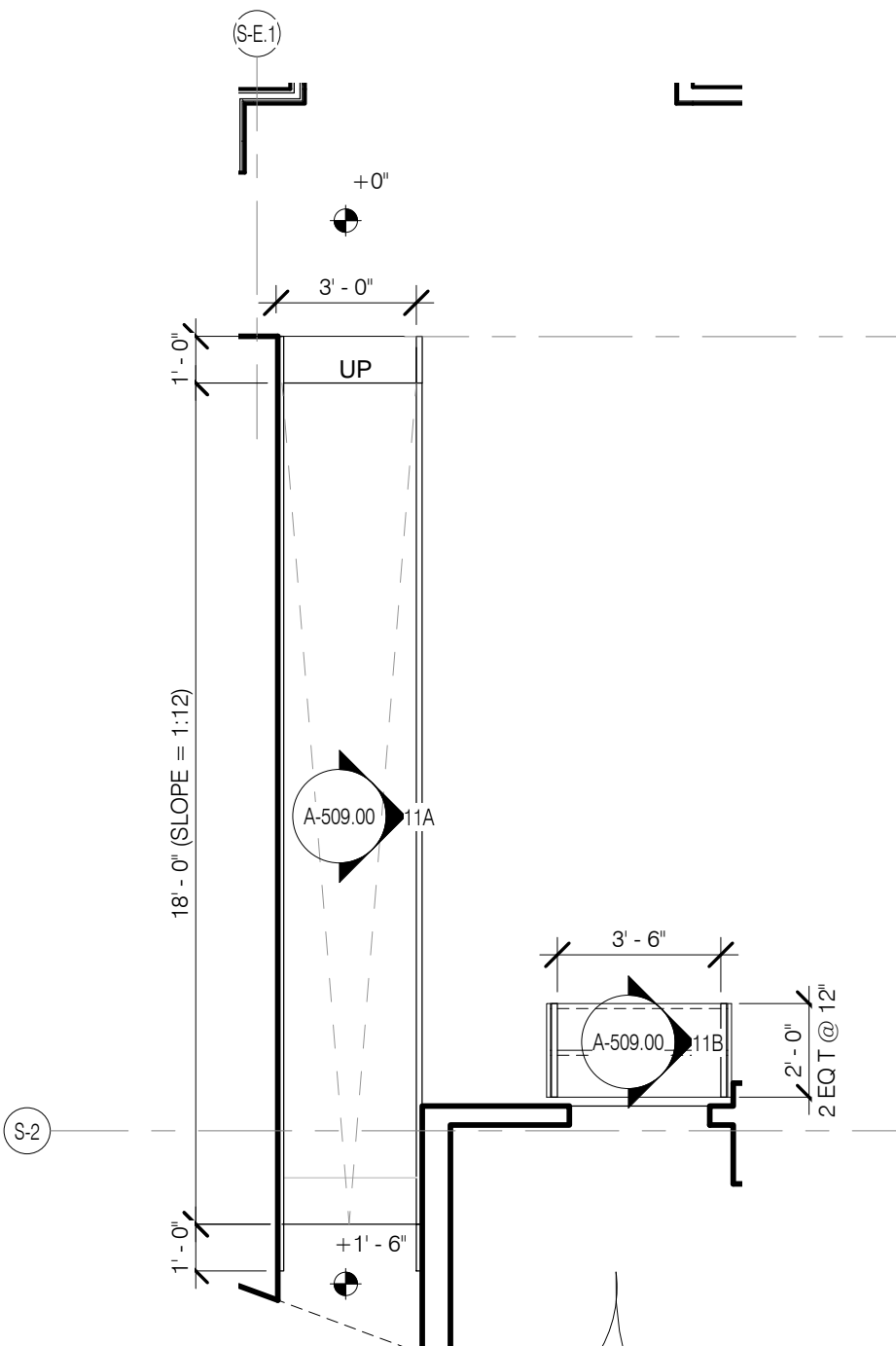


STAIR @ 1101 MEZZANINE PLAN 1/4" = 1'-0" 4

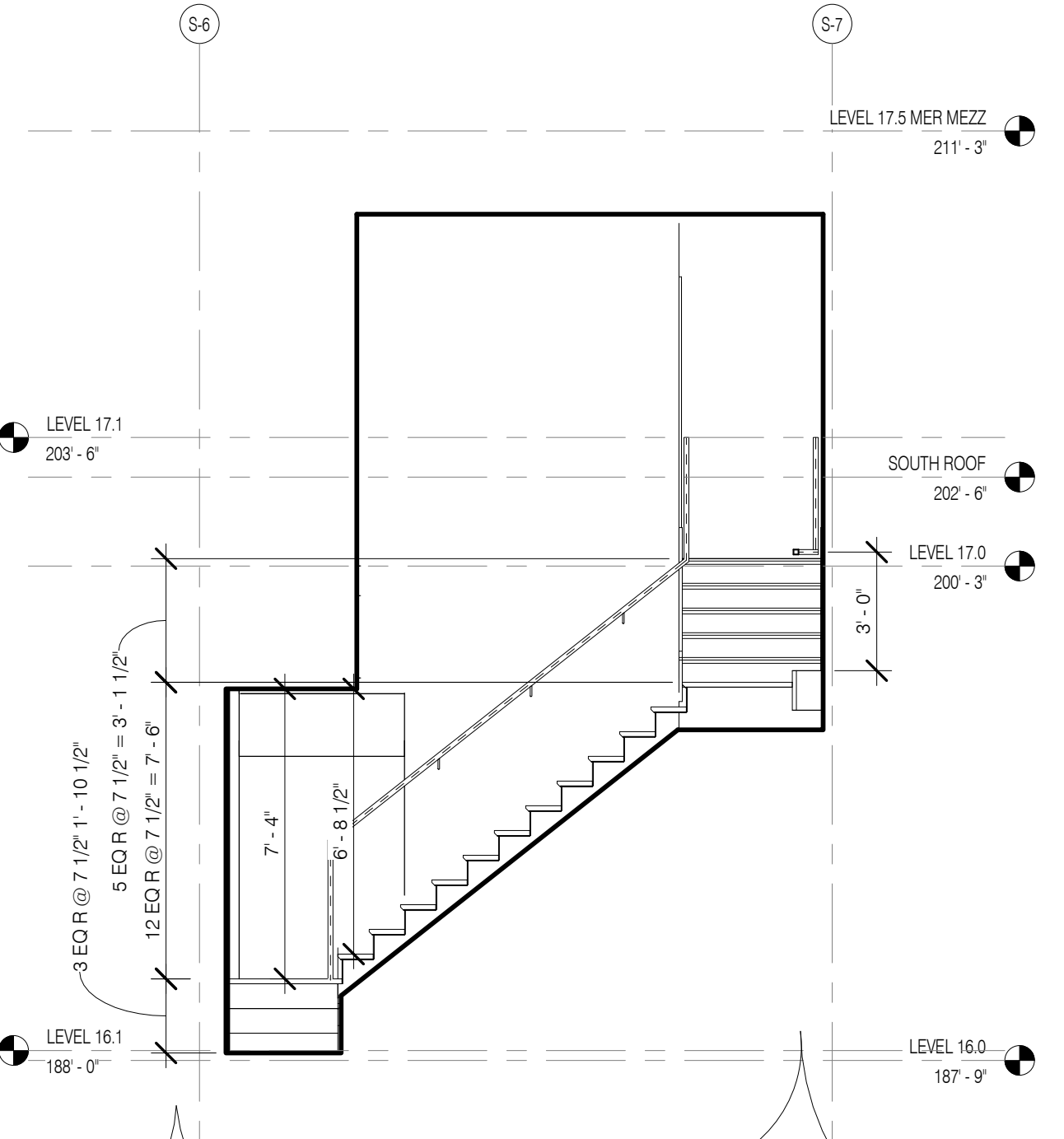


LEVEL 5 AMENITY STAIR SECTION 1/4" = 1'-0" 11B

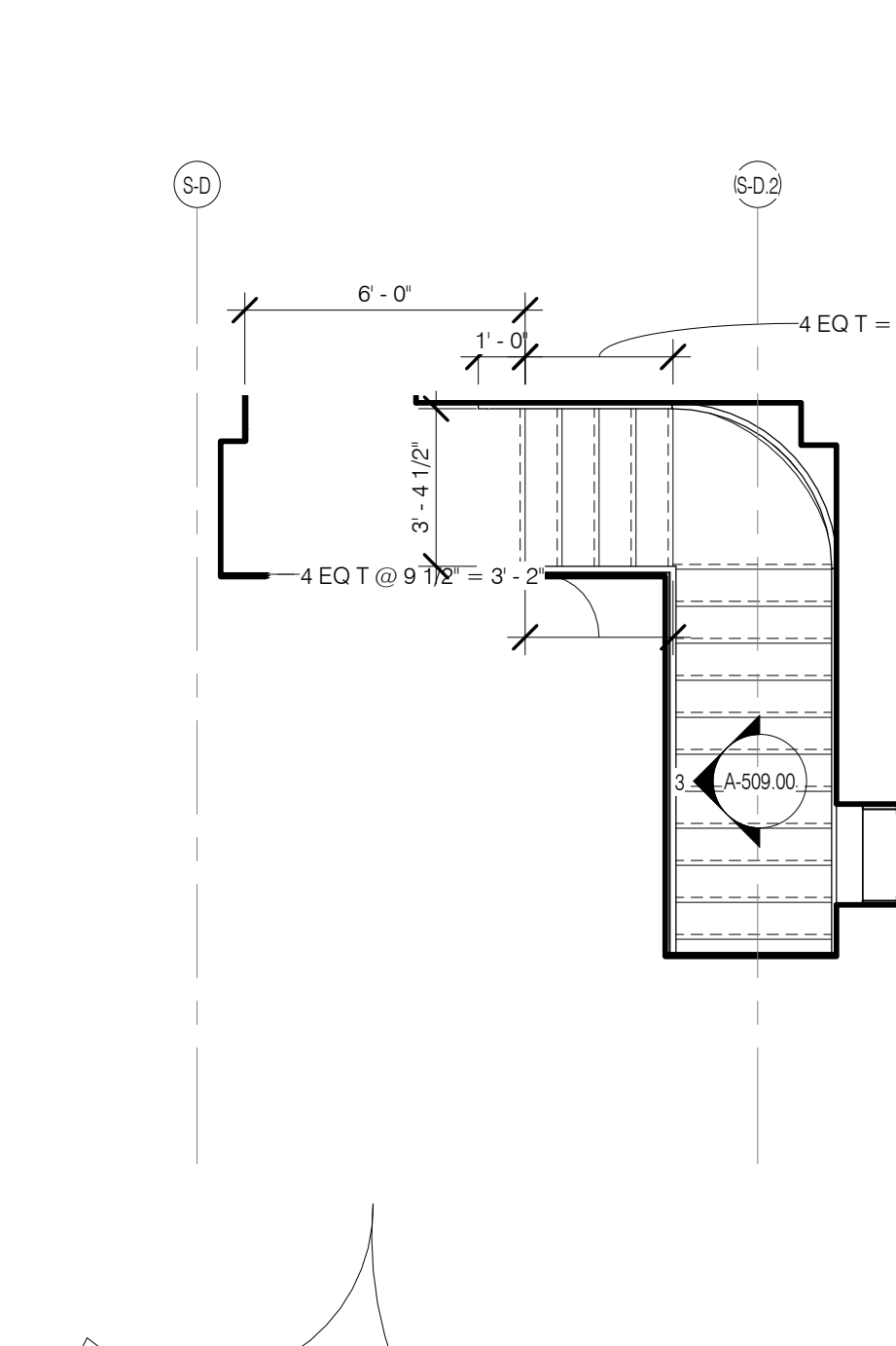
LEVEL 5 AMENITY RAMP SECTION 1/4" = 1'-0" 11A



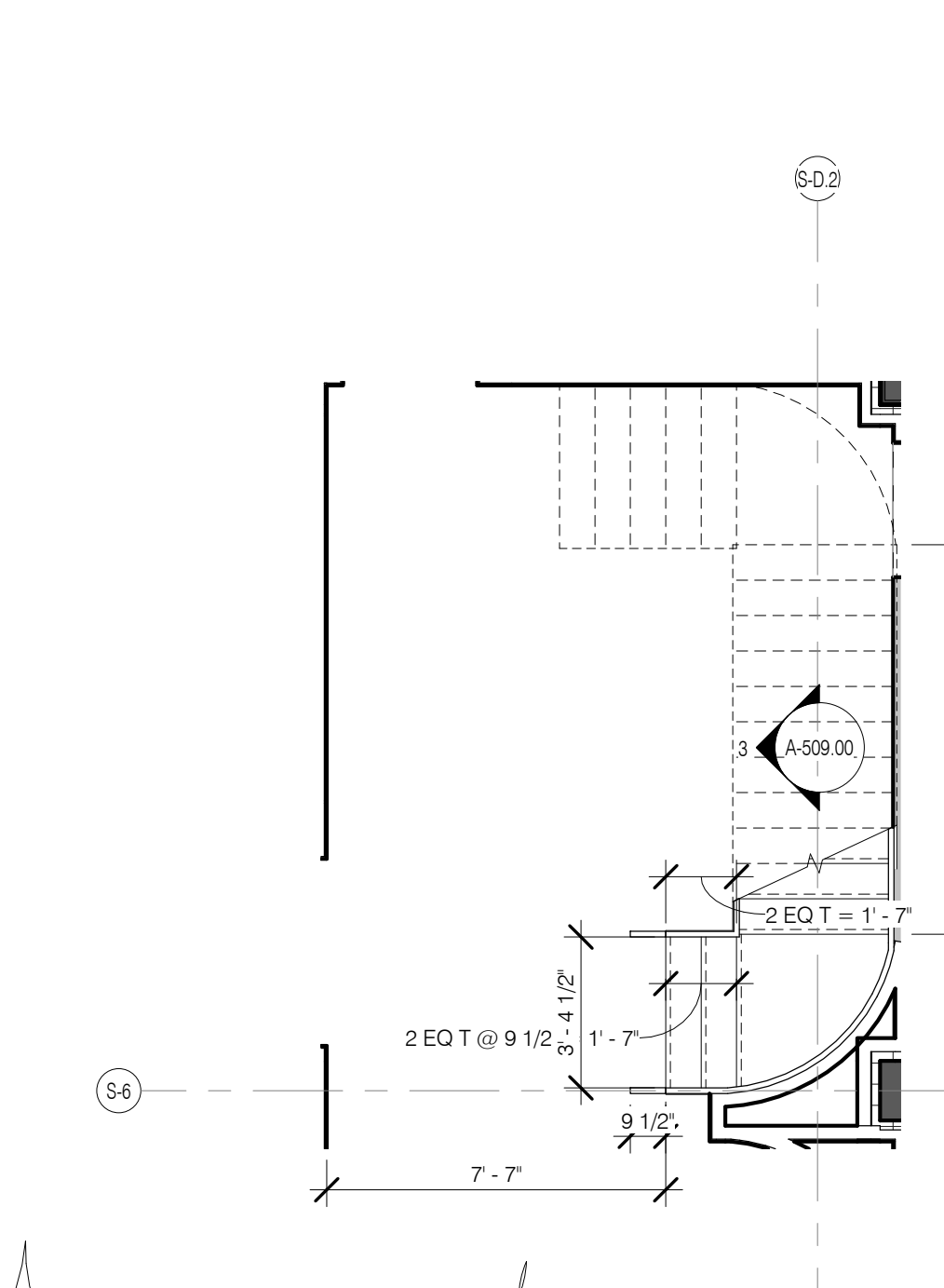
LEVEL 5 AMENITY RAMP PLAN 1/4" = 1'-0" 10



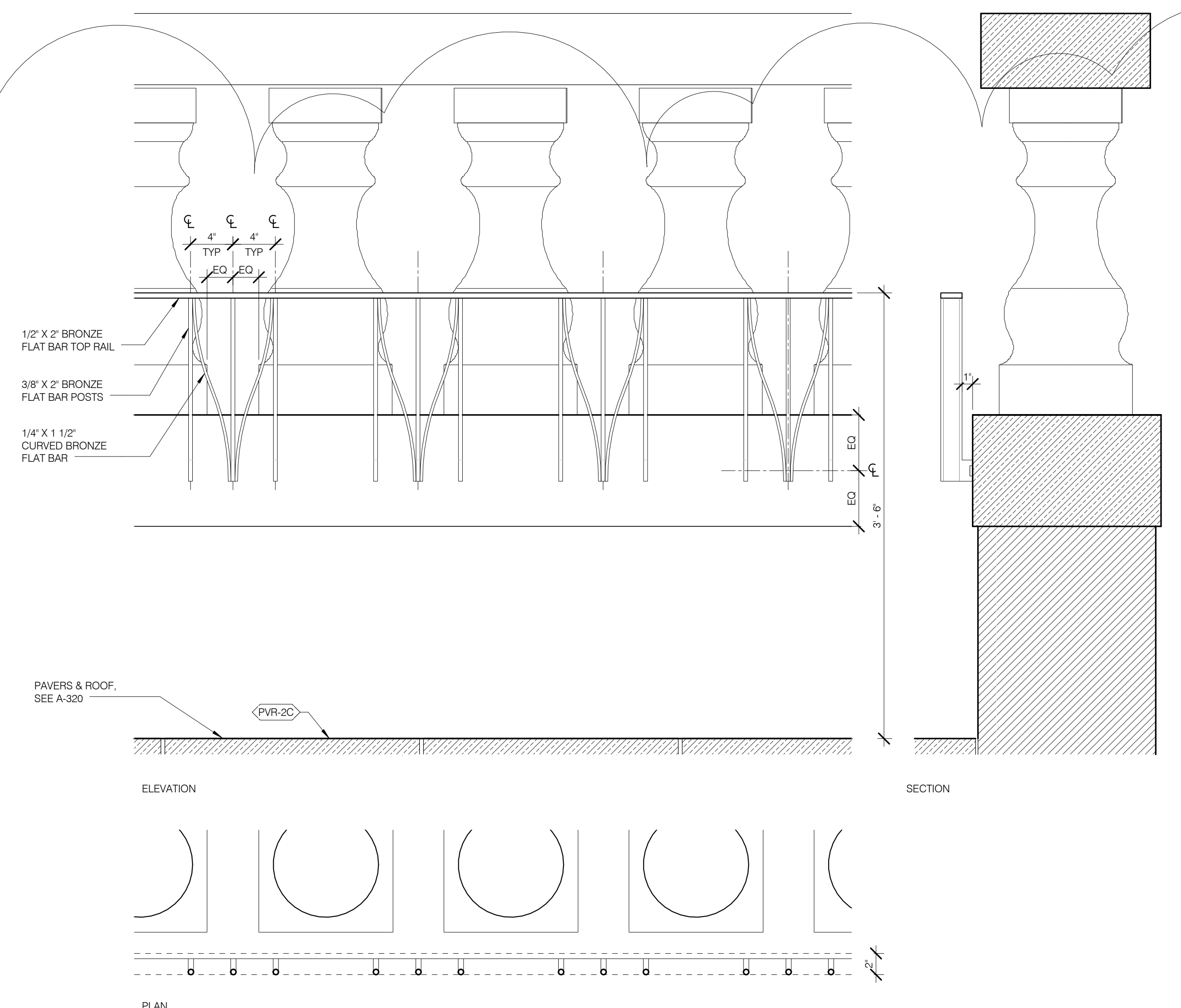
STAIR @ STEINWAY PENTHOUSE - LEVEL 16 SECTION 1/4" = 1'-0" 3



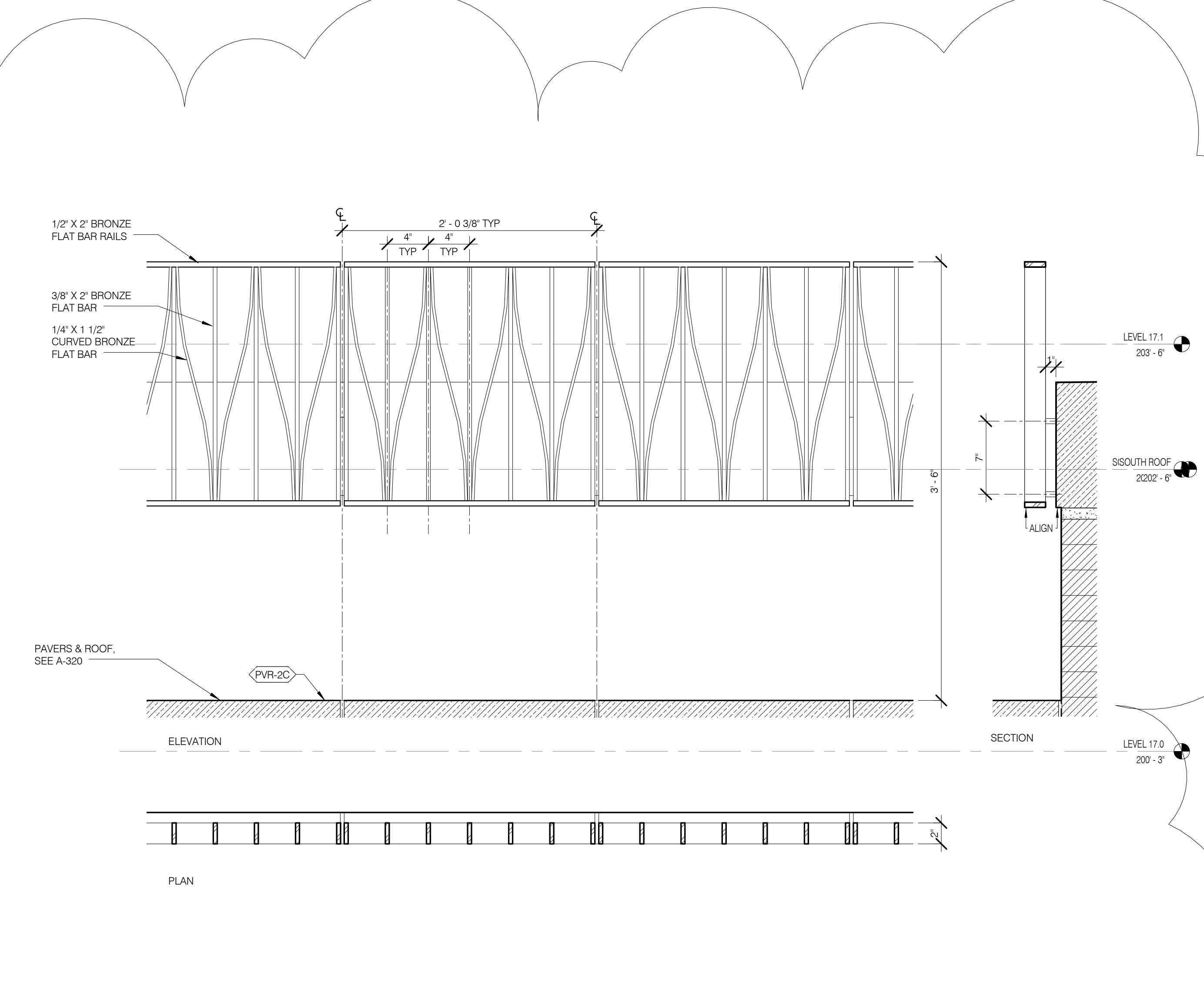
STAIR @ STEINWAY PENTHOUSE - LEVEL 17 PLAN 1/4" = 1'-0" 2



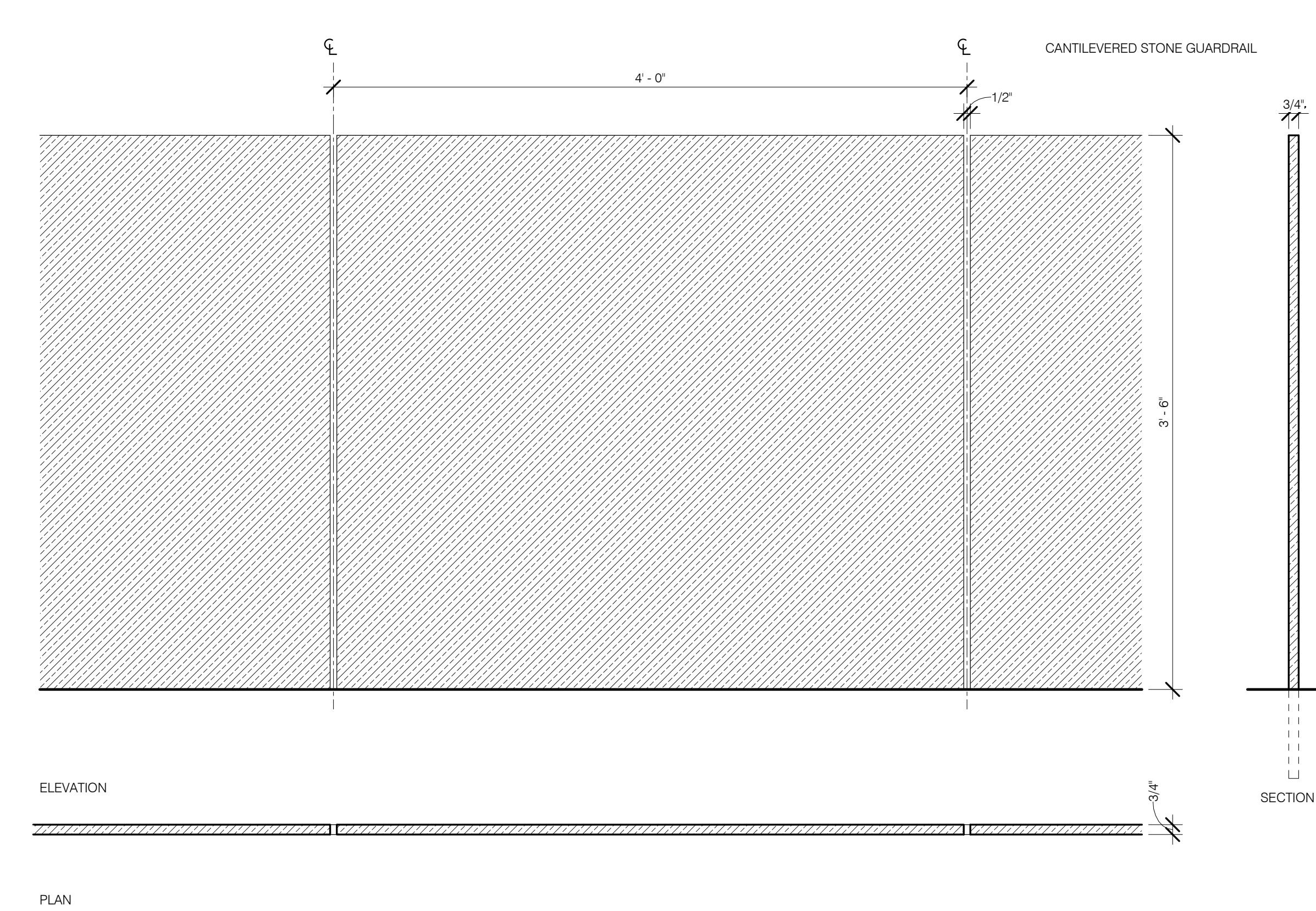
STAIR @ STEINWAY PENTHOUSE - LEVEL 16 PLAN 1/4" = 1'-0" 1



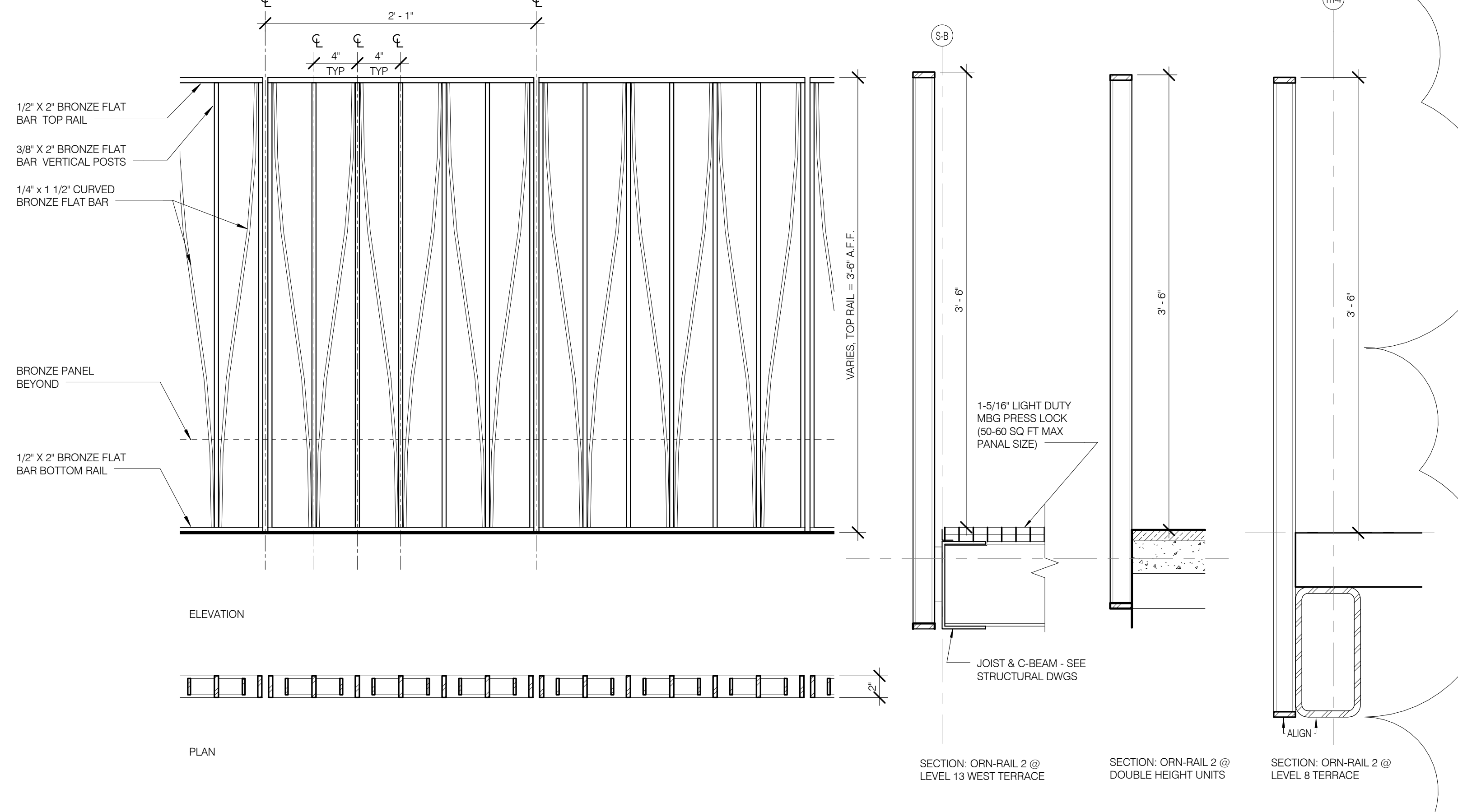
ORN RAIL-6 GUARDRAIL @ STEINWAY TERRACES 1 1/2" = 1'-0" 6



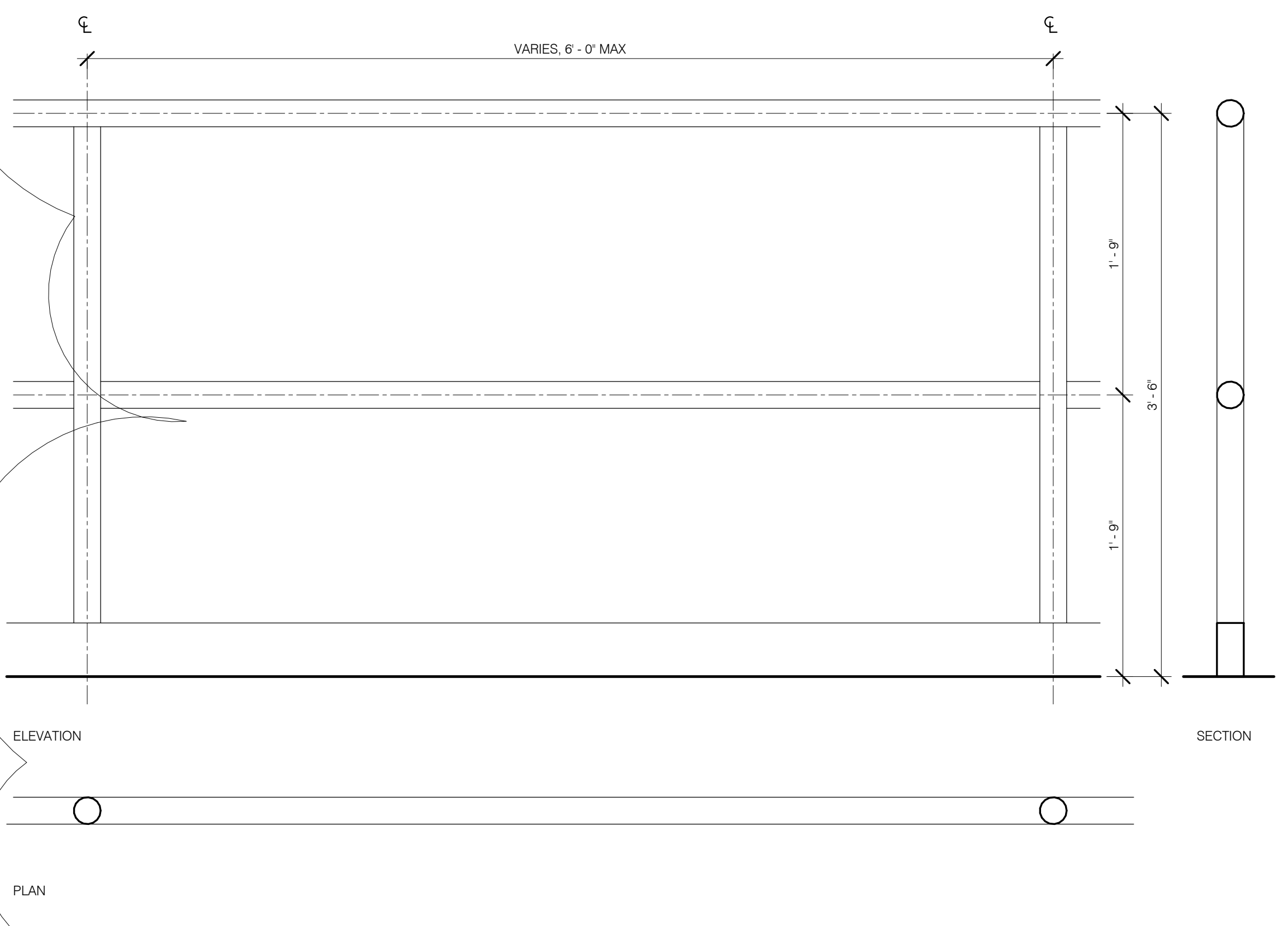
ORN RAIL-3 BRONZE GUARDRAIL @ LEVEL 17 TERRACE 1 1/2" = 1'-0" 3



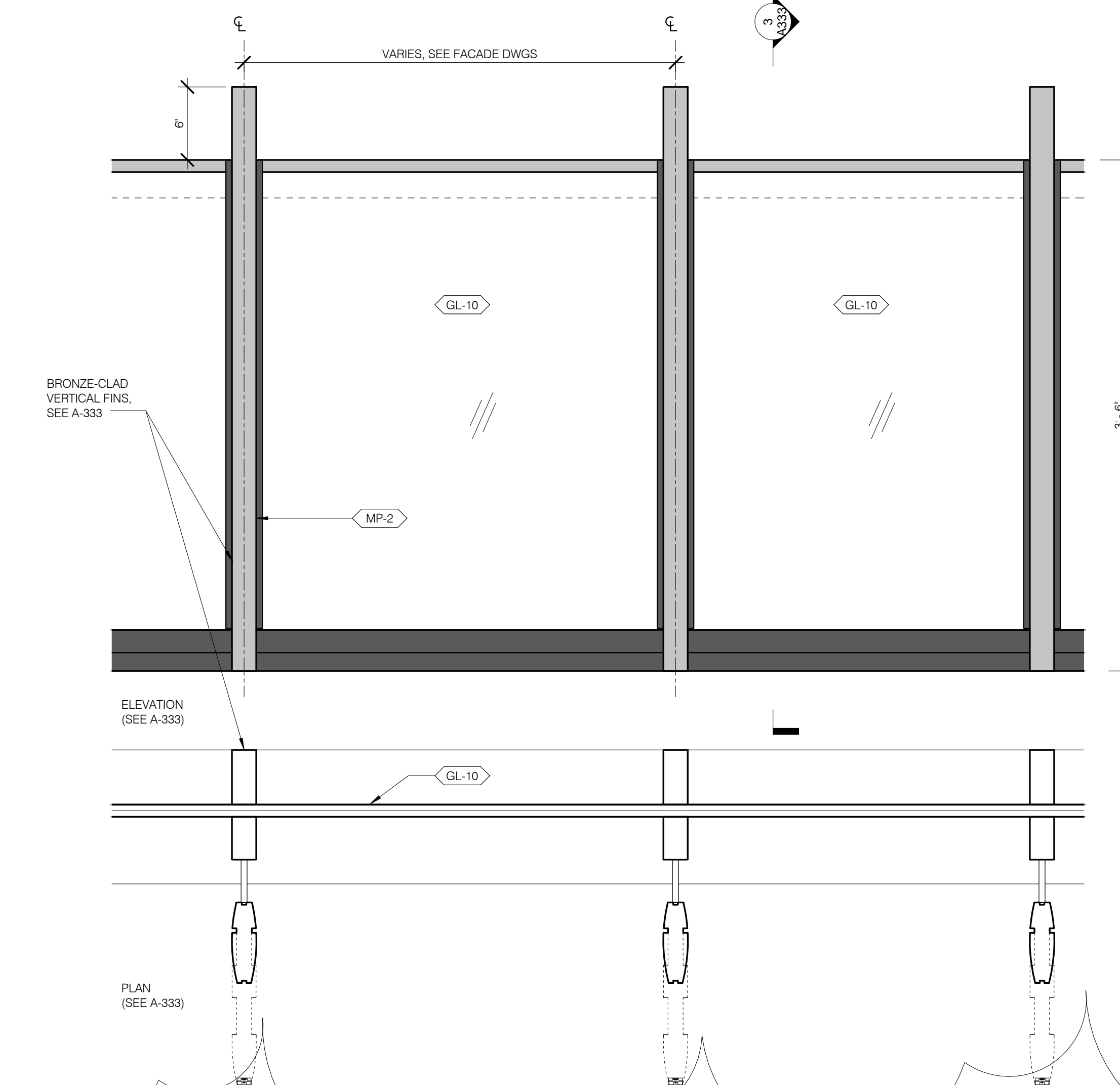
ORN RAIL-5 STONE GUARDRAIL @ GROUND LEVEL NORTH RAMP 1 1/2" = 1'-0" 7



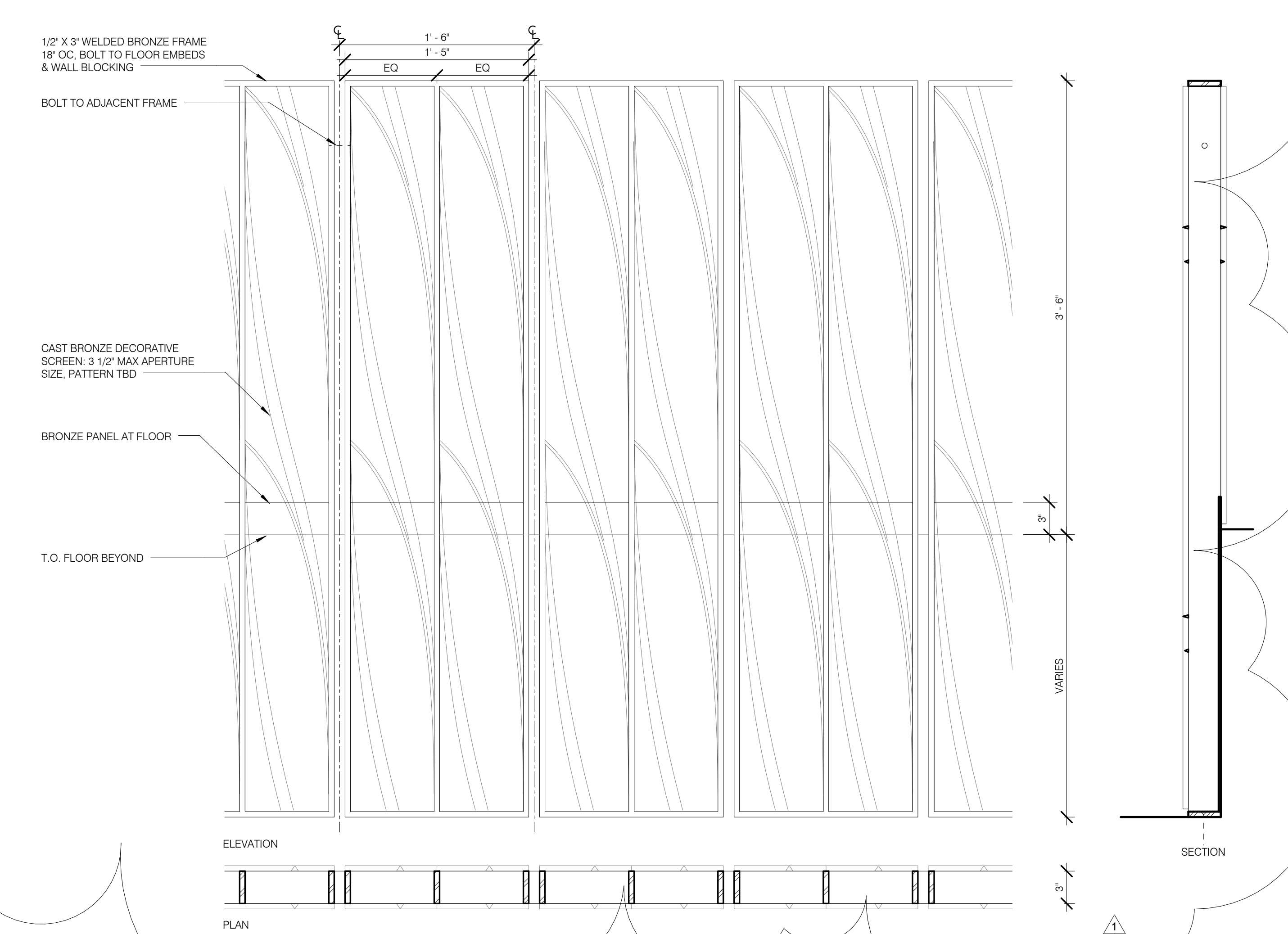
ORN RAIL-2 FLOOR-MOUNTED BRONZE GUARDRAIL 1 1/2" = 1'-0" 2



MTL FAB-4 OSHA GUARDRAIL 1 1/2" = 1'-0" 8



ORN RAIL-4 GUARDRAIL @ TOWER TERRACE 1 1/2" = 1'-0" 4



ORN RAIL-1 GUARDRAIL @ ATRIUM RAMP 1 1/2" = 1'-0" 1

JDS DEVELOPMENT GROUP

ARCHITECT
SHAP ARCHITECTS, P.C.
225 BROADWAY, 11TH FLOOR
NEW YORK, NY 10038
TEL: 212.693.8338

STRUCTURAL ENGINEER
WSP PARTOR BENJUK
225 BROADWAY, 11TH FLOOR
NEW YORK, NY 10038
TEL: 212.693.8338

MEP ENGINEER
MICHEL BAIM & BOLLER
80 WINE STREET, 10TH FLOOR
NEW YORK, NY 10038
TEL: 212.693.8338

CIVIL ENGINEER
ANFIF ENGINEERING, P.C.
440 PARK AVE SOUTH 7TH FLOOR
NEW YORK, NY 10014
TEL: 486.366.8268

ACOUSTICS
LONGMAN LINDSEY
40 WEST 89TH STREET, 6TH FLOOR
NEW YORK, NY 10024
TEL: 475.293.2300

INTERIORS
STUDIO SCHFIELD
90 JARVIS STREET
NEW YORK, NY 10003
TEL: 212.473.1300

BURD HAPFOLD
140 BROADWAY
NEW YORK, NY 10038
TEL: 212.693.8338

VERTICAL TRANSPORTATION
VAN DEUSEN & ASSOCIATES
1 ADELAIDE STREET, SUITE 504
LANSINGTON, N.S.W. 2157
TEL: 613.941.8225

RESTORATION
JAN WIND FORKROYN ASSOCIATES
16 WEST 57TH STREET, FLOOR 5A
NEW YORK, NY 10019
TEL: 212.238.8462

MEPC
220 WEST 45TH STREET, 6TH FLOOR
NEW YORK, NY 10036-2000
TEL: 307.288.8888

GEOTECH
LOKMAN LINDSEY
40 WEST 89TH STREET, 6TH FLOOR
NEW YORK, NY 10024
TEL: 475.293.2300

LIGHTING
LOOPERATORRE INTERNATIONAL
122 BROADWAY STREET, 7TH FLOOR EAST
NEW YORK, NY 10038
TEL: 212.228.4488

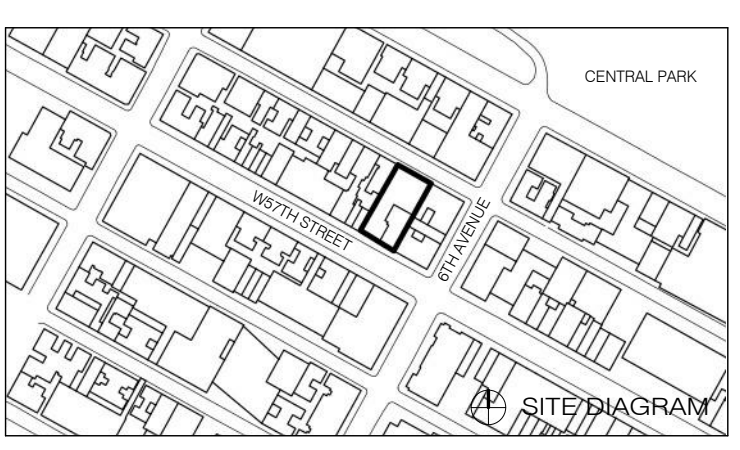


PROPERTY MARKETS GROUP
1 EAST 57TH STREET, 2ND FLOOR
NEW YORK, NY 10022
TEL: 212.613.2800
CURRENT ISSUE

DOB PAA

Shauqat Shaikh
Building
APPROVED
Under Directive 2 of 1975
DATE: 08/28/2015
NYC Development Hub

111 WEST 57TH STREET
NEW YORK, NY 10019



NO.	DATE	REVISION
1	3.27.15	DOB PAA

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS, P.C.

DRAWING TITLE
RAILING TYPES AND DETAILS

SEALED SIGNATURE: [Signature] DATE: 3.27.15

PROJECT NO: 130907
DESIGNED BY: SHAP
CHECKED BY: SHAP
DATE: 12/18/2008
DRAWING NUMBER: A-510.01

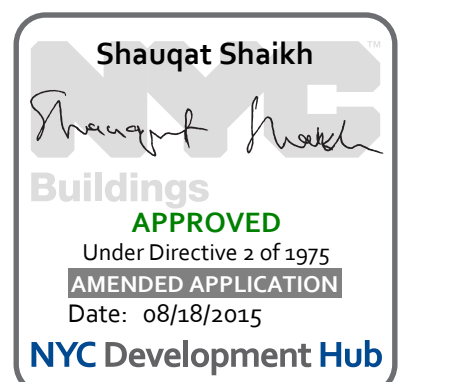
REGISTERED ARCHITECT
STATE OF NEW YORK

ARCHITECT	SHAP ARCHITECTS, P.C. 200 EAST 40TH STREET NEW YORK, NY 10018 646.933.3333	FAÇADE	BLURO HAPPOLD 100 BROADWAY NEW YORK, NY 10005 212.693.0000
STRUCTURAL ENGINEER	WSP CANTOR BENK 300 EAST 40TH STREET NEW YORK, NY 10017 212.693.0000	VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 100 WEST 45TH STREET, SUITE 504 LONGWOOD, NY 10004 646.933.3333
MEP ENGINEER	JAROS BRAY & SCOLLES 40 FINE STREET, 10TH FLOOR NEW YORK, NY 10005 212.693.0000	RESTORATION	JENNIFER FORCUM ASSOCIATES 30 WEST 27TH STREET, FLOOR 10A NEW YORK, NY 10001 212.755.9400
CIVIL ENGINEER	PAW ENGINEERING, P.C. 440 PARK AVE SUITE 1700 FLOOR NEW YORK, NY 10017 212.693.0000	ACoustics	LONGMAN LINDSEY 40 WEST 59TH STREET, 4TH FLOOR NEW YORK, NY 10019 212.755.9400
INTERIORS	STUDIO SKOHELD 80 JARVIS STREET NEW YORK, NY 10005 212.673.1000	GEOTECH	MACE 100 WEST 45TH STREET, 4TH FLOOR NEW YORK, NY 10019 212.693.0000
		LIGHTING	LOBENWATCHE INTERNATIONAL 100 BROADWAY STREET, 17TH FLOOR EAST NEW YORK, NY 10005 212.693.0000

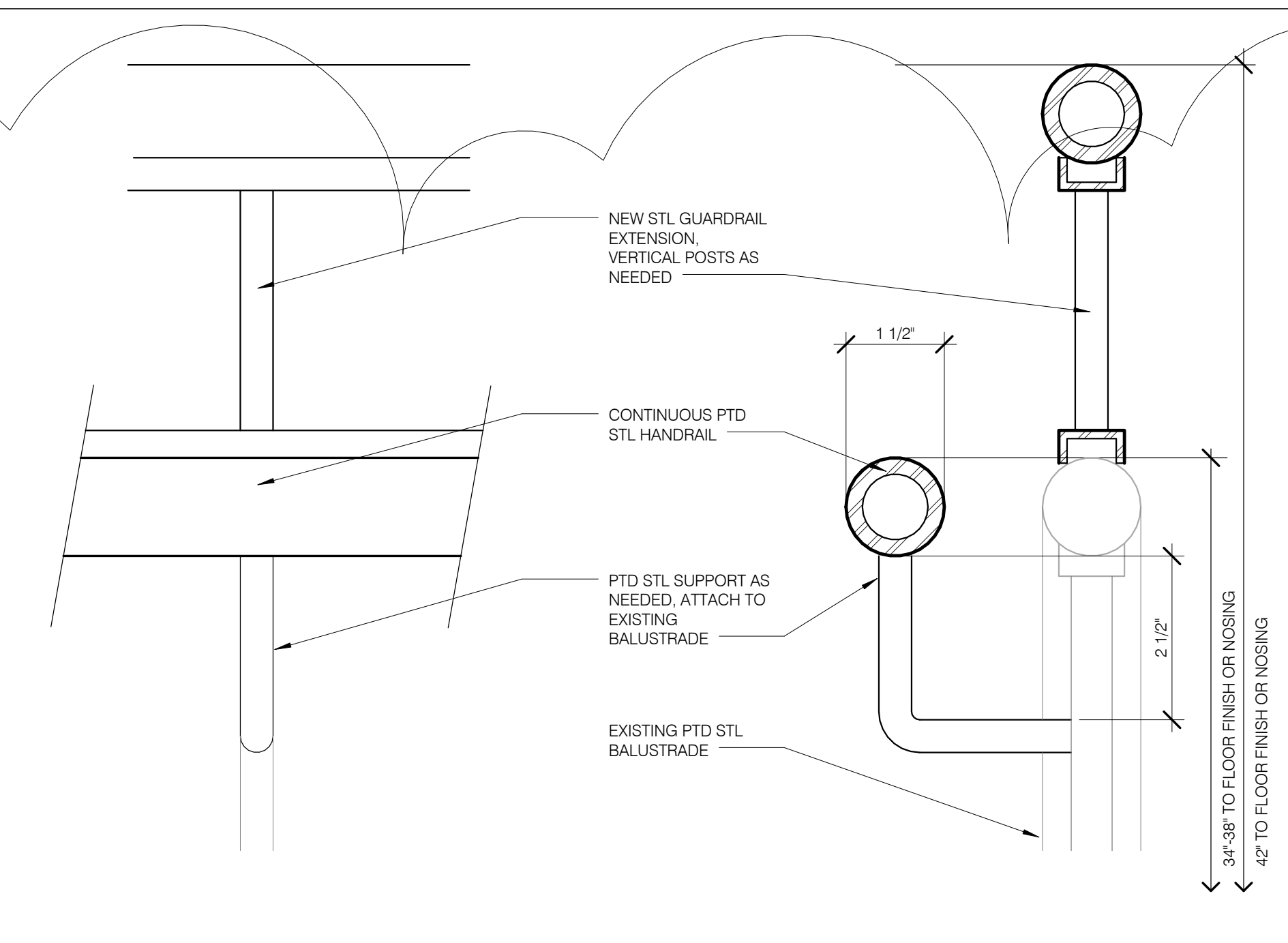


PRIORITY MARKETS GROUP
6 EAST 17TH STREET, 2ND FLOOR
NEW YORK, NY 10003
212.693.0000
CURRENT ISSUE

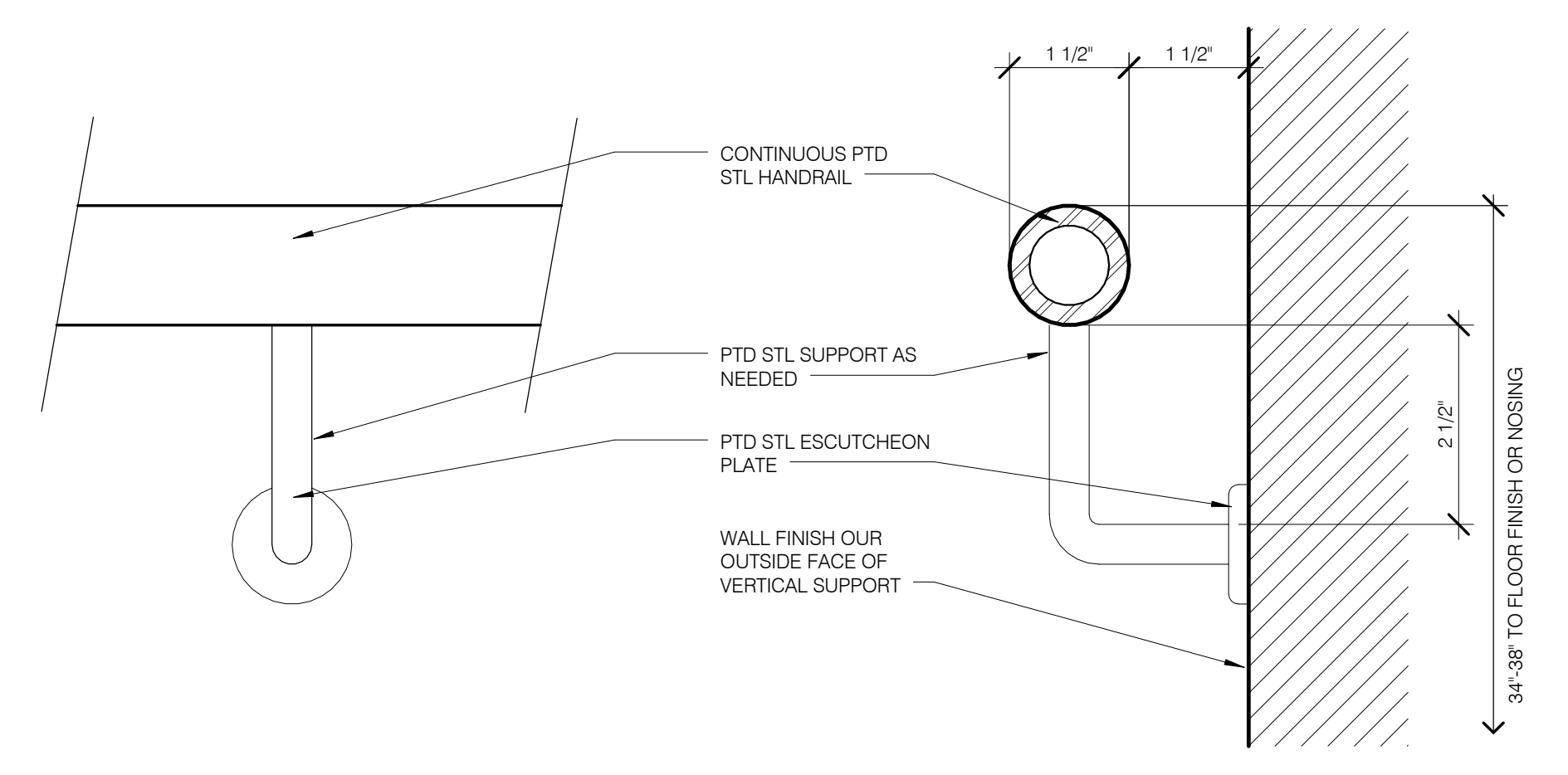
DOB PAA



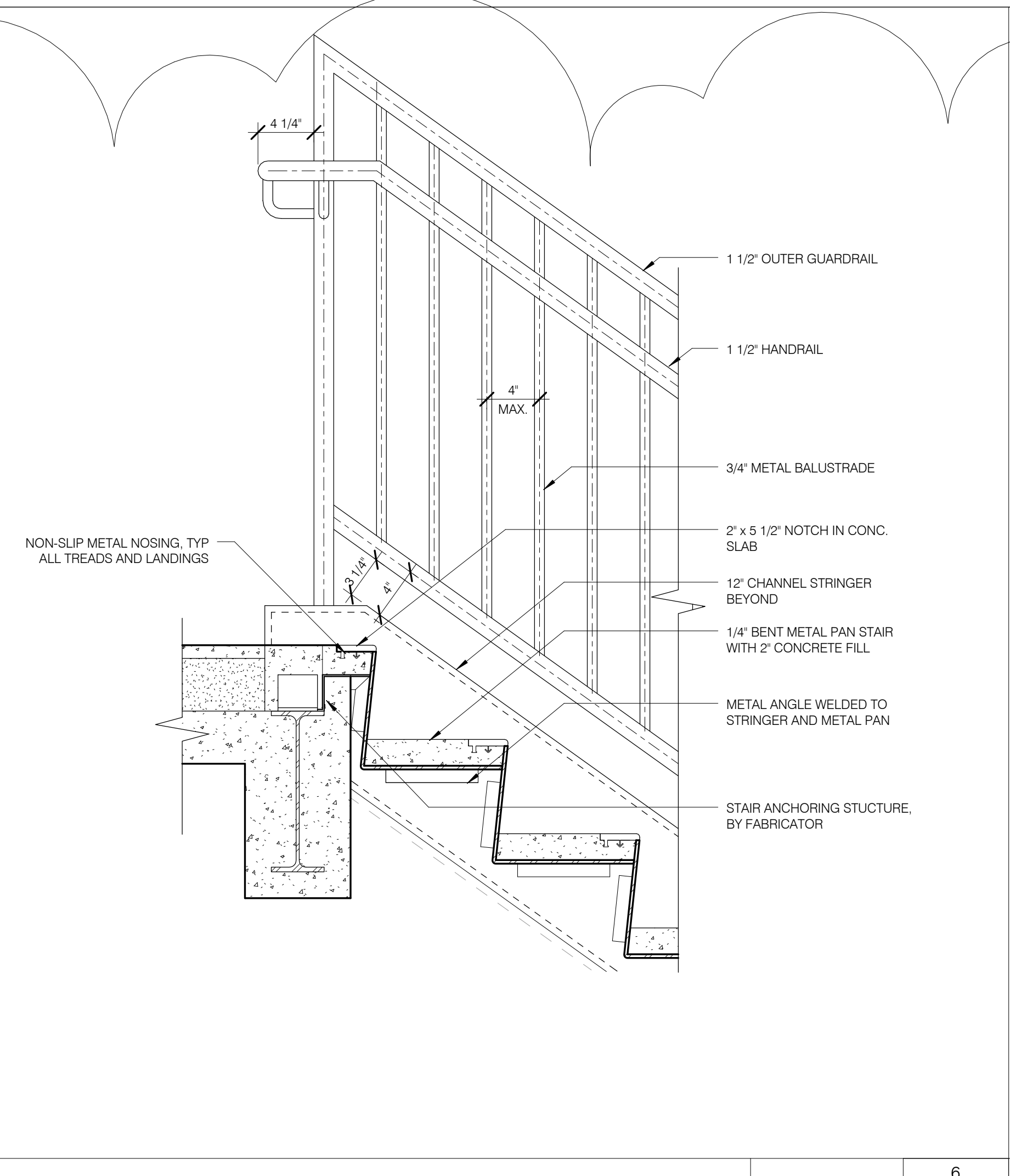
111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



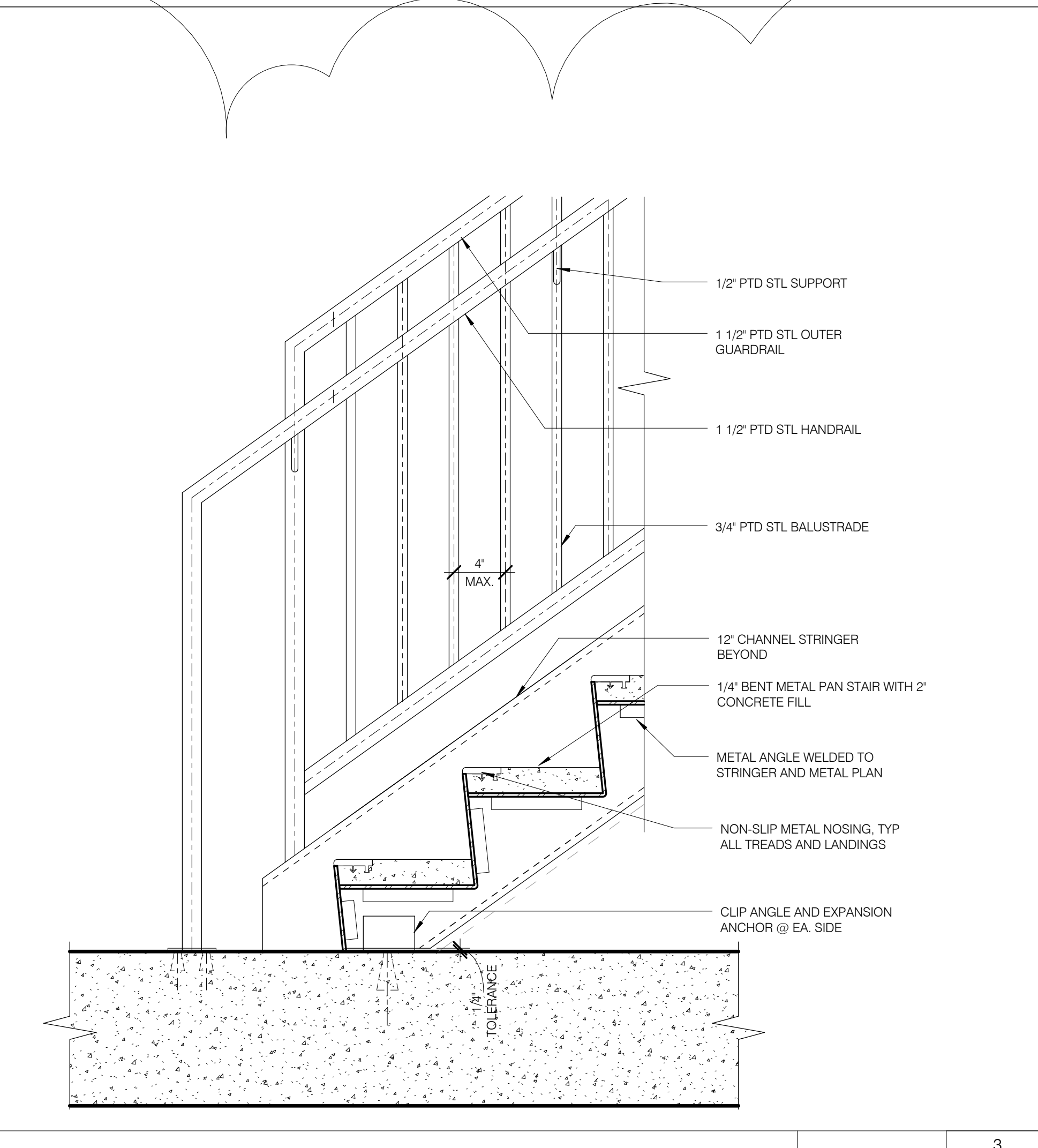
ADAPTED HANDRAIL @ EXISTING STAIR 6' = 1'-0" 8B
A.511.08 A.511.00



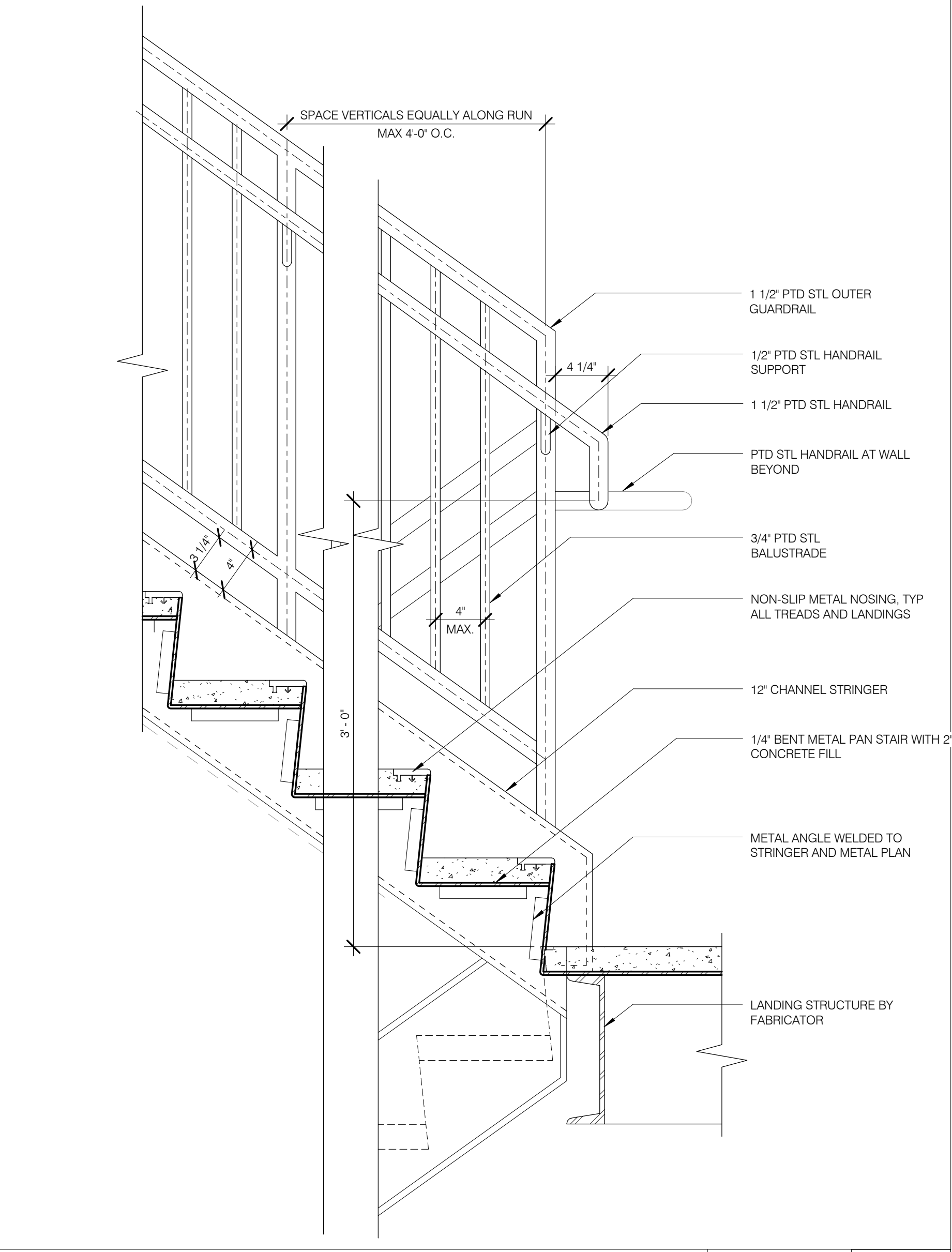
TYPICAL HANDRAIL CONNECTION 6' = 1'-0" 8A
A.500.01 A.511.00



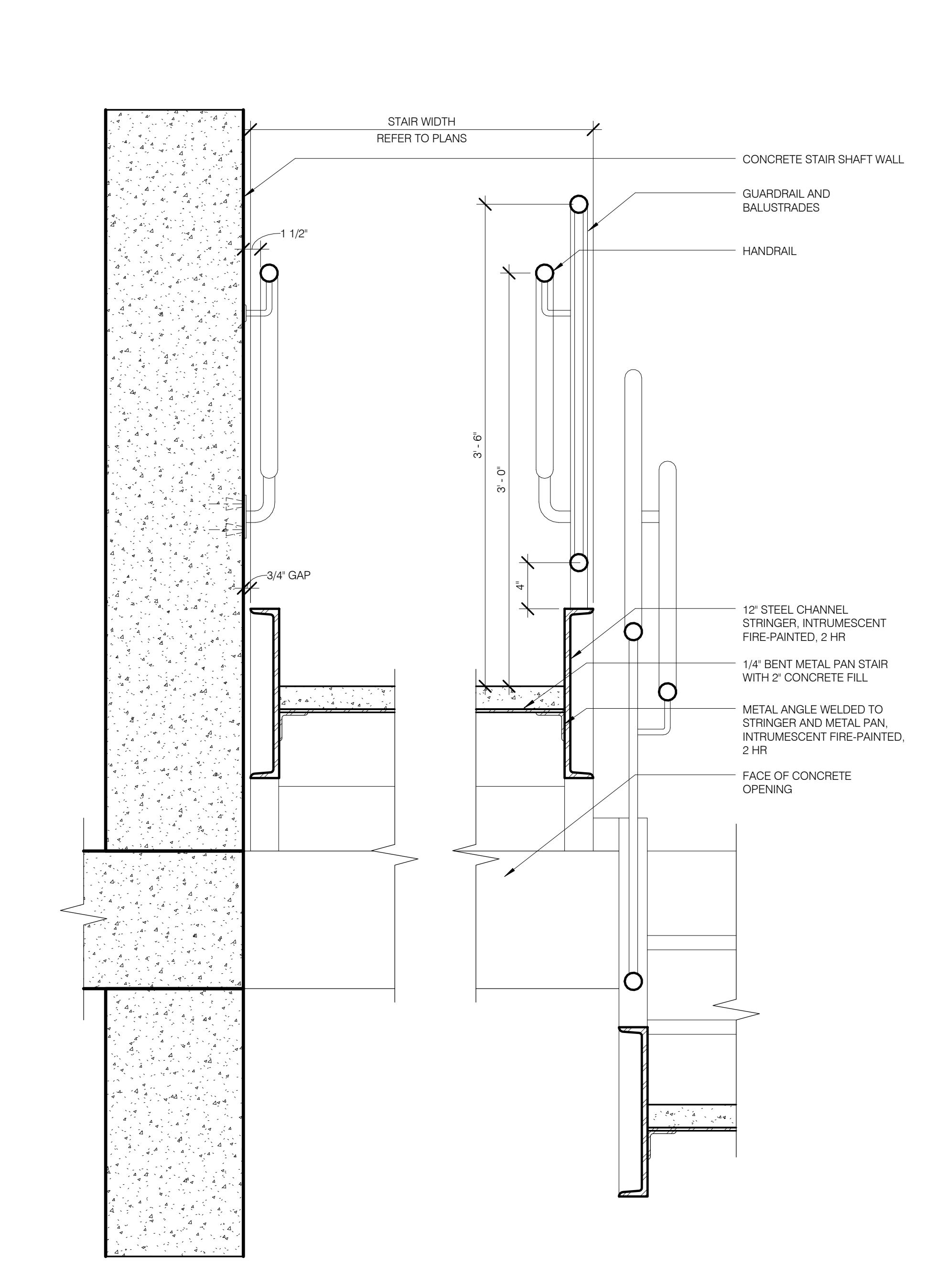
STAIR B : UPPER SLAB EDGE AND STAIR 1 1/2' = 1'-0" 6
A.500.01 A.511.02



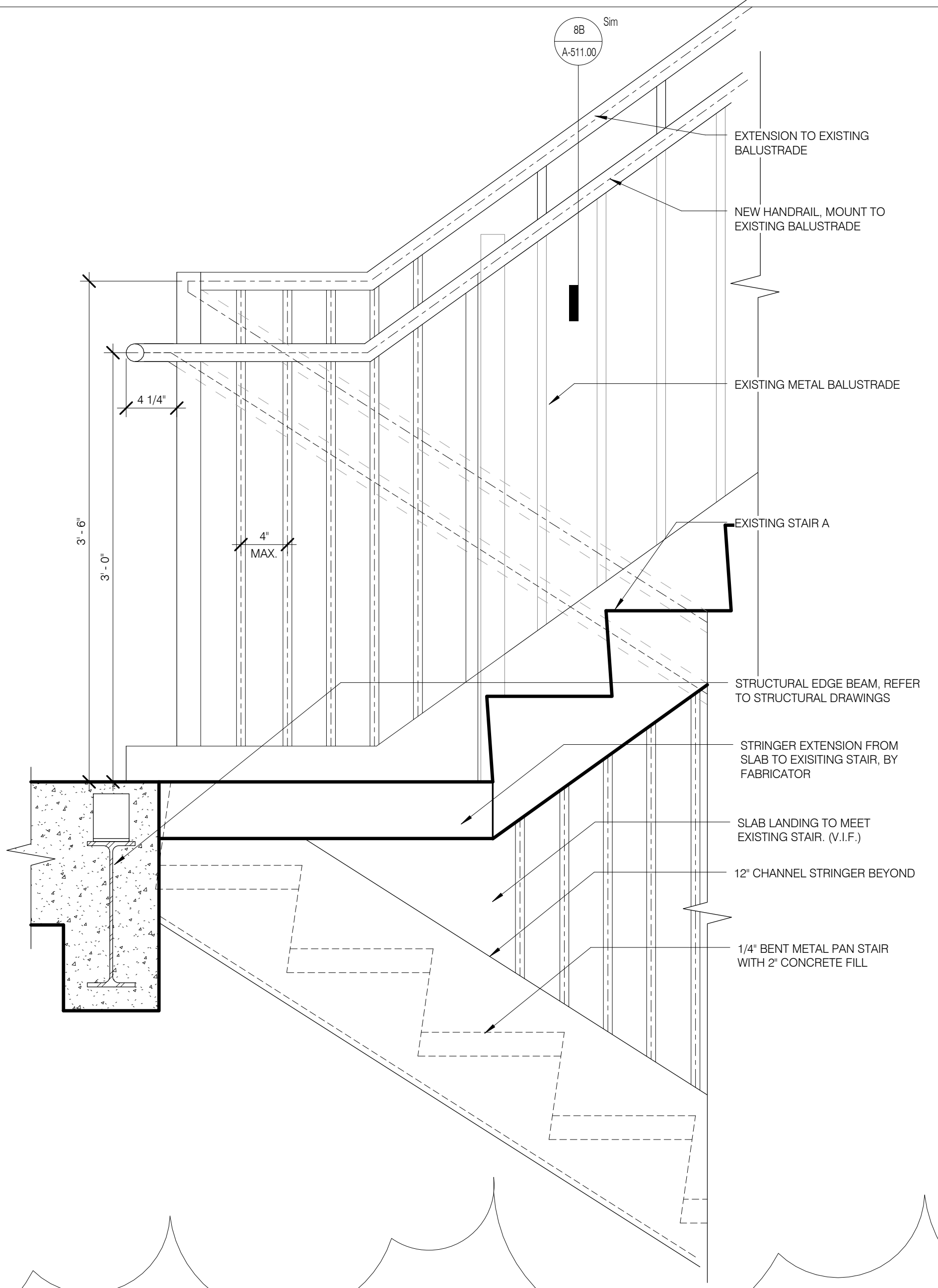
STAIR B : BOTTOM SLAB - STAIR TERMINATION 1 1/2' = 1'-0" 3
A.500.01 A.511.03



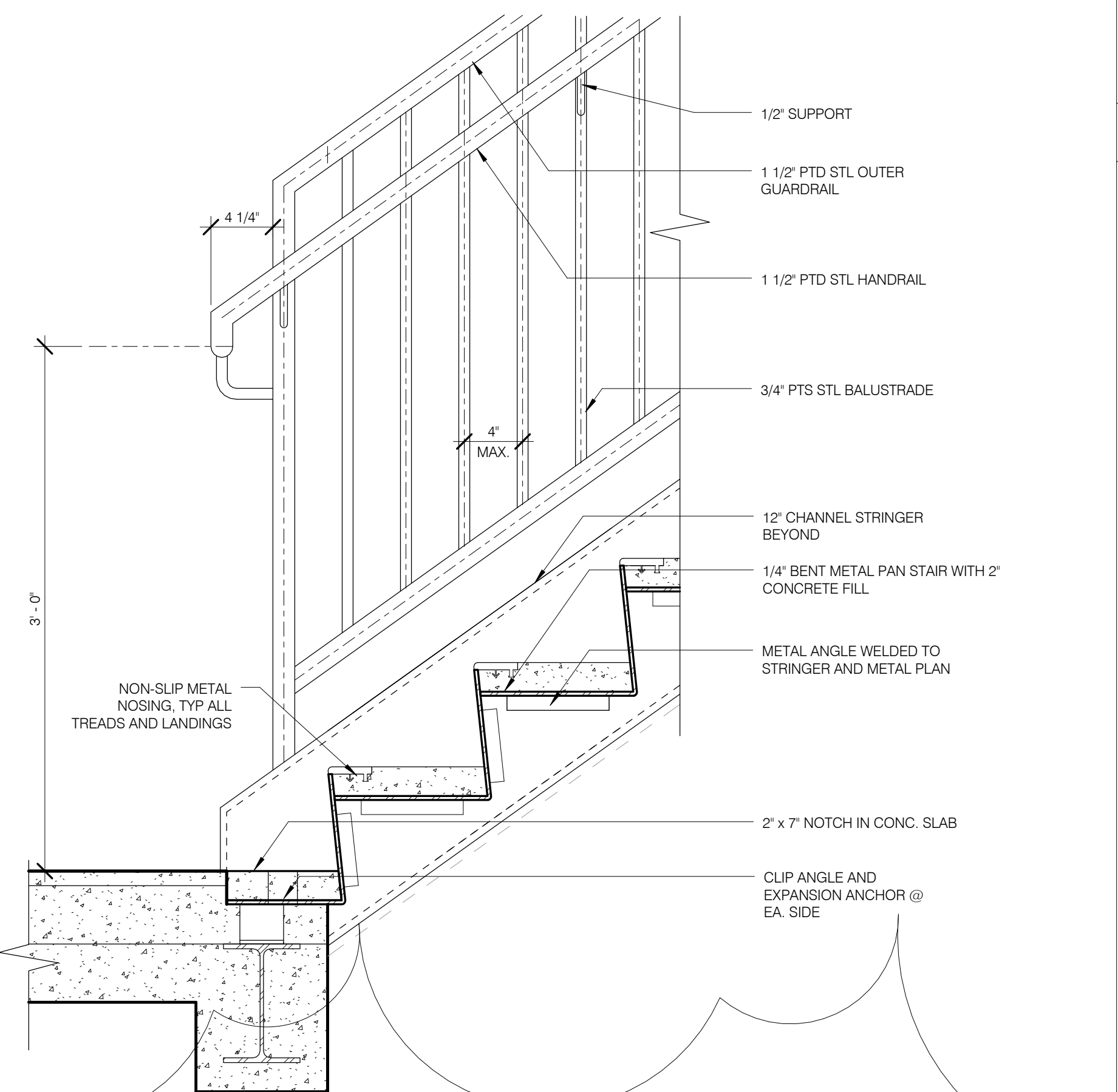
STAIR B : INTERMEDIATE LANDING 1 1/2' = 1'-0" 5
A.500.01 A.511.02



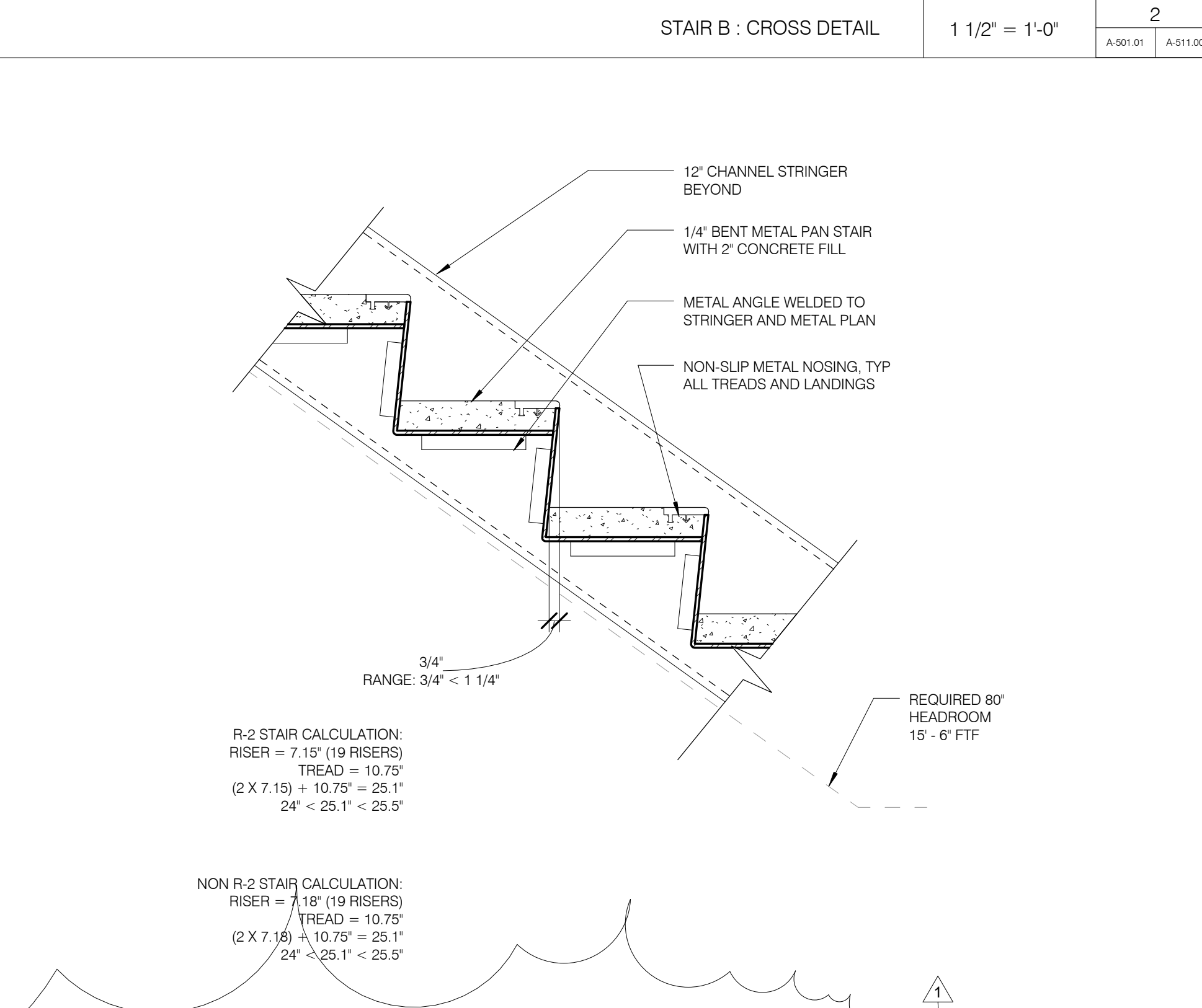
STAIR B : CROSS DETAIL 1 1/2' = 1'-0" 2
A.501.01 A.511.03



STAIR B : UPPER SLAB EDGE AND STAIR 1 1/2' = 1'-0" 7
A.500.01 A.511.00



STAIR B : LOWER SLAB EDGE AND STAIR 1 1/2' = 1'-0" 4
A.500.01 A.511.02



STAIR B : TYPICAL RISE/RUN DETAIL 1 1/2' = 1'-0" 1
A.500.01 A.511.03

R-2 STAIR CALCULATION:
RISE = 7.15" (19 RISERS)
TREAD = 10.75"
(2 X 7.15" = 14.30" = 25.1'
24" < 25.1" < 25.5"

NON R-2 STAIR CALCULATION:
RISE = 7.18" (19 RISERS)
TREAD = 10.75"
(2 X 7.18" = 14.36" = 25.1'
24" < 25.1" < 25.5"

1	3.27.15	DOB PAA
1	5.1.14	DOB FILING SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS. FOR ADDITIONS TO THIS PROJECT OR COMPLETION OF THIS PROJECT BY OTHERS.

COPYRIGHT © 2015 SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.

DRAWING TITLE: **STAIR DETAILS - STEINWAY**

SEALED SIGNATURE: DATE: 3.27.15

PROJECT NO: 130667

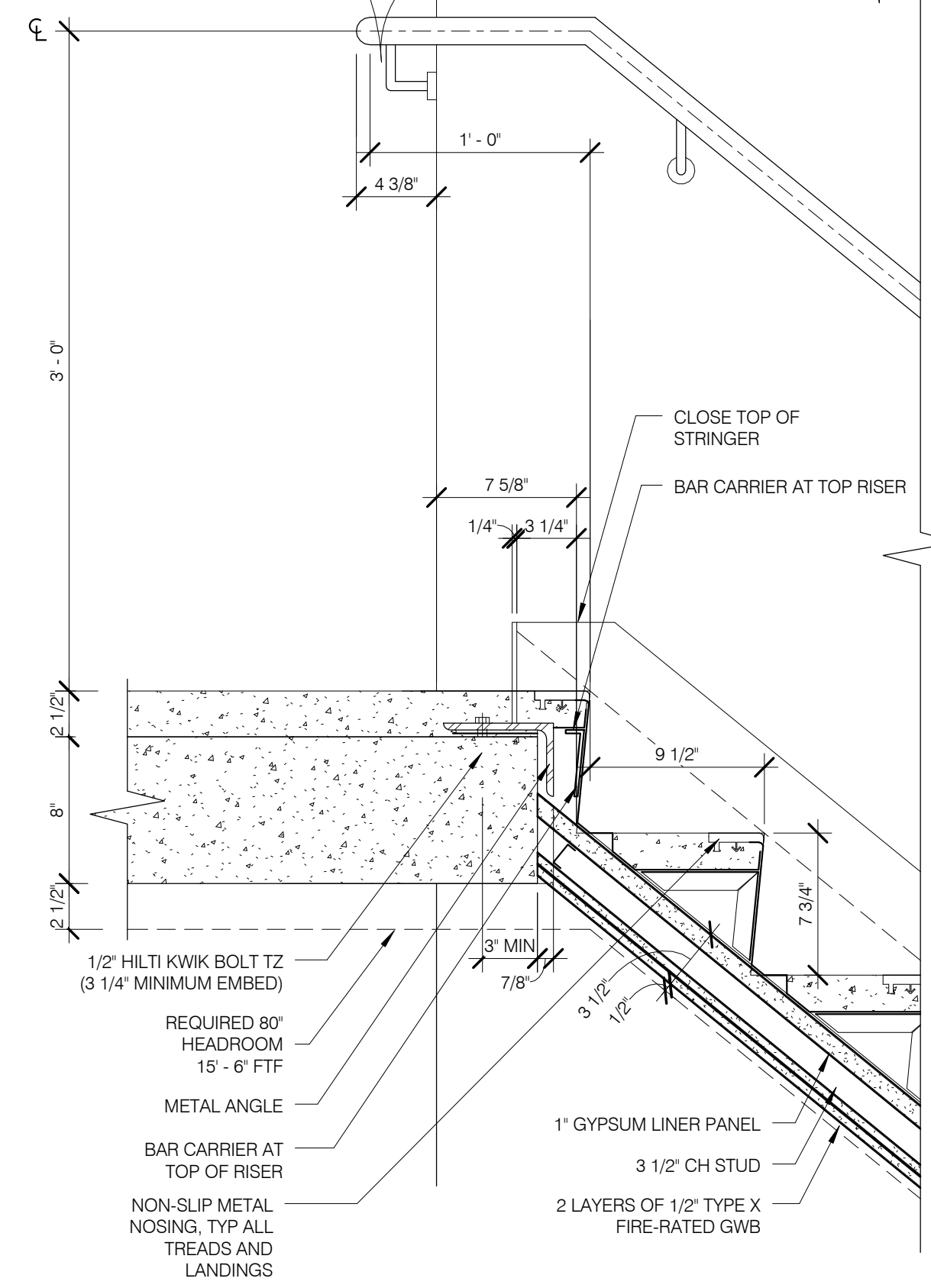
DRAWN BY: SHAP

CHECKED BY: SHAP

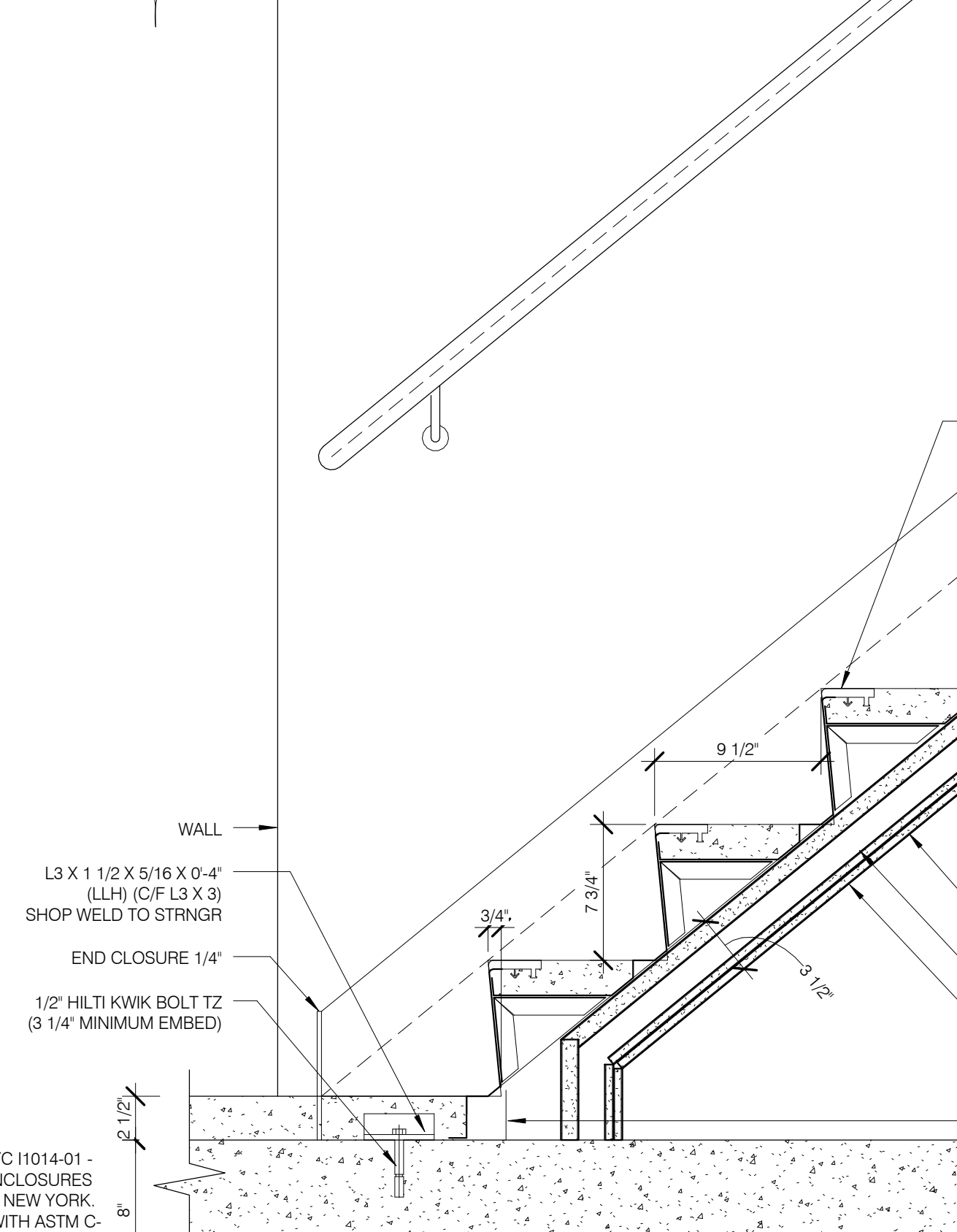
DATE: 3.27.15

DRAWING NUMBER: 1211820968

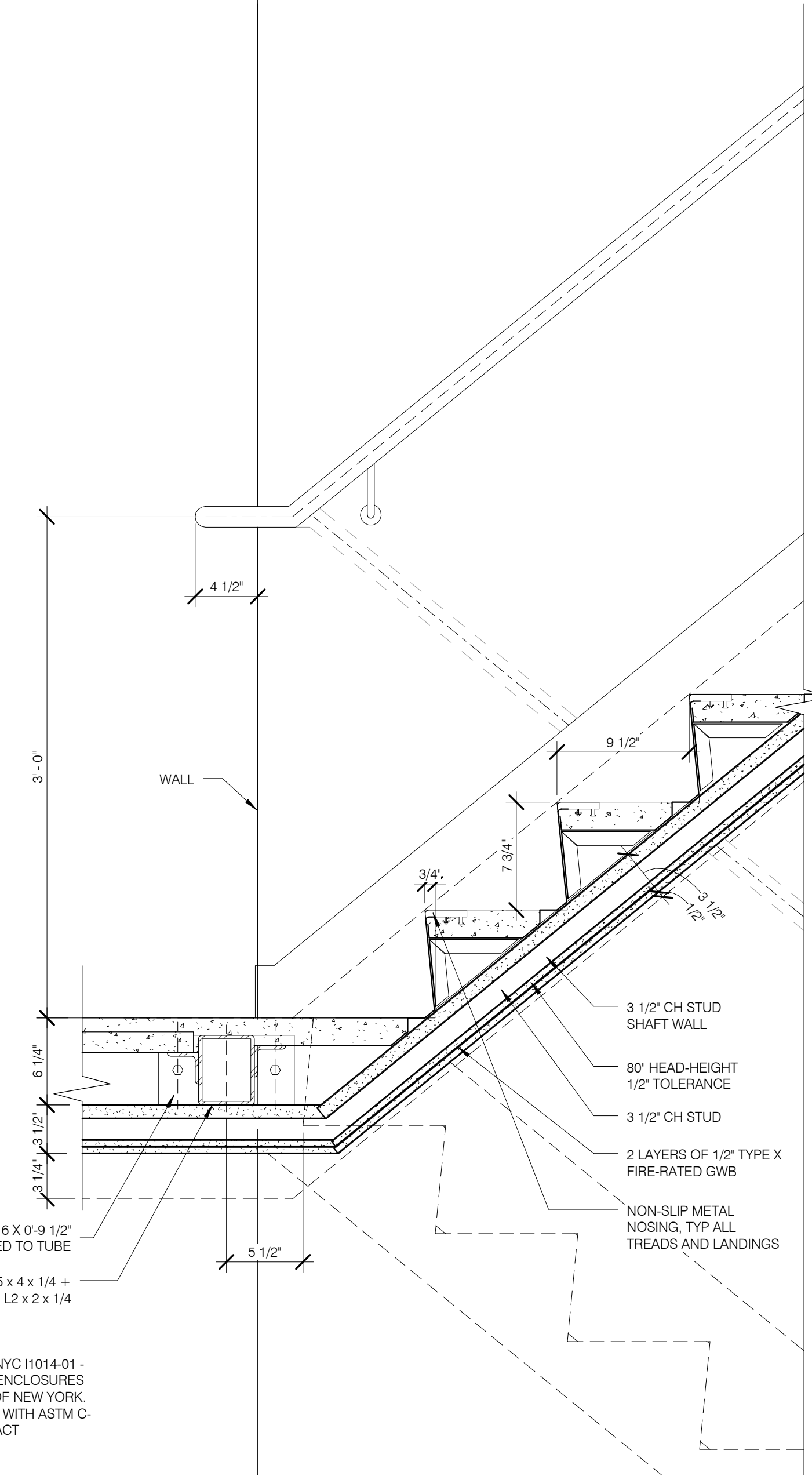
A-511.00



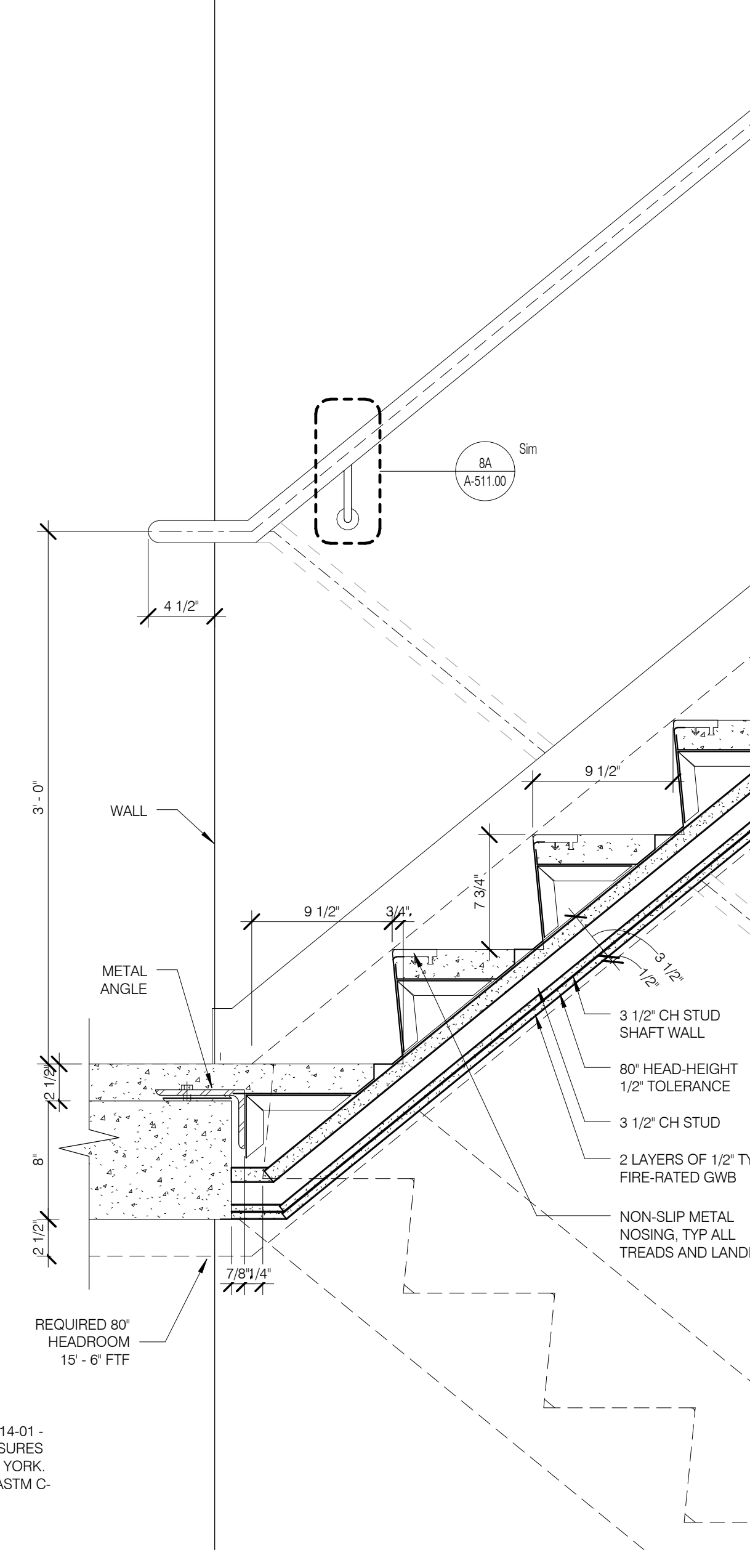
TOWER STAIR - AT TOP TERMINATION 1 1/2" = 1'-0" 5



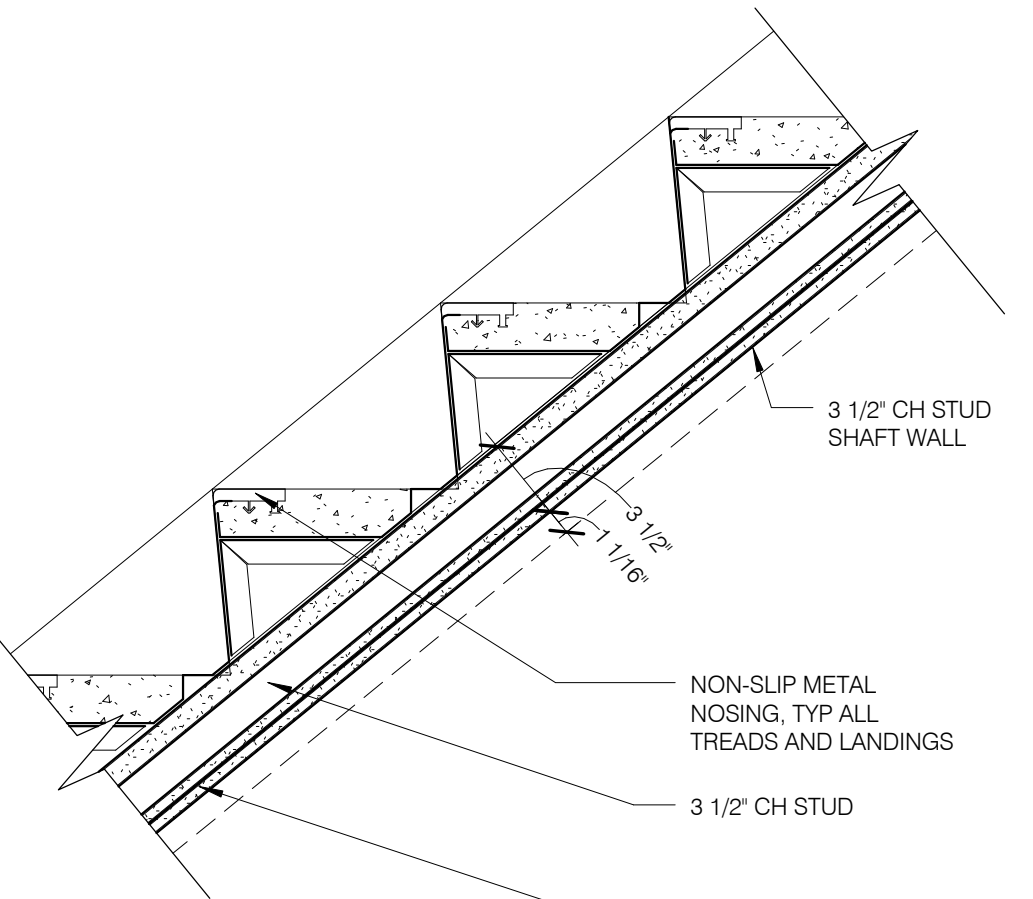
TOWER STAIR - AT BOTTOM TERMINATION 1 1/2" = 1'-0" 3



TOWER STAIR - AT INTERMEDIATE LANDING 1 1/2" = 1'-0" 4



TOWER STAIR - AT LANDING 1 1/2" = 1'-0" 2



TOWER STAIR SECTION DETAIL - TYPICAL 1 1/2" = 1'-0" 1

NOTE:
MASONRY EQUIVALENT PER NYC 1014.01 -
MASONRY EQUIVALENT EXIT ENCLOSURES
OF THE RULES OF THE CITY OF NEW YORK.
ALL WALLBOARD TO COMPLY WITH ASTM C-
1629 AND HAVE CLASS 2 IMPACT
RESISTANCE

NOTE:
MASONRY EQUIVALENT PER NYC 1014.01 -
MASONRY EQUIVALENT EXIT ENCLOSURES
OF THE RULES OF THE CITY OF NEW YORK.
ALL WALLBOARD TO COMPLY WITH ASTM C-
1629 AND HAVE CLASS 2 IMPACT
RESISTANCE

NOTE:
MASONRY EQUIVALENT PER NYC 1014.01 -
MASONRY EQUIVALENT EXIT ENCLOSURES
OF THE RULES OF THE CITY OF NEW YORK.
ALL WALLBOARD TO COMPLY WITH ASTM C-
1629 AND HAVE CLASS 2 IMPACT
RESISTANCE

NOTE:
MASONRY EQUIVALENT PER NYC 1014.01 -
MASONRY EQUIVALENT EXIT ENCLOSURES
OF THE RULES OF THE CITY OF NEW YORK.
ALL WALLBOARD TO COMPLY WITH ASTM C-
1629 AND HAVE CLASS 2 IMPACT
RESISTANCE

ARCHITECT
SH&P ARCHITECTS, P.C.
220 BROADWAY, 11TH FLOOR
NEW YORK, NY 10038
TEL: 212 689 9300

STRUCTURAL ENGINEER
YUSUF GANTOPI BERTHOU
228 EAST 43RD STREET
NEW YORK, NY 10017
TEL: 212 697 5866

MEP ENGINEER
JACOBI, BAUM & BOLLER
80 WINE STREET, 12TH FLOOR
NEW YORK, NY 10038
TEL: 212 693 6000

CIVIL ENGINEER
AWR ENGINEERING, P.C.
40 FIFTH AVE, 20TH FLOOR, 7TH FLOOR
NEW YORK, NY 10018
TEL: 646 288 2828

ACOUSTICS
LONGMAN LINDSEY
4 WEST 30TH STREET, 4TH FLOOR
NEW YORK, NY 10018
TEL: 917 238 2380

INTERIORS
STUDIO SCENEFIELD
30 WALKER STREET
NEW YORK, NY 10013
TEL: 212 475 1300

FAÇADE
BURROUGHS WERFIELD
100 BROADWAY
NEW YORK, NY 10038
TEL: 212 254 2025

VERTICAL TRANSPORTATION
VAN DEUSEN & ASSOCIATES
1 WRIGHT STREET, SUITE 204
LARKSPER, NJ 07033
TEL: 973 984 8770

RESTORATION
JAN HROFKORNY ASSOCIATES
30 WEST 37TH STREET, 4TH FLOOR
NEW YORK, NY 10018
TEL: 212 239 6462

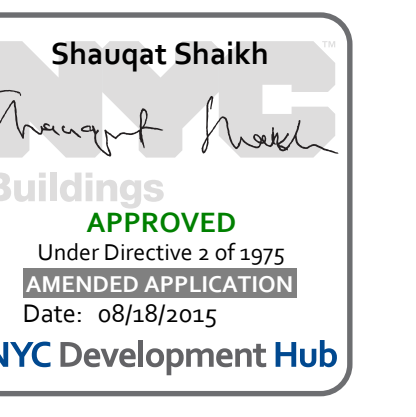
GEOTECH
MTC
205 WEST 45TH STREET, 4TH FLOOR
NEW YORK, NY 10018
TEL: 917 238 4900

LIGHTING
CONSERVATORIE INTERNATIONAL
100 WALKER STREET, 7TH FLOOR EAST
NEW YORK, NY 10013
TEL: 212 252 4463

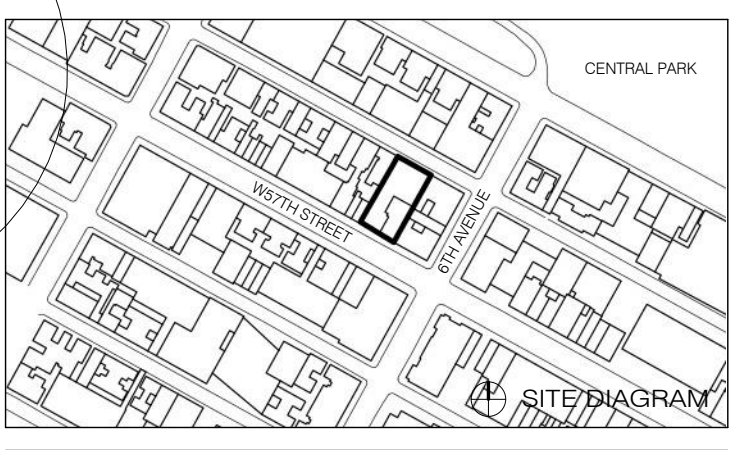


PROPERTY MARKETS GROUP
100 WEST 57TH STREET, 2ND FLOOR
NEW YORK, NY 10019
TEL: 212 693 9300

DOB PAA



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



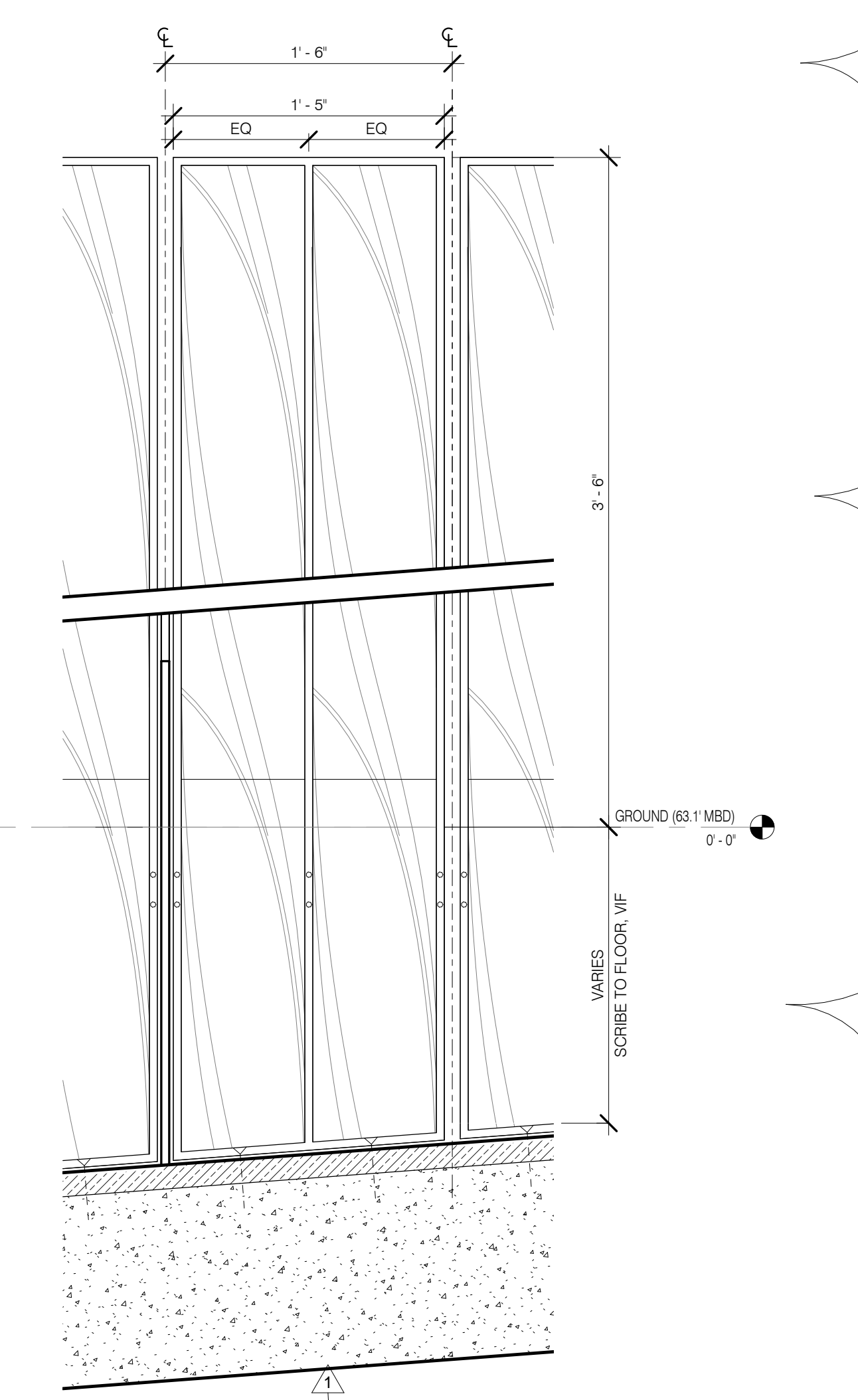
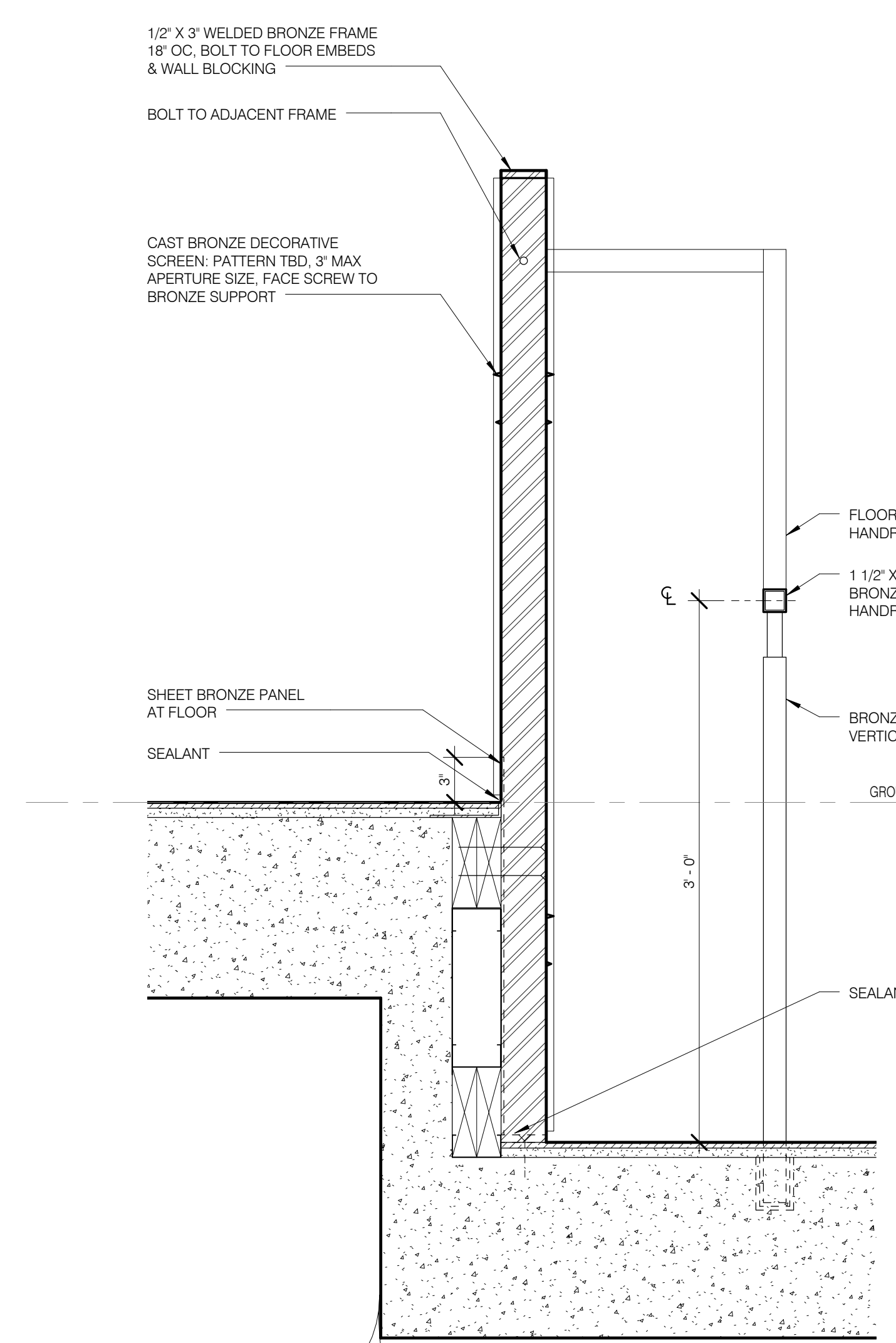
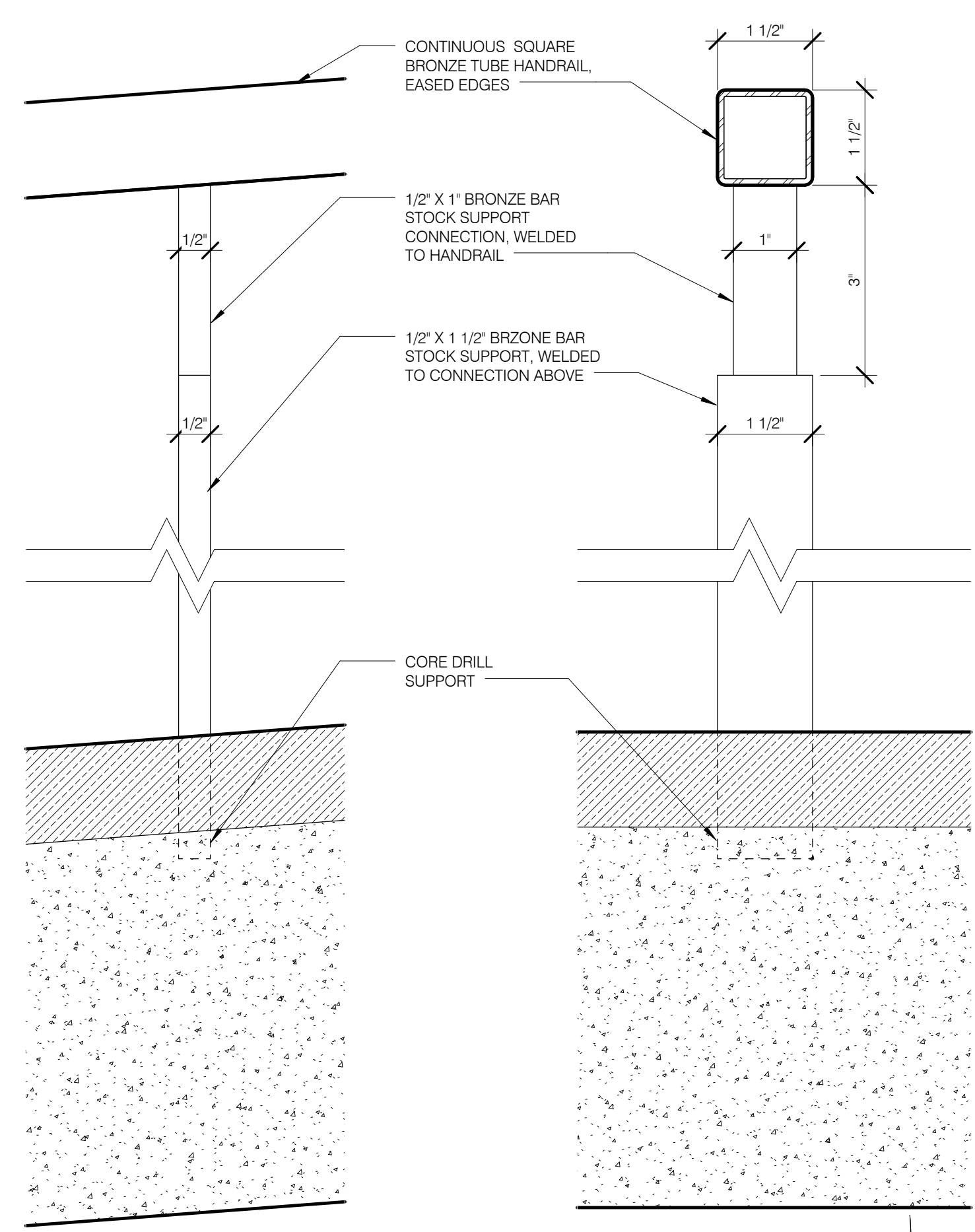
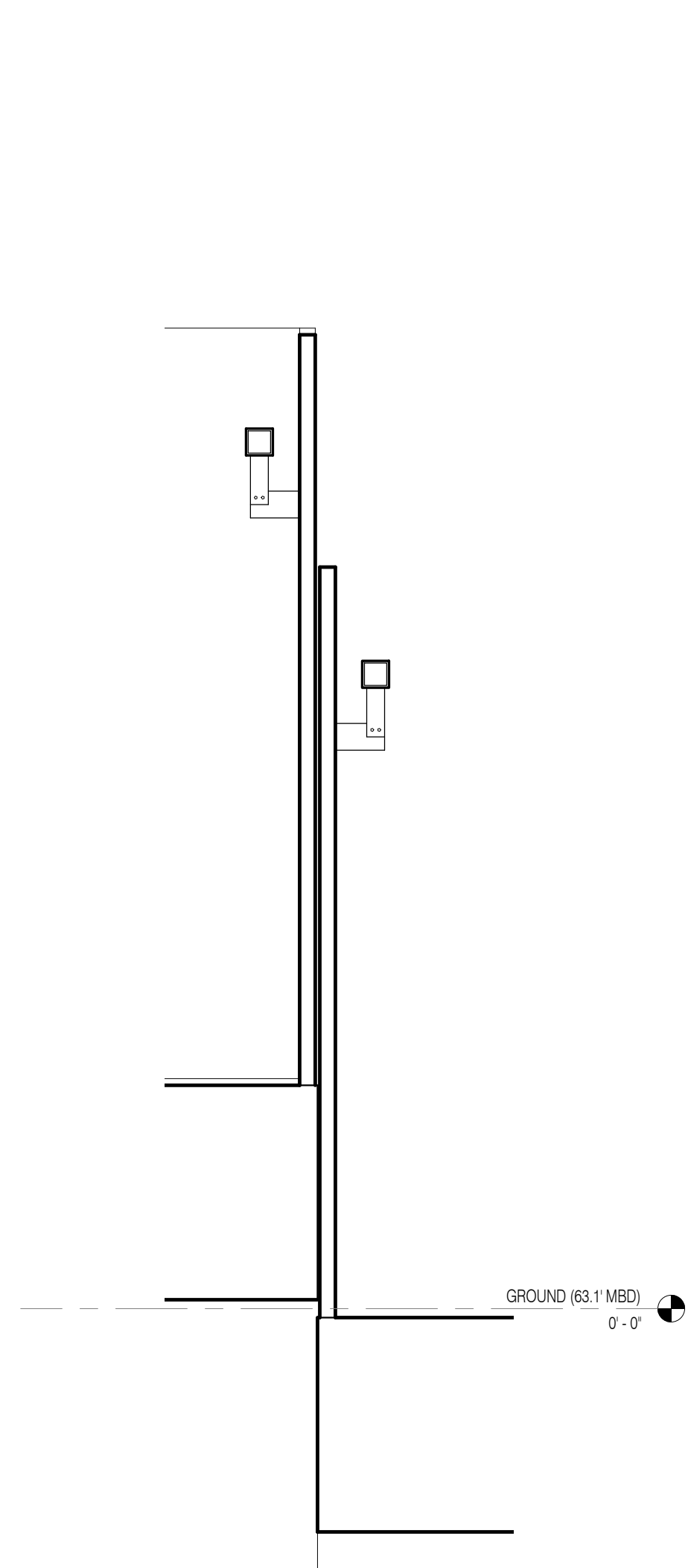
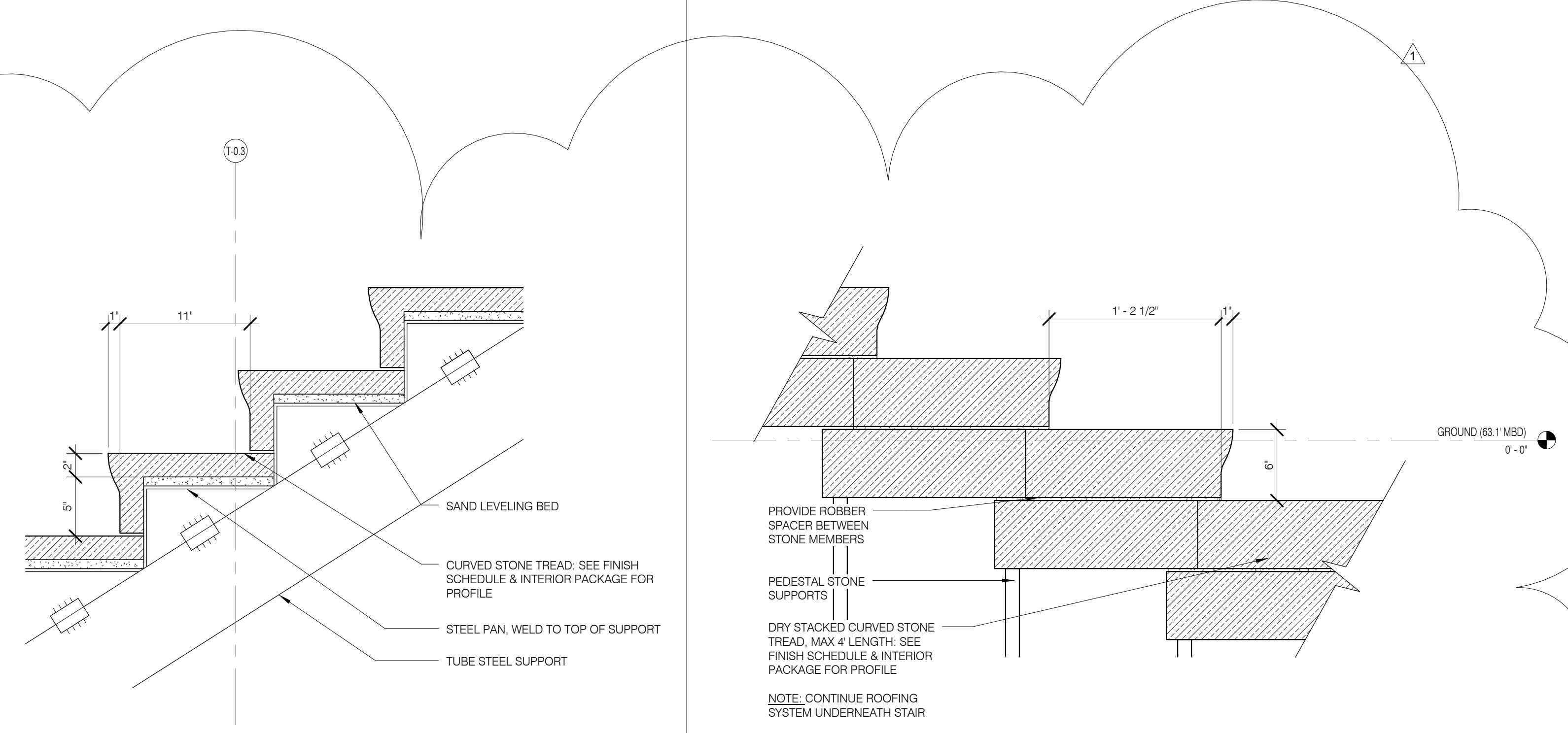
1	3/27/15	DOB PAA
NO.	DATE	REVISION

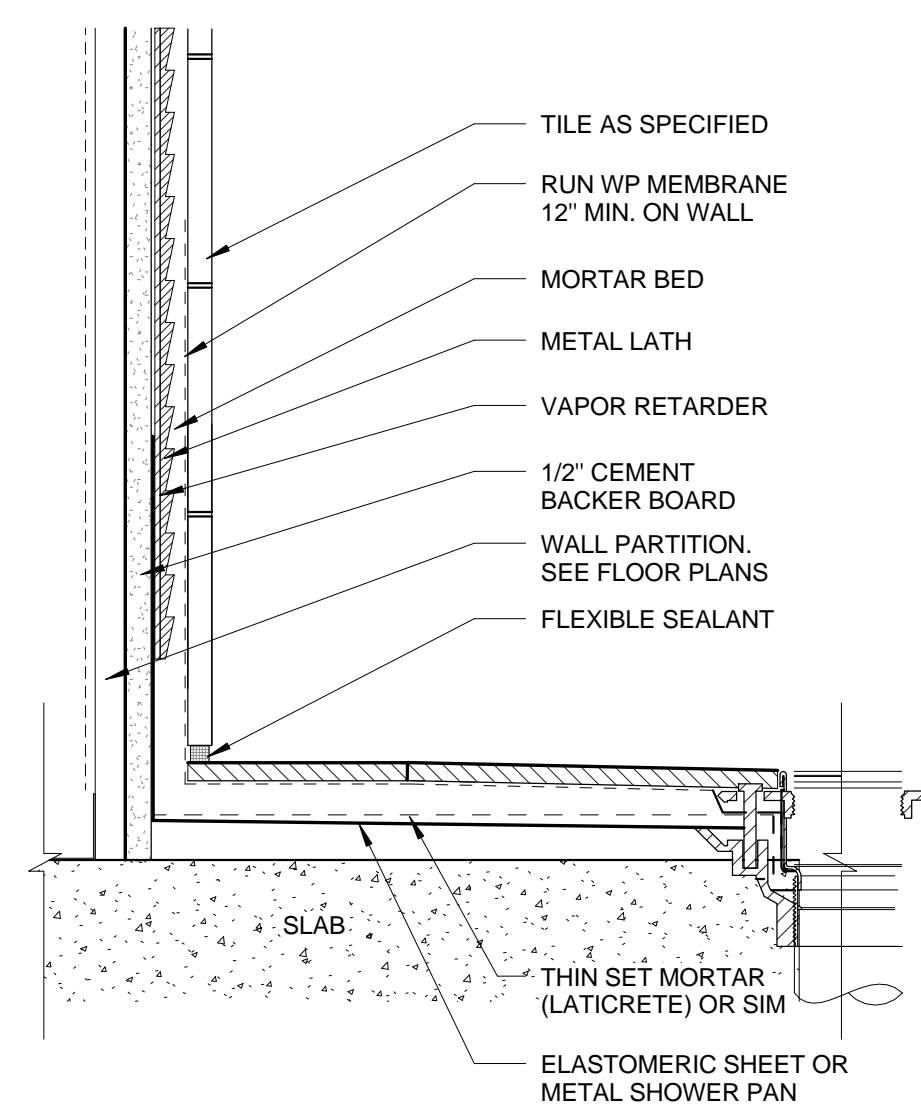
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SH&P ARCHITECTS P.C. ALL RIGHTS RESERVED.

DRAWING TITLE
STAIR DETAILS - MISCELLANEOUS

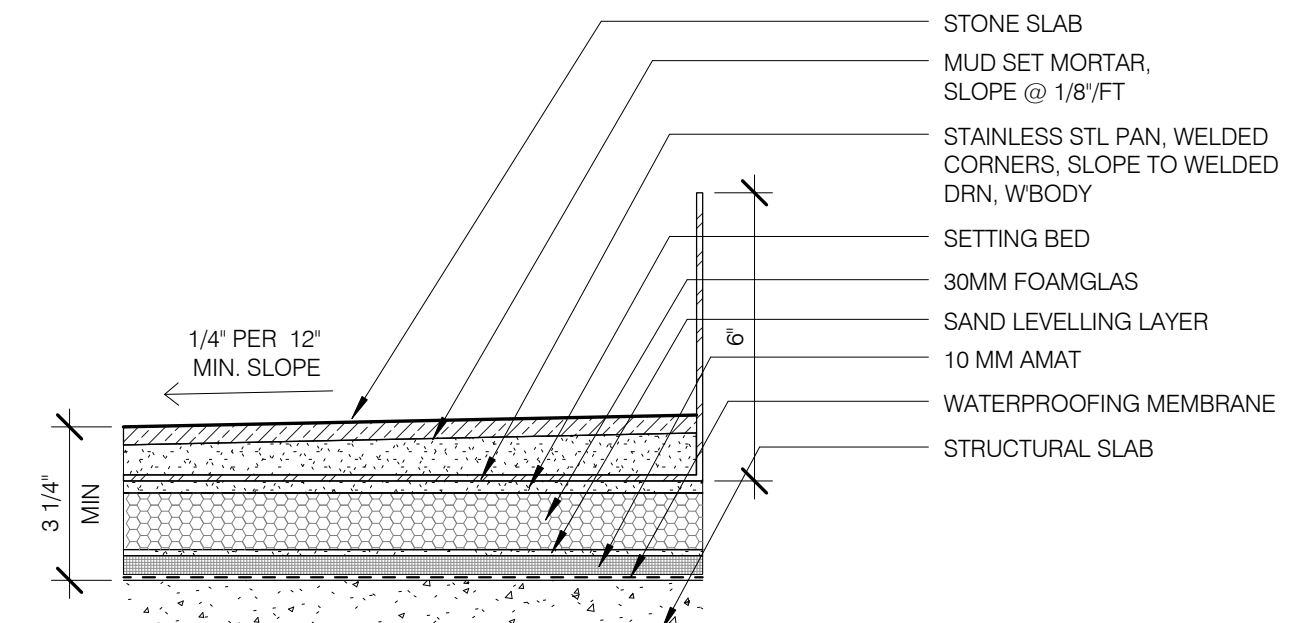
SEAL & SIGNATURE

 DATE: 3/27/15
 PROJECT NO.: 130607
 DRAWN BY: SH&P
 CHECKED BY: SH&P
 JOB NO.: 121332968
 DRAWING NUMBER: A-513.00

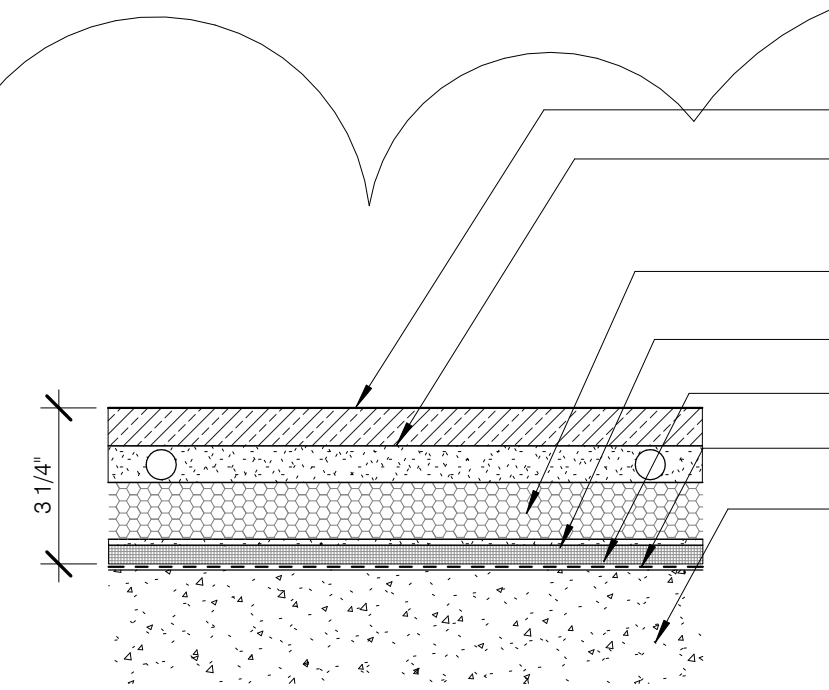




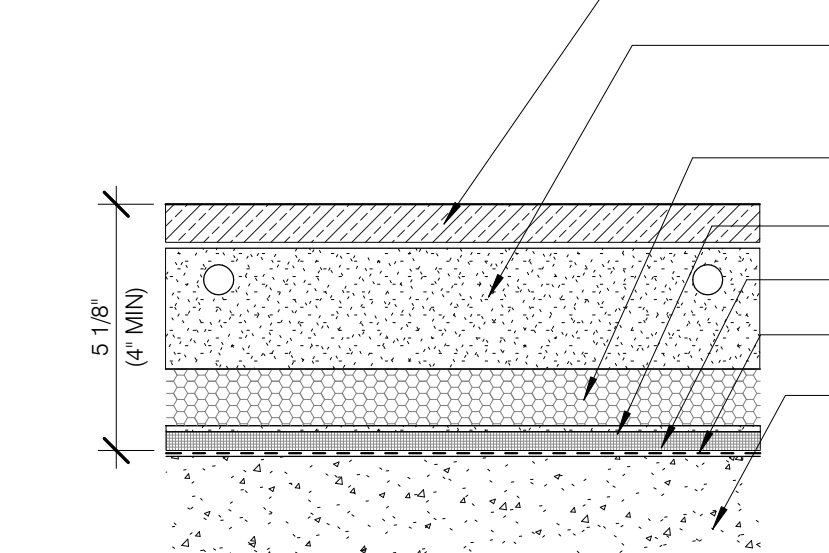
TYP SHOWER RECEPTOR 3' = 1'-0" 15 A-600.01



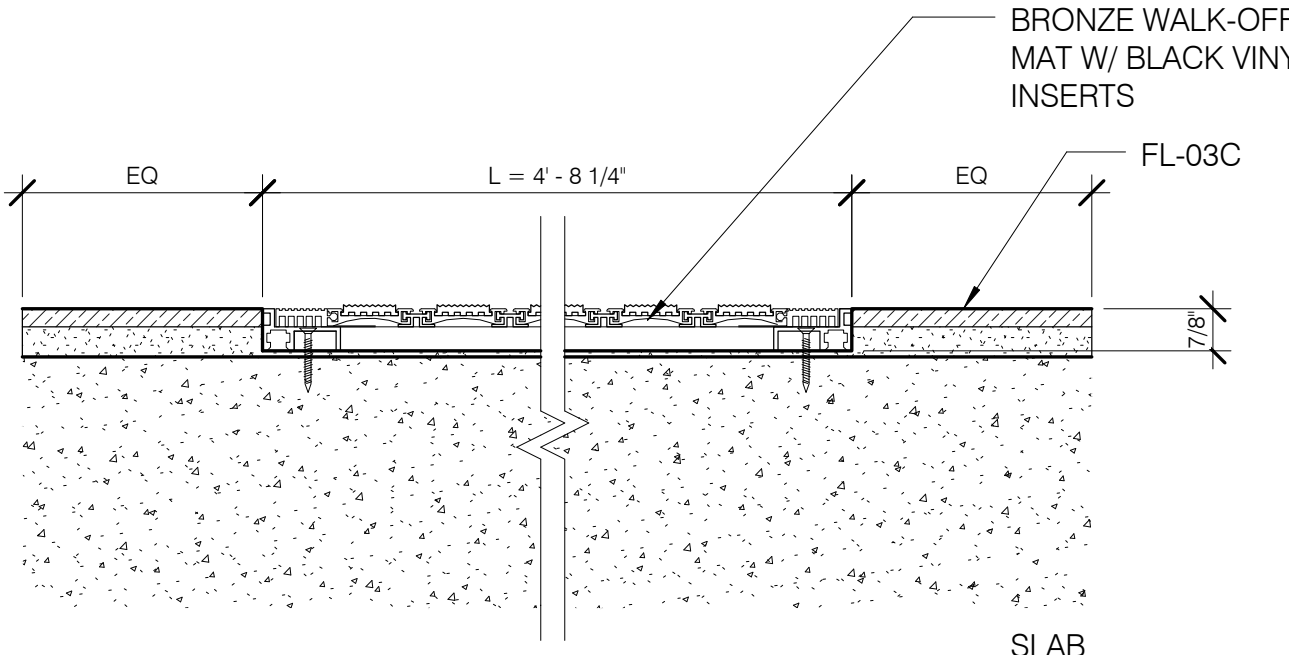
FL-02C - FLOOR TYPE - STONE - SHOWER 3' = 1'-0" 28 A-600.01



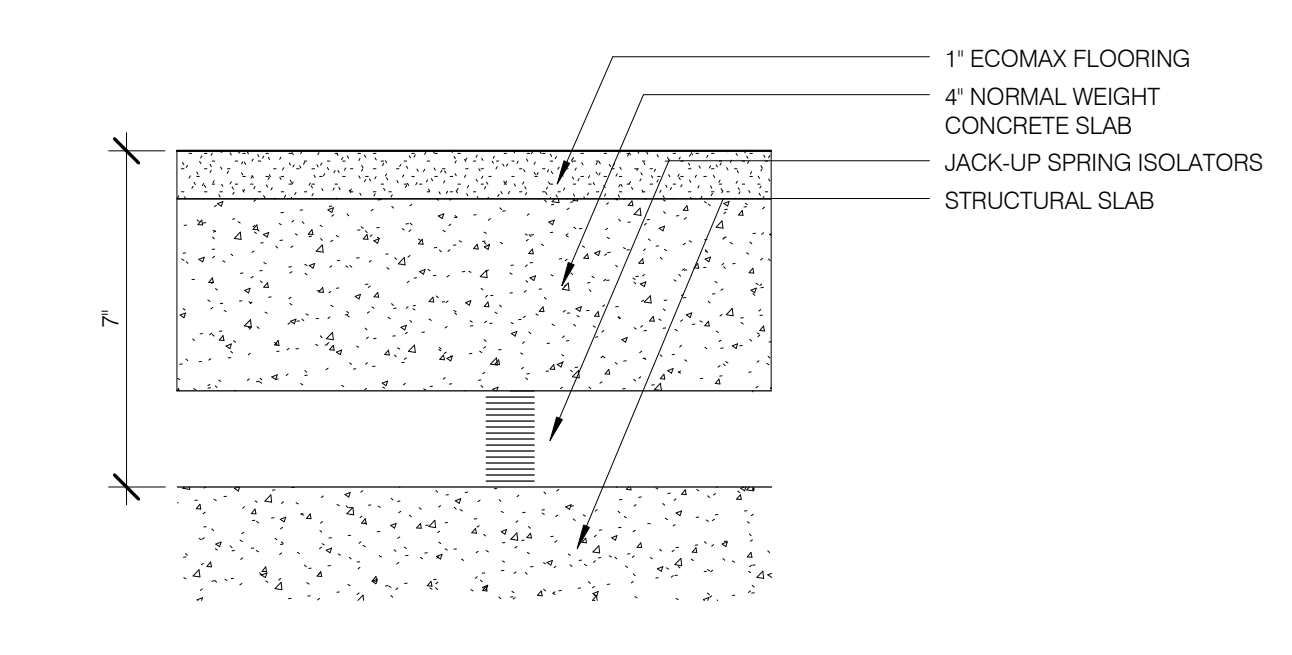
FL-02B - FLOOR TYPE - STONE HEATED 3' = 1'-0" 08 A-600.01



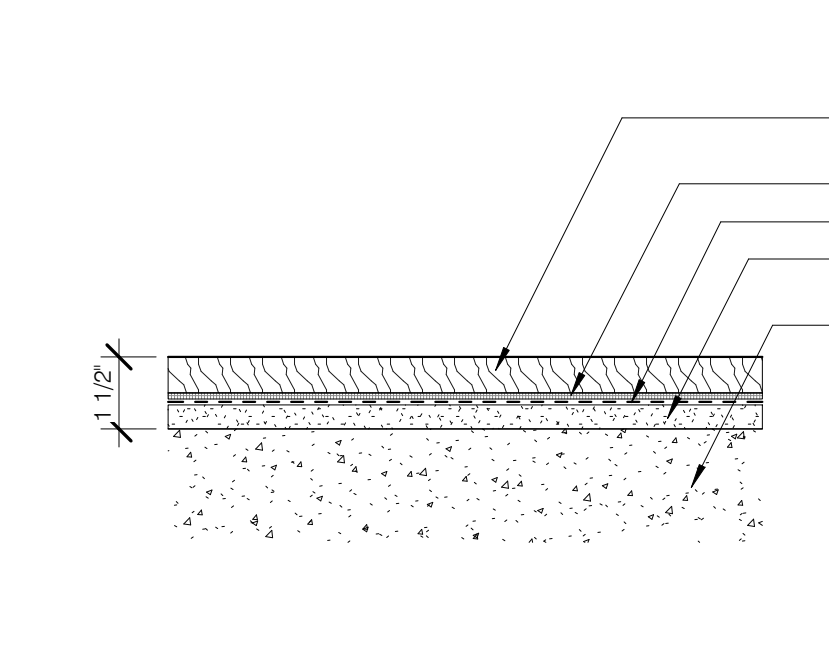
FL-02A - FLOOR TYPE - STONE HEATED 3' = 1'-0" 07 A-600.01



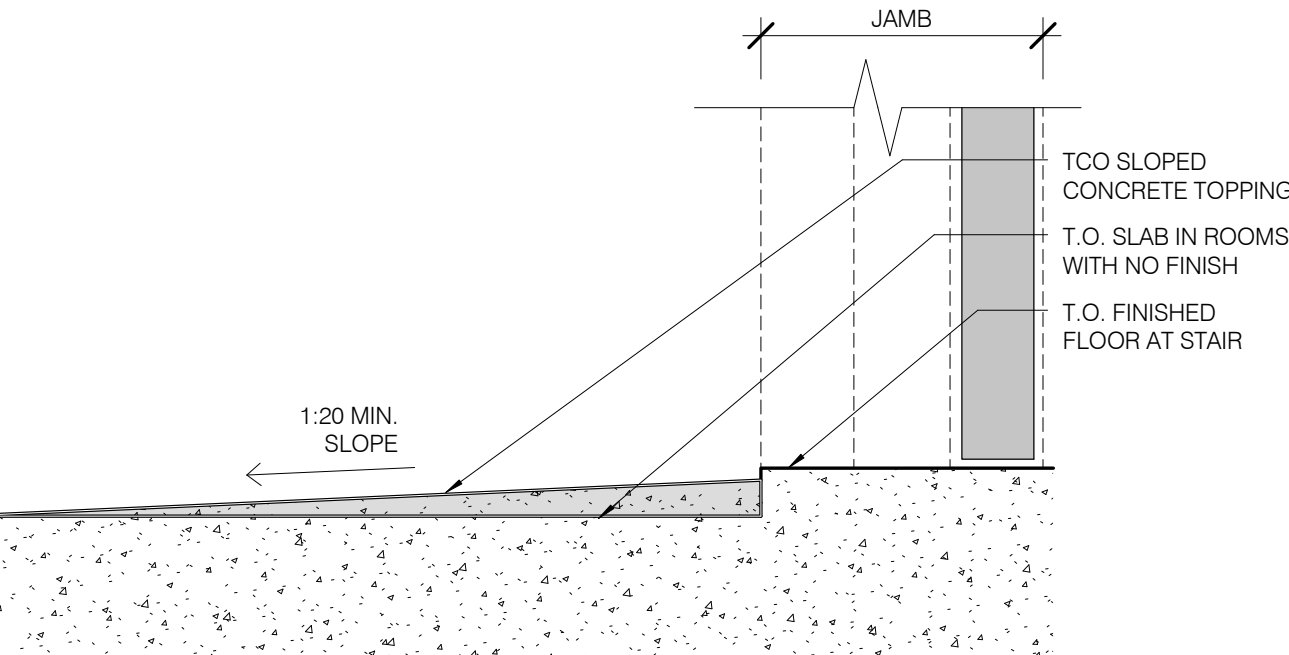
WALK-OFF MAT DETAIL 3' = 1'-0" 20 A-600.01



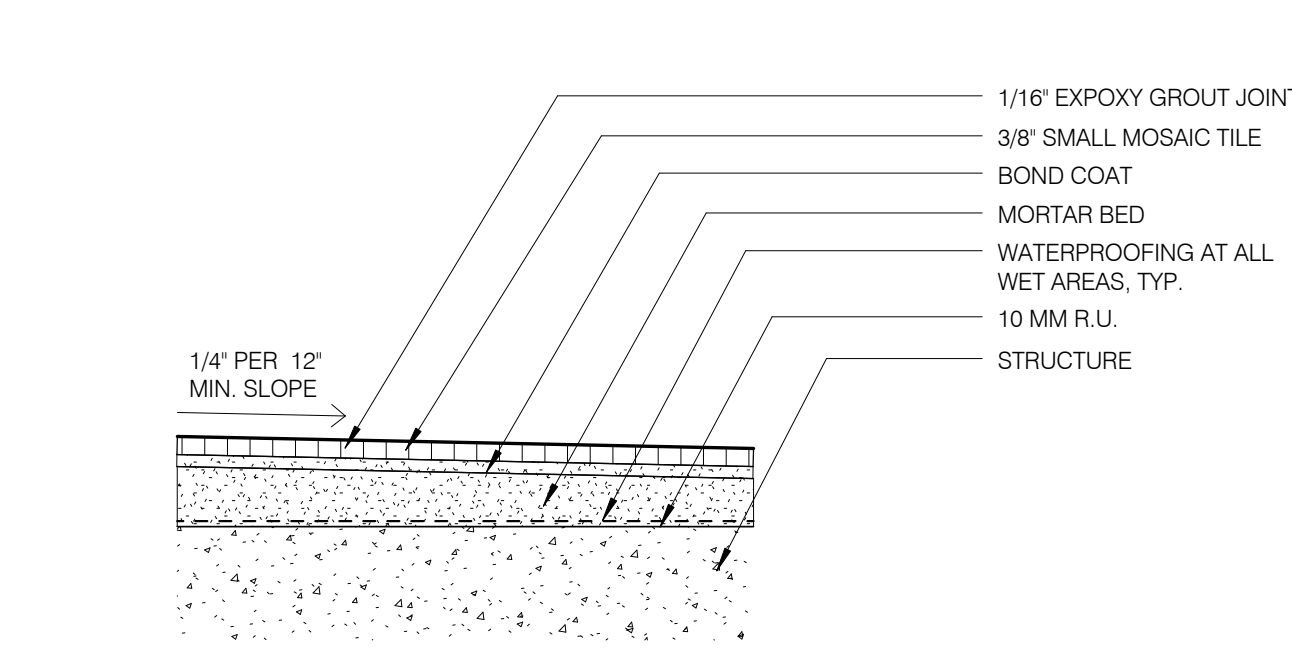
FL-06 - FLOOR TYPE - SPRING ISOLATED 3' = 1'-0" 13 A-600.01



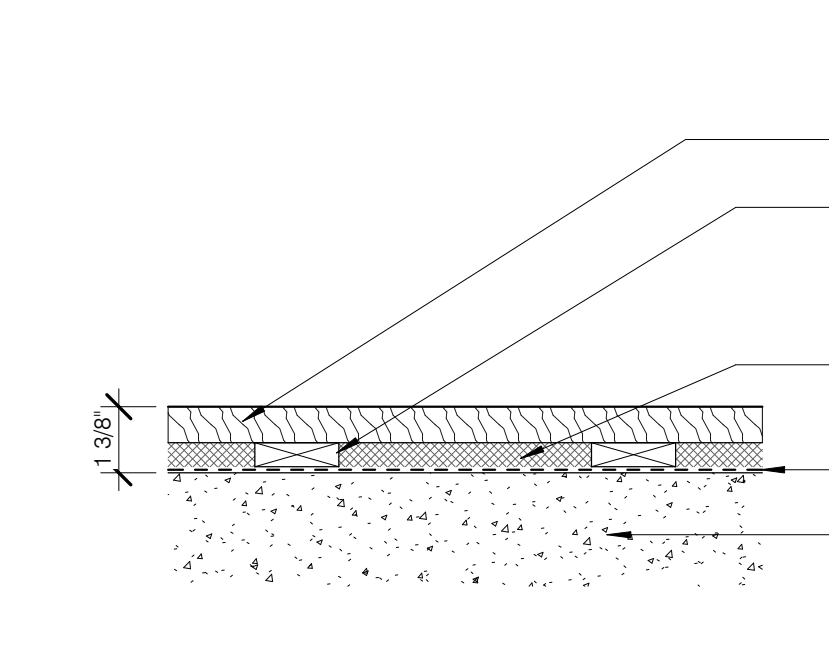
FL-01E-2 - FLOOR TYPE - WOOD FLOOR 3' = 1'-0" 06 A-600.01



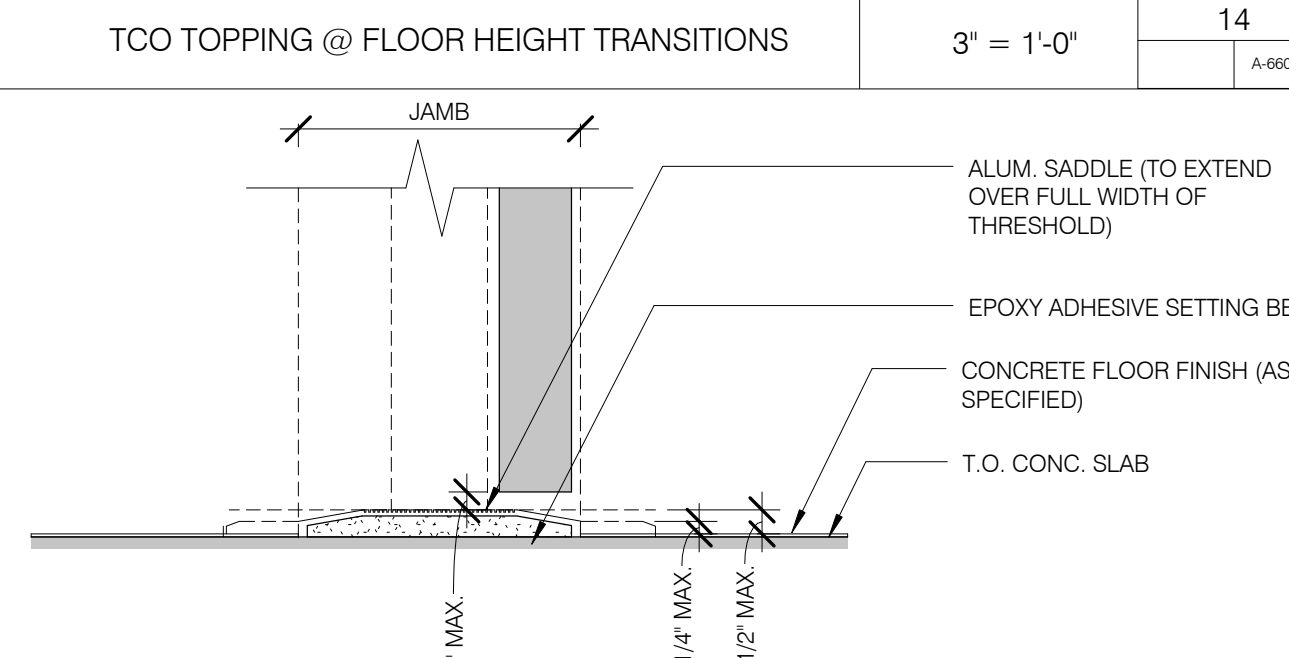
TCO TOPPING @ FLOOR HEIGHT TRANSITIONS 3' = 1'-0" 14 A-600.01



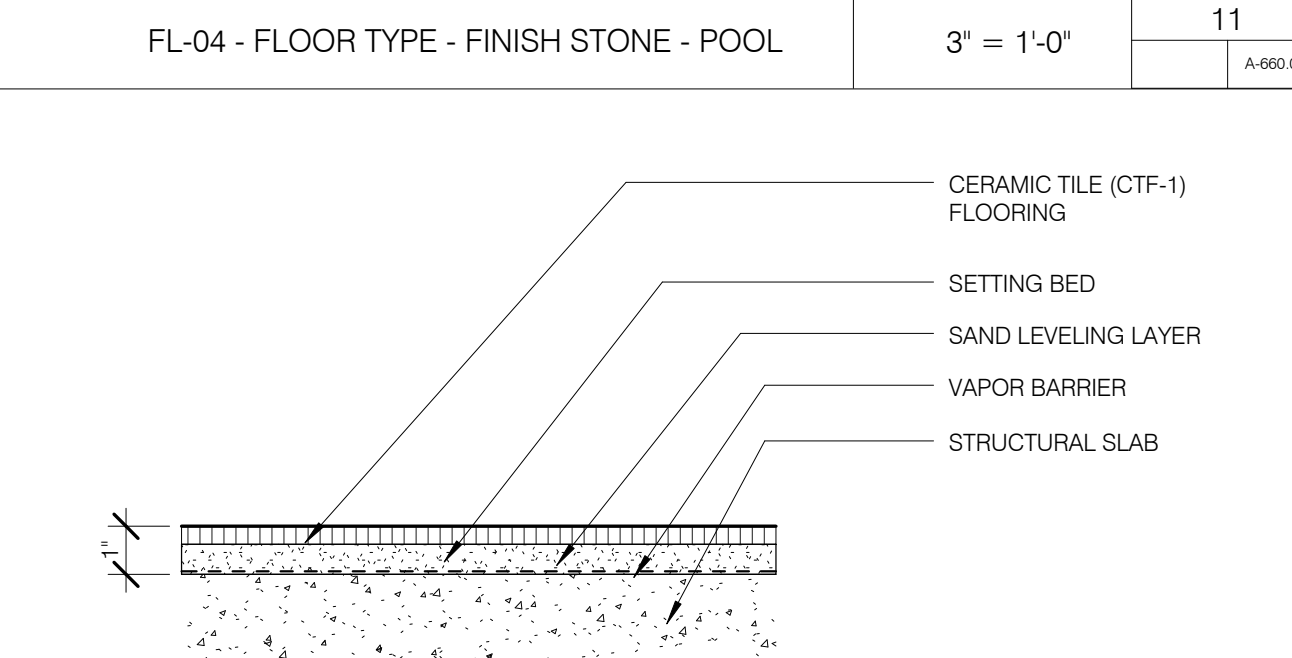
FL-04 - FLOOR TYPE - FINISH STONE - POOL 3' = 1'-0" 11 A-600.01



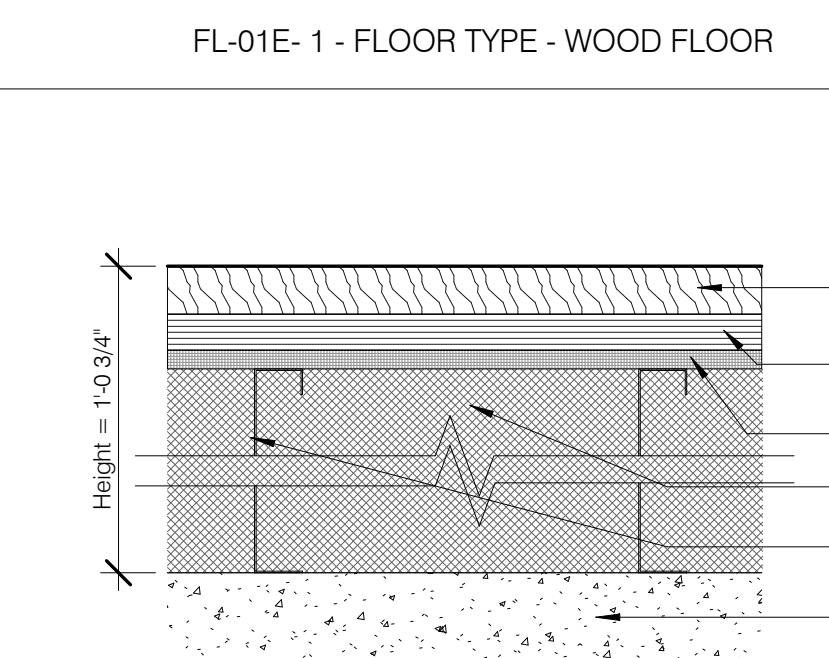
FL-01E-1 - FLOOR TYPE - WOOD FLOOR 3' = 1'-0" 05 A-600.01



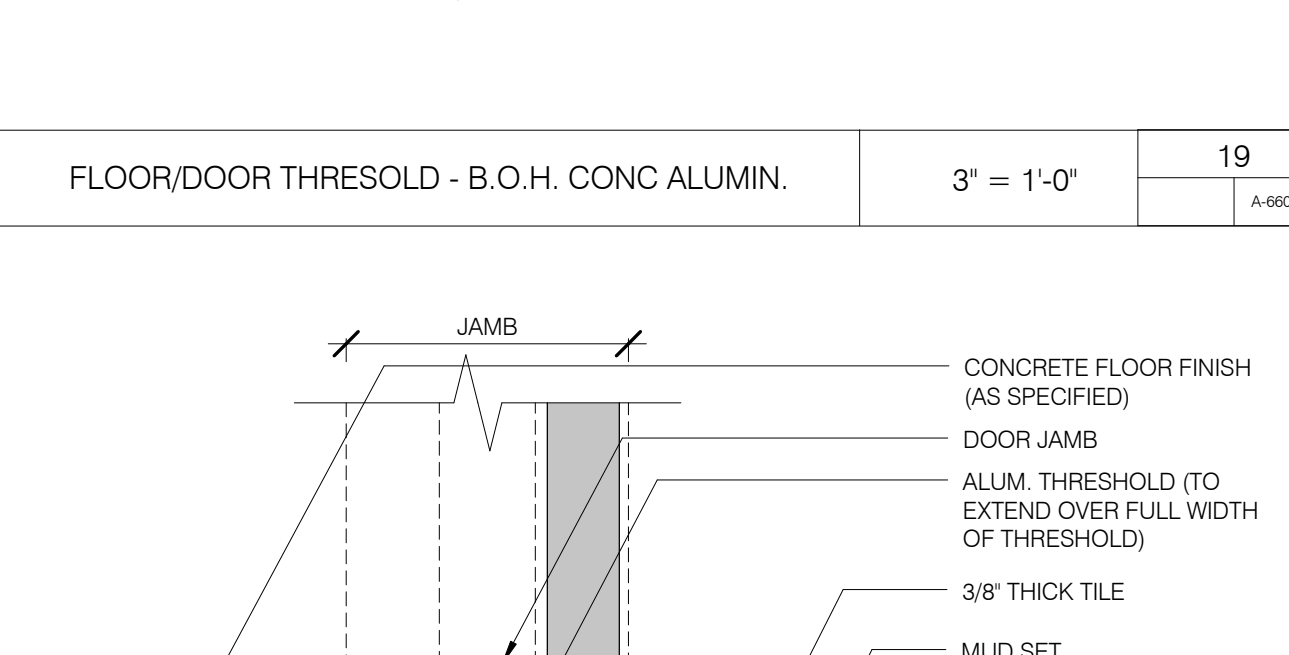
FLOOR/DOOR THRESHOLD - B.O.H. CONC ALUMIN. 3' = 1'-0" 19 A-600.01



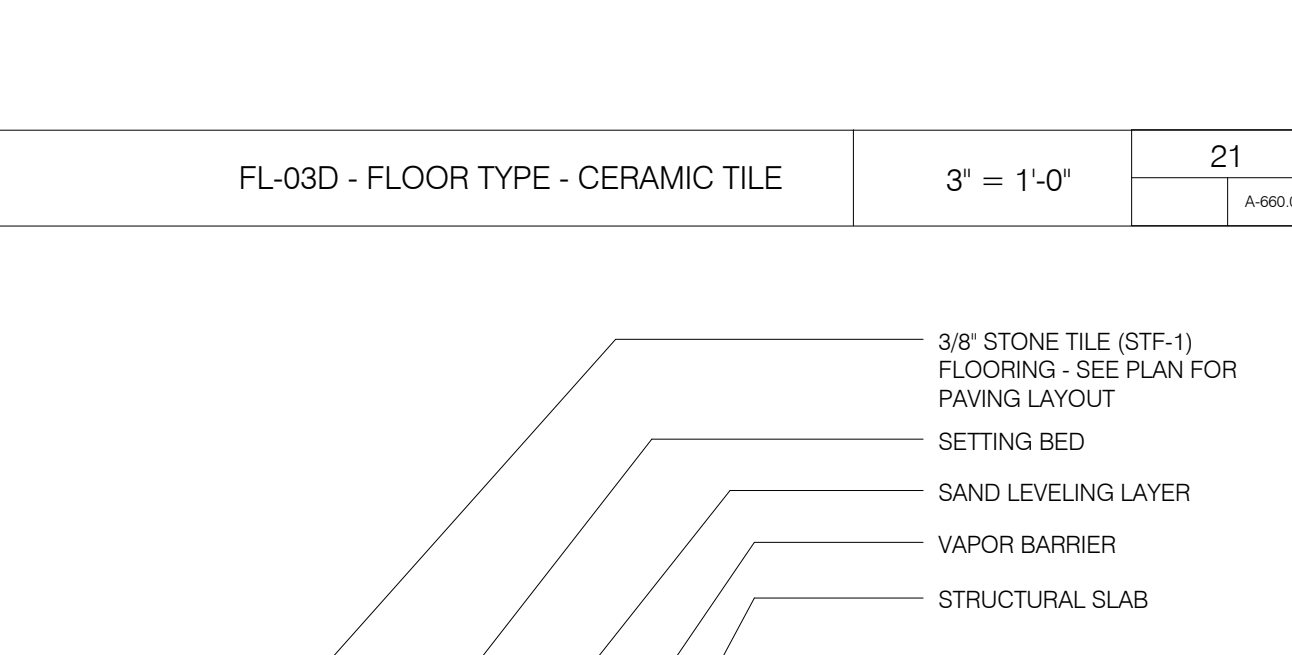
FL-03D - FLOOR TYPE - CERAMIC TILE 3' = 1'-0" 21 A-600.01



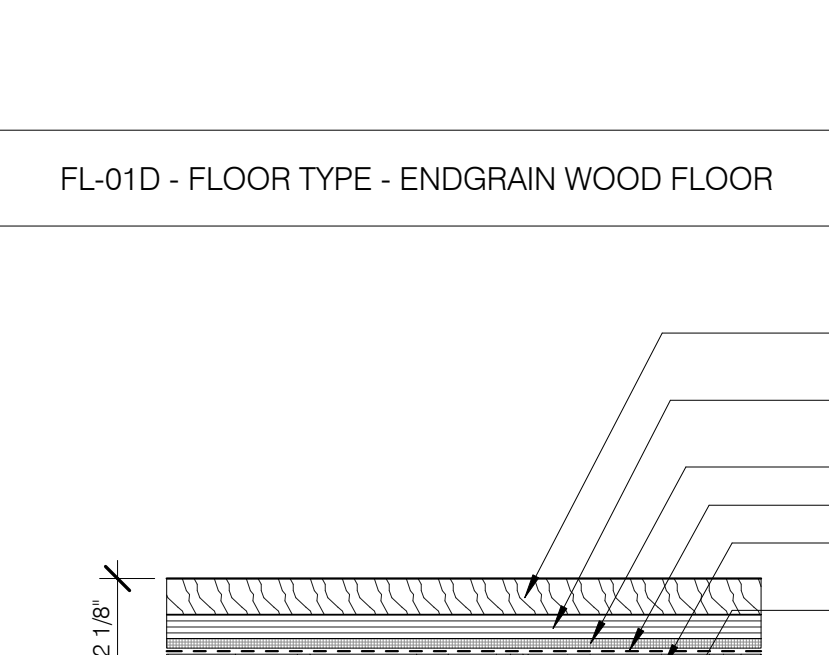
FL-01D - FLOOR TYPE - ENDGRAIN WOOD FLOOR 3' = 1'-0" 04 A-600.01



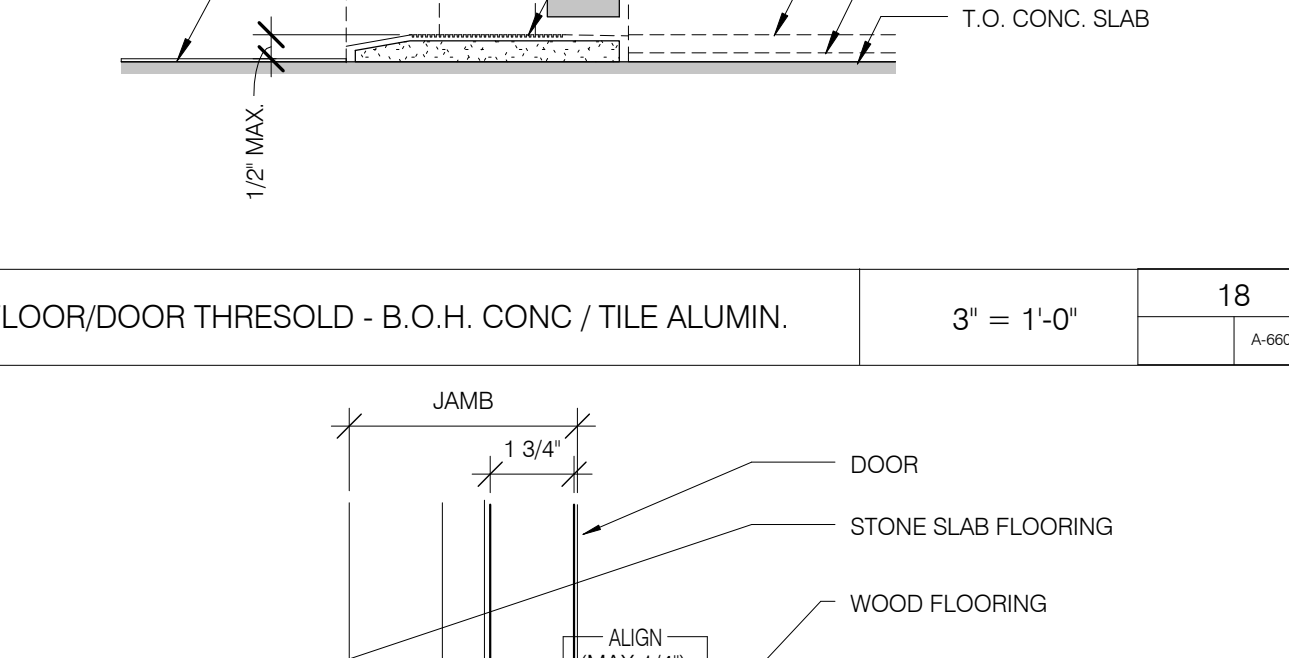
FLOOR/DOOR THRESHOLD - B.O.H. CONC / TILE ALUMIN. 3' = 1'-0" 18 A-600.01



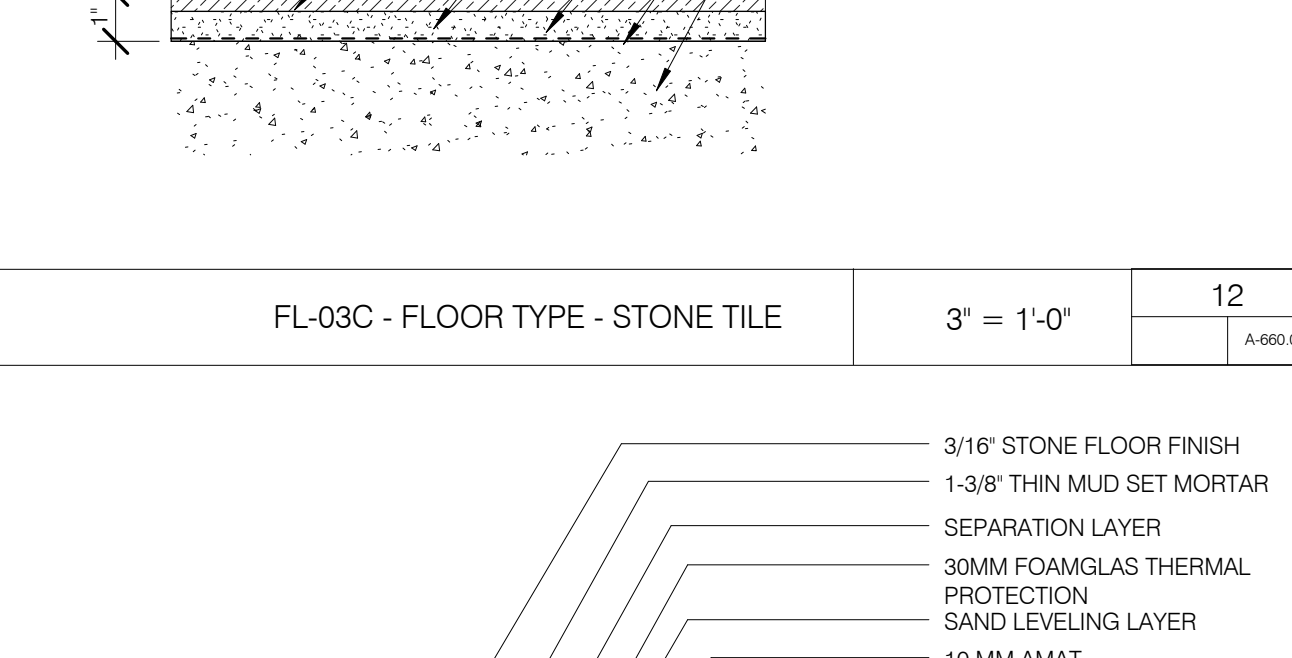
FL-03C - FLOOR TYPE - STONE TILE 3' = 1'-0" 12 A-600.01



FL-01C - FLOOR TYPE - WOOD FLOOR 3' = 1'-0" 03 A-600.01



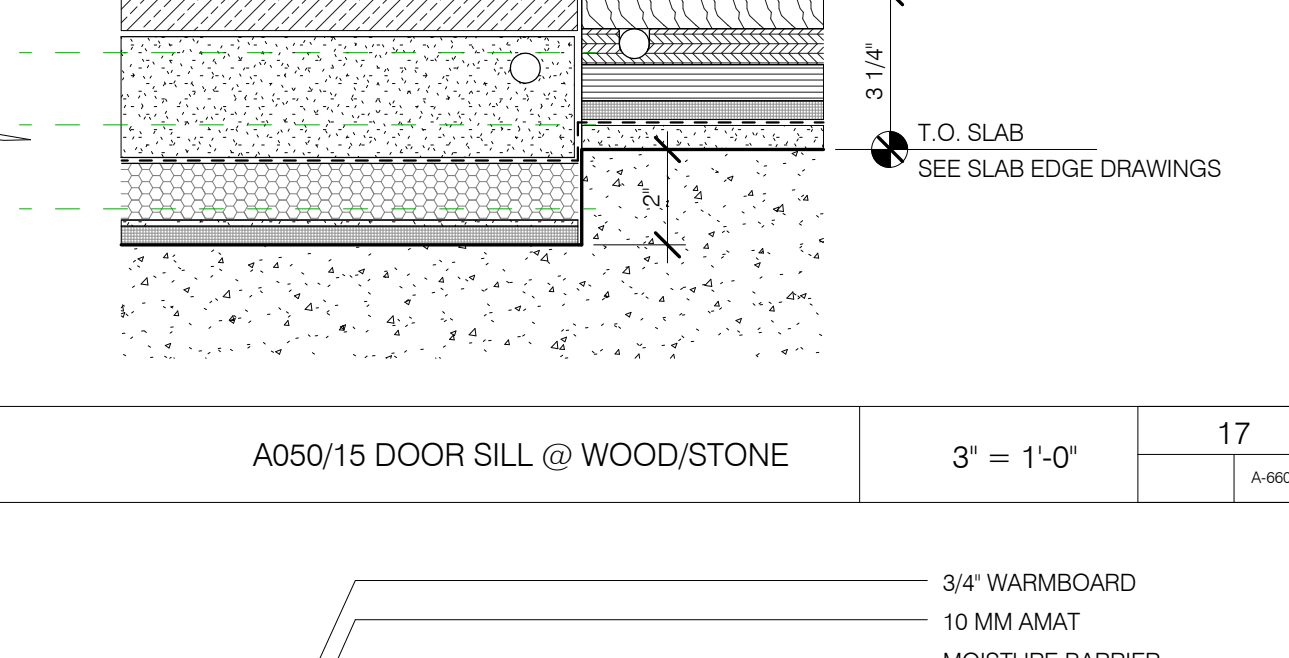
A050/15 DOOR SILL @ WOOD/STONE 3' = 1'-0" 17 A-600.01



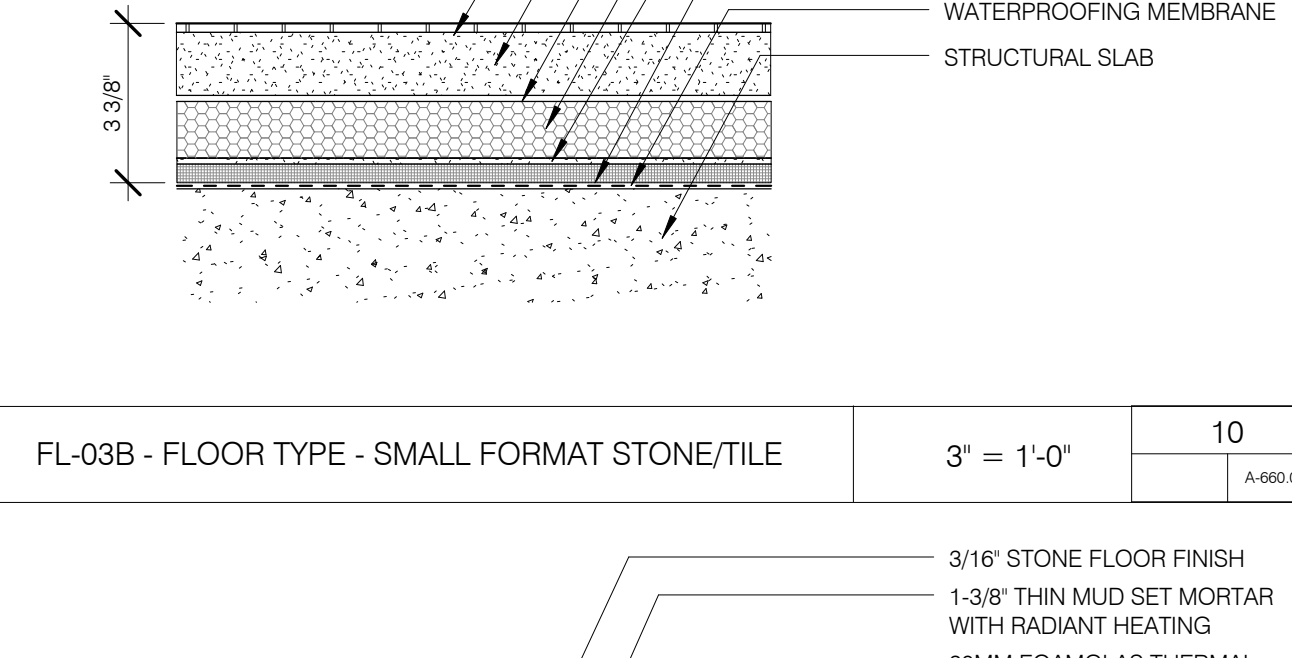
FL-03B - FLOOR TYPE - SMALL FORMAT STN/TILE HEATED 3' = 1'-0" 10 A-600.01



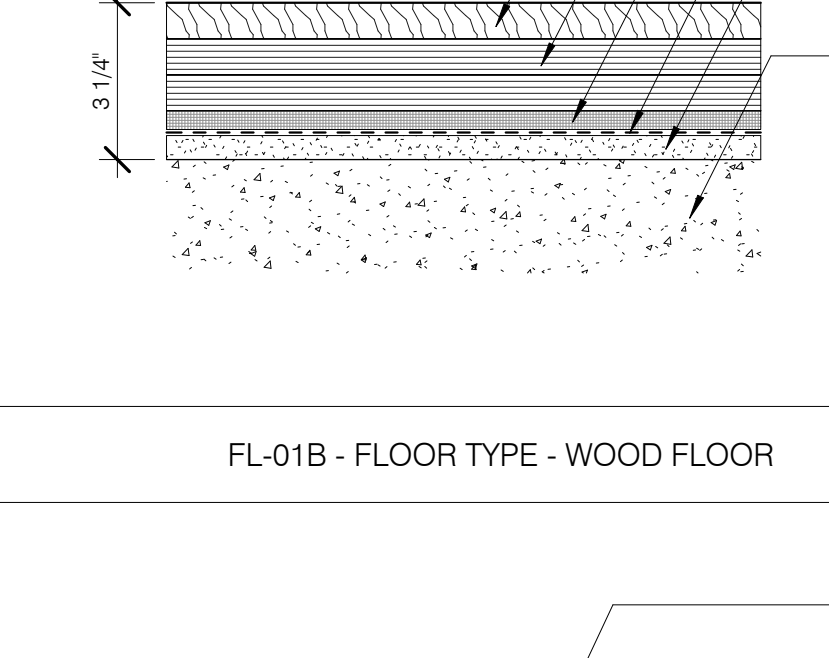
FL-01B - FLOOR TYPE - WOOD FLOOR 3' = 1'-0" 02 A-600.01



FL-01A / FL-01C - FLOOR THRESHOLD 3' = 1'-0" 16 A-600.01



FL-03A - FLOOR TYPE - SMALL FORMAT STN/TILE HEATED 3' = 1'-0" 09 A-600.01



FL-01A - FLOOR TYPE - WOOD FLOOR HEATED 3' = 1'-0" 01 A-600.01

ARCHITECT
SHAP ARCHITECTS, P.C.
225 W. 57th Street, 11th Floor
New York, NY 10019
Tel: 212.869.8200
Fax: 212.869.8201

STRUCTURAL ENGINEER
WSP GANTOR BENK
200 W. 57th Street
New York, NY 10019
Tel: 212.869.8200
Fax: 212.869.8201

M.E.P. ENGINEER
MICHEL BAIM & BOLLER
80 W. 57th Street, 10th Floor
New York, NY 10019
Tel: 212.869.8200
Fax: 212.869.8201

CIVIL ENGINEER
JAN WID FORKOVY ASSOCIATES
200 W. 57th Street, 11th Floor
New York, NY 10019
Tel: 212.869.8200
Fax: 212.869.8201

ACOUSTICS
LONGMAN LINDESEY
40 WEST 57th STREET, 8TH FLOOR
NEW YORK, NY 10019
Tel: 212.263.2000
Fax: 212.263.2001

INTERIORS
STUDIO SCHILD
120 W. 57th Street, 7th Floor East
New York, NY 10019
Tel: 212.228.4488
Fax: 212.228.4488

FAÇADE
BIRD HAPPOLD
100 W. 57th Street
New York, NY 10019
Tel: 212.869.8200
Fax: 212.869.8201

VERTICAL TRANSPORTATION
VAN DEUSEN & ASSOCIATES
600 WEST STREET, SUITE 504
LANSINGTON, N.Y. 10801
Tel: 913.841.8025
Fax: 913.841.8025

RESTORATION
JAN WID FORKOVY ASSOCIATES
200 WEST 57th STREET, FLOOR 10A
NEW YORK, NY 10019
Tel: 212.228.4488
Fax: 212.228.4488

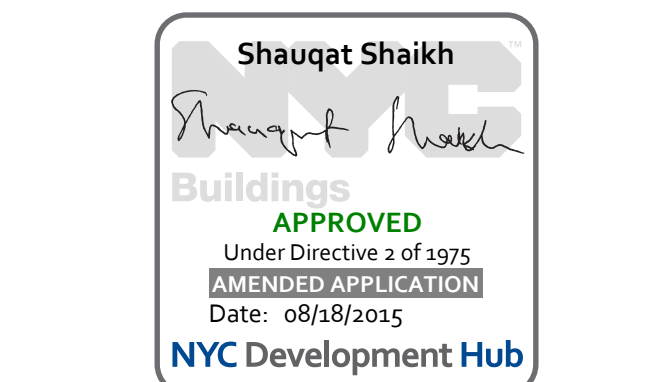
GEOTECH
MPC
220 WEST 40th STREET, 8TH FLOOR
NEW YORK, NY 10018-0000
Tel: 212.263.2000
Fax: 212.263.2001

LIGHTING
LUMINERATIVE INTERNATIONAL
120 W. 57th Street, 7th Floor East
New York, NY 10019
Tel: 212.228.4488
Fax: 212.228.4488

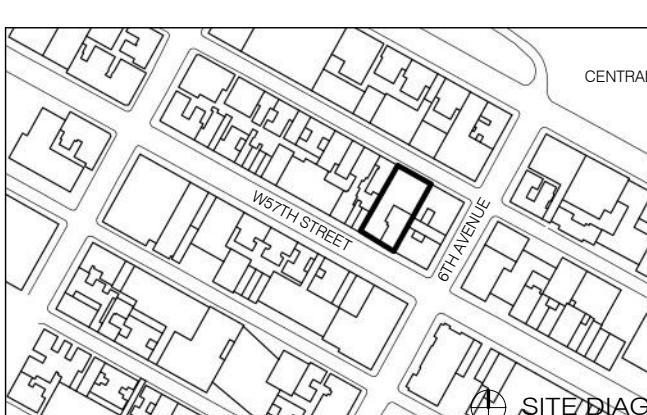


PROPERTY MARKETS GROUP
1 EAST 57th STREET, 2ND FLOOR
NEW YORK, NY 10022
Tel: 212.610.2000
Fax: 212.610.2001
CURRENT ISSUE

DOB PAA



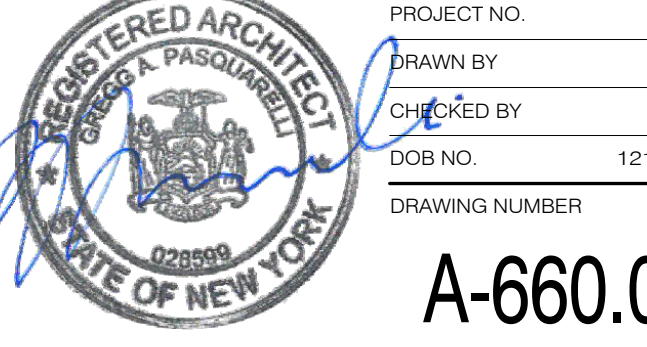
111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



1	3.27.15	DOB PAA
5.1.14		DOB FLING SET
NO.	DATE	REVISION

DRAWING TITLE
FLOOR TYPES AND DETAILS

DATE	3.27.15
PROJECT NO.	130907
DESIGNED BY	SHAP
CHECKED BY	SHAP
DRAWING NUMBER	1213202008
DRAWING NUMBER	A-600.01

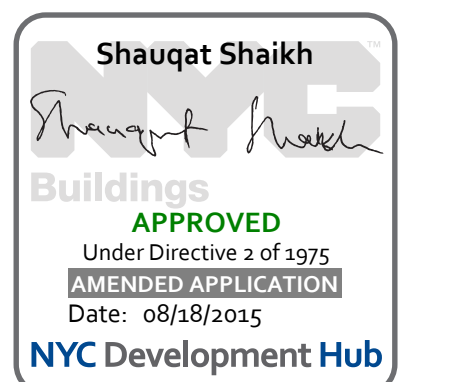


ARCHITECT	SHAP ARCHITECTS, P.C. 235 BROADWAY, 11TH FLOOR NEW YORK, NY 10038 TEL: 212 689 9300	FAÇADE	BURROUGHS WAREFIELD 100 BROADWAY NEW YORK, NY 10005 TEL: 212 244 2025
STRUCTURAL ENGINEER	YUSUF GANTOF ENGINEERING 228 EAST 43RD STREET NEW YORK, NY 10017 TEL: 212 697 5966	MECHANICAL ENGINEER	JORDIS, BALM & BOLLER 89 WEST STREET, 12TH FLOOR NEW YORK, NY 10006 TEL: 212 689 8200
MEP ENGINEER	JORDIS, BALM & BOLLER 89 WEST STREET, 12TH FLOOR NEW YORK, NY 10006 TEL: 212 689 8200	VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 8 HENRY STREET, SUITE 204 LARKSPER, NJ 07033 TEL: 973 984 8700
CIVIL ENGINEER	ARIF ENGINEERING, P.C. 40 FIFTH AVE, 20TH FLOOR NEW YORK, NY 10018 TEL: 646 288 8828	RESTORATION	JAN HED FORKORNY ASSOCIATES 80 WEST 10TH STREET, 4TH FLOOR NEW YORK, NY 10011 TEL: 212 259 4462
ACOUSTICS	LONGMAN LINDSEY 40 WEST 40TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 917 238 3300	GEOTECH	GEOTECHNICAL INTERNATIONAL 100 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 252 4463
INTERIORS	STUDIO SCARFIELD 30 WALKER STREET NEW YORK, NY 10002 TEL: 212 475 3200	LIGHTING	CONSERVATORIE INTERNATIONAL 100 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 252 4463

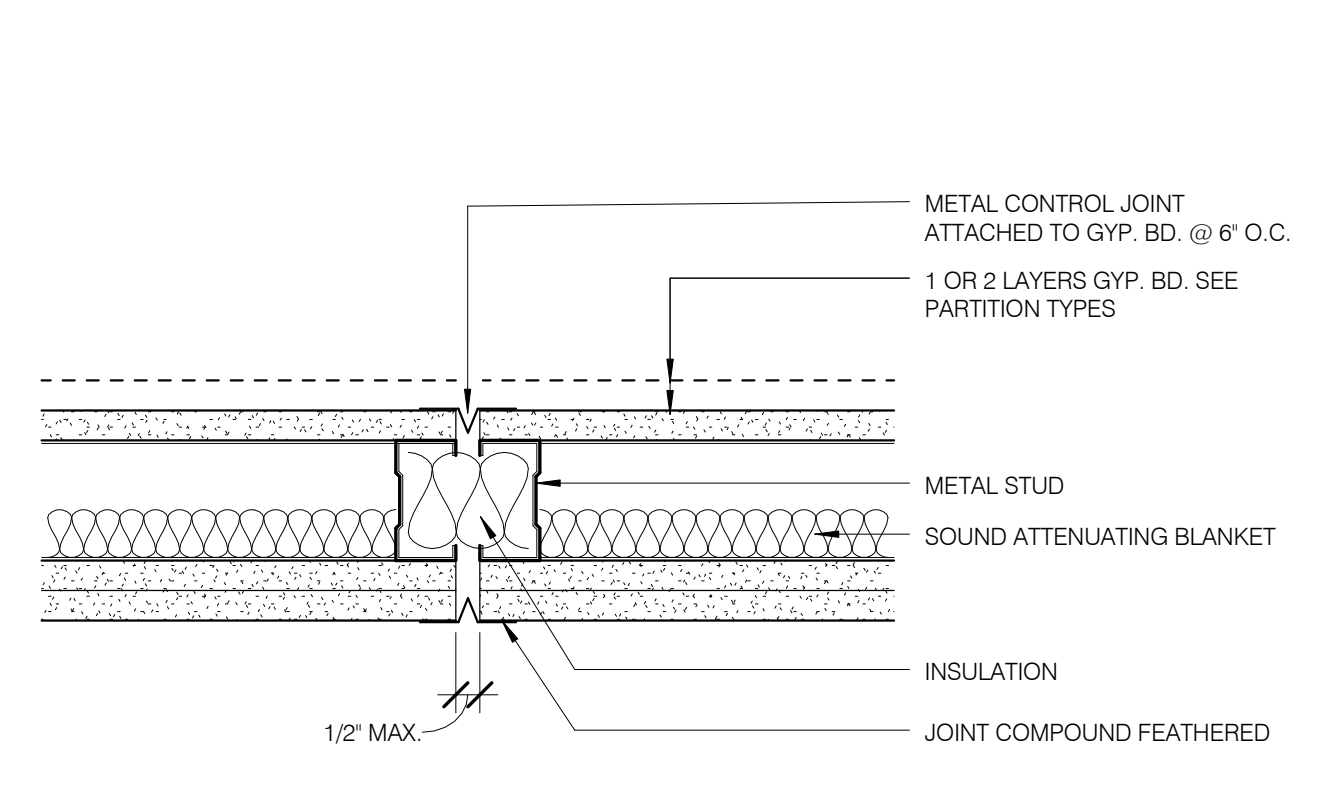


PROPERTY MARKETS GROUP
100 WEST 47TH STREET, 2ND FLOOR
NEW YORK, NY 10036
TEL: 212 693 9300

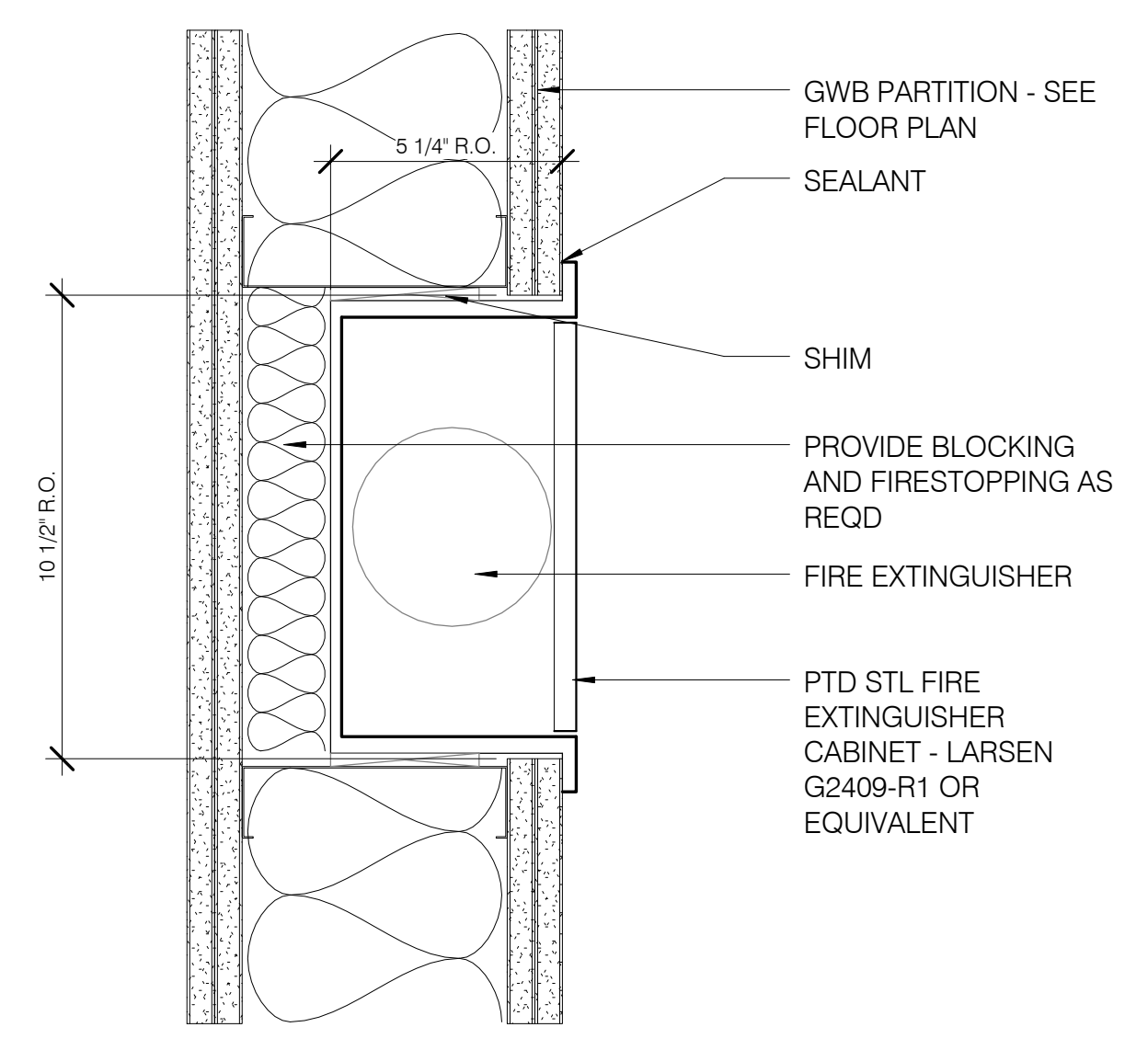
DOB PAA



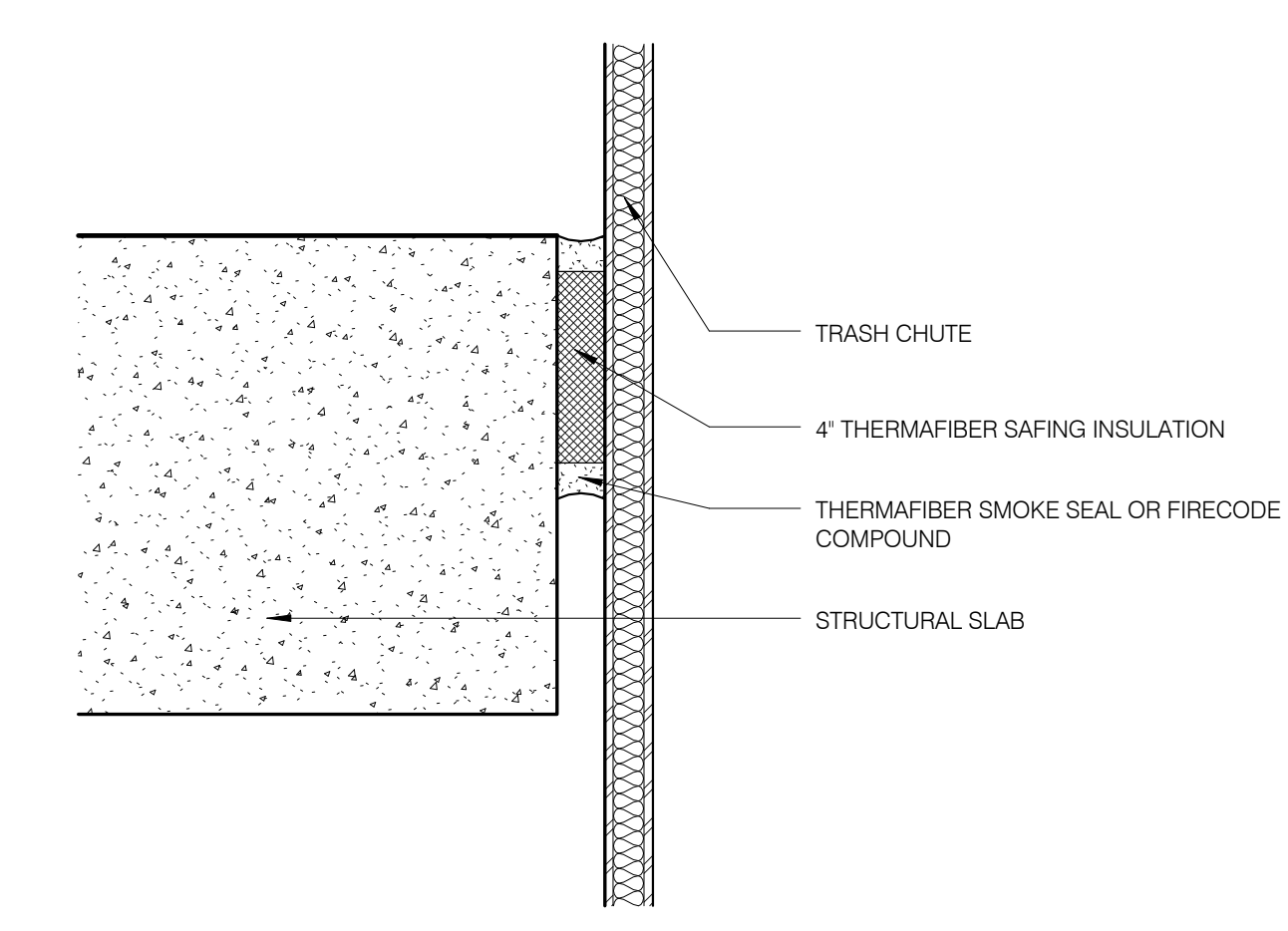
111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



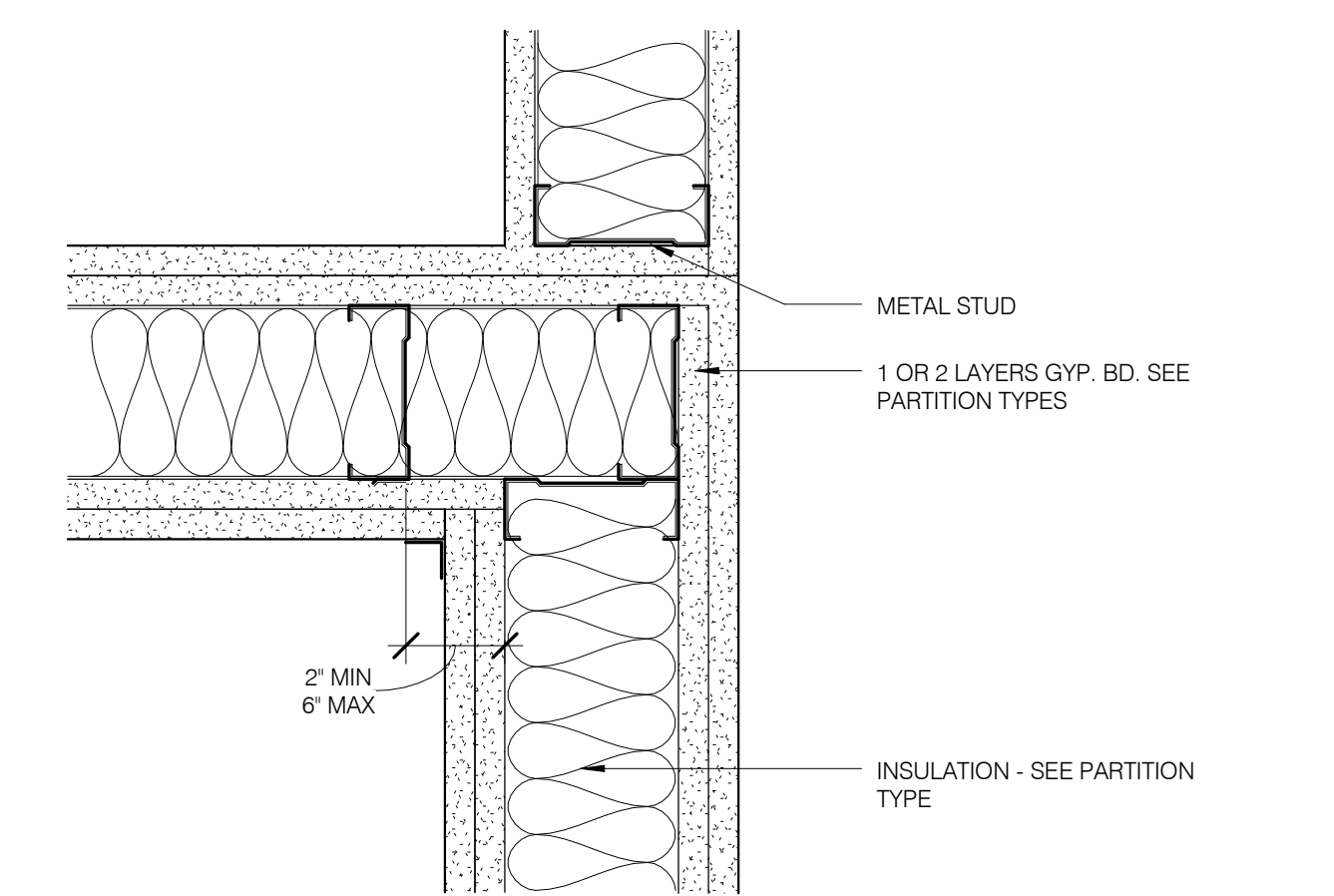
A700/13 GWB CONTROL JOINT 3' = 1'-0" 13 A-700.03



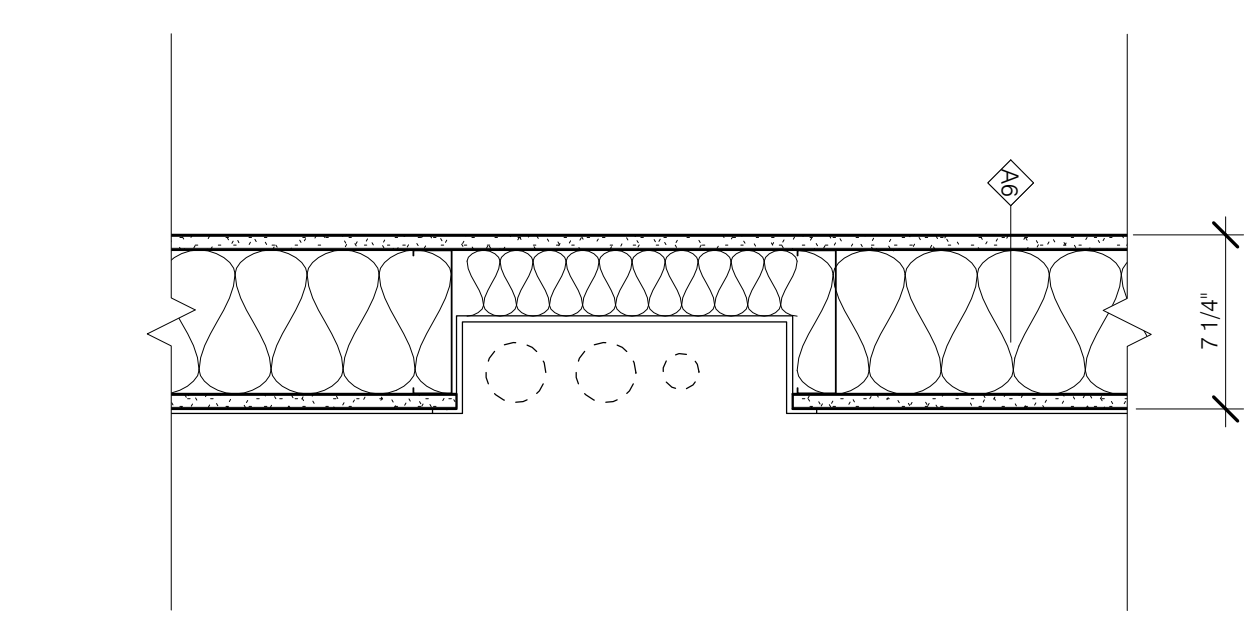
STD RECESSED FEC CABINET 3' = 1'-0" 9 A-700.01



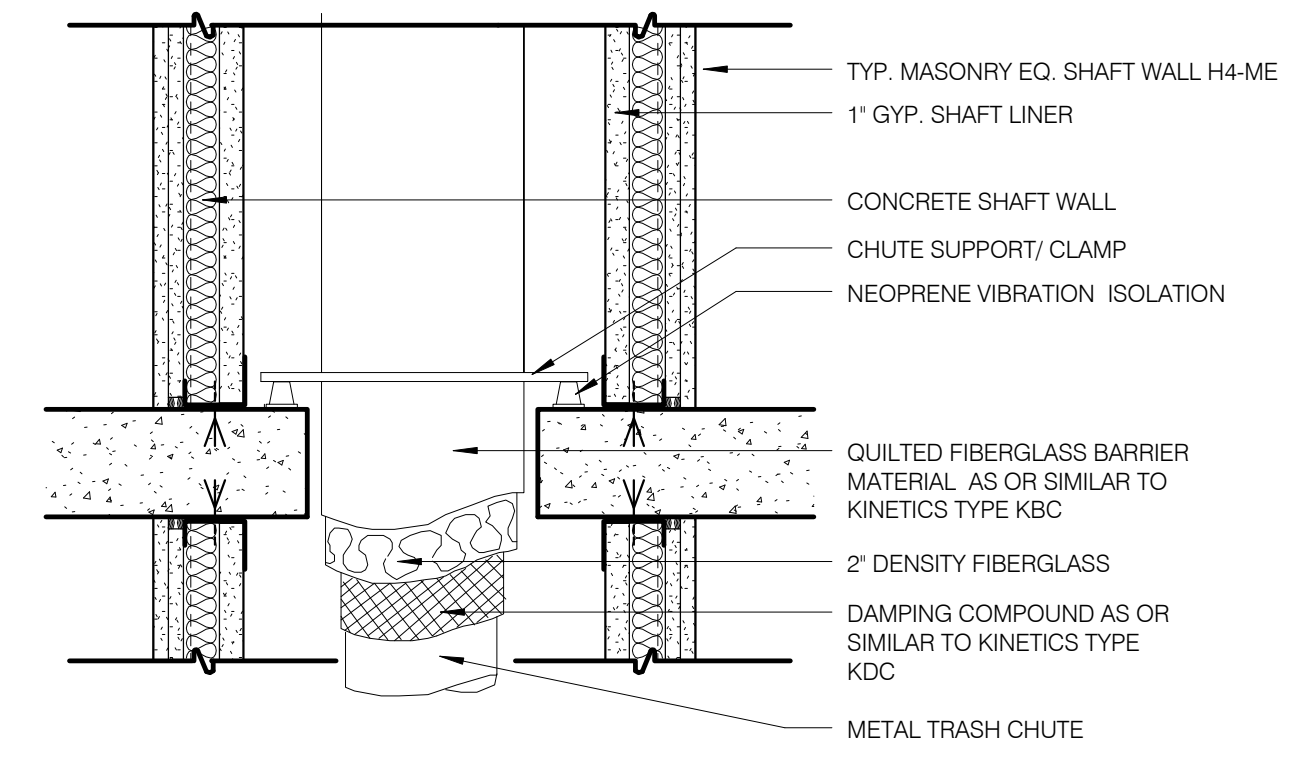
A700/05 FIRESTOPPING @ TRASH CHUTE SLAB OPG 3' = 1'-0" 5 A-700.01



A700/12 INTERSECTION 2HR PARTITION W/ 1HR OR NR ASSEMBLY 3' = 1'-0" 12 A-700.01

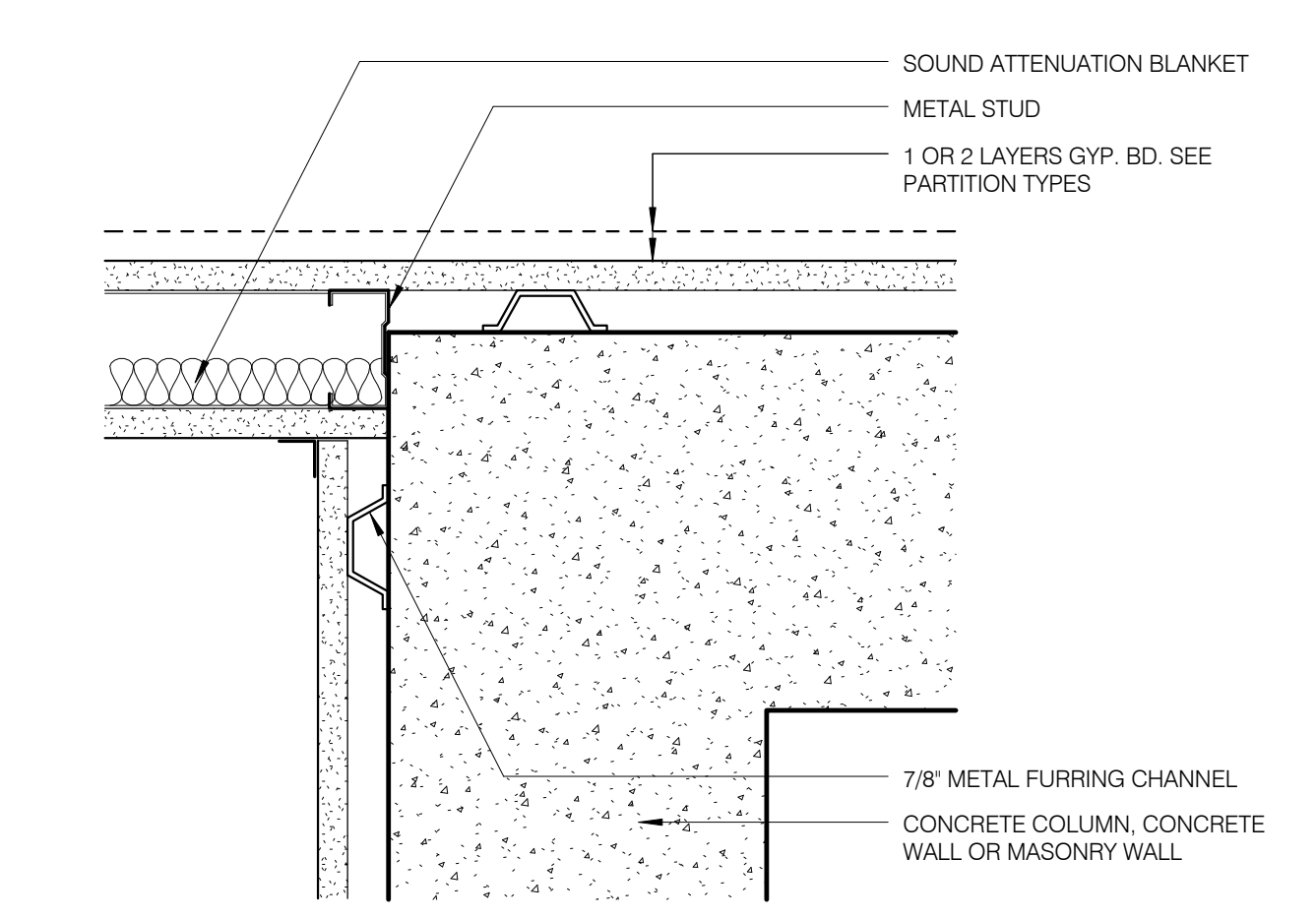


A700/08 PLAN DETAIL @ WASHER/DRYER RISER 1 1/2' = 1'-0" 8 A-700.01

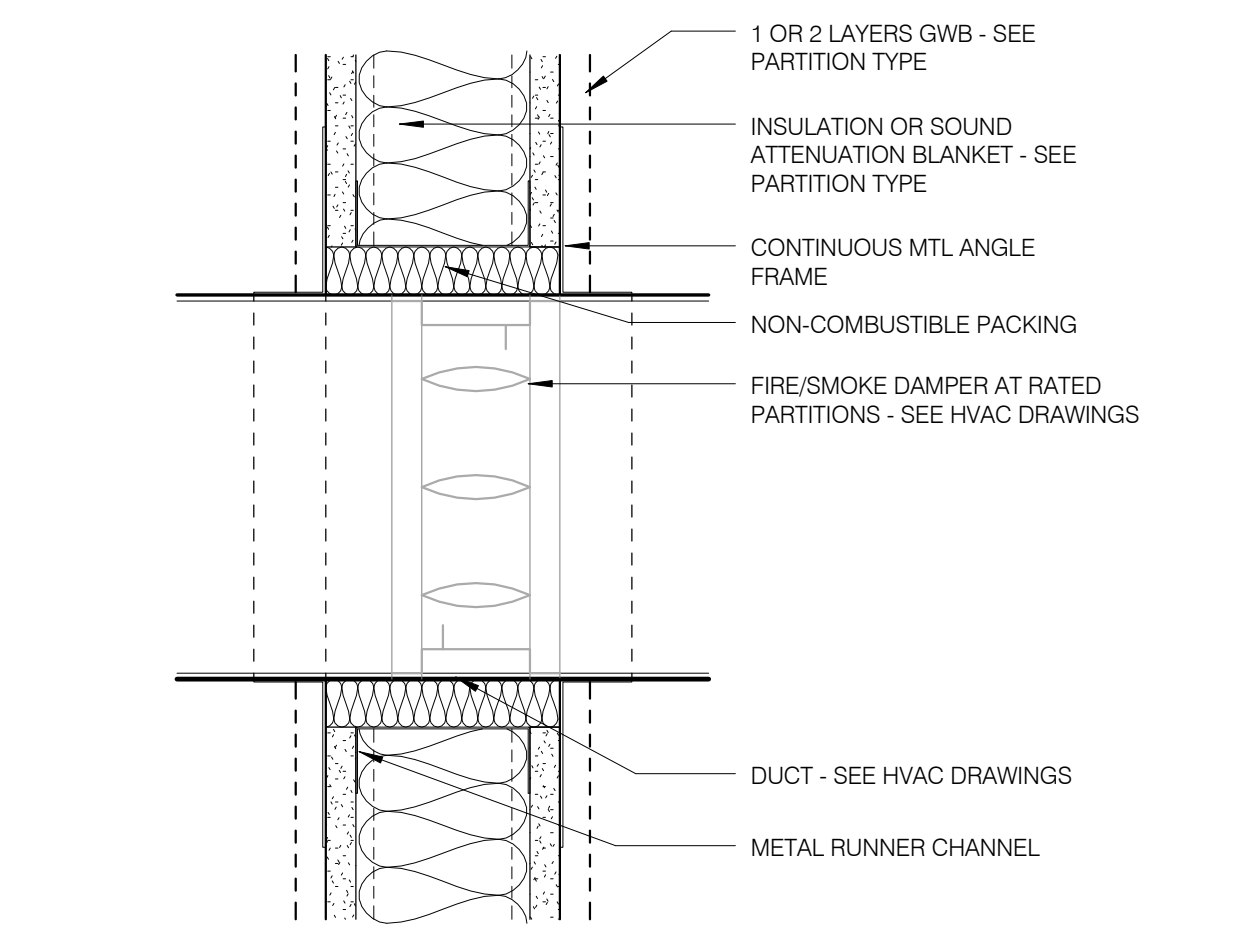


*AS AN ALTERNATIVE, A PROPRIETARY DOUBLE WALL ENCLOSURE MAY BE USED

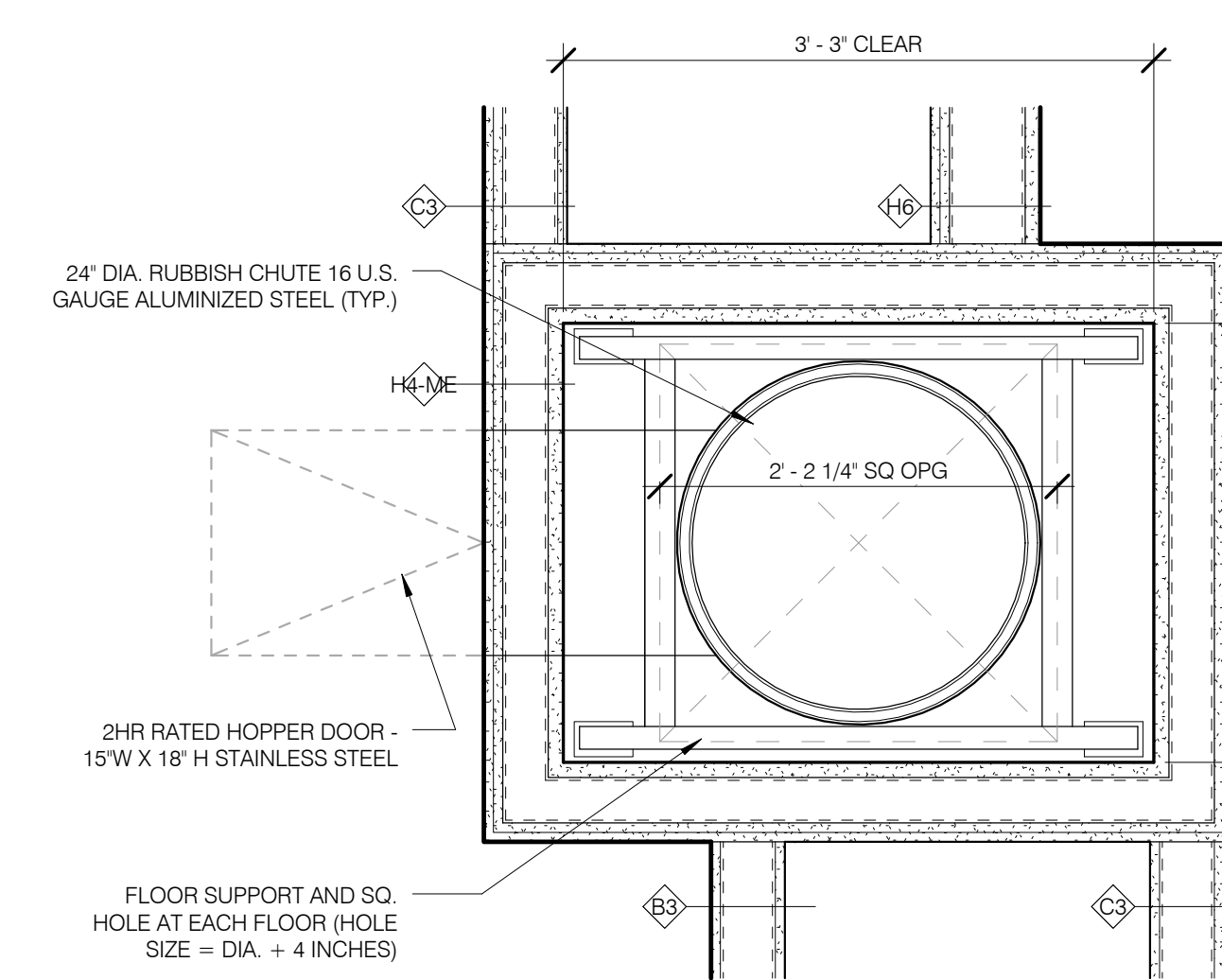
A700/04 SUPPORT @ TRASH CHUTE 1 1/2' = 1'-0" 4 A-700.01



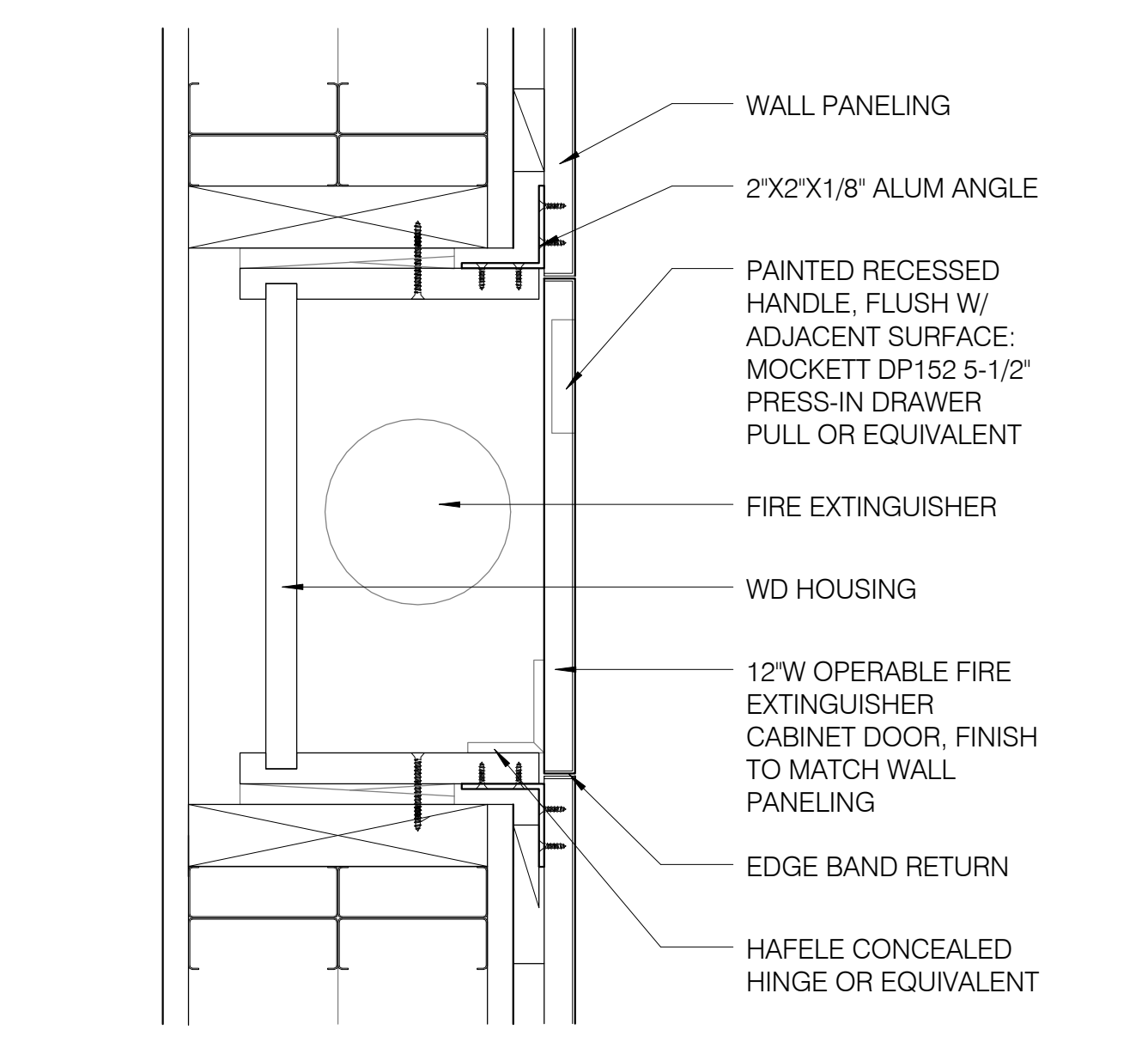
A700/11 INTERSECTION @ SHEAR WALL AND INTERIOR PARTITION 3' = 1'-0" 11 A-700.01



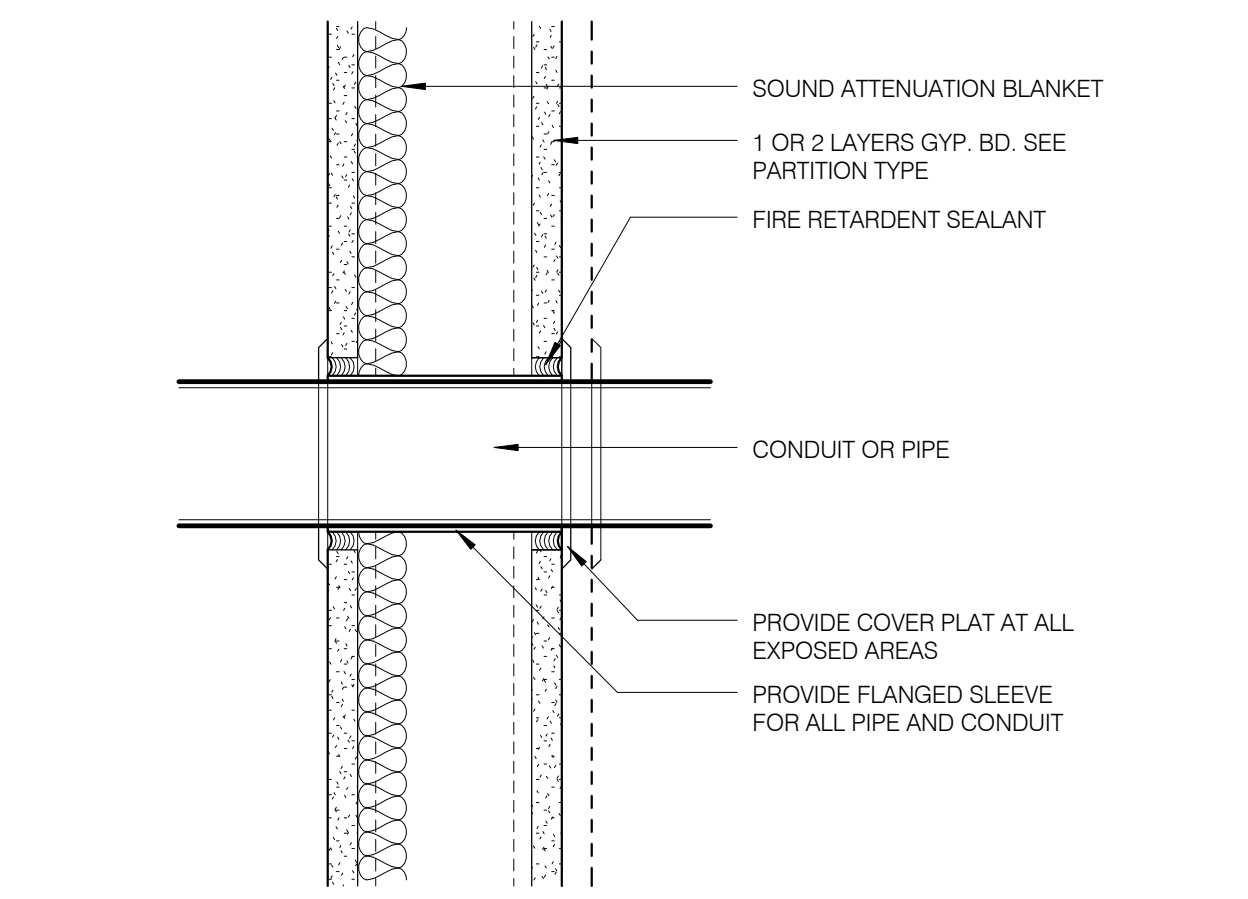
A700/07 DUCT PENETRATION 3' = 1'-0" 7 A-700.01



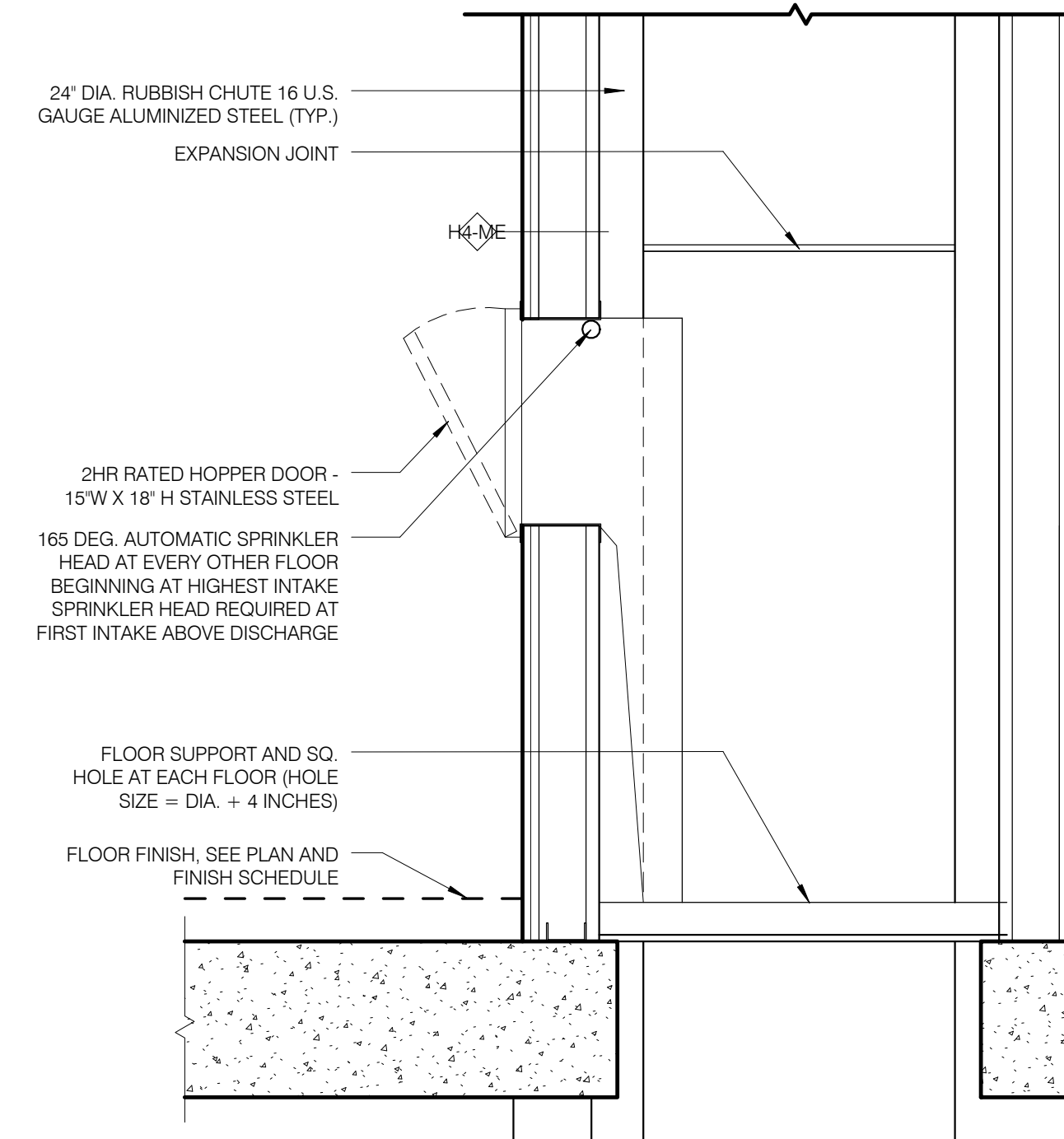
A700/03 PLAN DETAIL @ TRASH CHUTE 1' = 1'-0" 3 A-700.01



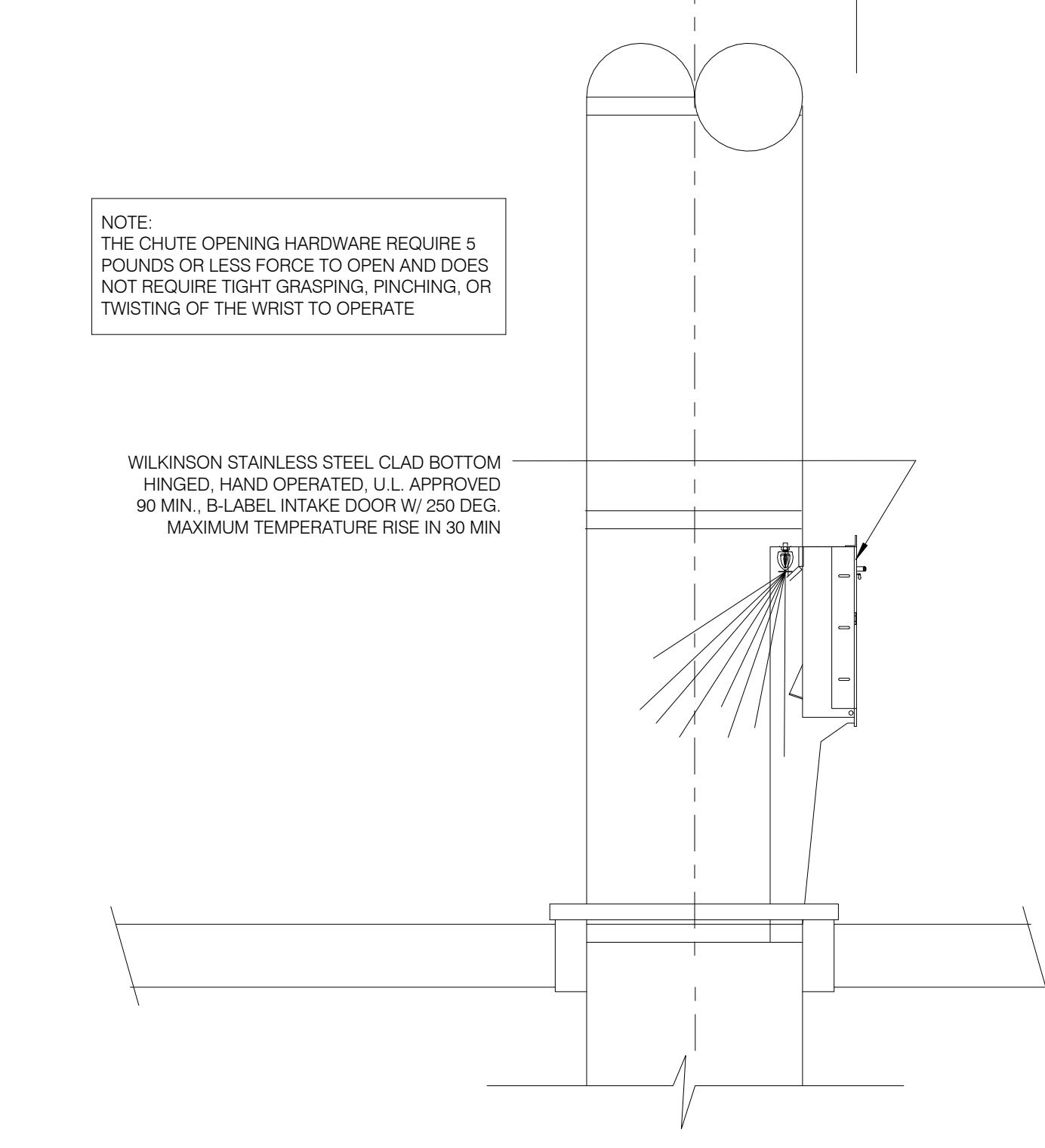
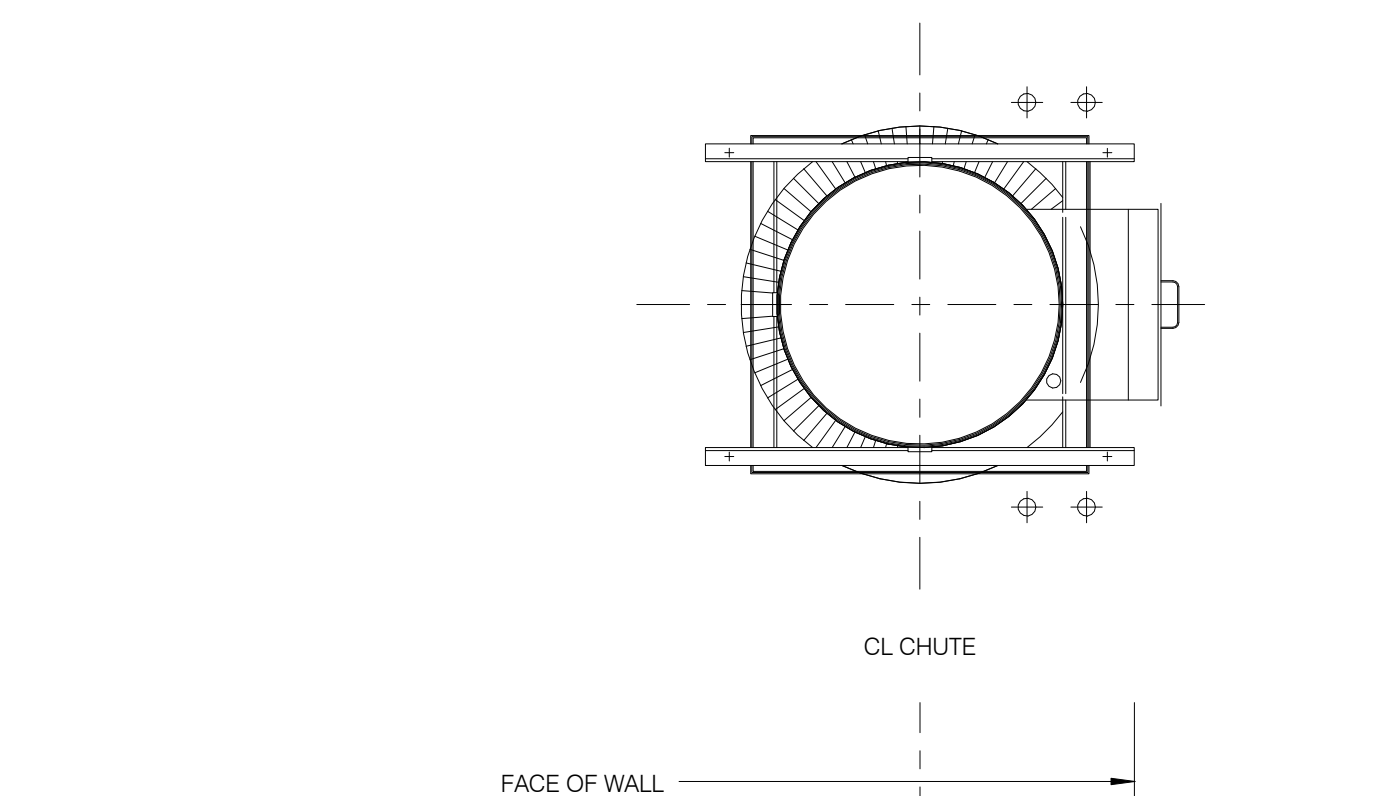
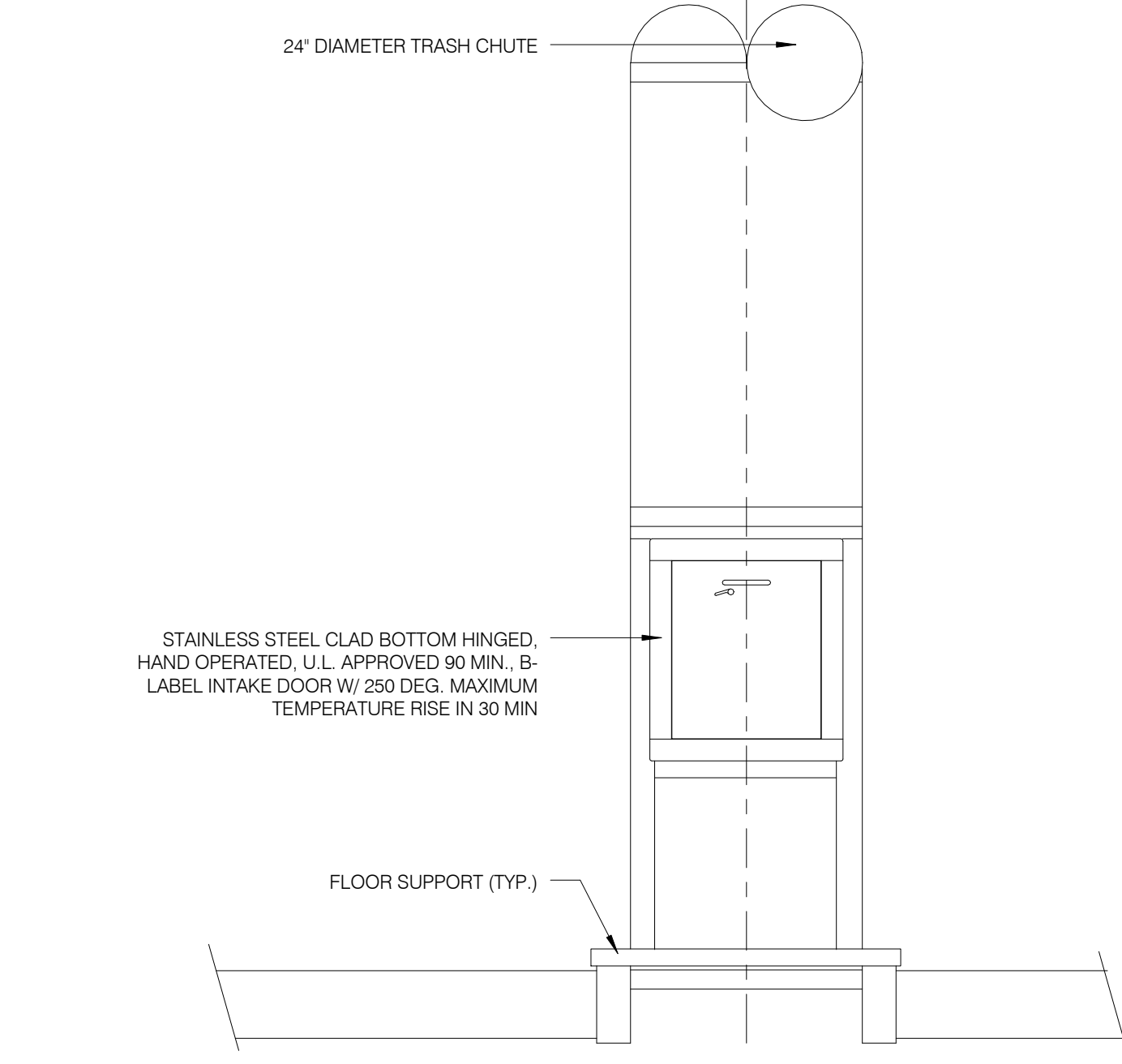
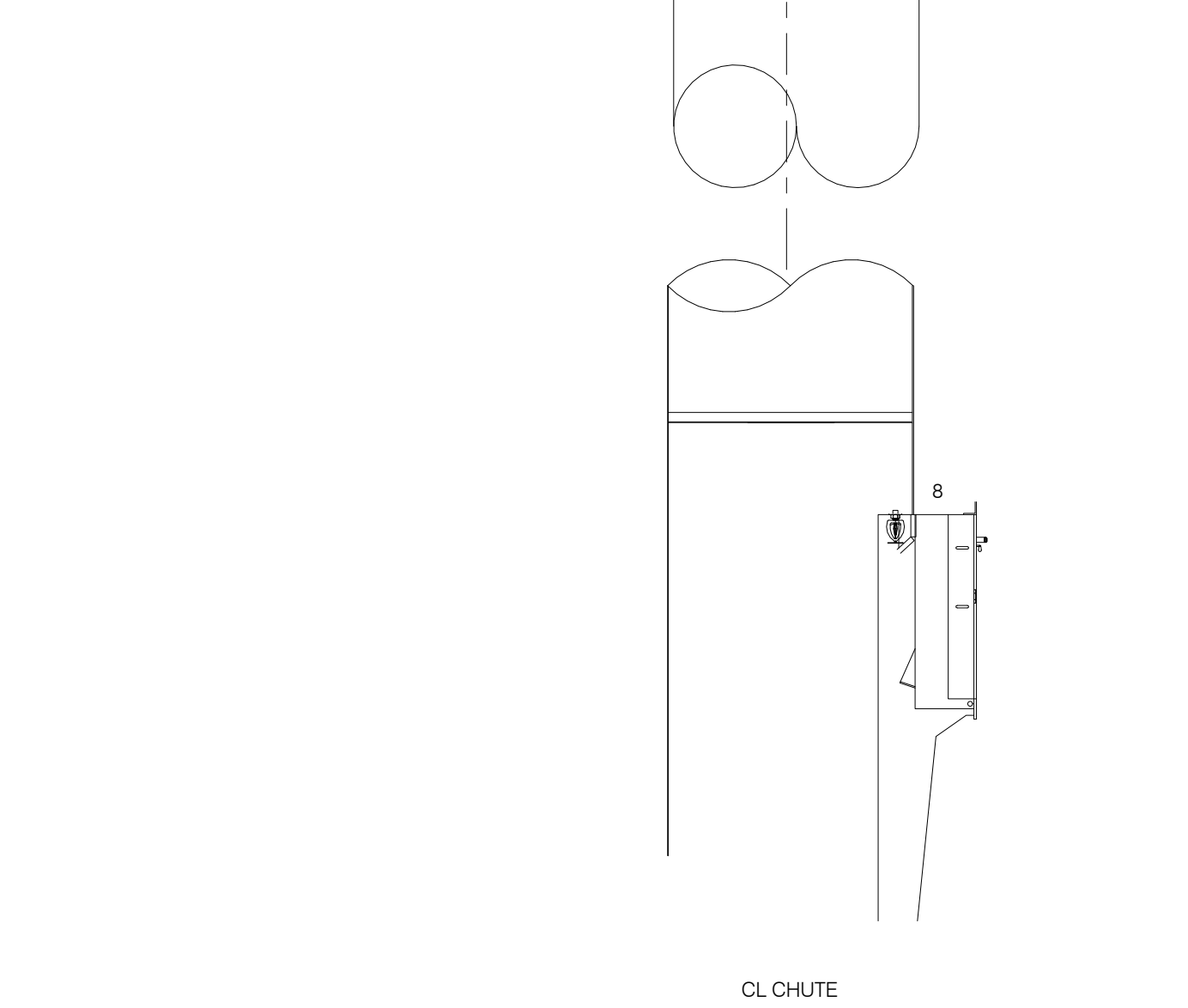
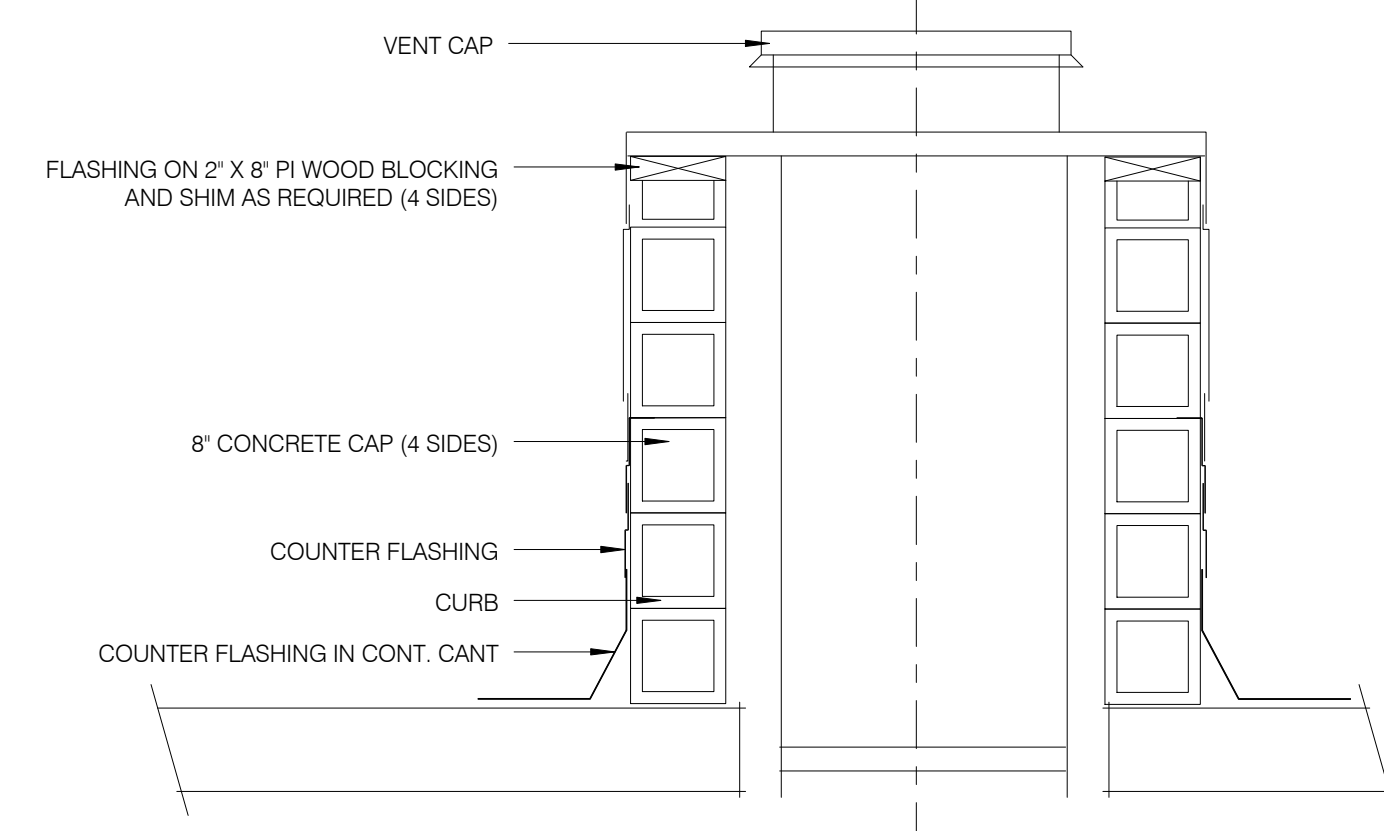
CUSTOM RECESSED FEC 3' = 1'-0" 10 A-700.01



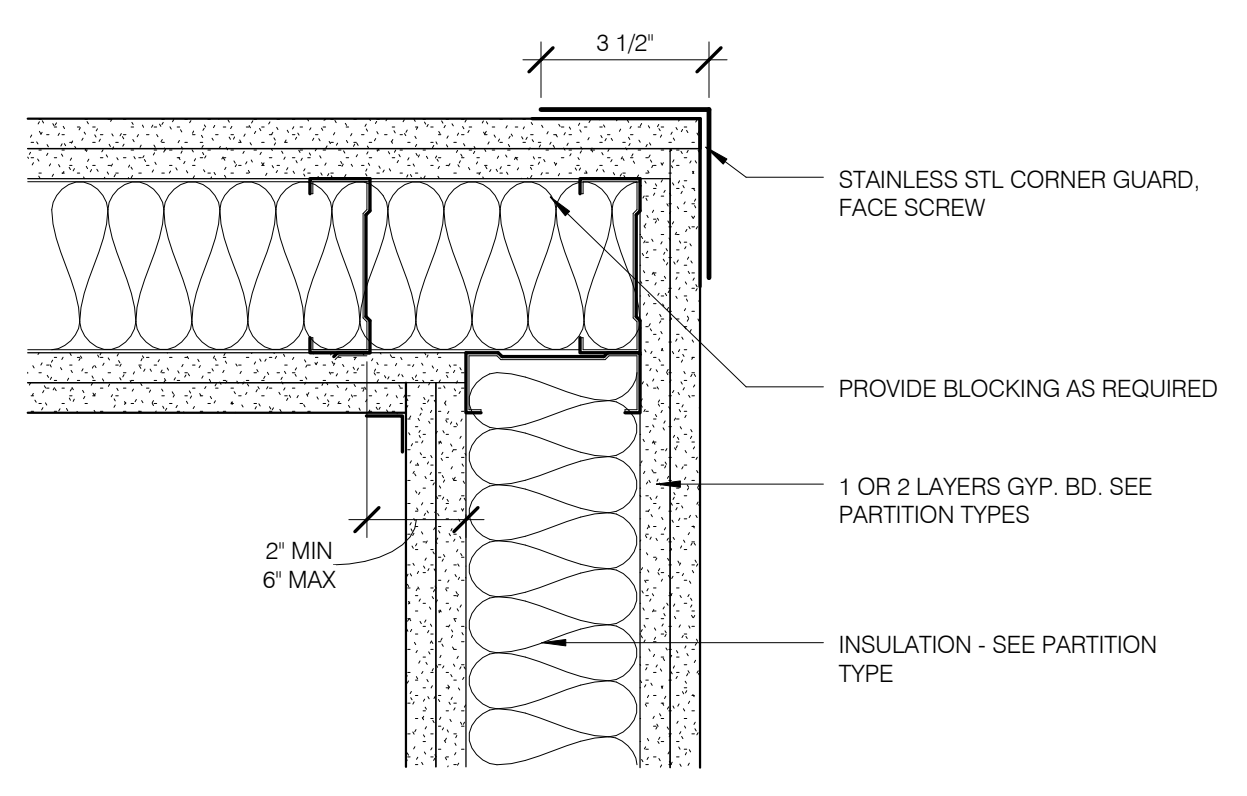
A700/06 PIPE/CONDUIT PENETRATION 3' = 1'-0" 6 A-700.01



A700/02 SECTION DETAIL @ TRASH CHUTE 1' = 1'-0" 2 A-700.01



A700/01 SCHEMATIC SECTION @ TRASH CHUTE 1' = 1'-0" 1 A-700.01

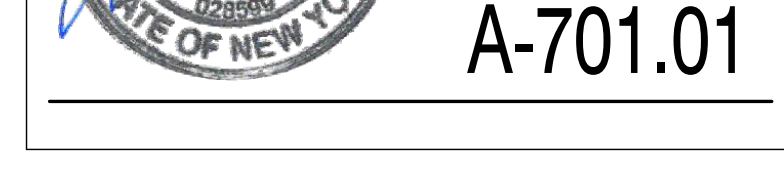


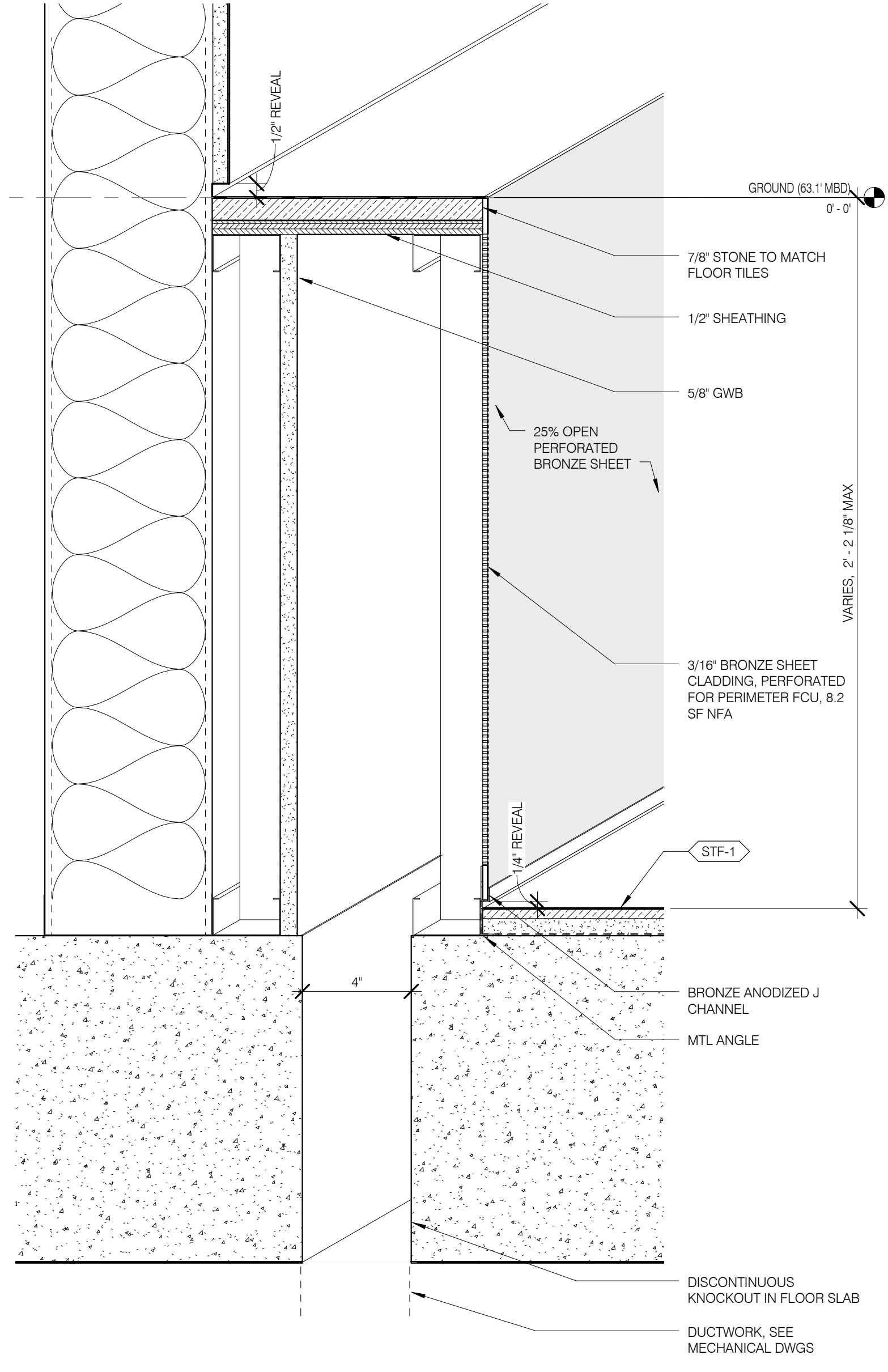
PROTECTIVE CORNER GUARD 3' = 1'-0" 14 A-700.01

1	3/27/15	DOB PAA
	5/1/14	DOB FLUNG SET
NO.	DATE	REVISION
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS, P.C. ALL RIGHTS RESERVED.		

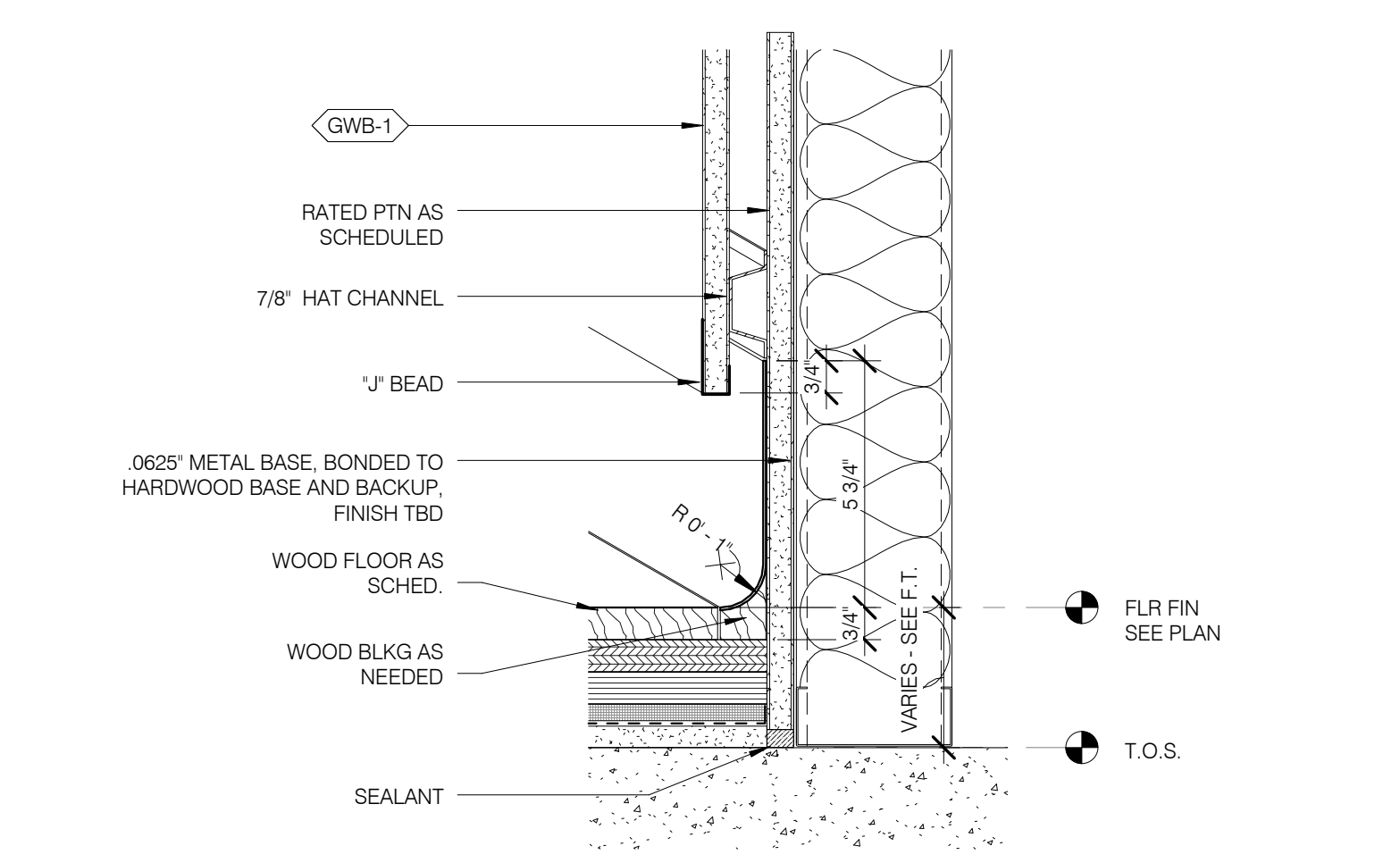
DRAWING TITLE
TYPICAL WALL DETAILS

SEAL & SIGNATURE
DATE: 3/27/15
PROJECT NO.: 130007
DRAWN BY: SHAP
CHECKED BY: SHAP
DOB NO.: 121332068
DRAWING NUMBER: A-701.01

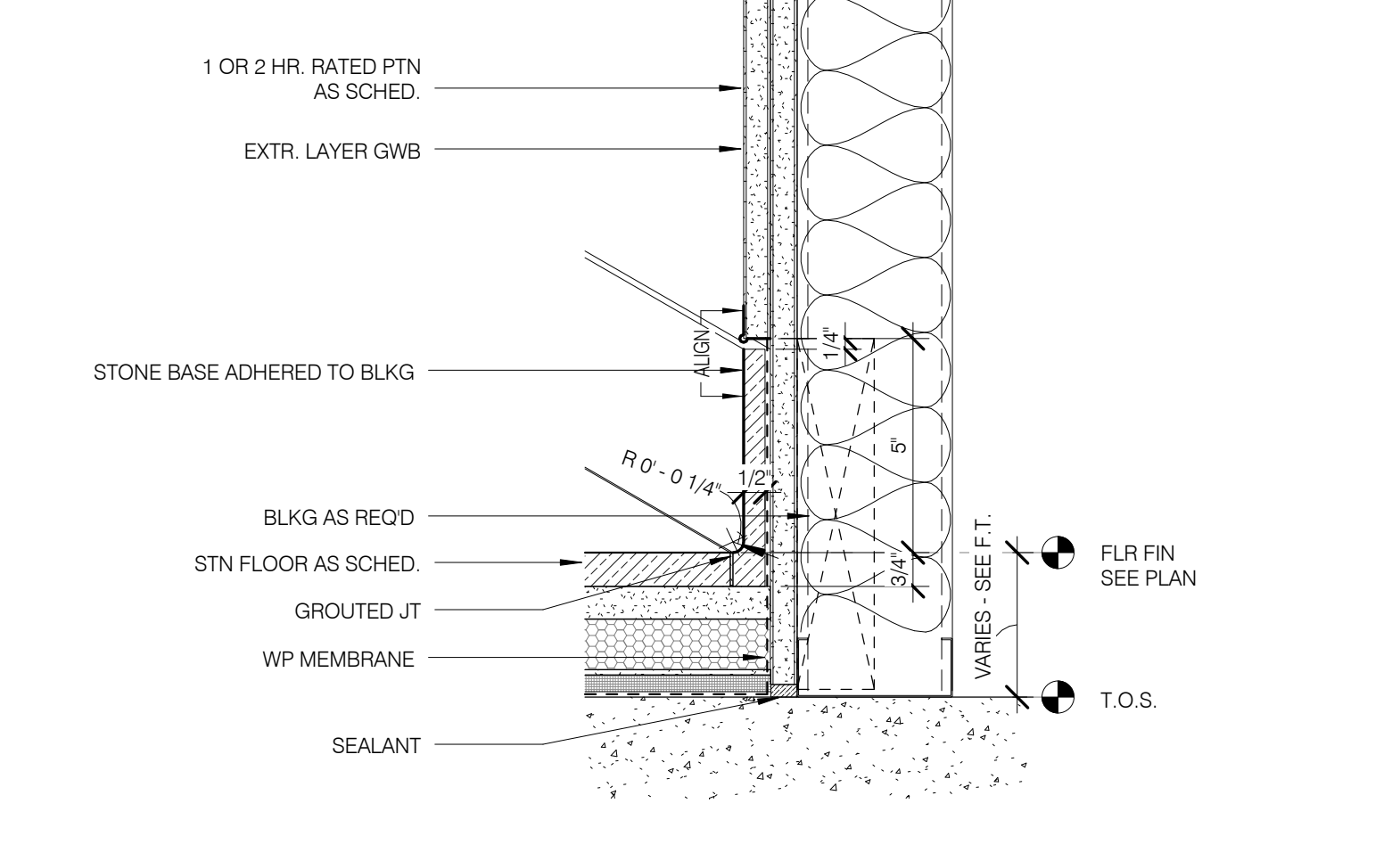




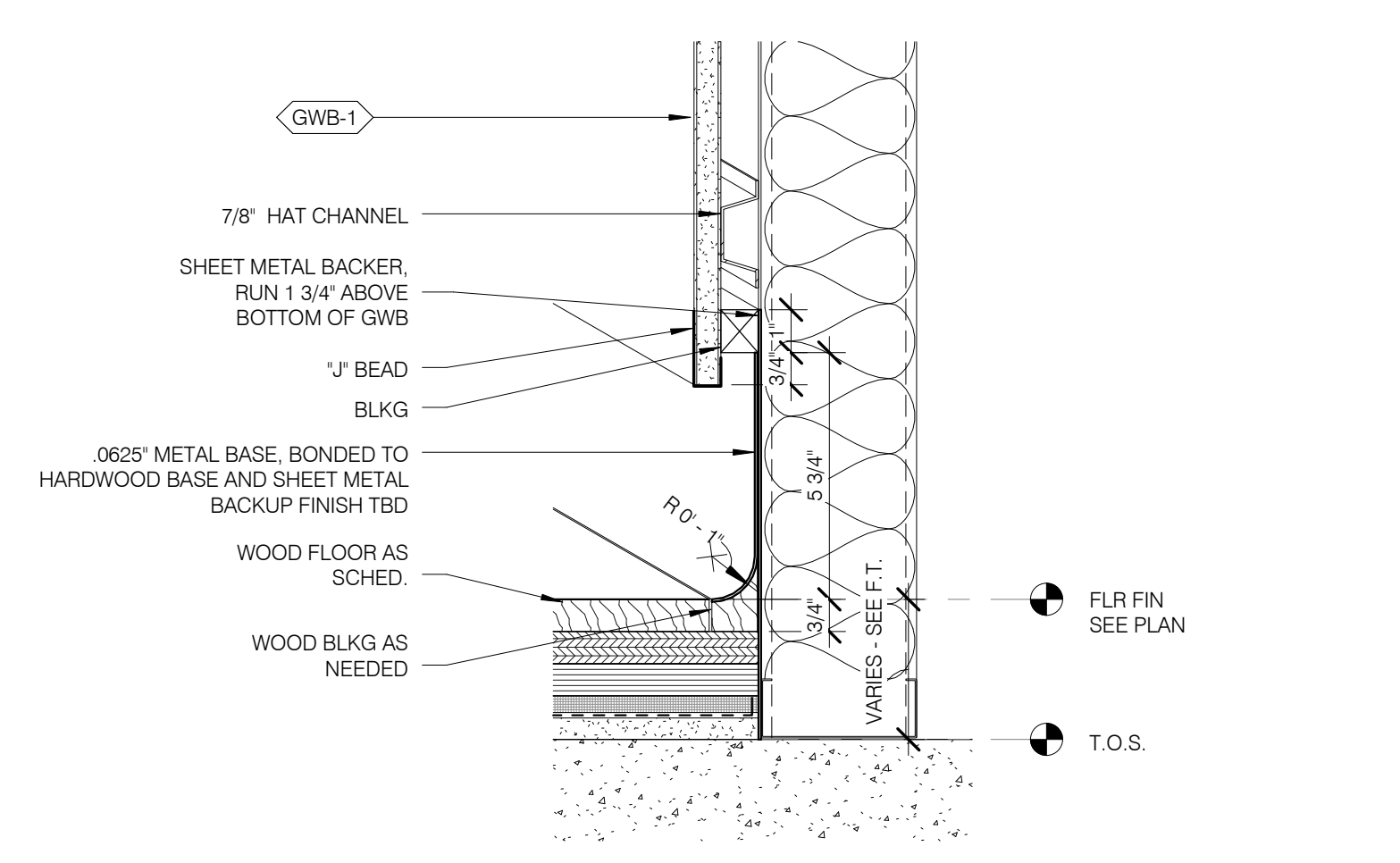
0121 E RETAIL ATRIUM EAST WALL BASE DETAIL 3" = 1'-0" 11



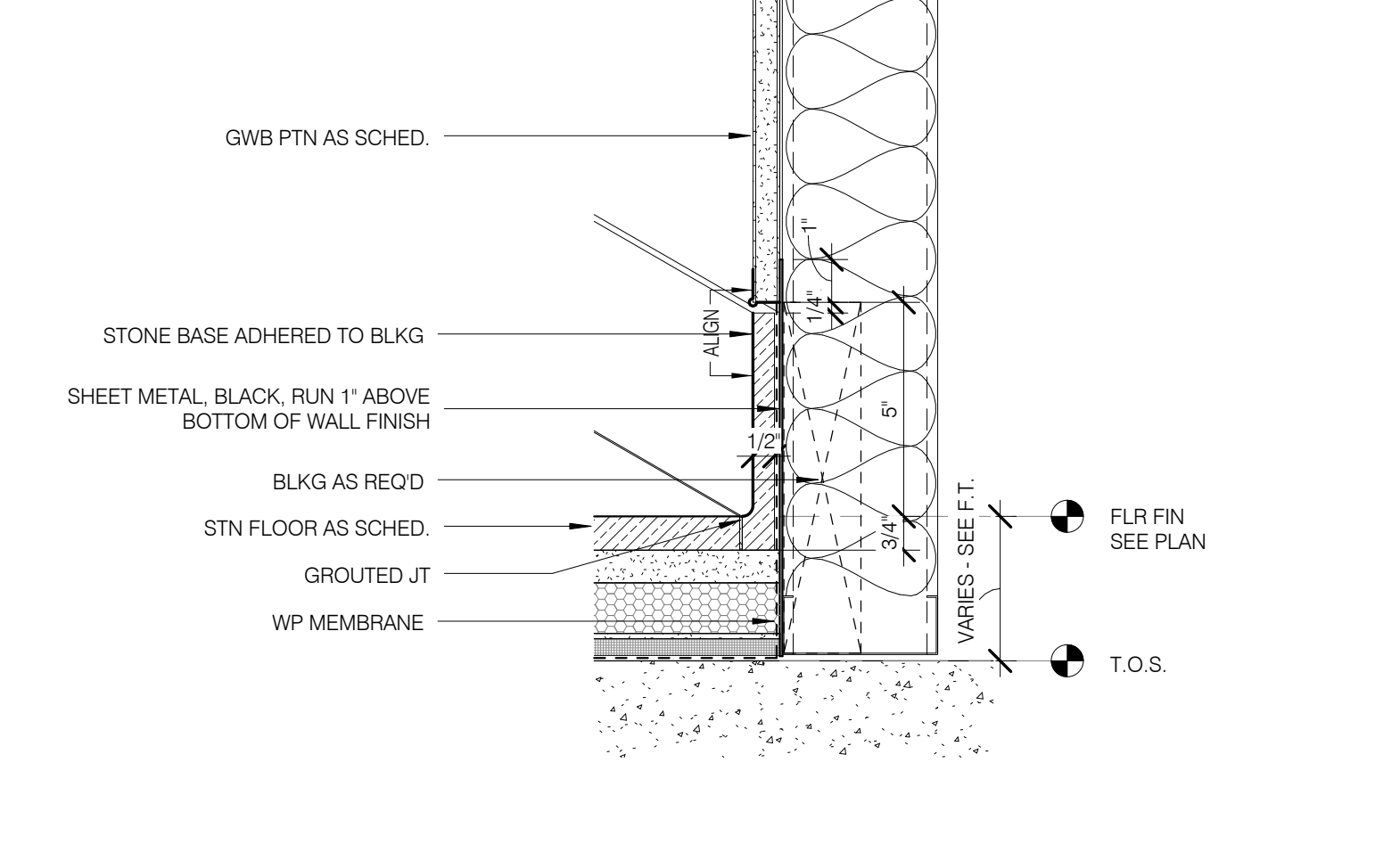
MB-2 - RECESSED MTL BASE @ RATED PARTITION 3" = 1'-0" 8



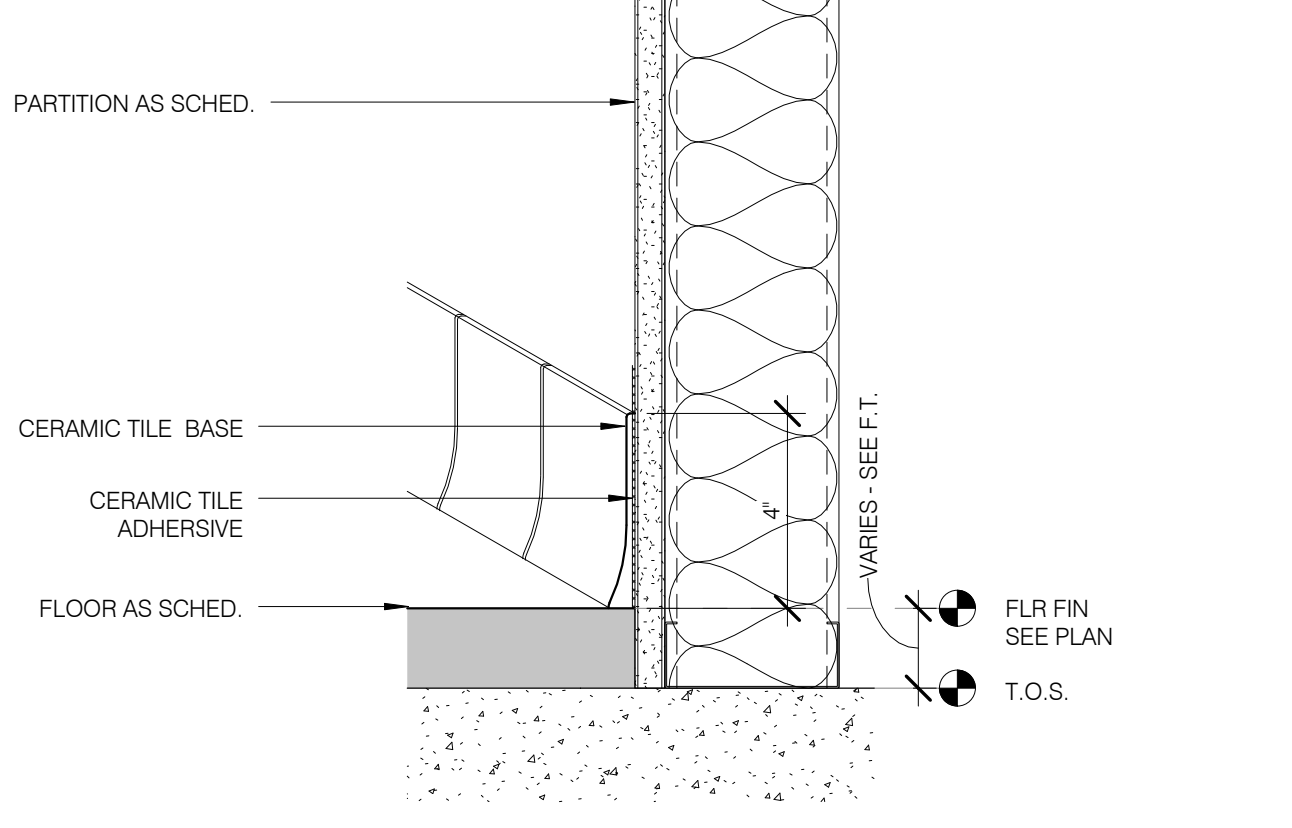
SB-2 - FLUSH STONE BASE @ RATED PARTITION 3" = 1'-0" 4



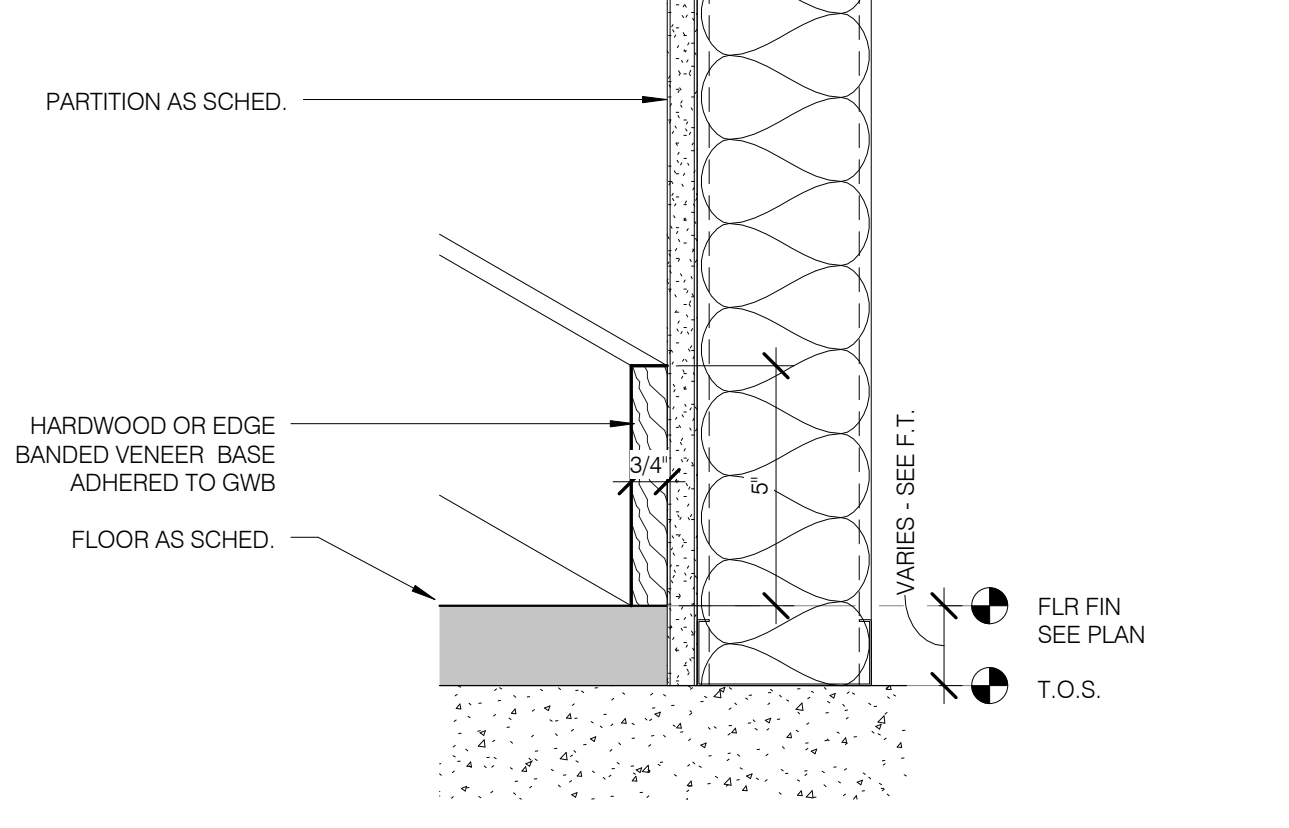
MB-1 - RECESSED MTL BASE @ NON-RATED PARTITION 3" = 1'-0" 7



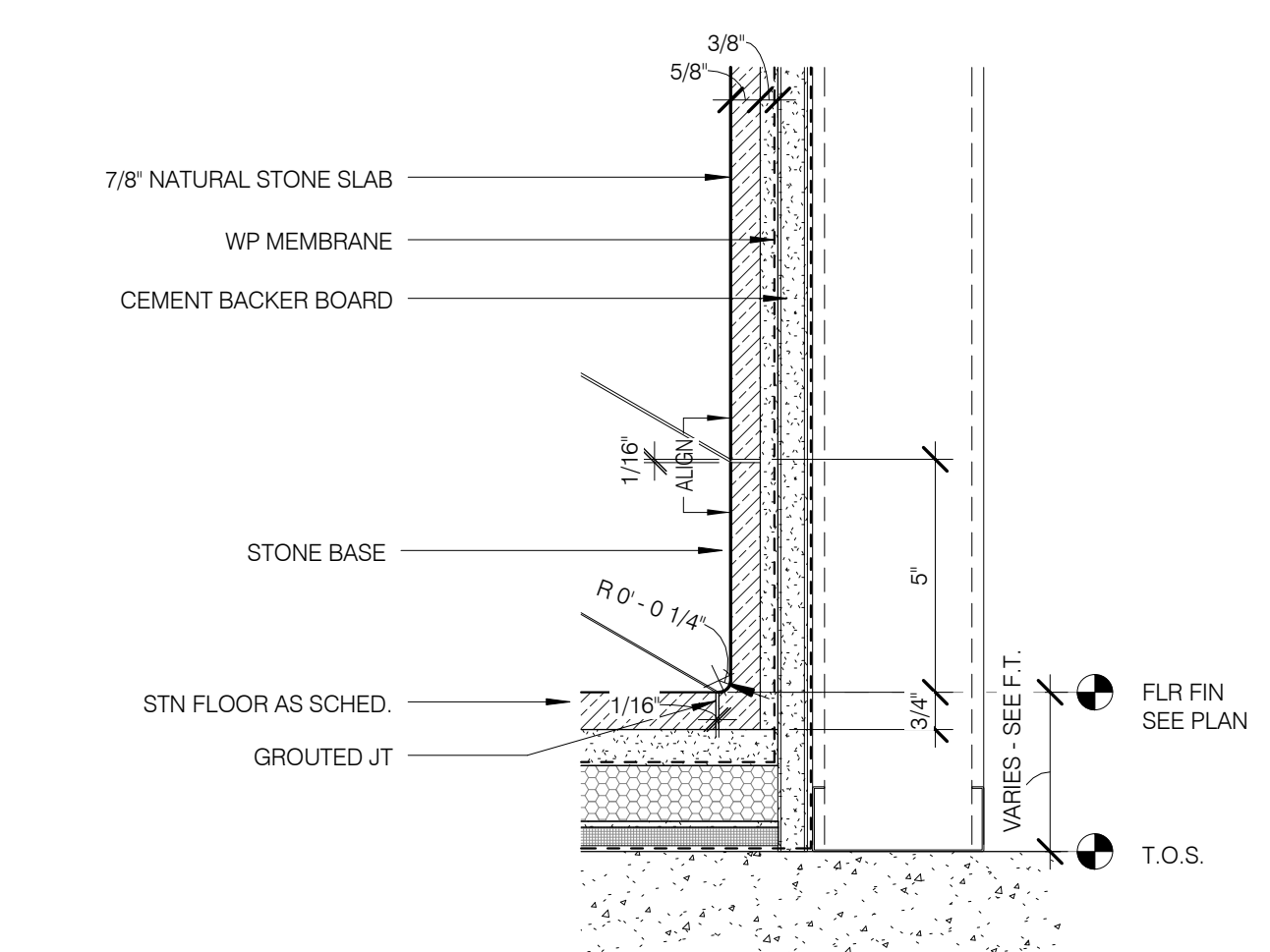
SB-1 - FLUSH STONE BASE @ NON-RATED PARTITION 3" = 1'-0" 3



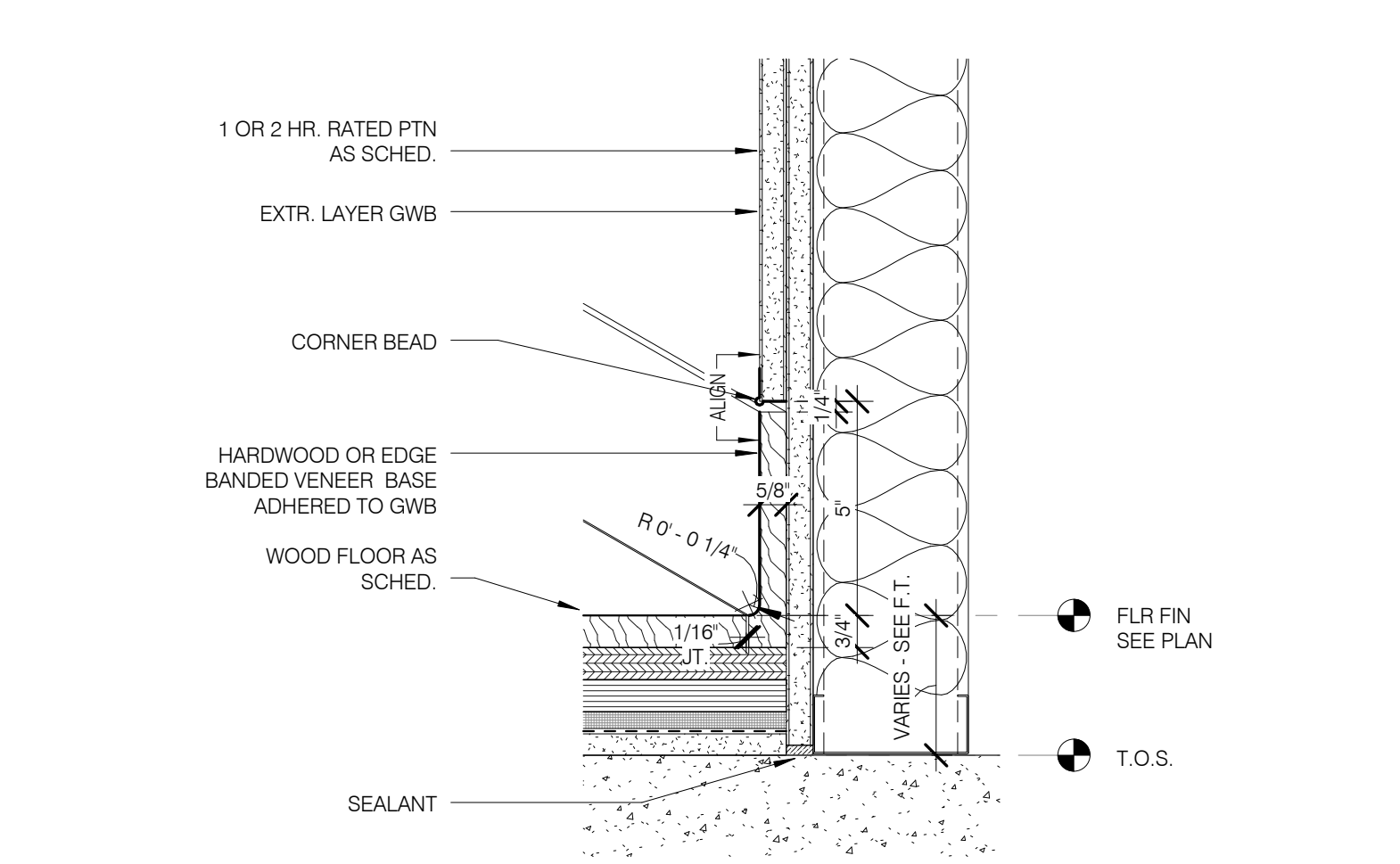
CTB-1 - CERAMIC TILE BASE 3" = 1'-0" 13



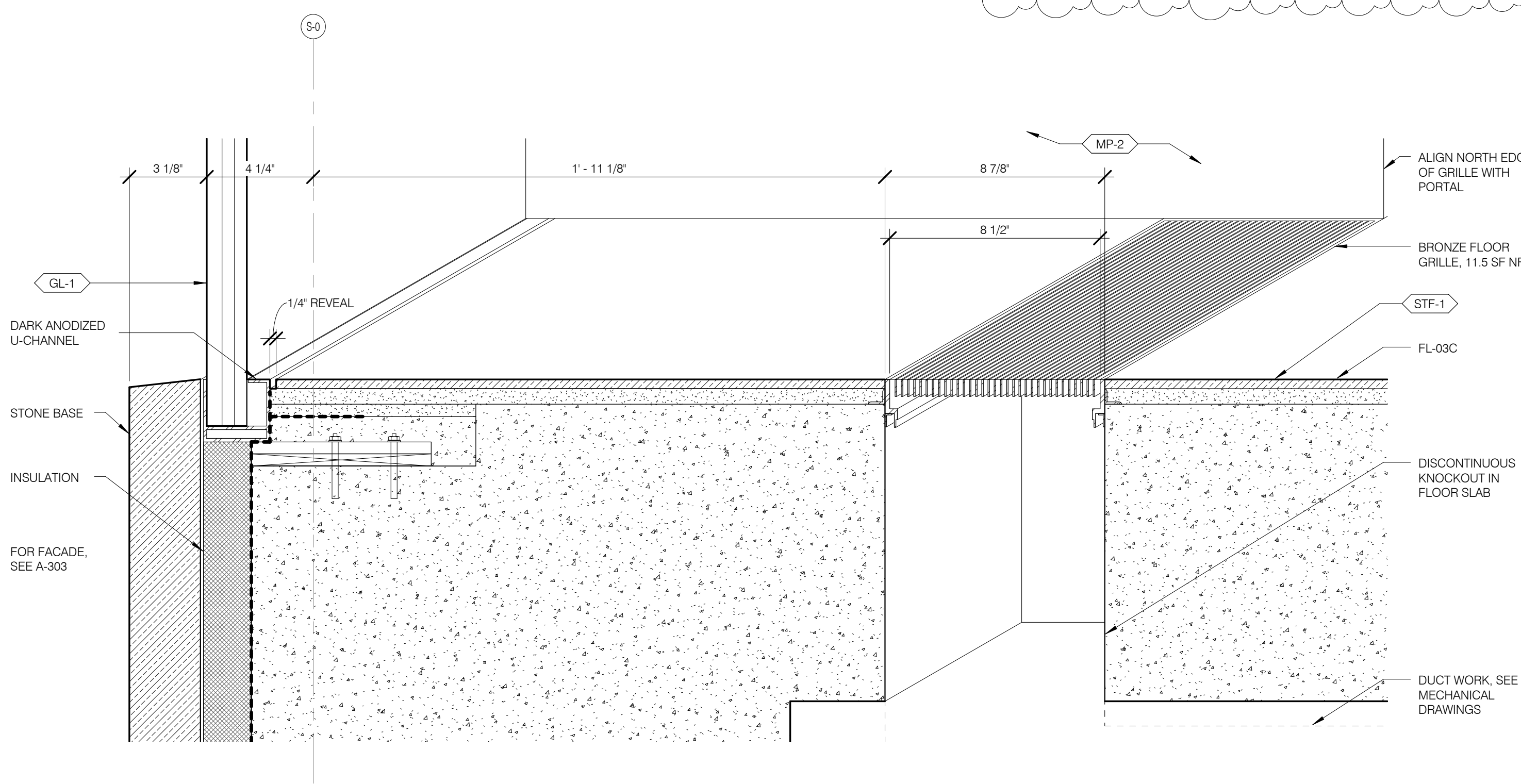
WB-3 - WOOD BASE 3" = 1'-0" 10



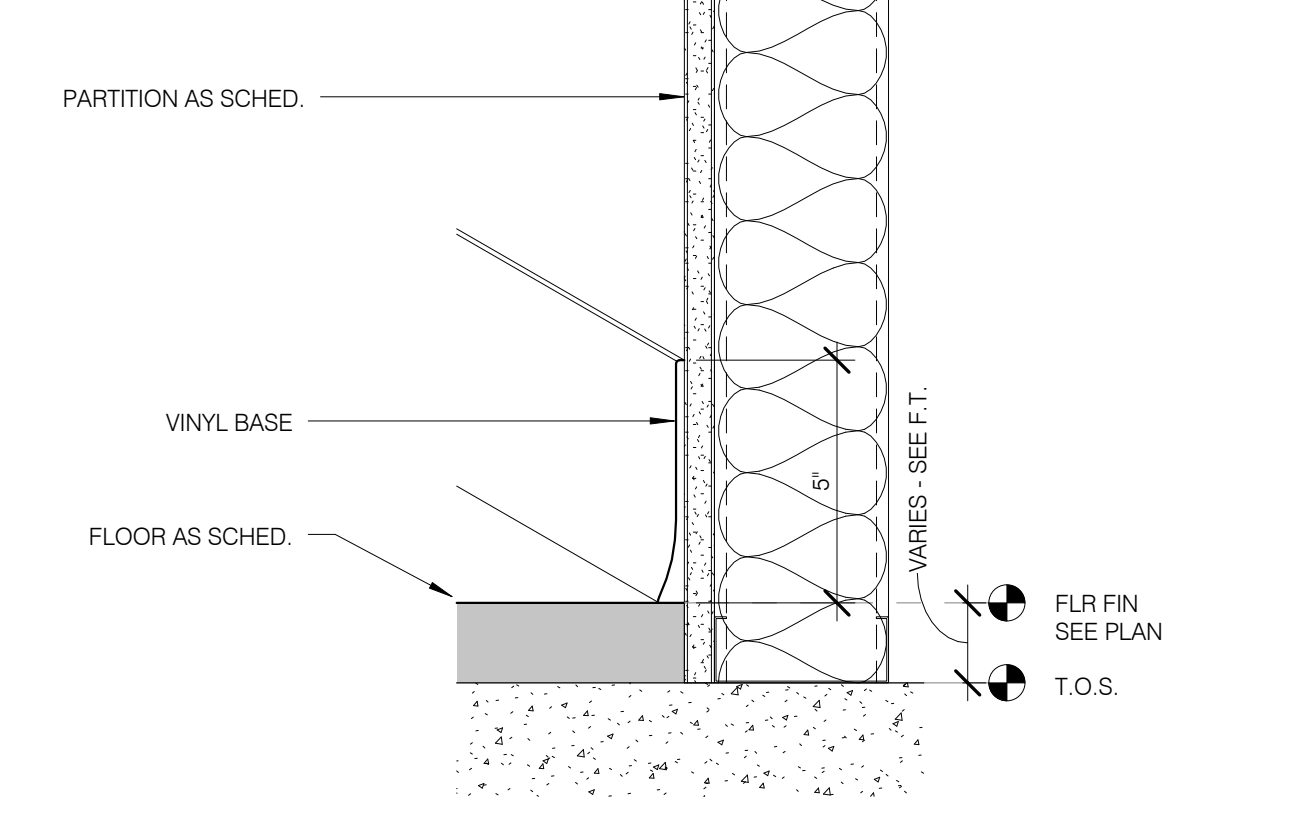
SB-4 - FLUSH STONE BASE @ STONE TILE WALL 3" = 1'-0" 6



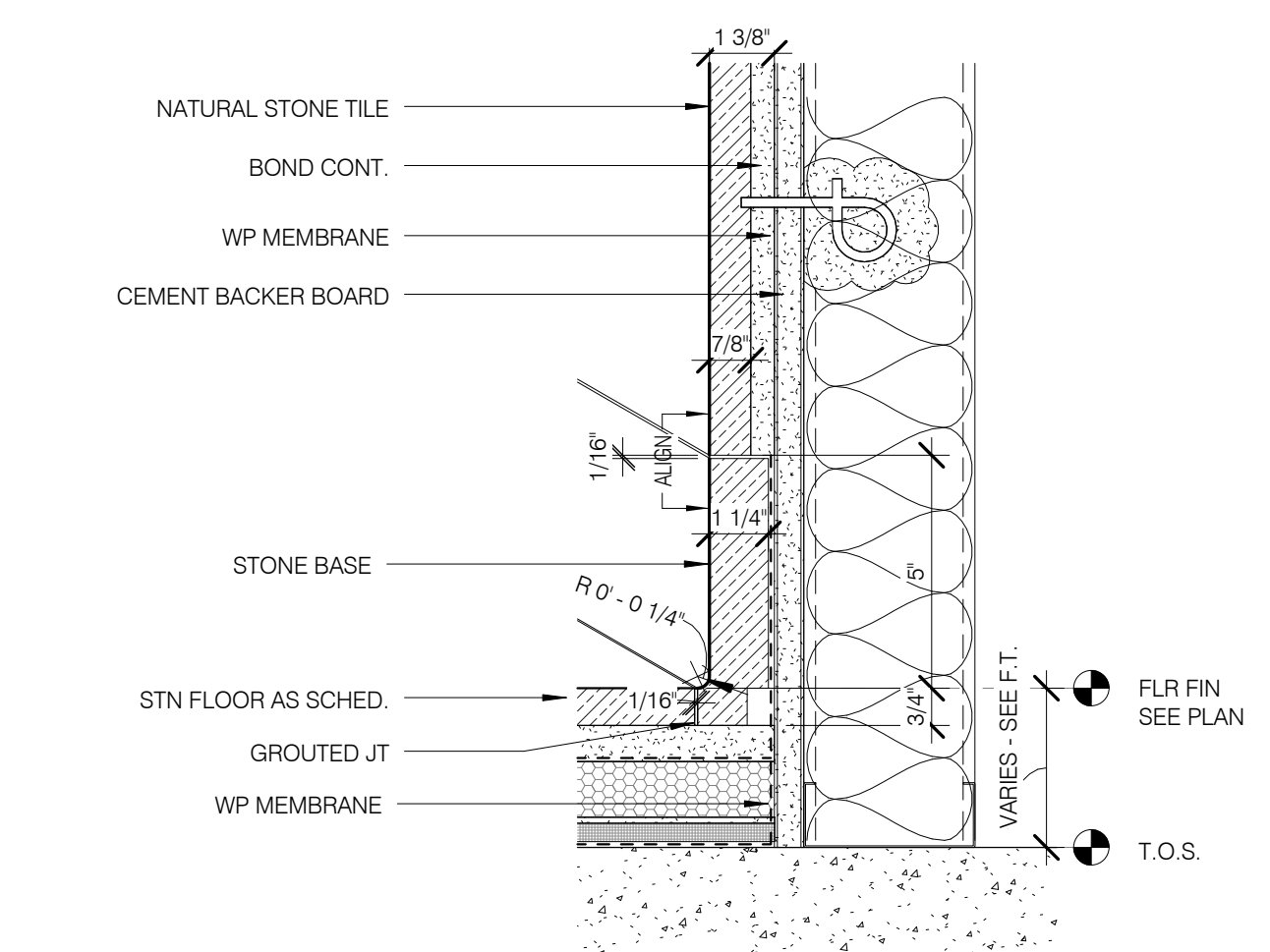
WB-2 - FLUSH WOOD BASE @ RATED PARTITION 3" = 1'-0" 2



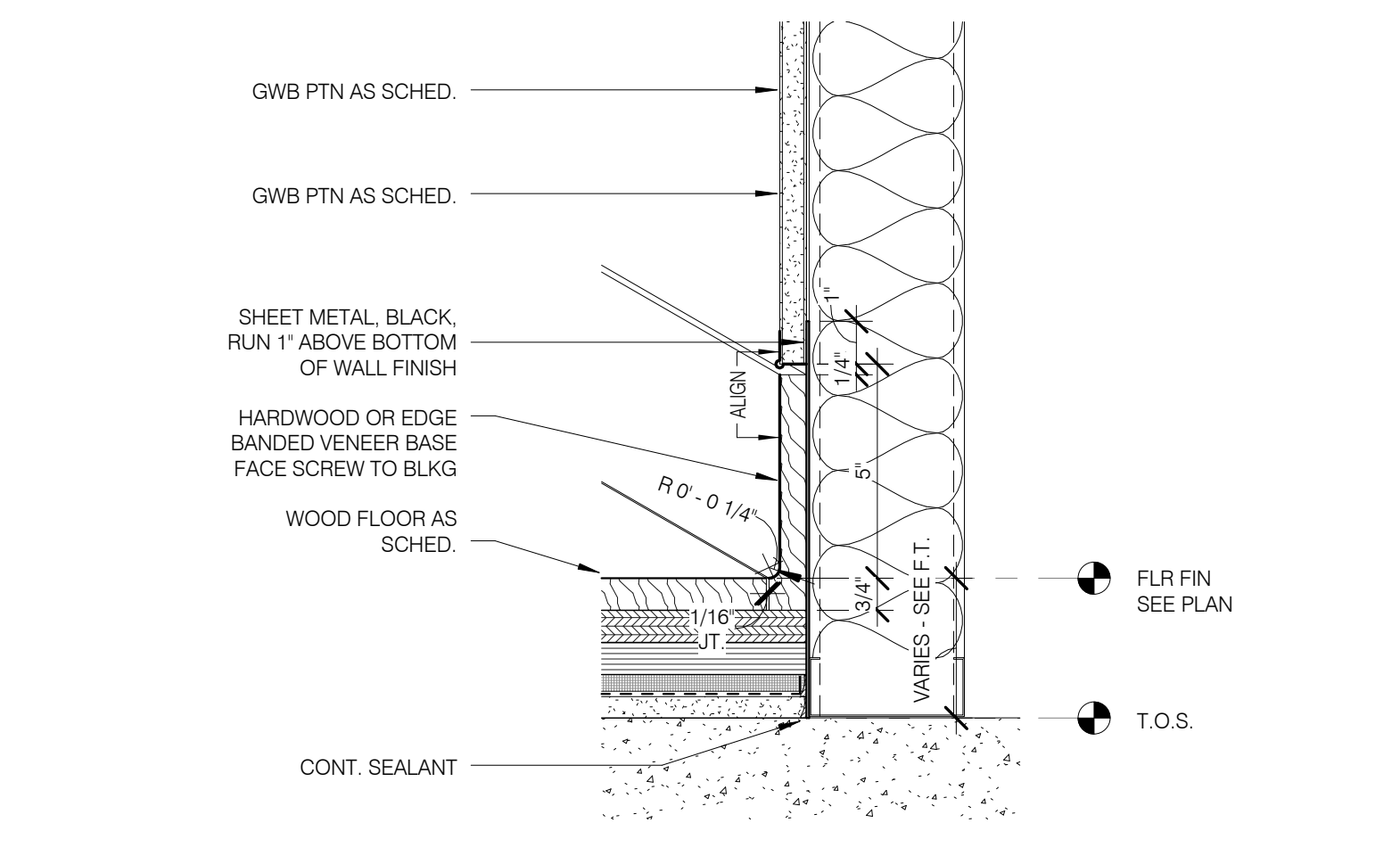
BRONZE FLOOR GRILL @ RETAIL ATRIUM FACADE 3" = 1'-0" 12



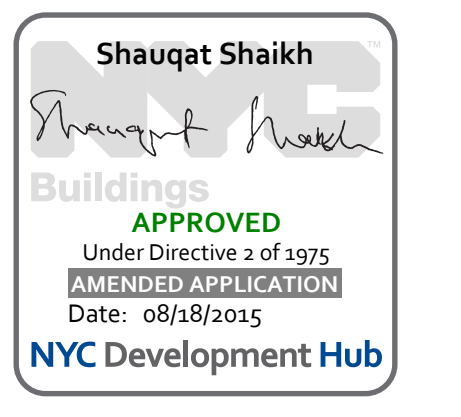
VB-1 - VINYL BASE 3" = 1'-0" 9



SB-3 - FLUSH STONE BASE @ STONE SLAB WALL 3" = 1'-0" 5



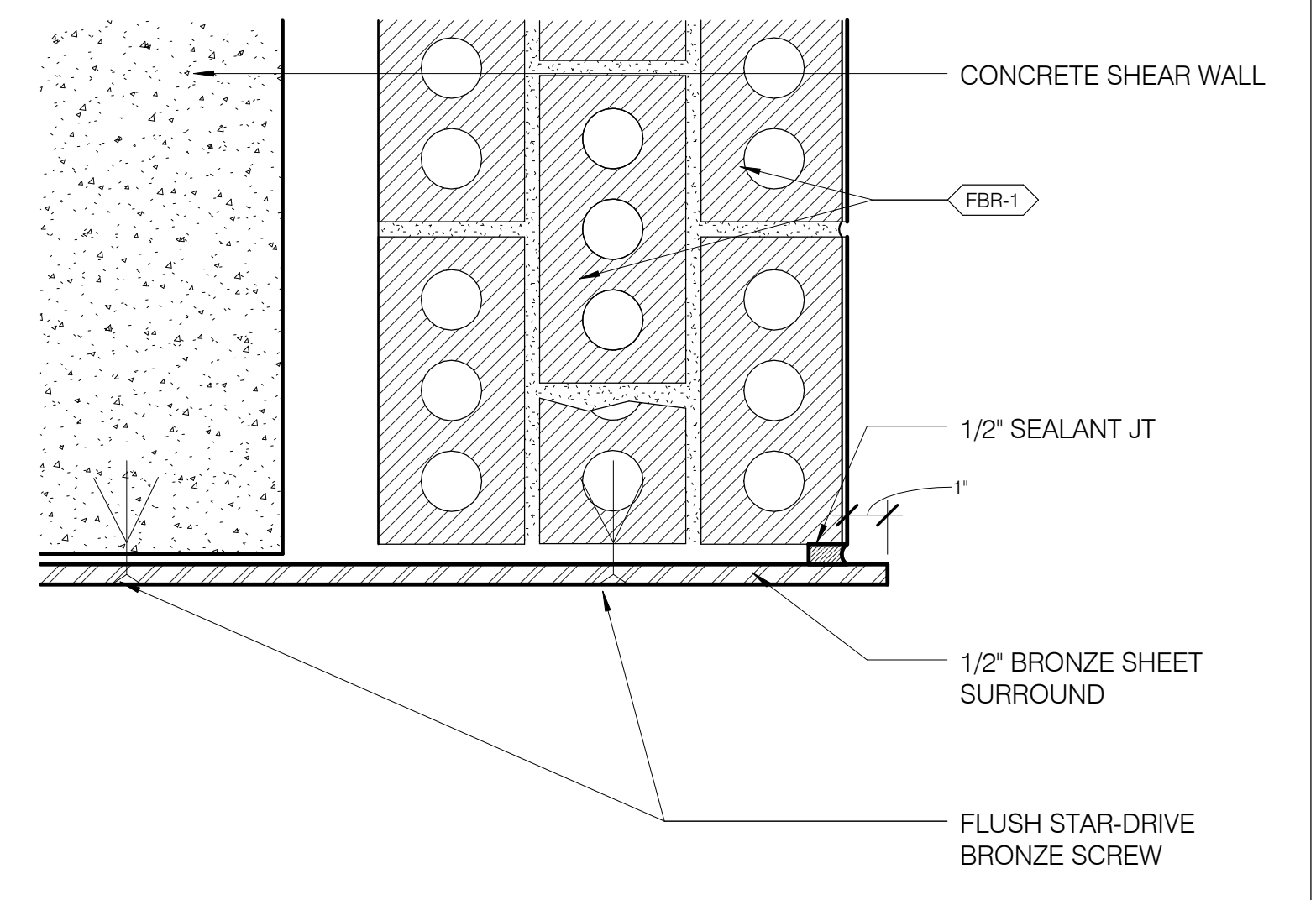
WB-1 - FLUSH WOOD BASE @ NON-RATED PARTITION 3" = 1'-0" 1



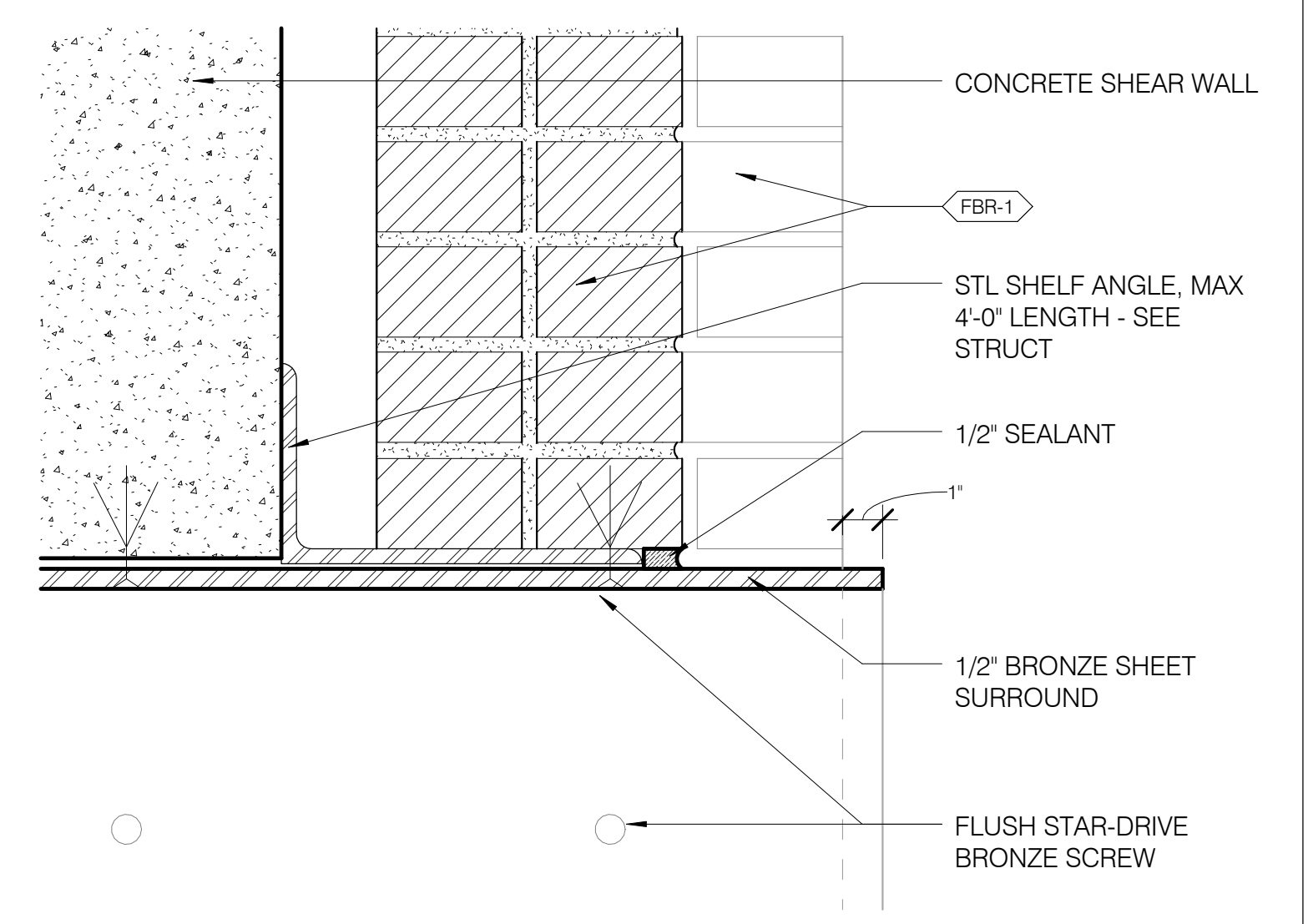
NO.	DATE	REVISION
1	3.27.15	DOB PAA

DRAWING TITLE
WALL DETAILS - RESTORED BRICK COURTYARD WALL

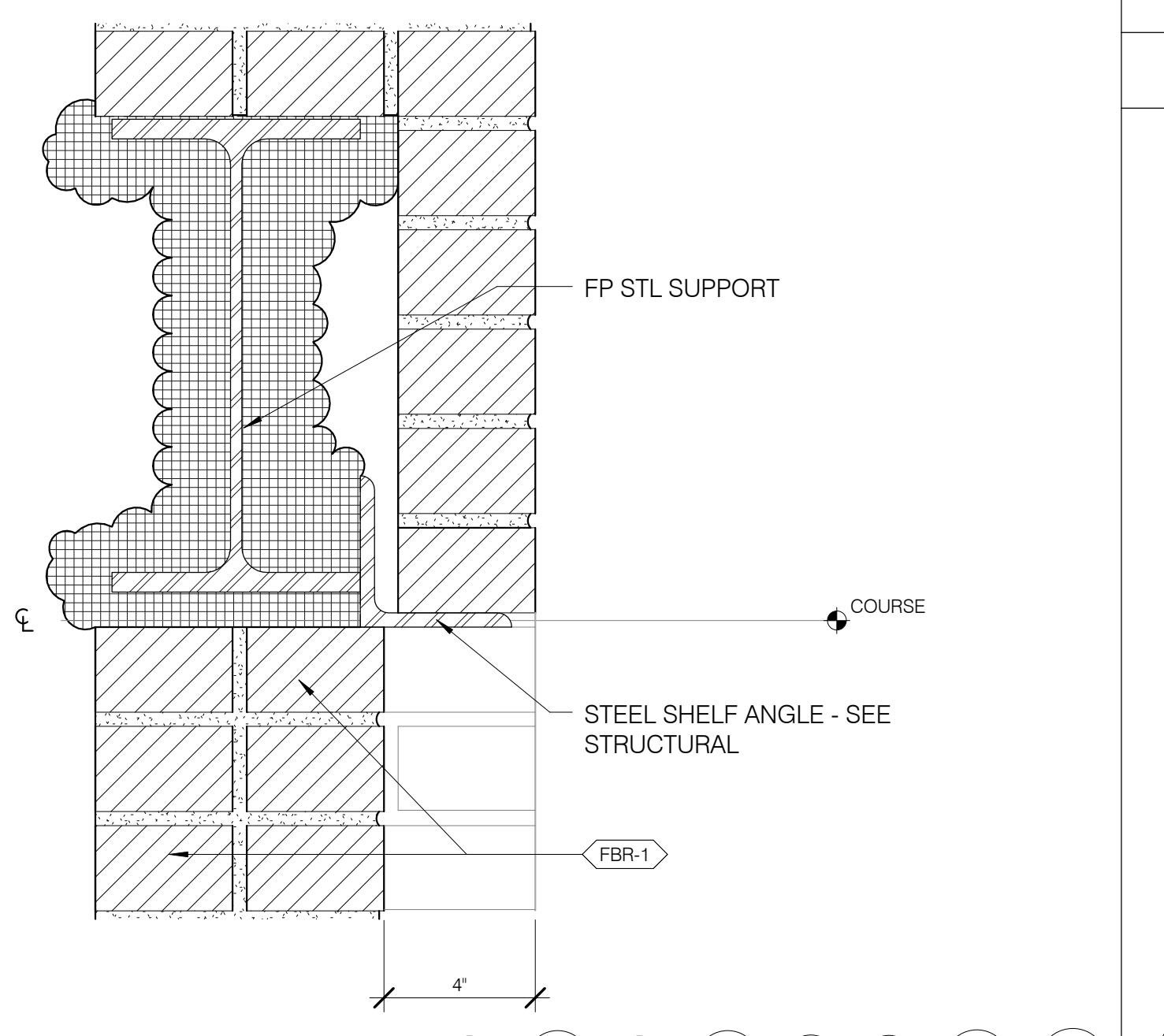
SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130607	
DRAWN BY	SHAP	
CHECKED BY	SHAP	
DATE	12.13.2008	
DRAWING NUMBER	A-705.01	



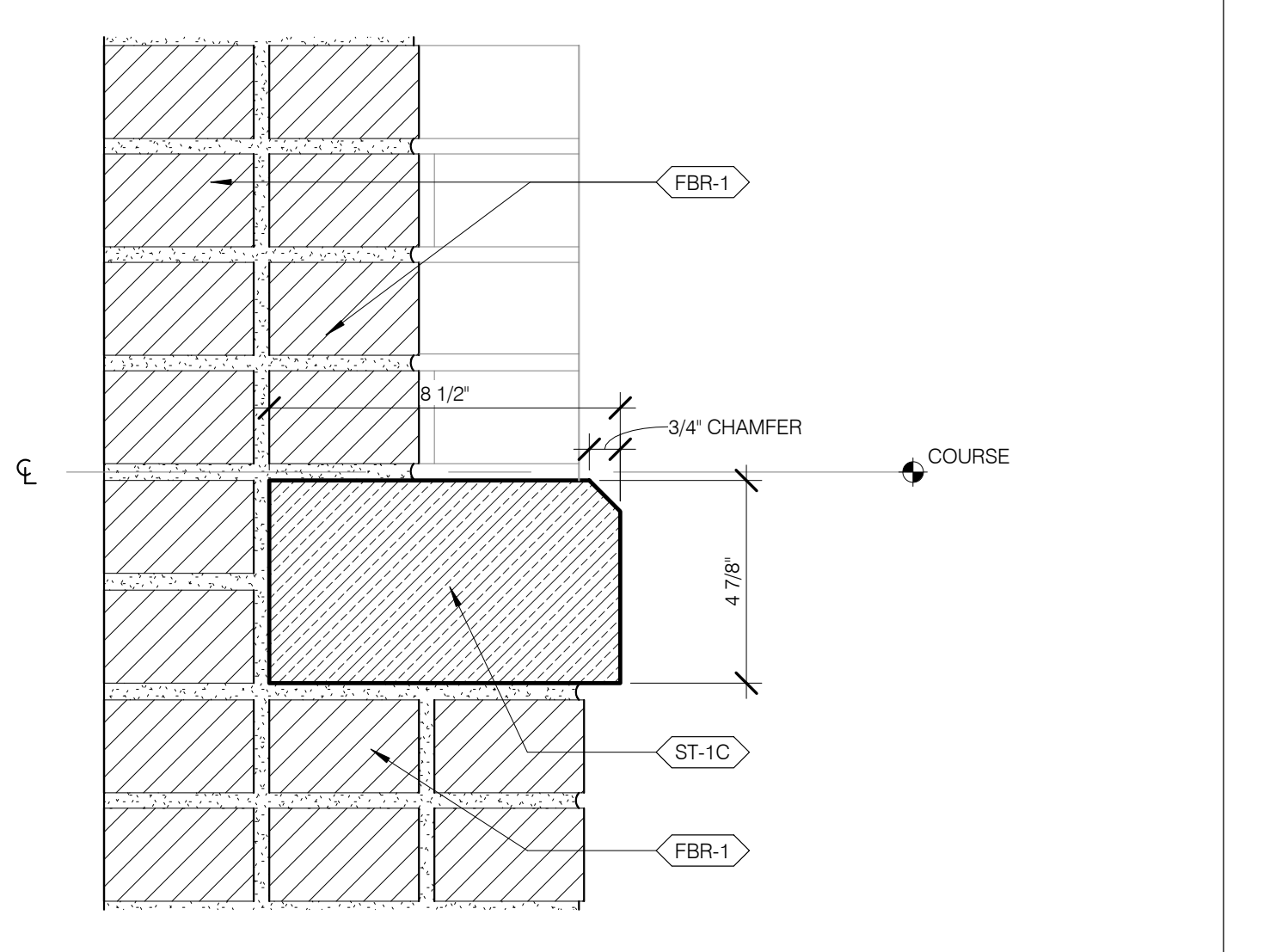
JAMB PLAN DETAIL @ PUNCHED OPENING 3' = 1'-0" 6 A-705.01 A-705.01



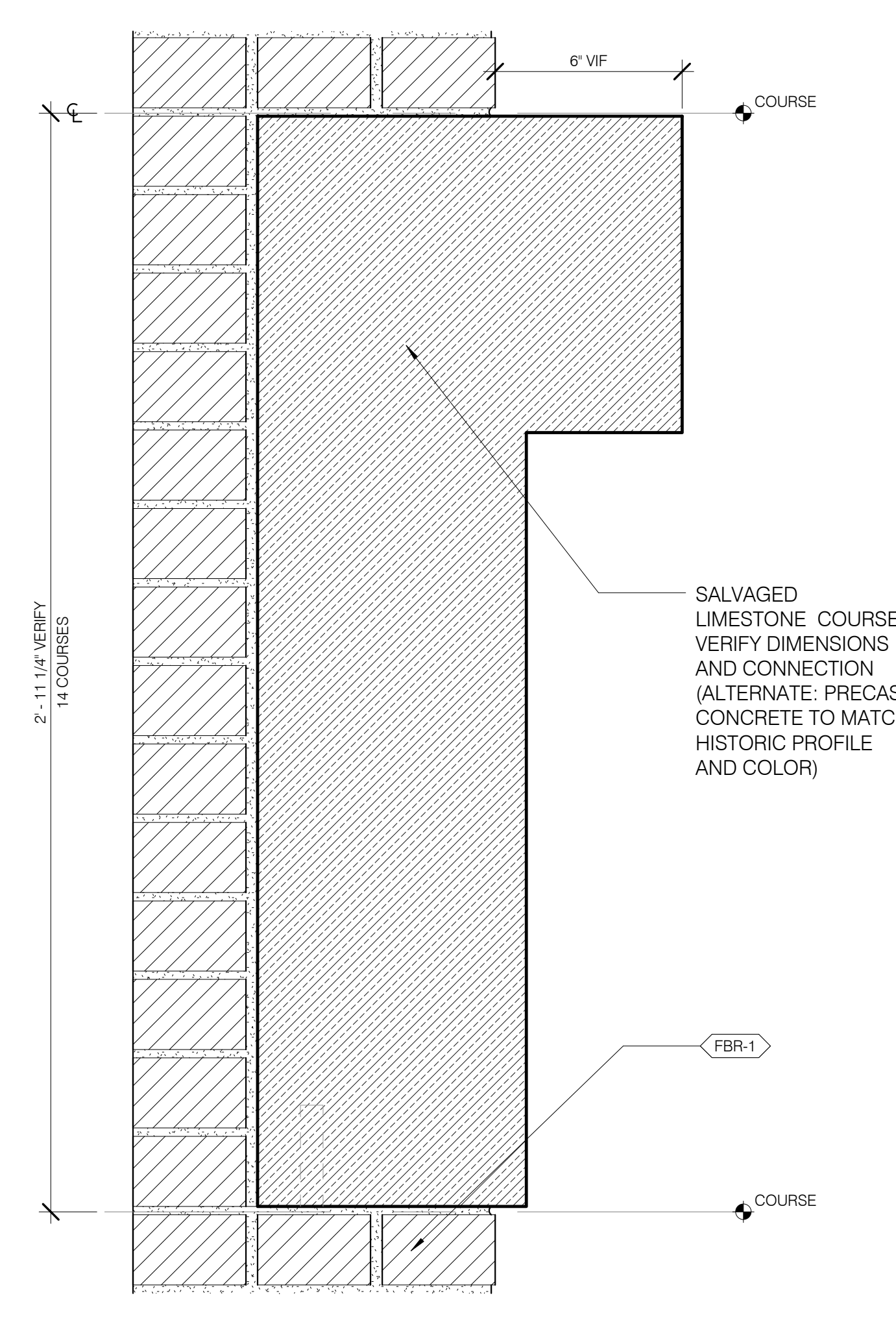
HEAD SECTION @ PUNCHED OPENING 3' = 1'-0" 5 A-705.01 A-705.01



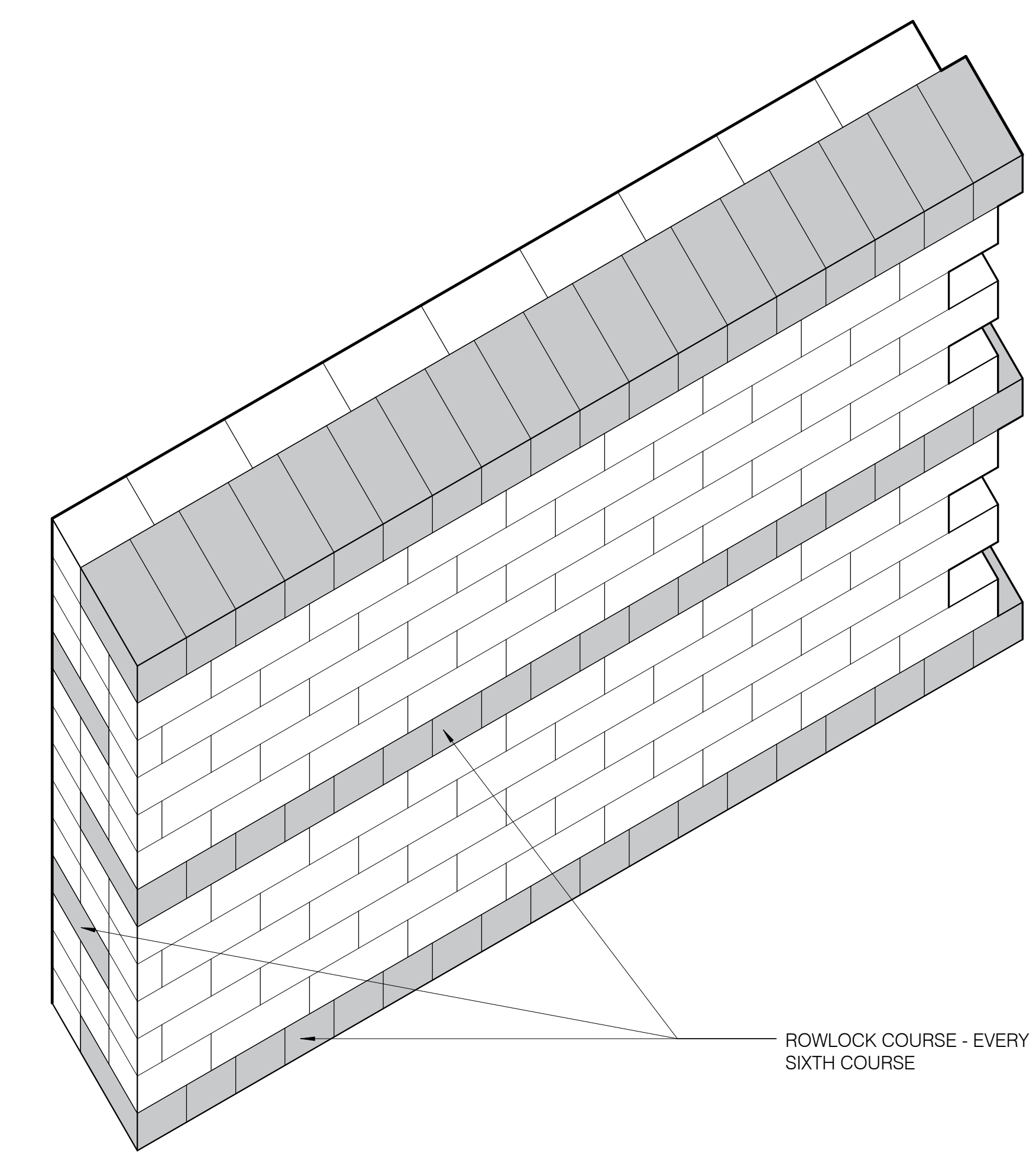
HEAD SECTION @ BLIND WINDOW RECESS 3' = 1'-0" 4 A-705.01 A-705.01



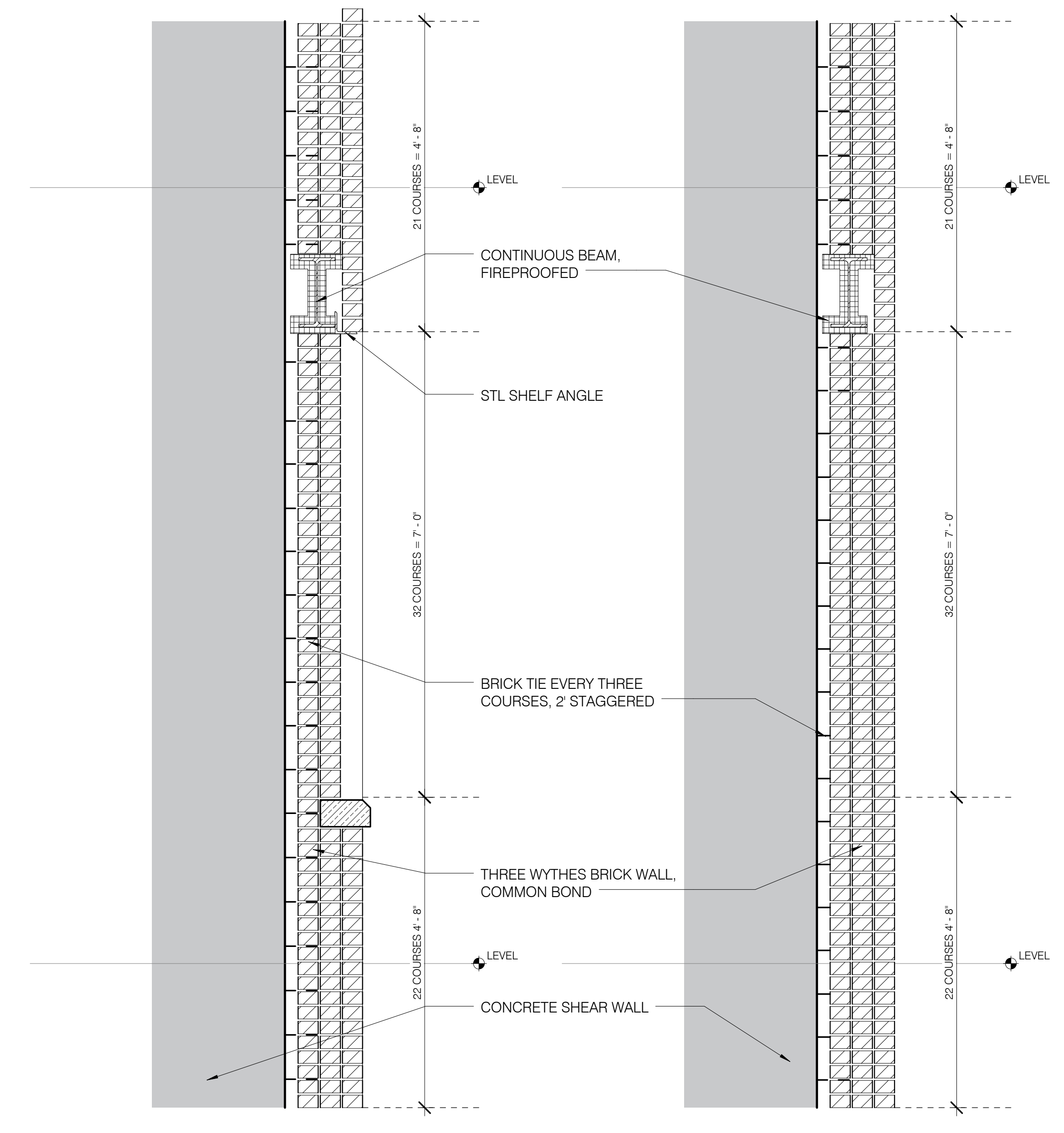
BASE SECTION @ BLIND WINDOW RECESS 3' = 1'-0" 3 A-705.01 A-705.01



STONE COURSE @ RESTORED BRICK WALL 3' = 1'-0" 7 A-705.01 A-705.01



BONDING DIAGRAM @ RESTORED BRICK WALL 1 1/2\"/>



SECTION OPTION 2 - TYP BLIND RECESS

SECTION OPTION 2 - SUPPORT MEMBER + ANGLE

SHEAR WALL CONNECTION @ RESTORED BRICK WALL 3/4\"/>



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019

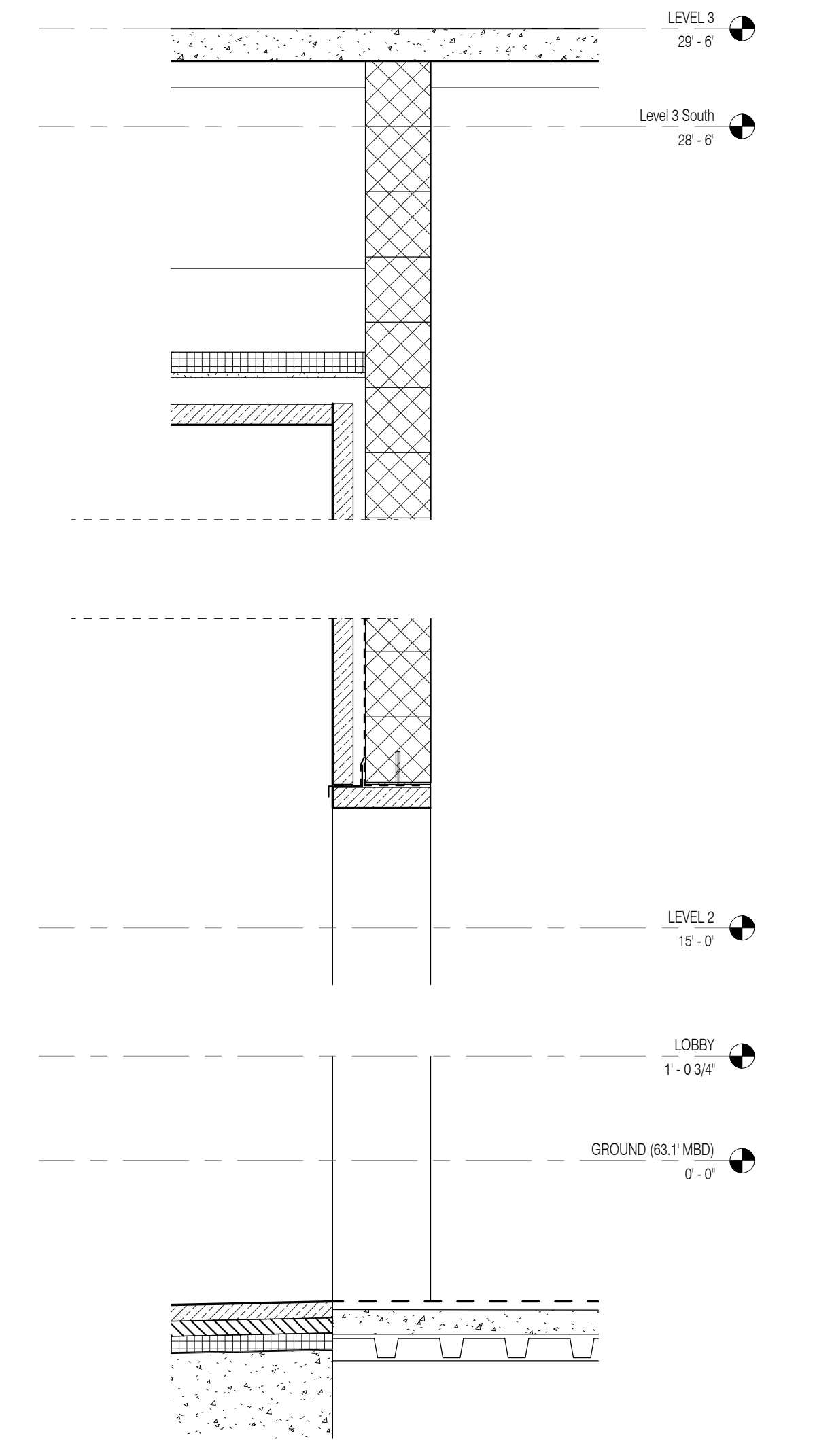
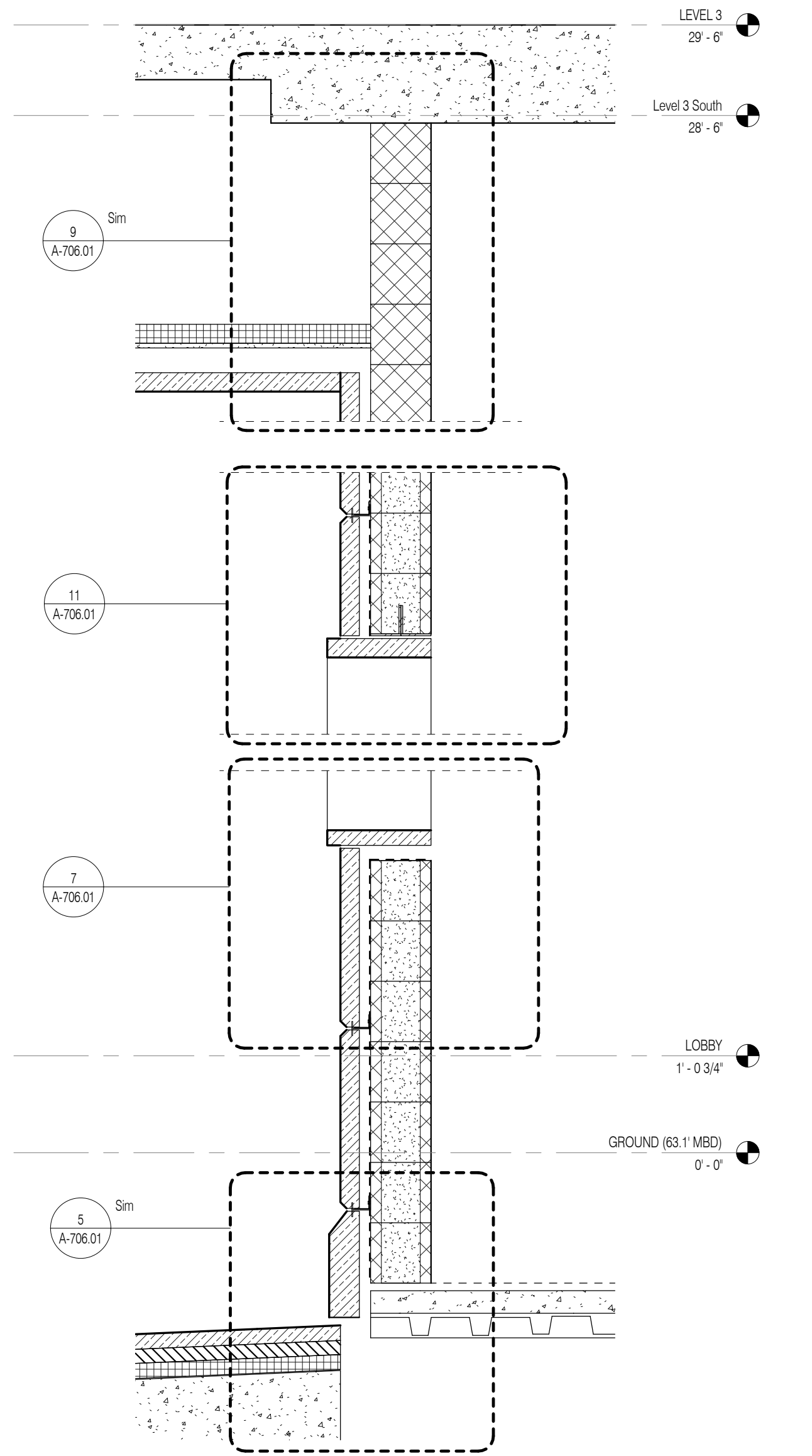
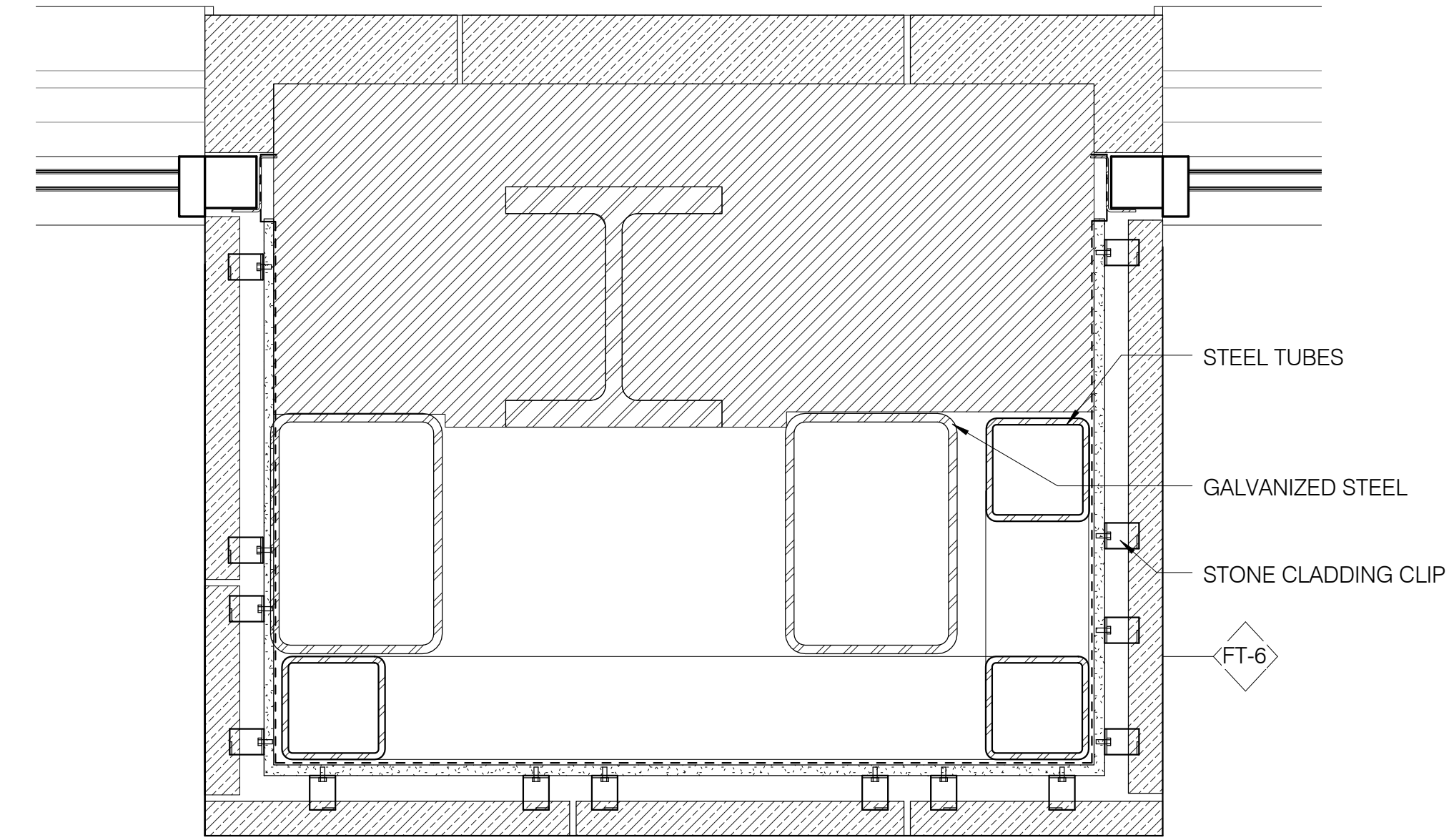
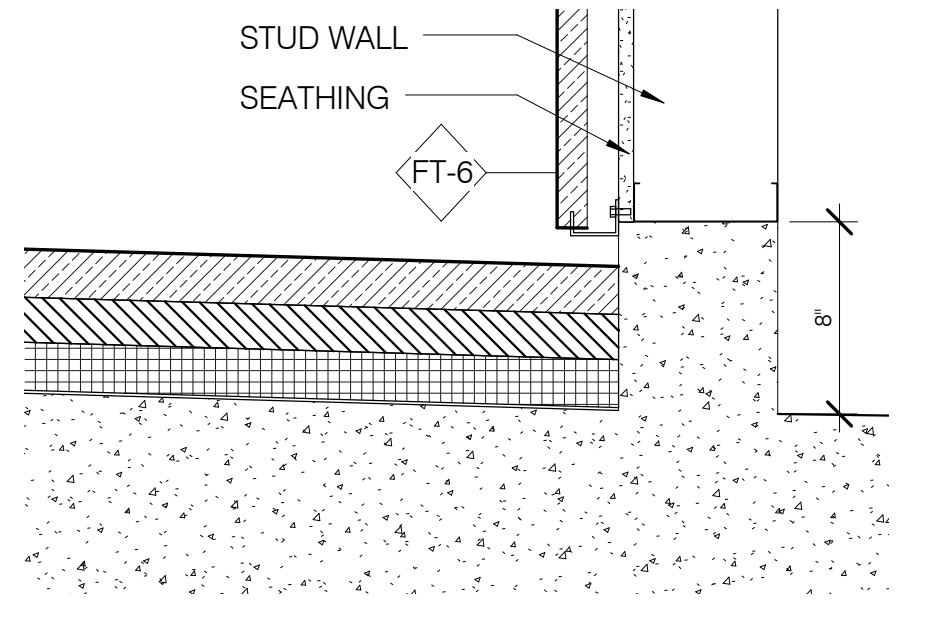


Table with 3 columns: NO., DATE, REVISION. Row 1: 1, 3/27/15, DOB PAA.

DRAWING TITLE: PORTE COCHERE - WALL DETAILS

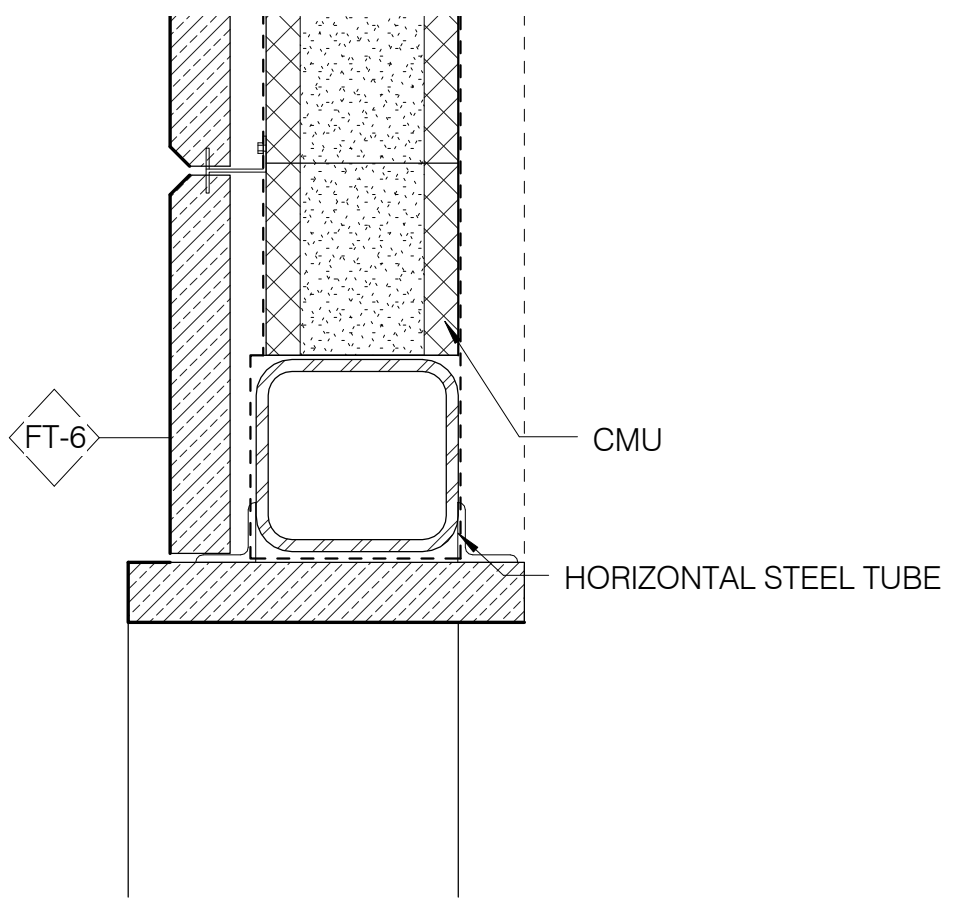
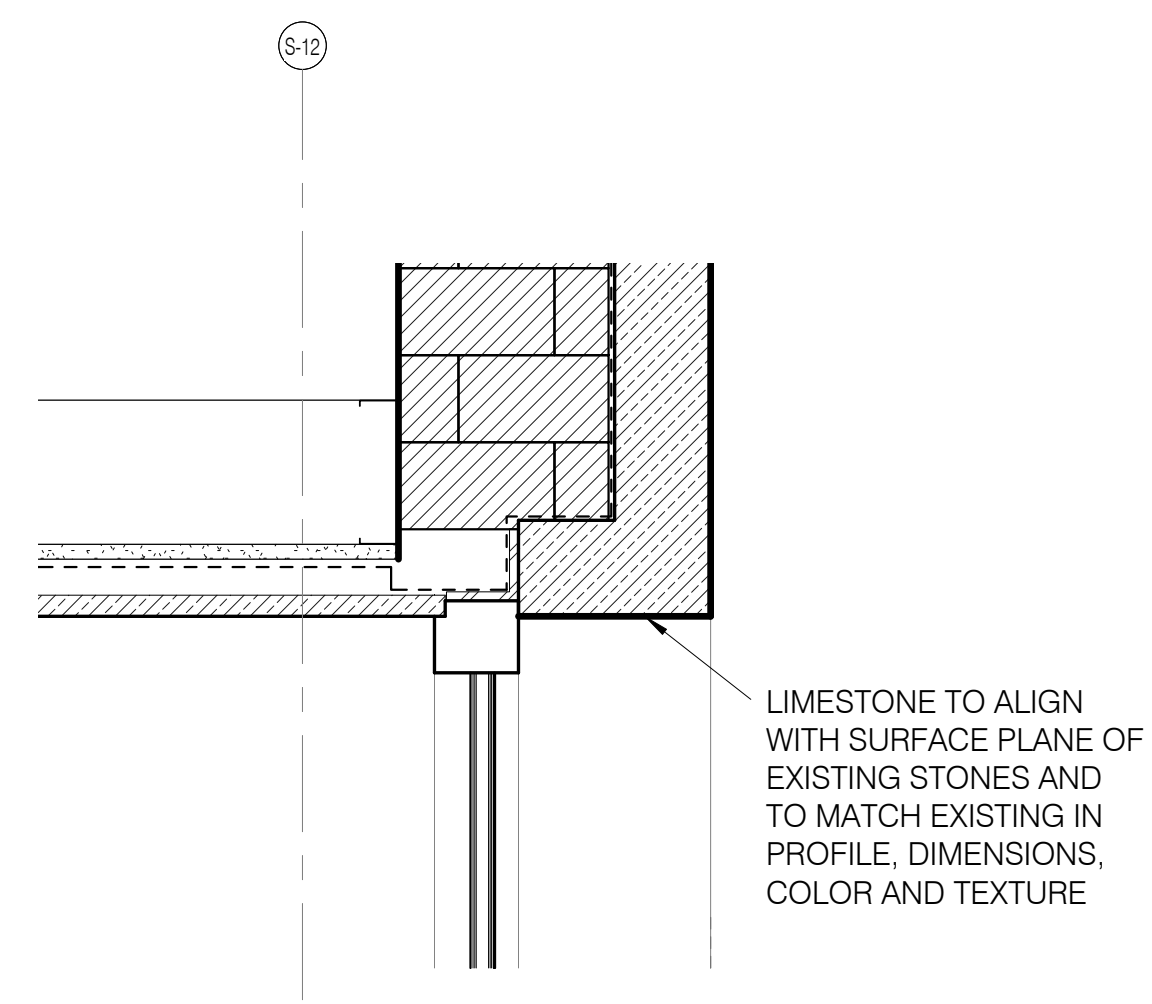
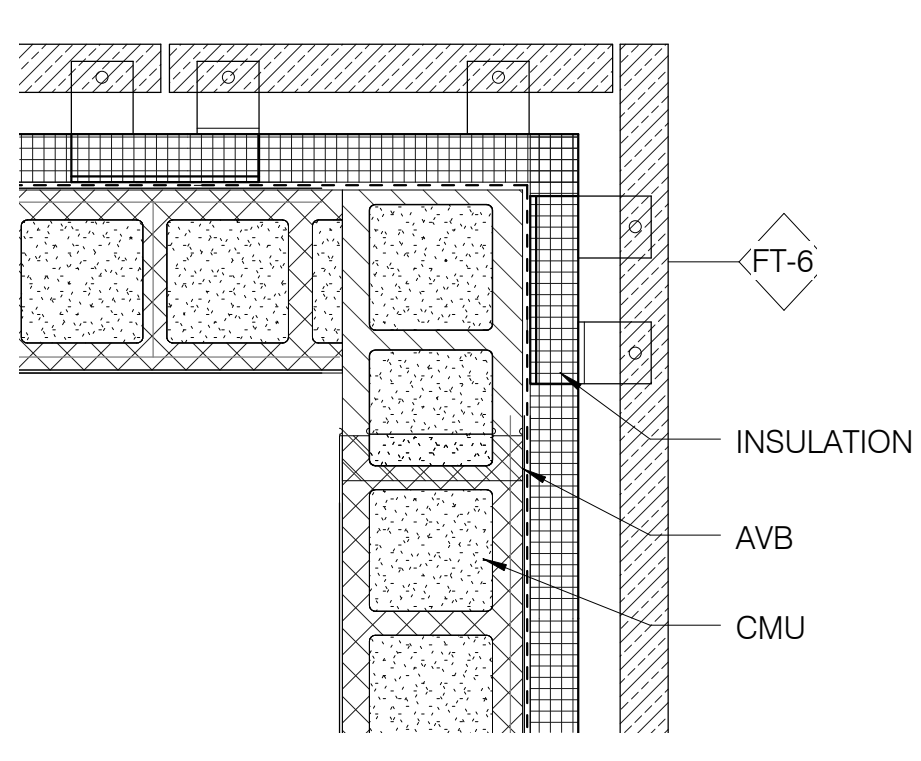
Table with 2 columns: SEAL & SIGNATURE, DATE. Includes professional seal of Shaouq Shaikh and date 3/27/15.

PROJECT NO: 190607
DRAWN BY: SHAP
CHECKED BY: SHAP
JOB NO: 12133266
DRAWING NUMBER: A-706.01



PORTE COCHERE NORTH WALL BASE 1 1/2" = 1'-0" 14

PORTE COCHERE COMPOSITE WALL 1 1/2" = 1'-0" 15



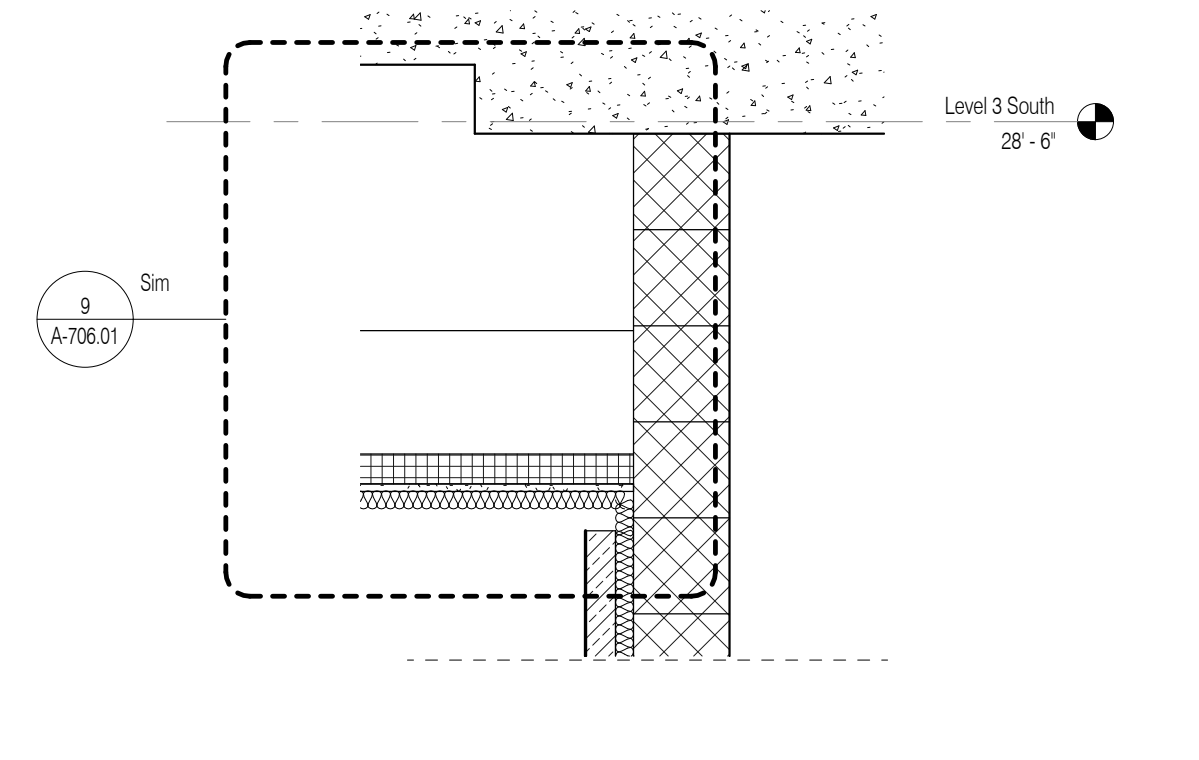
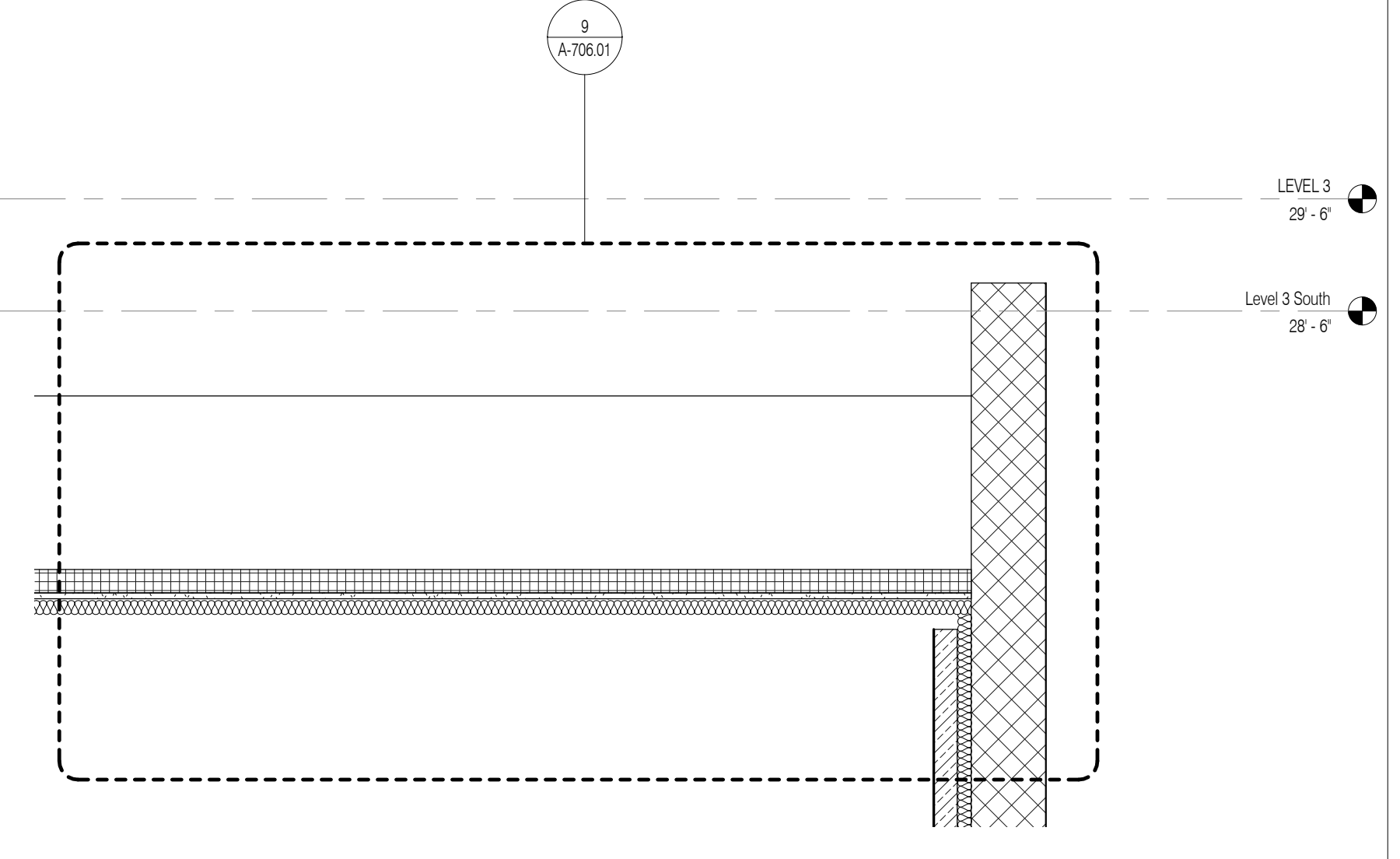
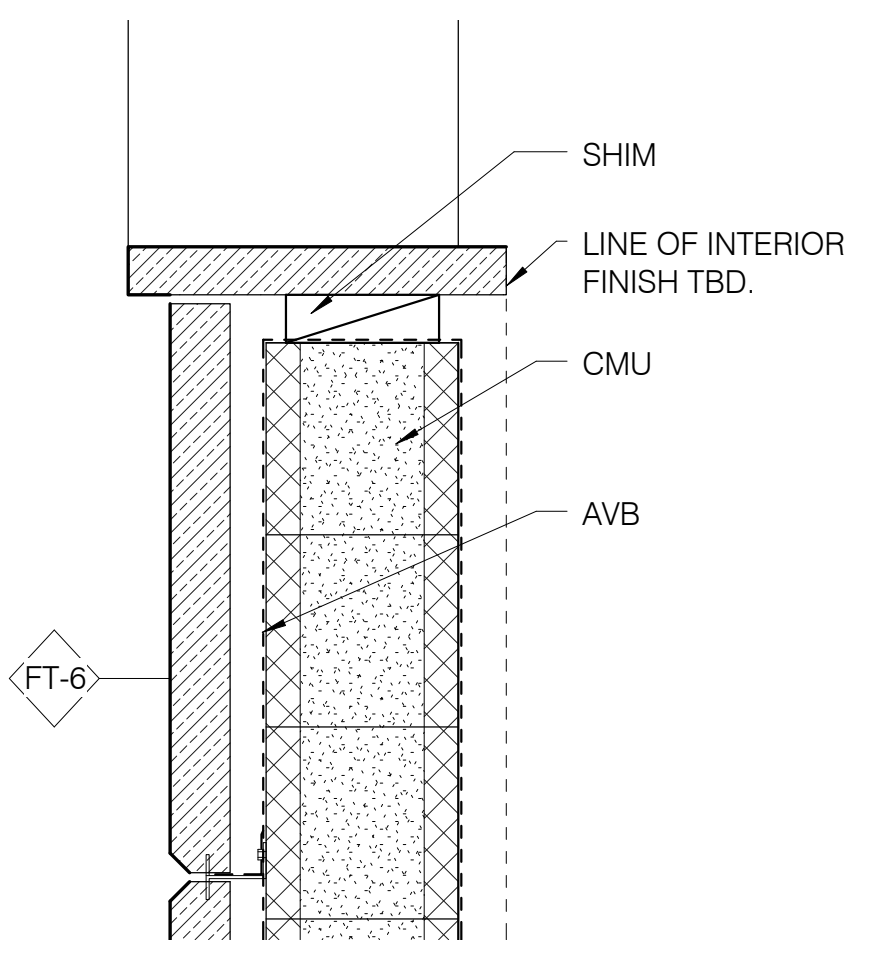
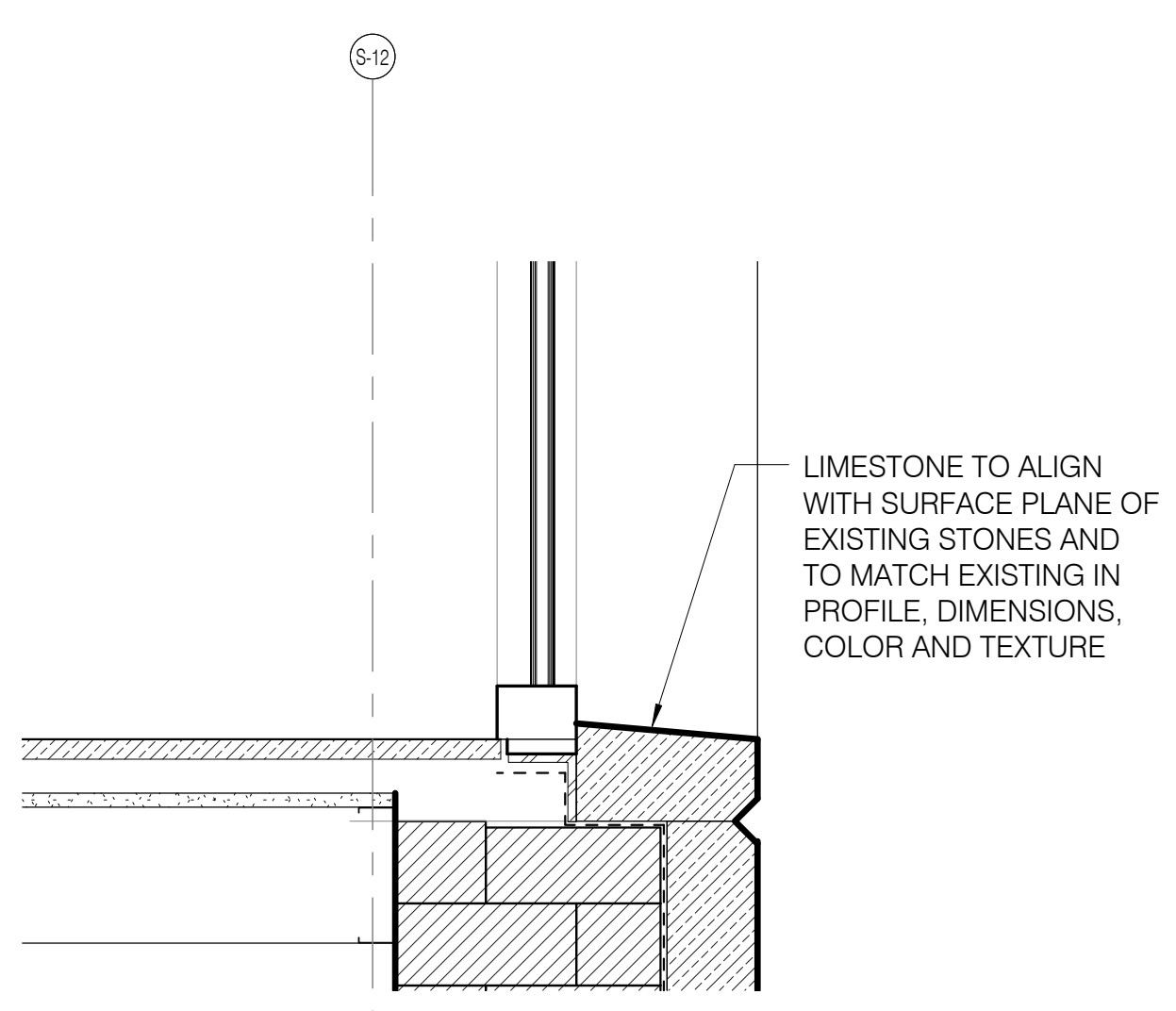
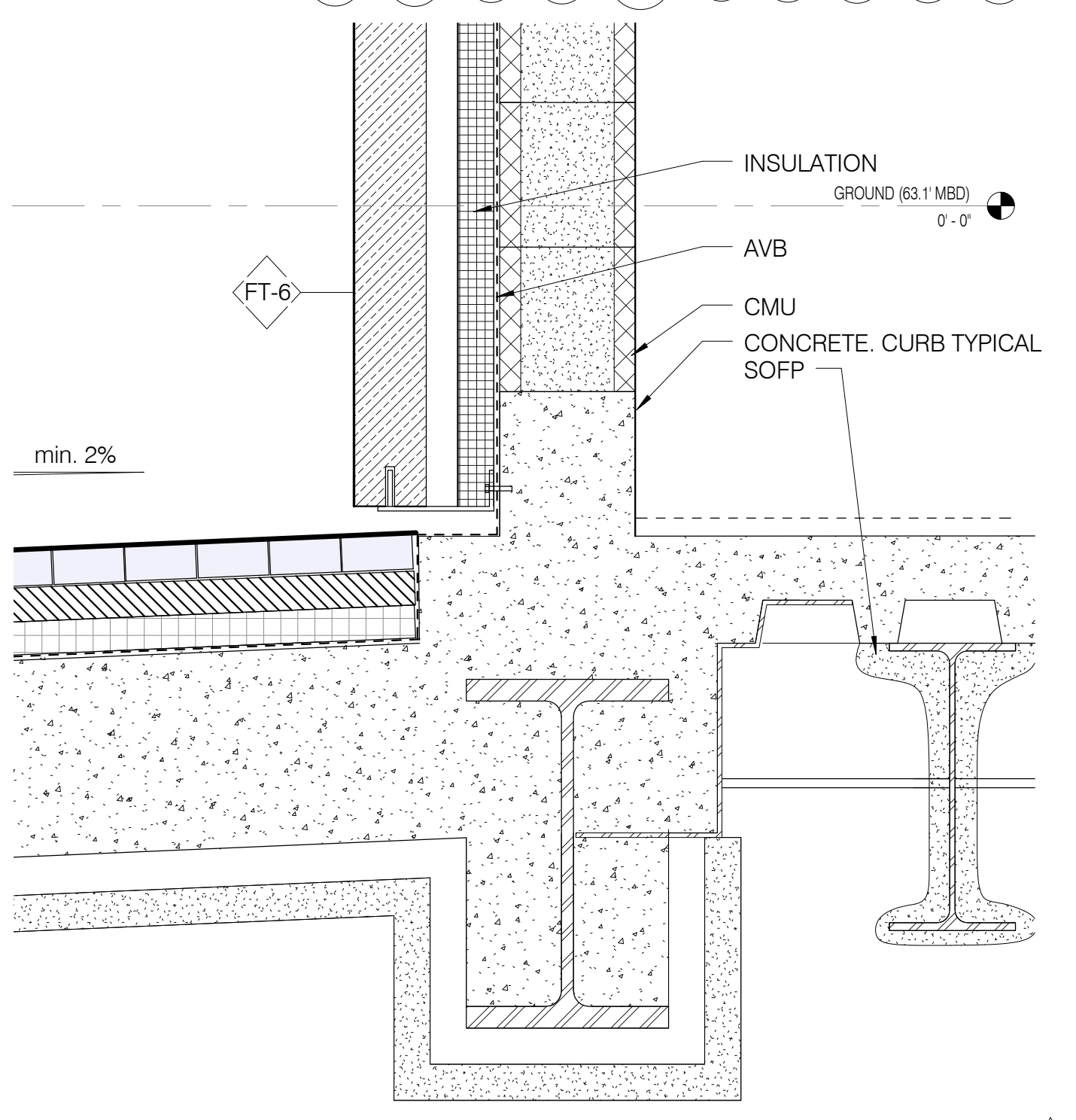
PORTE COCHERE ENTRY JAMB DETAIL 1 1/2" = 1'-0" 13

PORTE COCHERE WINDOW HEAD 1 1/2" = 1'-0" 12

PORTE COCHERE WALL OPENING HEAD 1 1/2" = 1'-0" 11

PORTE COCHERE OPENING SECTION 3/4" = 1'-0" 4

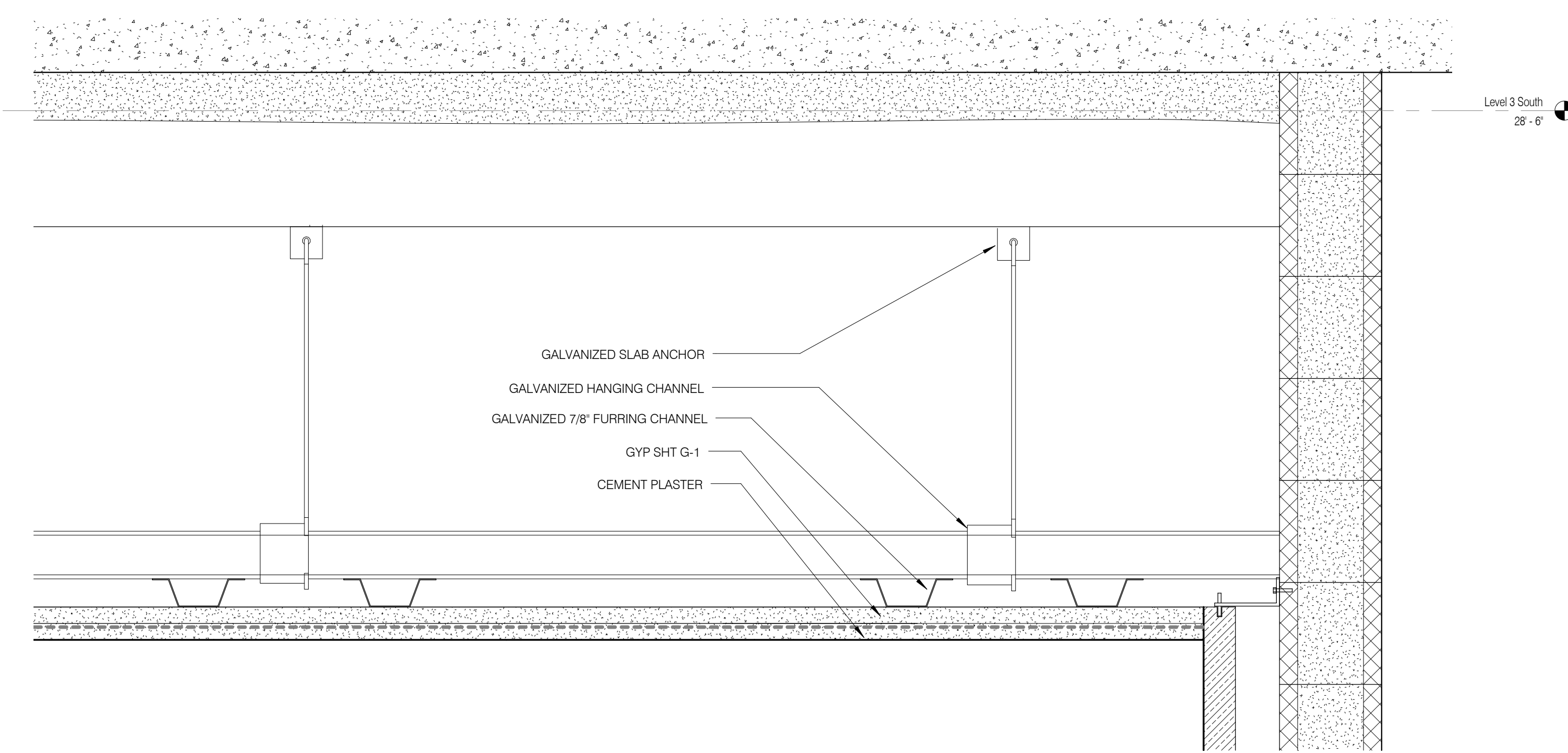
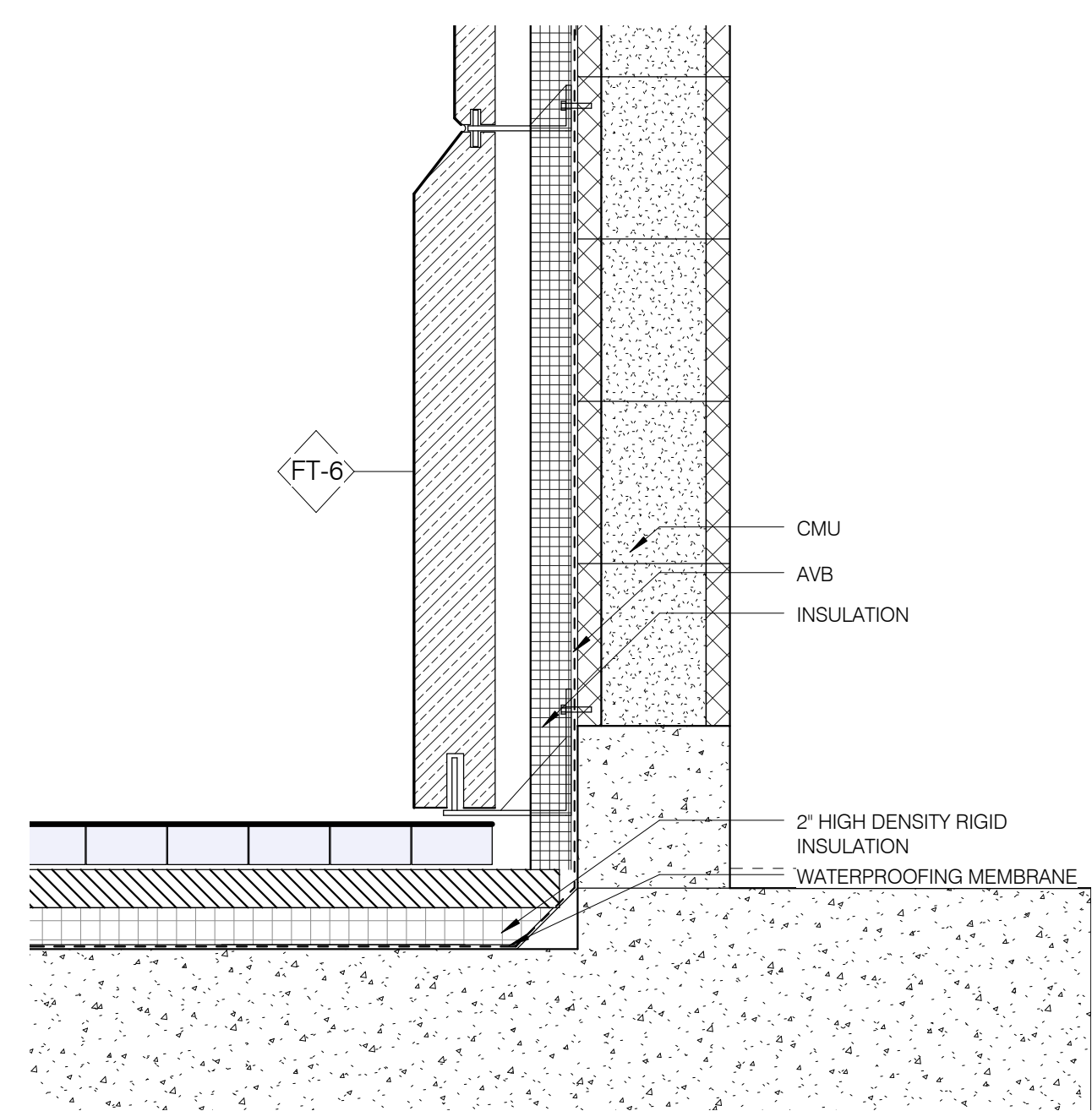
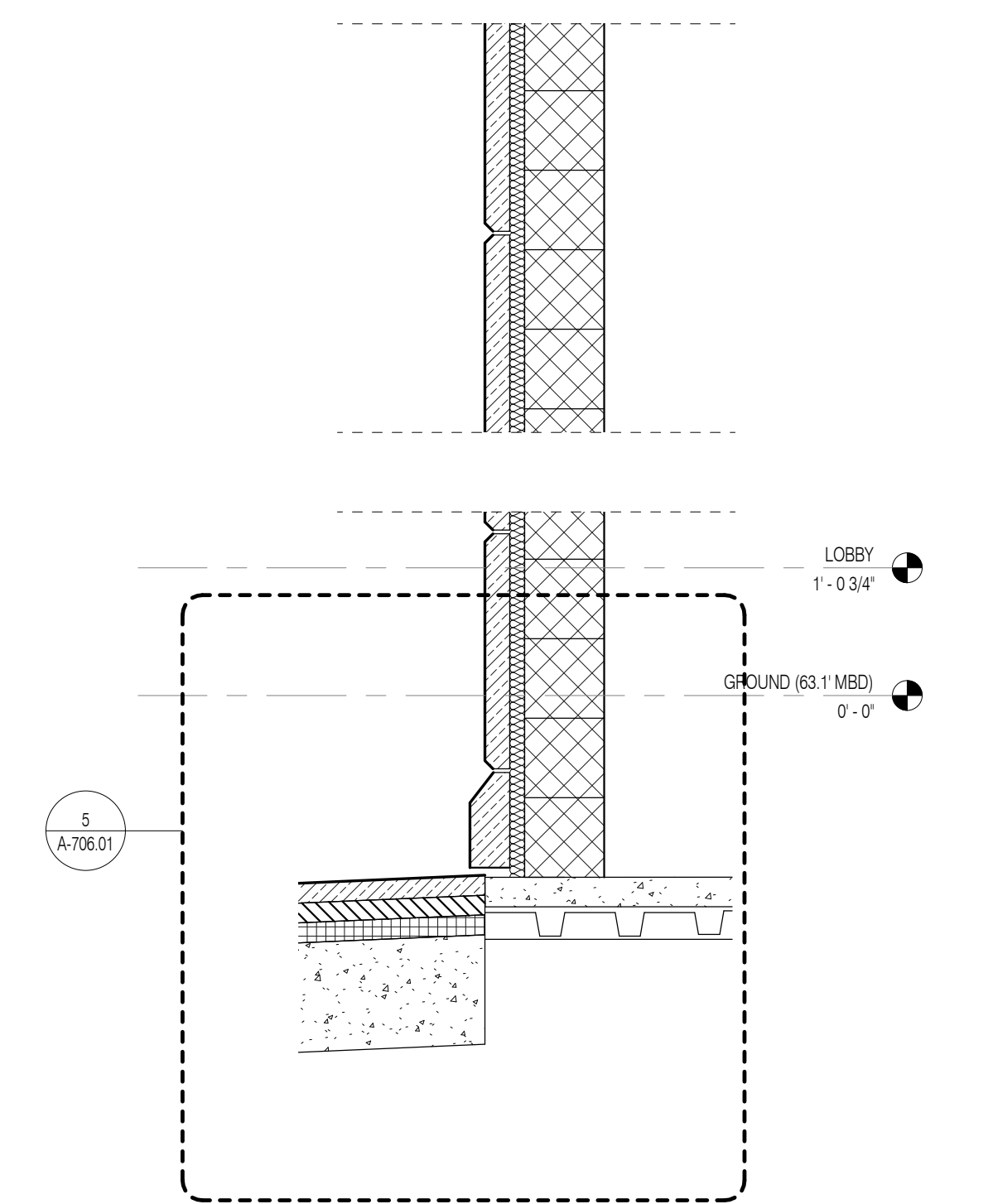
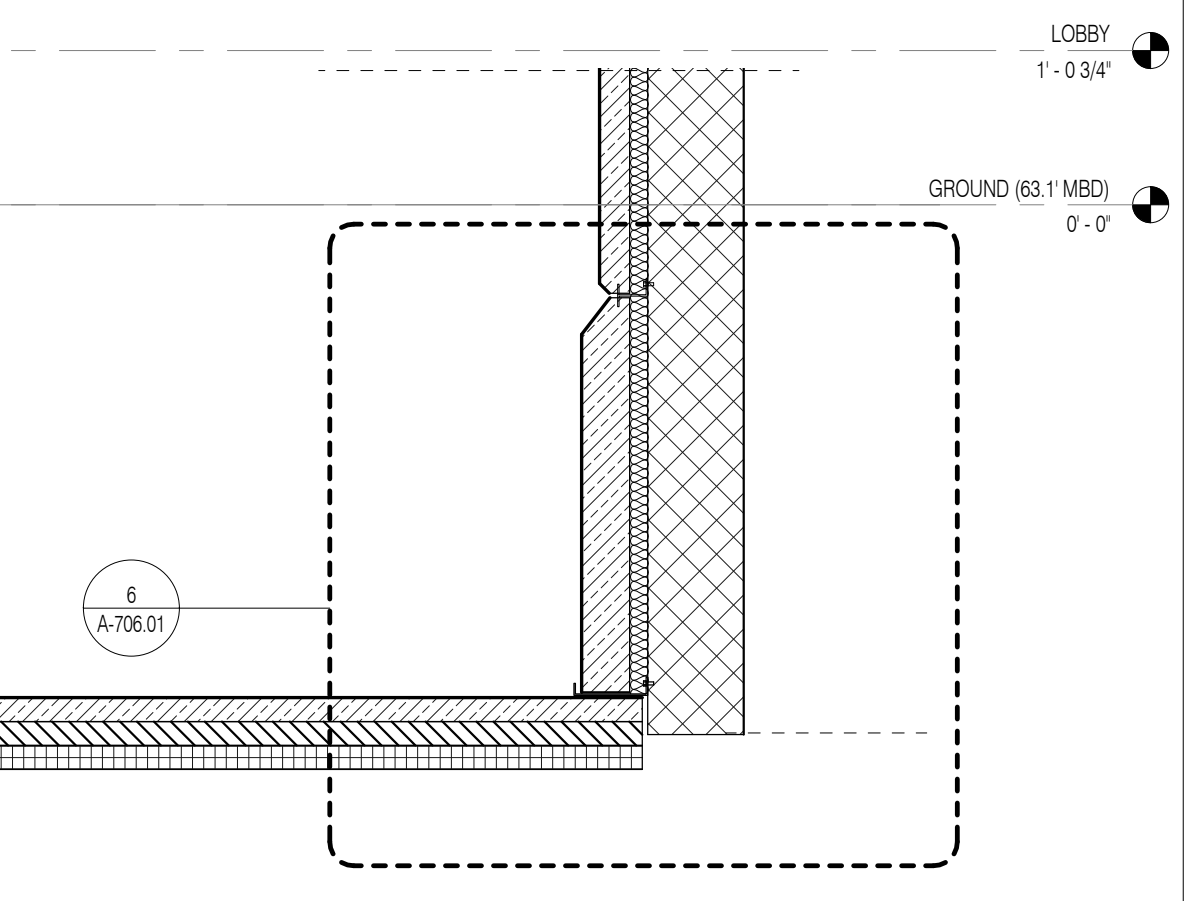
PORTE COCHERE ENTRYWAY 3/4" = 1'-0" 3



PORTE COCHERE SOUTH WALL BASE 1 1/2" = 1'-0" 5

PORTE COCHERE WINDOW SILL 1 1/2" = 1'-0" 8

PORTE COCHERE WALL OPENING SILL 1 1/2" = 1'-0" 7



PORTE COCHERE EAST WALL BASE 1 1/2" = 1'-0" 6

PORTE COCHERE CEILING SECTION 1 1/2" = 1'-0" 9

PORTE COCHERE EAST WALL SECTION 3/4" = 1'-0" 2

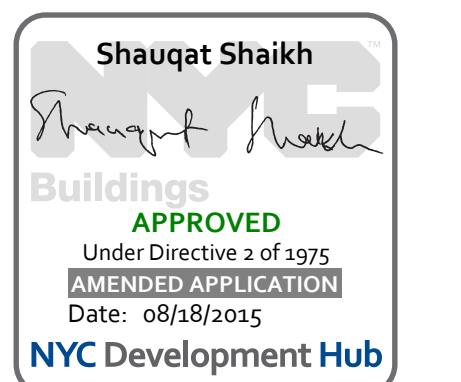
PORTE COCHERE SOUTH WALL SECTION 3/4" = 1'-0" 1

ARCHITECT	SHIP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10038 TEL: 212 869 9336	FAÇADE	SHOUB HANFORD 100 SPENCER ST. NEW YORK, NY 10002 TEL: 212 254 2025
MEP ENGINEER	YUSEF GANTOR BERKUP 230 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212 897 2886	VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 100 WEST STREET, SUITE 2014 LARKSPUR, NJ 07033 TEL: 201 984 5775
MEP ENGINEER	JARVIS, BAIAM & BOLLER 40 WINE STREET, 2ND FLOOR NEW YORK, NY 10002 TEL: 212 693 9333	RESTORATION	JAN HRO POKORNY ASSOCIATES 30 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212 258 4482
CIVIL ENGINEER	AKRIF ENGINEERING, P.C. 80 FIFTH AVE SOUTH, 7TH FLOOR NEW YORK, NY 10018 TEL: 646 288 8928	GEOTECH	MITCHELL 40 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917 288 4900
ACOUSTIC	LONGMAN LINDSEY 40 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917 288 4900	INTERIORS	STUDIO SCARFIELD 300 WALKER STREET NEW YORK, NY 10002 TEL: 212 475 300
ACOUSTIC	LONGMAN LINDSEY 40 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917 288 4900	LIGHTING	CONSERVATORIE INTERNATIONAL 100 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 254 4482



PROPERTY MARKETS GROUP
100 WEST 57TH STREET, 2ND FLOOR
NEW YORK, NY 10019
TEL: 212 893 9336
CURRENT ISSUE

DOB PAA



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019

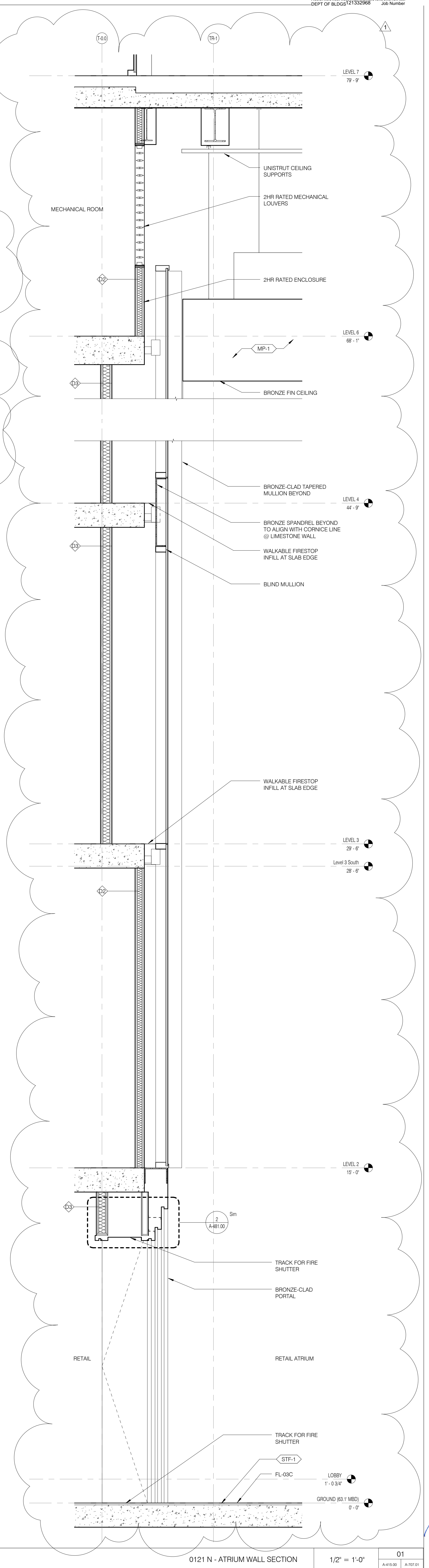
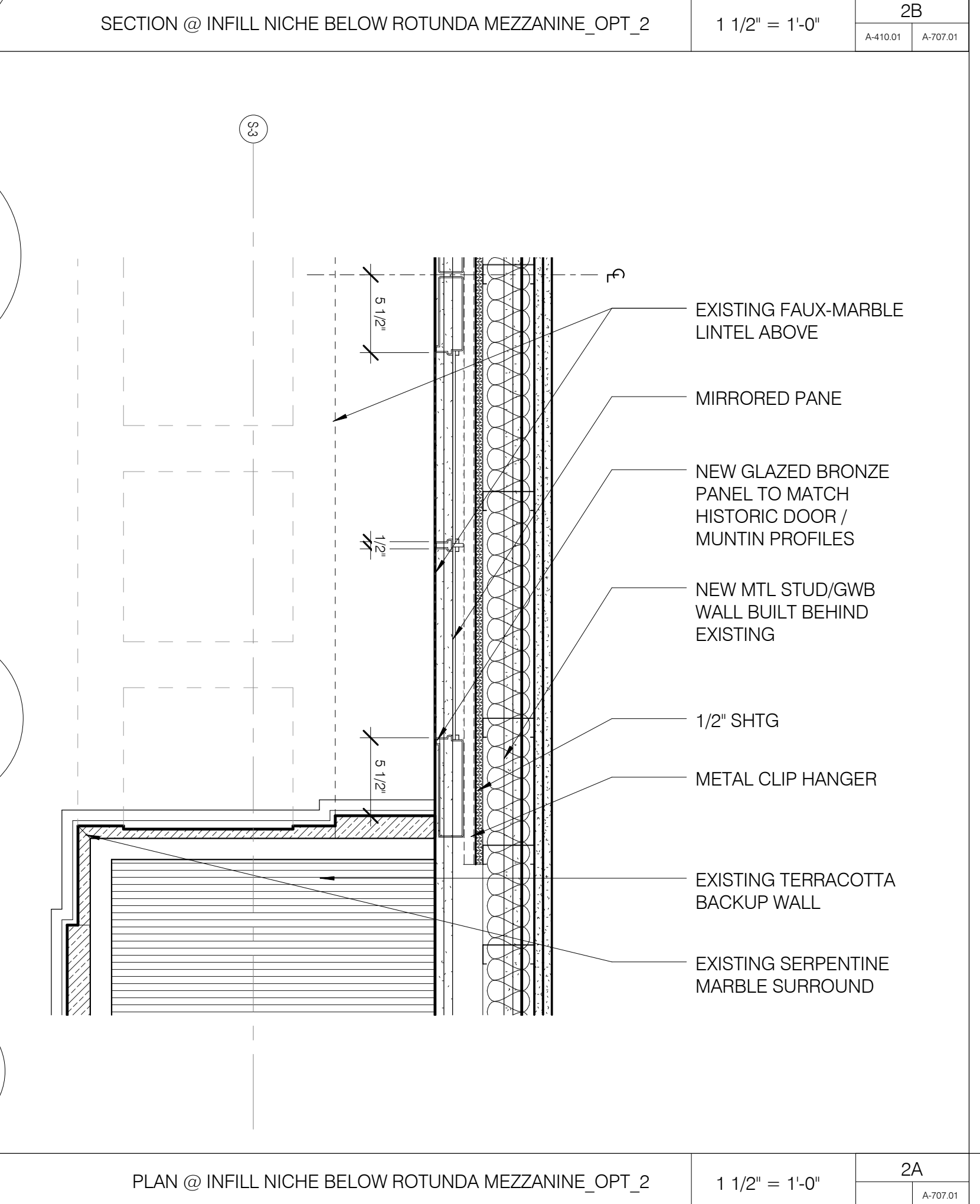
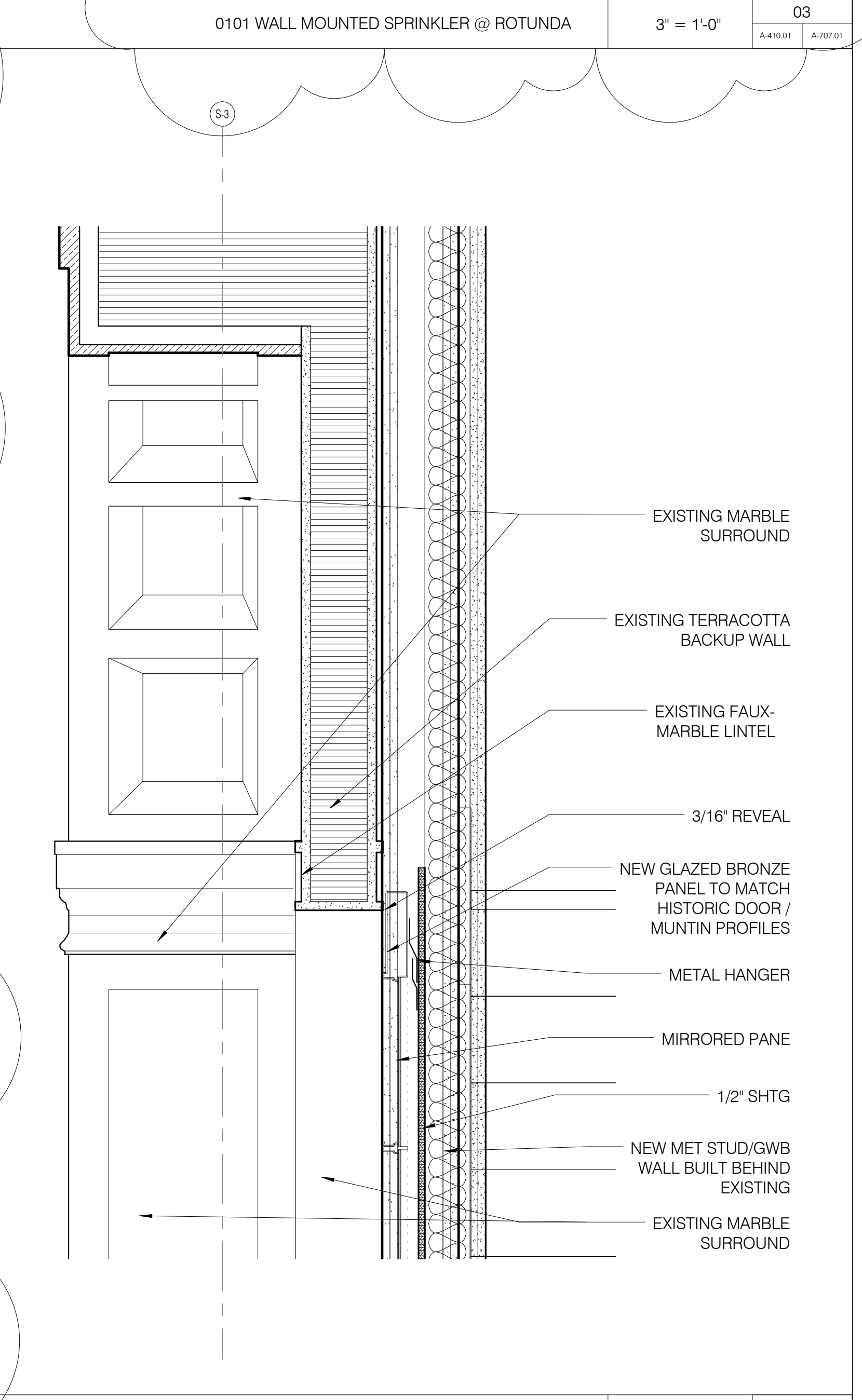
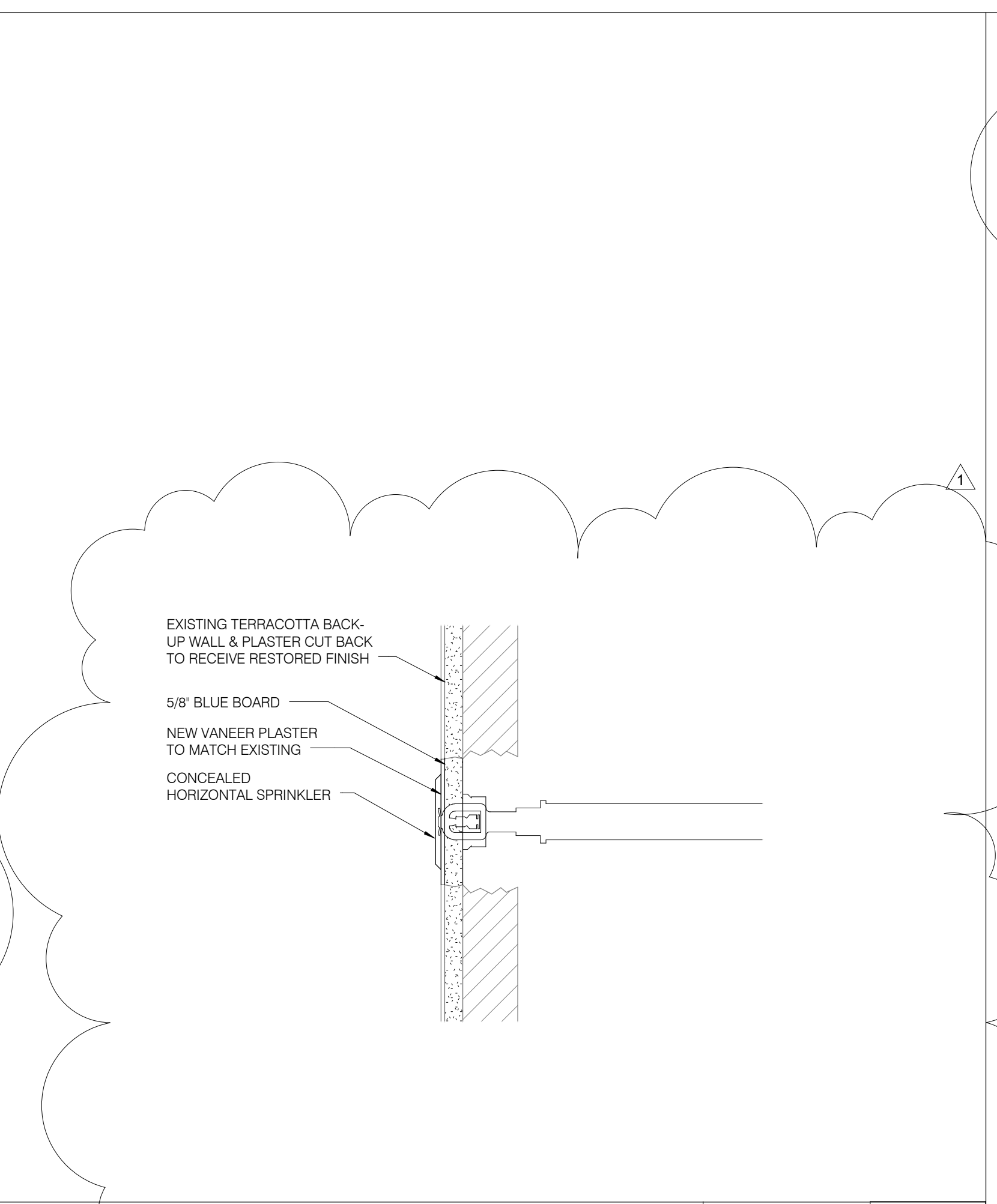
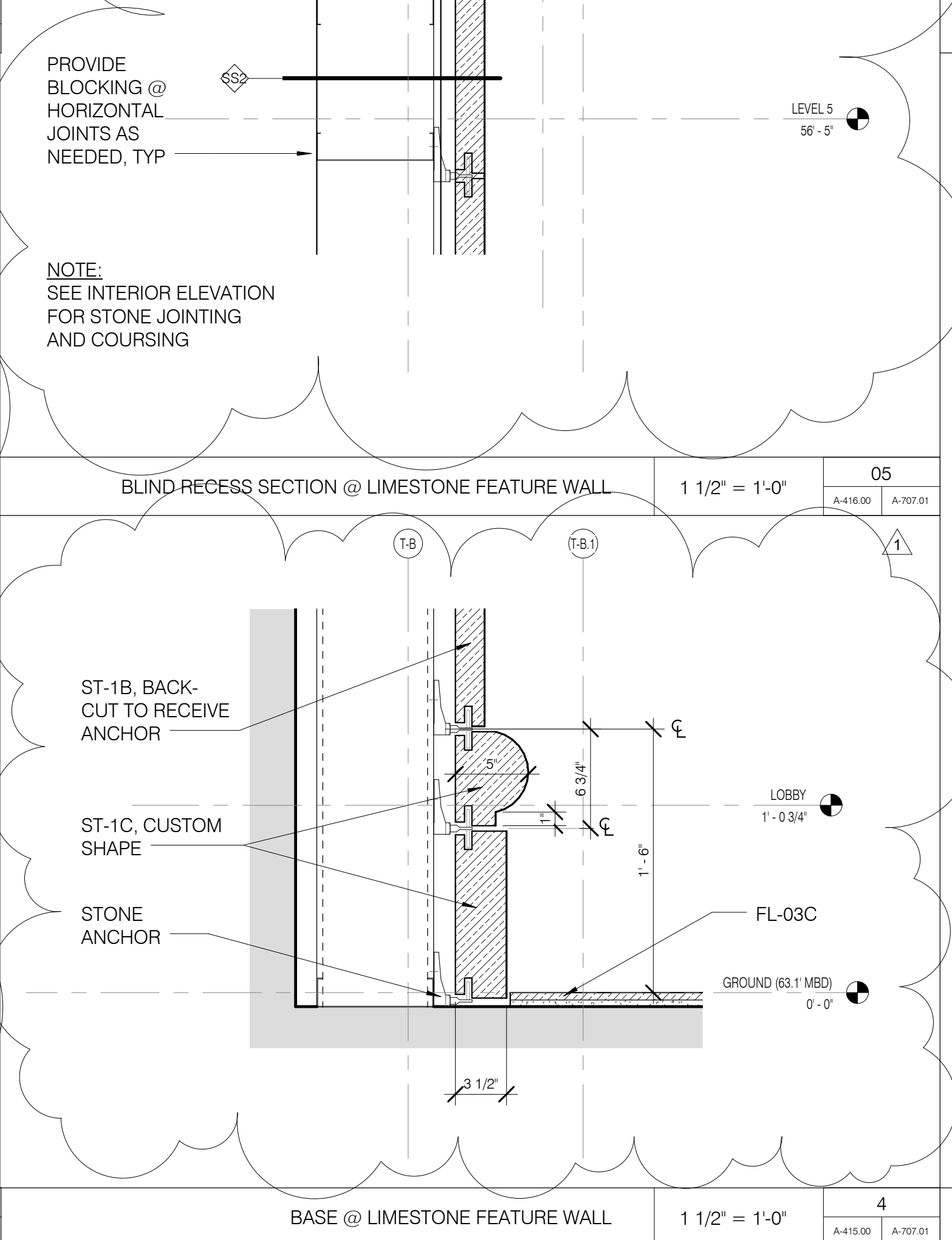
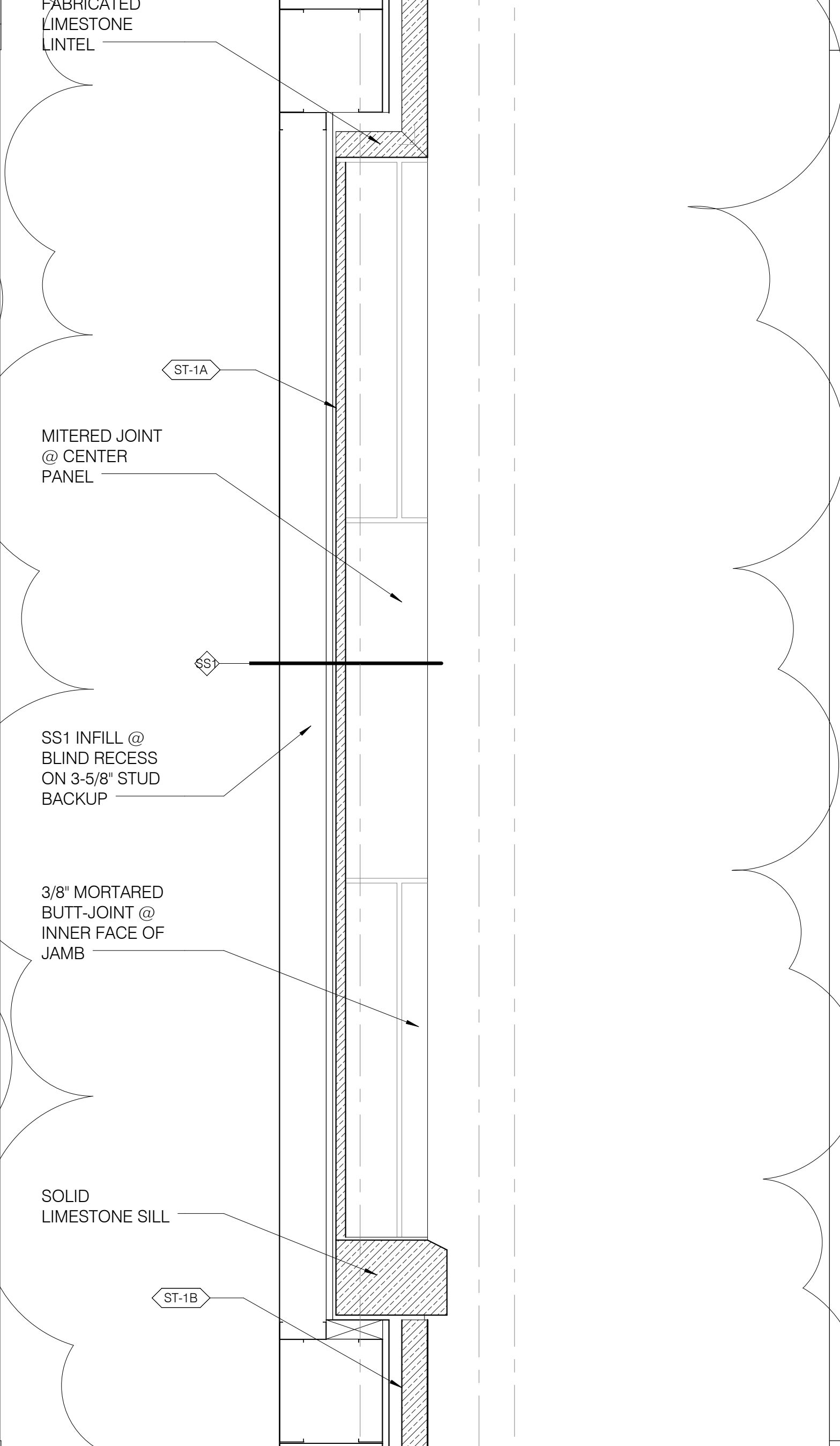
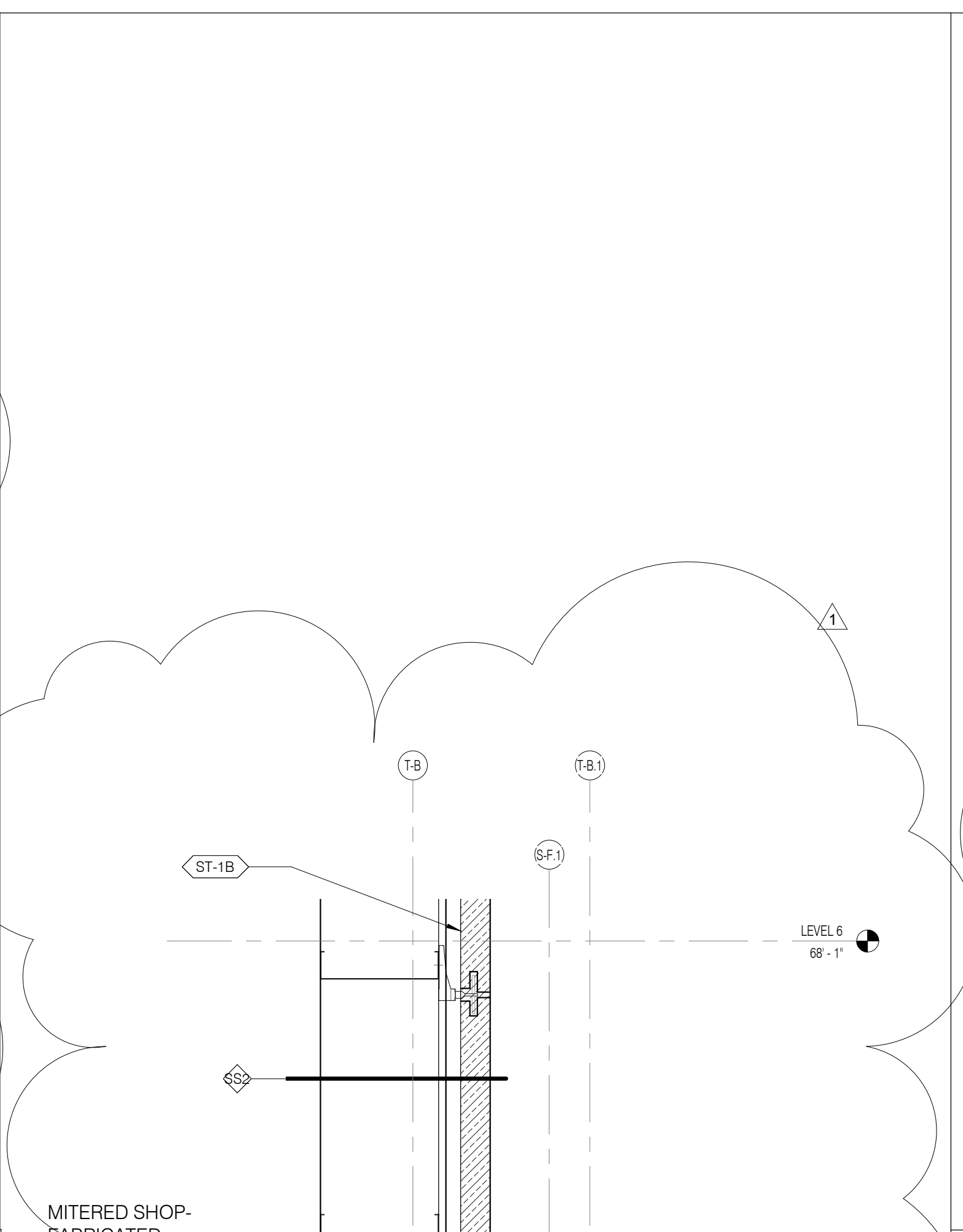
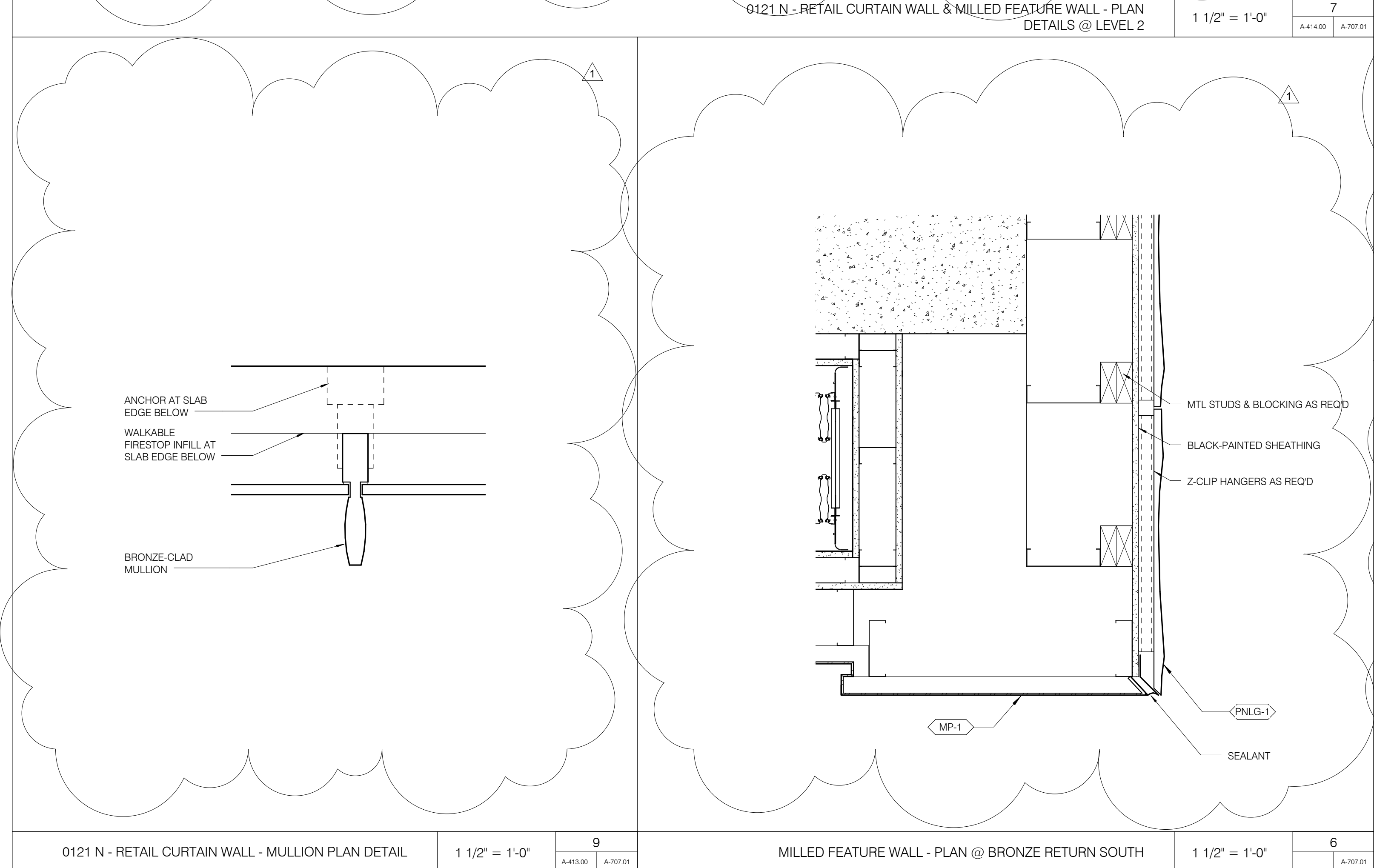
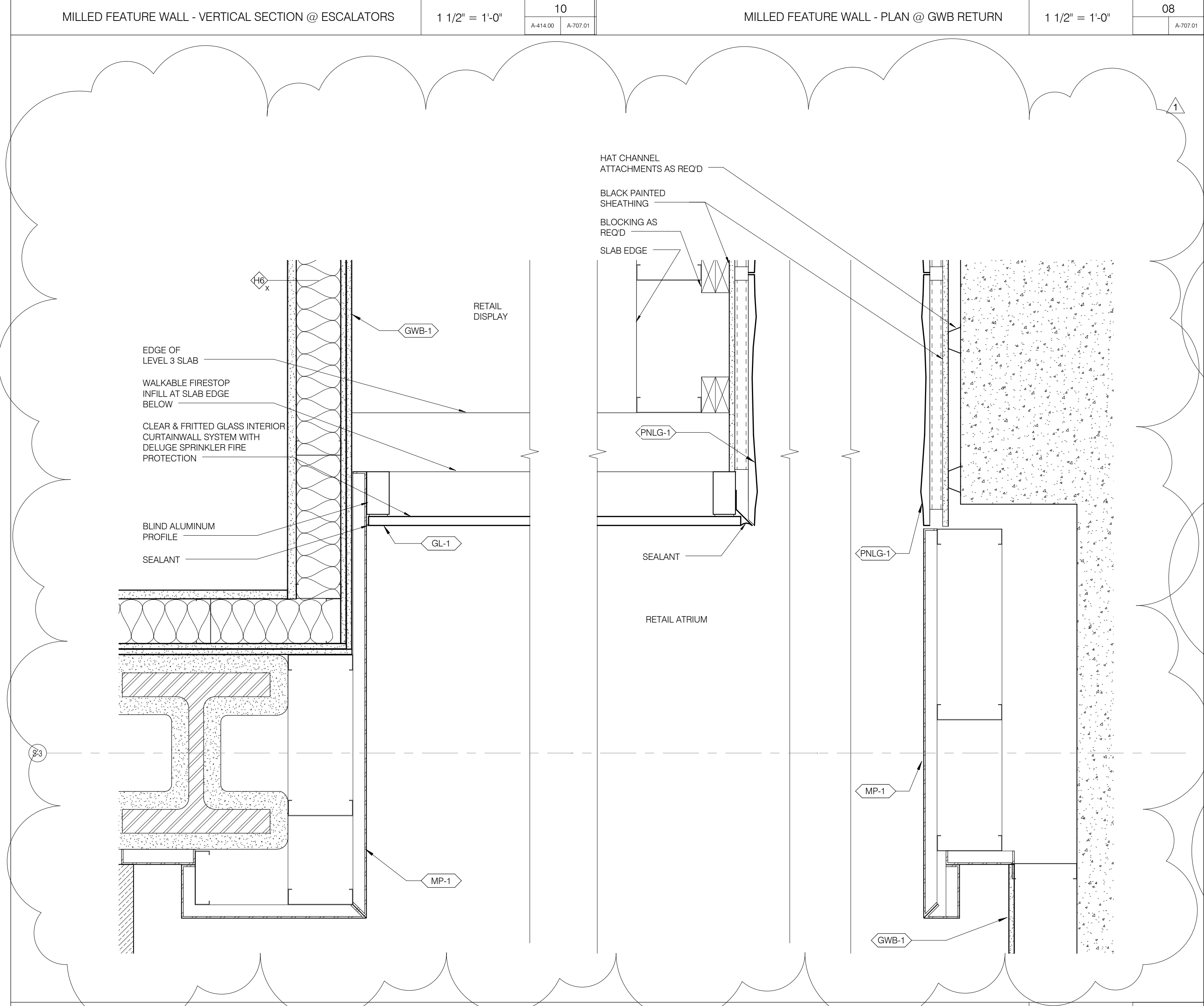
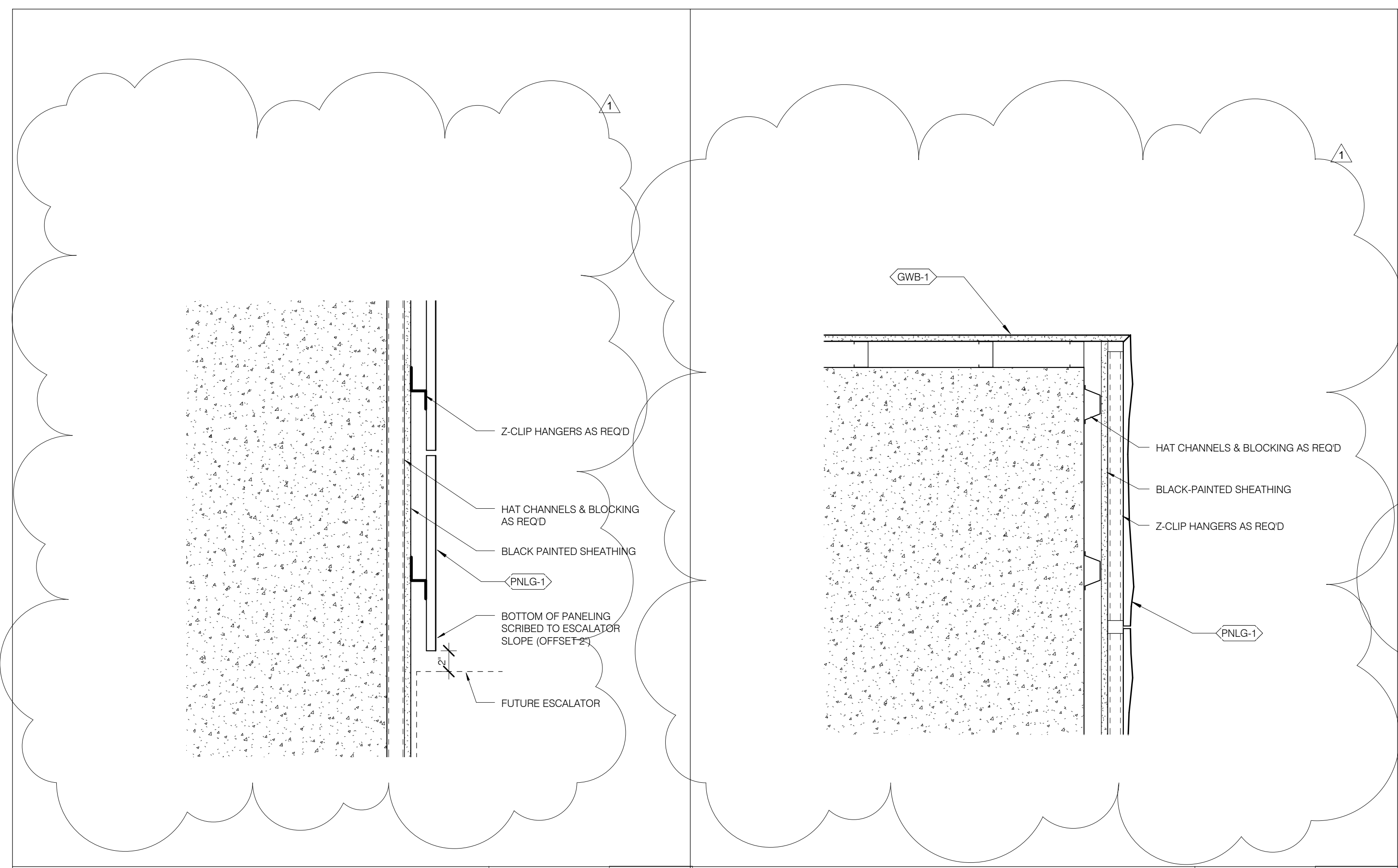


1	3/27/15	DOB PAA
	5/1/14	DOB FILING SET
NO.	DATE	REVISION

DRAWING TITLE
WALL DETAILS - ROTUNDA AND ATRIUM FEATURE WALLS

SEAL & SIGNATURE	DATE	3/27/15
PROJECT NO.	130007	
DRAWN BY	SHUP	
CHECKED BY	SHUP	
DATE	05/28/15	
DOB NO.	121332096	
DRAWING NUMBER		

A-707.01



ABBREVIATIONS:

Table of abbreviations and their meanings, including terms like ABV, AC, ACI, ADDL, ADJACENT, AFF, ATSC, etc.

GENERAL NOTES:

- 1. ALL CONCRETE SHALL BE NORMAL WEIGHT CONTROLLED CONCRETE, U.O.N., AND COMPLY WITH A.C.I. BUILDING CODE AND THE CURRENT NEW YORK CITY BUILDING CODE...

FOUNDATION NOTES:

- 1. ALL FOOTINGS, PIER AND FOUNDATION WALLS SHALL BE ON ROCK WITH A SAFE BEARING CAPACITY OF 60 TON PER SQ. FT. SEE FOOTING SCHEDULE ON DRAWING FD-100.

ROCK ANCHOR GENERAL NOTES

- 1. ROCK ANCHORS SHALL BE IN CONFORMANCE WITH LATEST PIT (POST - TENSIONING INSTITUTE) "RECOMMENDATIONS FOR PRESTRESSED ROCK AND SOIL ANCHORS" FOR SIZES AND LOCATIONS SEE FOUNDATION DRAWINGS.

TABLE FOR DOUBLE CORROSION PROTECTION ROCK ANCHORS. Table with columns for Threaded Design Bar, Anchor Plate, Minimum Diameter, Minimum Embedment Length, Maximum Offset, and Minimum Edge Distance.

NOTES FOR CORROSION PROTECTION TABLE:

- 1. MINIMUM DRILL HOLE DIAMETER ASSUMES COUPLERS ARE NOT REQUIRED. HOLE DIAMETER MAY INCREASE DUE TO USE OF COUPLERS OR ROCK CONDITION.

WATERPROOFING NOTES (BY MRCE)

- 1. ALL JOINTS TO RECEIVE A WATERSTOP AS PER SPECIFICATIONS (SMALL-SEAL) (OUTSIDE OF SHEAR KEY, MIN 3" COVER)

SUPERSTRUCTURE CONCRETE NOTES

CONCRETE

- 1. ALL CONCRETE SHALL BE NORMAL WEIGHT CONTROLLED CONCRETE, U.O.N., AND COMPLY WITH THE A.C.I. BUILDING CODE AND THE CURRENT NEW YORK CITY BUILDING CODE.

REINFORCEMENT

- 1. ALL CONCRETE SHALL BE NORMAL WEIGHT CONTROLLED CONCRETE, U.O.N., AND COMPLY WITH A.C.I. BUILDING CODE AND THE CURRENT NEW YORK CITY BUILDING CODE.

CONCRETE

- 1. ALL CONCRETE SHALL BE NORMAL WEIGHT CONTROLLED CONCRETE, U.O.N., AND COMPLY WITH THE A.C.I. BUILDING CODE AND THE CURRENT NEW YORK CITY BUILDING CODE.

REINFORCEMENT

- 1. ALL CONCRETE SHALL BE NORMAL WEIGHT CONTROLLED CONCRETE, U.O.N., AND COMPLY WITH THE A.C.I. BUILDING CODE AND THE CURRENT NEW YORK CITY BUILDING CODE.

CODES AND TESTS

- 1. THIS STRUCTURE HAS BEEN DESIGNED UNDER THE PROVISIONS OF THE NEW YORK CITY BUILDING CODE AS AMENDED BY A.C.I. 318.

MASONRY NOTES

- 1. SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR COMPLETE REQUIREMENTS FOR C.M.U. MASONRY CONSTRUCTION AND APPEARANCE, DETAILS AND NOTES SHOWN ON THE STRUCTURAL DRAWINGS ARE INTENDED TO SUPPLEMENT ARCHITECTURAL REQUIREMENTS AND TO DEFINE ELEMENTS WHICH PROVIDE STRUCTURAL STRENGTH AND STABILITY.

SEISMIC AND WIND CRITERIA NOTES:

- 1. THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE LATEST NEW YORK CITY BUILDING CODE (NYCBC 2008).

NON-STRUCTURAL ITEMS SHOWN ON THE STRUCTURAL/FOUNDATION DRAWINGS

- 1. THE FOLLOWING NON-STRUCTURAL ITEMS MAY BE SHOWN ON THE STRUCTURAL AND/OR FOUNDATION DRAWINGS FOR THE PURPOSE OF CLARITY IN INTERFACE WITH STRUCTURAL AND/OR FOUNDATION WORK.

GEOTECHNICAL ENGINEER

- 1. FOUNDATION/UNDERSLAB WATERPROOFING, DAMPROOFING SYSTEMS

ARCHITECT OF RECORD

- 1. SUMP PITS

STRUCTURAL STEEL NOTES:

- 1. STRUCTURAL STEEL HAS BEEN DESIGNED IN ACCORDANCE WITH THE NEW YORK CITY BUILDING CODE, ALL WIDE FLANGE STEEL SECTIONS TO BE ASTM A992 - ALL OTHER STEEL TO BE ASTM A572 GRADE 50.

STEEL DECK NOTES:

- 1. STEEL DECK SHALL CONFORM TO THE CURRENT SPECIFICATIONS FOR THE DESIGN OF LIGHT GAUGE COLD FORMED STEEL STRUCTURAL MEMBERS AS PER THE AISI LATEST EDITION AND STEEL DECK INSTITUTE SPECIFICATIONS AND STANDARDS.

CODES AND TESTS

- 1. THIS STRUCTURE HAS BEEN DESIGNED UNDER THE PROVISIONS OF THE NEW YORK CITY BUILDING CODE AS AMENDED BY A.C.I. 318.

MASONRY NOTES

- 1. SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR COMPLETE REQUIREMENTS FOR C.M.U. MASONRY CONSTRUCTION AND APPEARANCE, DETAILS AND NOTES SHOWN ON THE STRUCTURAL DRAWINGS ARE INTENDED TO SUPPLEMENT ARCHITECTURAL REQUIREMENTS AND TO DEFINE ELEMENTS WHICH PROVIDE STRUCTURAL STRENGTH AND STABILITY.

SEISMIC AND WIND CRITERIA NOTES:

- 1. THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE LATEST NEW YORK CITY BUILDING CODE (NYCBC 2008).

NON-STRUCTURAL ITEMS SHOWN ON THE STRUCTURAL/FOUNDATION DRAWINGS

- 1. THE FOLLOWING NON-STRUCTURAL ITEMS MAY BE SHOWN ON THE STRUCTURAL AND/OR FOUNDATION DRAWINGS FOR THE PURPOSE OF CLARITY IN INTERFACE WITH STRUCTURAL AND/OR FOUNDATION WORK.

GEOTECHNICAL ENGINEER

- 1. FOUNDATION/UNDERSLAB WATERPROOFING, DAMPROOFING SYSTEMS

ARCHITECT OF RECORD

- 1. SUMP PITS

STEEL LEGEND:

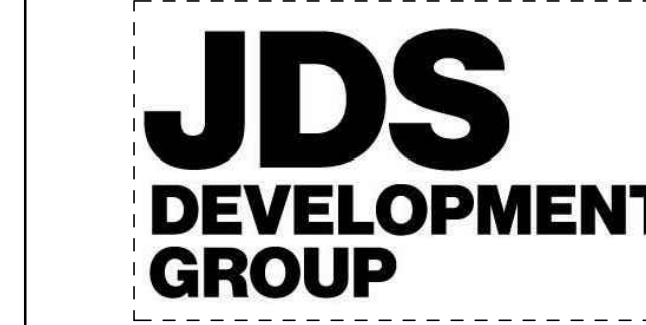
- 1. INDICATES DIRECTION OF NEW SLAB

CONCRETE LEGEND:

- a. INDICATES THE BOTTOM OF FOUNDATION WALL ELEVATION

LOADING SCHEDULE

Table with columns: OCCUPANCY, PARTITION/FILL, CEIL & MECH., LIVE LOAD. Rows include ROOF, STAIRS, PUBLIC CORRIDORS, RESIDENTIAL, MECHANICAL ROOMS, ATRIUM ROOF, LOBBIES RETAIL, GROUND FLOOR LOADING BAY.



JDS DEVELOPMENT GROUP
64 WEST 57TH STREET, 11TH FLOOR
NEW YORK, NY 10019
TEL: 646-252-9600



ARCHITECT
SHAP ARCHITECTS, P.C.
100 BROADWAY, 17TH FLOOR
NEW YORK, NY 10005
TEL: 212-686-0000

STRUCTURAL ENGINEER
JESSE CHANOK, P.E.
100 BROADWAY, 17TH FLOOR
NEW YORK, NY 10005
TEL: 212-686-0000

MEP ENGINEER
JAMES BALM & SOLES
100 BROADWAY, 17TH FLOOR
NEW YORK, NY 10005
TEL: 212-686-0000

CIVIL ENGINEER
ANNE EISENBERG, P.E.
100 BROADWAY, 17TH FLOOR
NEW YORK, NY 10005
TEL: 212-686-0000

INTERIORS
CONCRETEWORK INTERNATIONAL
100 WALKER STREET, 7TH FLOOR EAST
NEW YORK, NY 10002
TEL: 212-254-4483



PROPERTY MARKETS GROUP
6 EAST 47TH STREET, 2ND FLOOR
NEW YORK, NY 10017
TEL: 212-686-0000

CURRENT ISSUE
DOB PAA

Shauqat Shaikh
Building Approved
Under Directive 2 of 1995
NYC Development Hub

111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



Table with columns: NO., DATE, REVISION. Rows include 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

NOT FOR CONSTRUCTION

GENERAL NOTES, LEGEND AND ABBREVIATIONS

DATE: 07/16/15
PROJECT NO.: 1310140
DRAWN BY: CADG
CHECKED BY: CL
DOB NO.: 121332968
DRAWING NUMBER: FO-001.01

KEY PLAN
N.T.S.

ALT. 1 #121332968

ARCHITECT	SHAP ARCHITECTS P.C. 200 BROADWAY, 11TH FLOOR NEW YORK, NY 10004 TEL: 212.850.3000	FAÇADE	SHAP ARCHITECTS P.C. 200 BROADWAY, 11TH FLOOR NEW YORK, NY 10004 TEL: 212.850.3000
STRUCTURAL ENGINEER	YONG CHANG ENGINEERING 200 BROADWAY, 11TH FLOOR NEW YORK, NY 10004 TEL: 212.850.3000	MEP ENGINEER	YONG CHANG ENGINEERING 200 BROADWAY, 11TH FLOOR NEW YORK, NY 10004 TEL: 212.850.3000
CIVIL ENGINEER	YONG CHANG ENGINEERING 200 BROADWAY, 11TH FLOOR NEW YORK, NY 10004 TEL: 212.850.3000	RESTORATION	YONG CHANG ENGINEERING 200 BROADWAY, 11TH FLOOR NEW YORK, NY 10004 TEL: 212.850.3000
ACoustics	YONG CHANG ENGINEERING 200 BROADWAY, 11TH FLOOR NEW YORK, NY 10004 TEL: 212.850.3000	INTERIORS	YONG CHANG ENGINEERING 200 BROADWAY, 11TH FLOOR NEW YORK, NY 10004 TEL: 212.850.3000



PROPERTY MARKETS GROUP
111 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212.850.3000

Shauqat Shaikh
Buildings & Construction
APPROVED
Under Directive 2 of 1975
DATE: 08/28/2015
NYC Development Hub

111 WEST 57TH STREET
111 WEST 57TH STREET

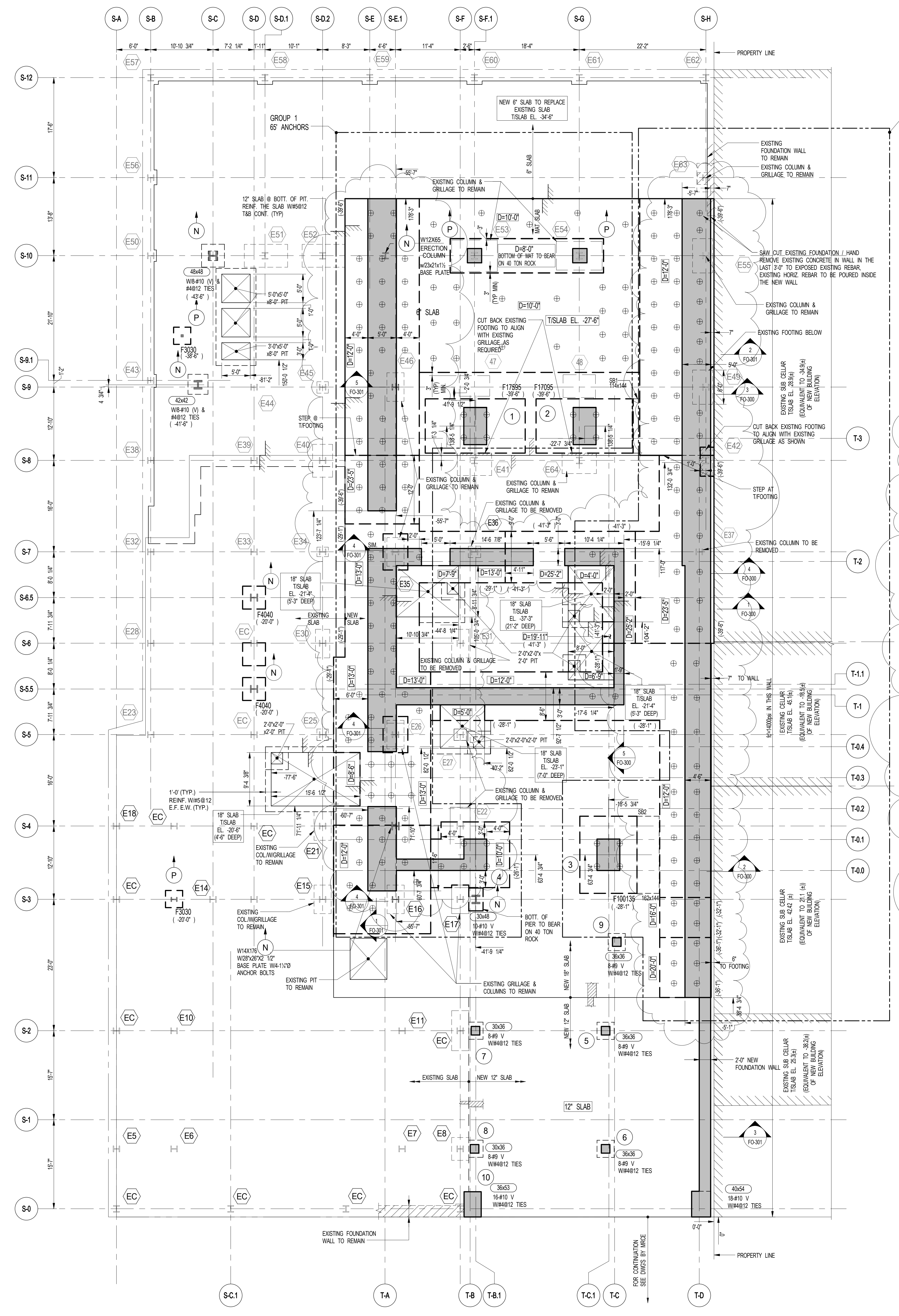


1	3.27.15	DOB PAA
1	5.1.14	DOB PLNG SET
NO.	DATE	REVISION

FOUNDATION PLAN

SEAL & SIGNATURE	DATE	5.1.14
DRAWN BY	PROJECT NO.	1310140
CHECKED BY	DRAWN BY	CADD
DATE	CHECKED BY	CL
DRAWING NUMBER	DATE	12/13/2006

FO-100.01



1 FOUNDATION PLAN
FO-100 SCALE: 1/8" = 1'-0"

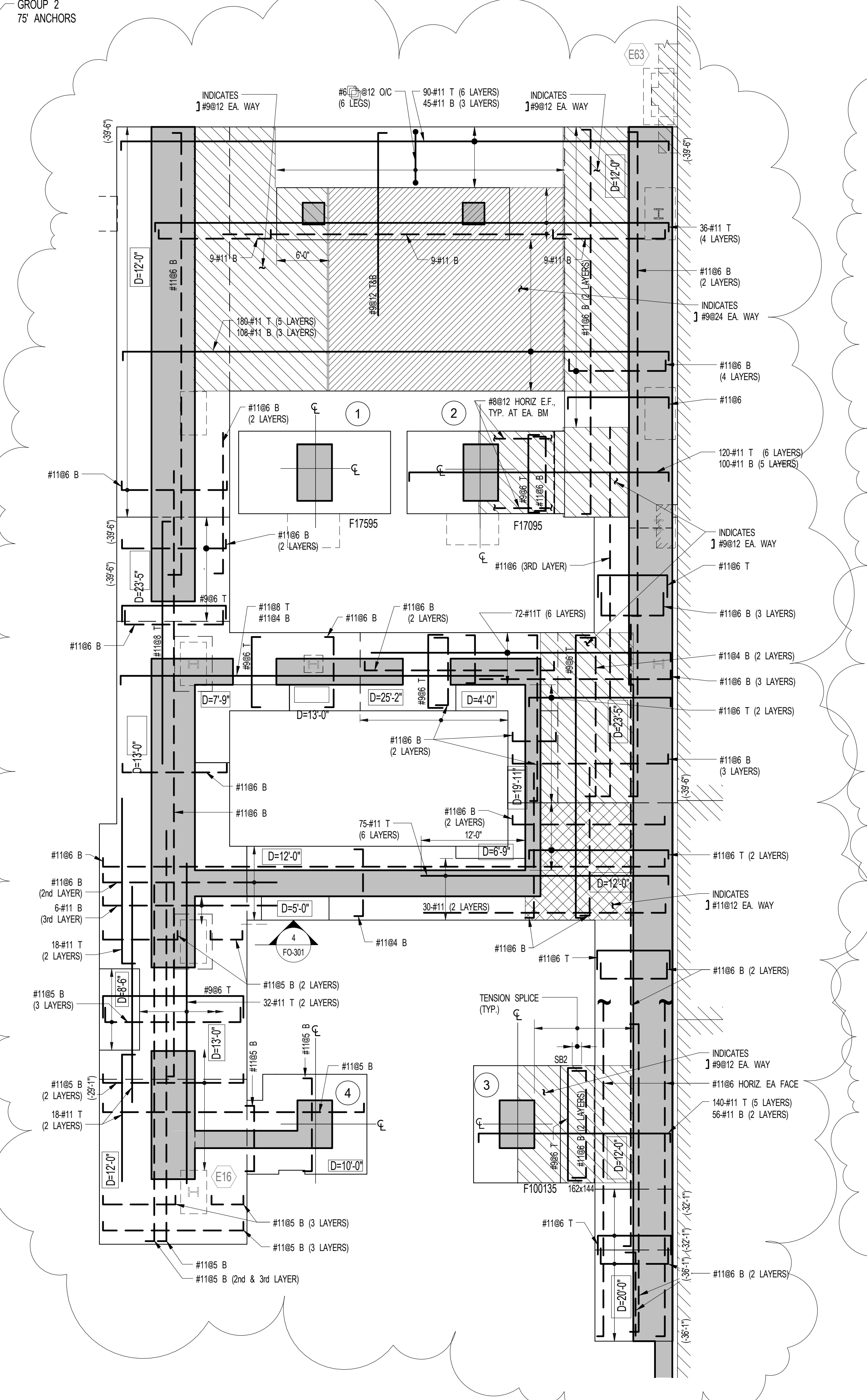
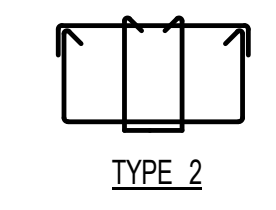
- NOTES:
- TOP OF SLAB (EL.) SEE PLAN.
 - SLAB TO BE 6" THICK (LION ON PLAN) STONE CONCRETE (f=10,000 psi) REINFORCEMENT FOR 18" SLAB TO BE #812 TAB IN NS DIRECTION CONT. & #1112 TAB IN EW DIRECTION CONT. REINFORCEMENT FOR 12" SLAB TO BE #512 TAB MAT. (LION) REINFORCEMENT FOR 12" MAT TO BE #1812 TAB MAT. (LION) ALL ADDITIONAL REINFORCEMENT ARE SHOWN ON PLAN. SLAB TO BE POURED ON W.P. MEMBRANE WHICH SITS ON 2" MUDSLAB OVER MINIMUM 6" BENCH OF GRAVEL. (SEE SPEC. BY GEOTECHNICAL ENGINEER).
 - TOP OF FOOTING TO BE AT TOP OF SLAB THIS (-) ON PLAN INDICATING BOTTOM OF FOOTING ELEVATION.
 - CENTRE FOOTING SHALL BE CENTRE OF SINGLE COLUMN/PAIR ABOVE (LION).
 - PROVIDE DOWELS IN FOOTING TO MATCH VERTICAL WALL/COLUMN REINFORCEMENT.
 - ALL SUBGRADE PREPARATION SHALL BE PER GEOTECHNICAL ENGINEER'S RECOMMENDATION (SEE GEOTECHNICAL REPORT, DRAWINGS AND SPECIFICATIONS). WATER PROOFING MEMBRANE TO BE PLACED BELOW LOWEST PORTION OF STRUCTURE. ALL WATERPROOFING TYPES & LOCATION TO BE COORDINATED WITH GEOTECHNICAL ENGINEER REQUIREMENTS AND ARCHITECTURAL SPECIFICATIONS.
 - FOR PIT LOCATIONS & SIZE SEE ARCH. AND MEP DRAWINGS.
 - FOR TYPICAL FOUNDATION DETAILS, NOTES AND SCHEDULES SEE FO-300 SERIES DWGS.
 - FOR FOUNDATION SECTIONS SEE FO-300 SERIES DWGS.
 - FOR COLUMN SIZE AND DETAILS SEE S-900 SERIES DWGS.
 - PROVIDE WATERSTOPS AT ALL CONSTRUCTION JOINTS IN CONCRETE SLABS & WALLS.
 - PIT SLAB REINFORCEMENT TO MATCH SLAB REINFORCEMENT (LION).
 - FOR SEQUENCE OF CONSTRUCTION SEE MASTER PUTEBOOK DWG. (SEE-G).
 - PROJECT 07-481 NBD.
 - FOR GENERAL NOTES, ABBREVIATIONS AND LEGEND SEE DWG. FO-001.
 - INDICATES 30x30 POST WITH 8#9 VERT. + #4812 TIES.

FOOTING SCHEDULE
ALLOWABLE BEARING PRESSURE = 60 TONS/SF

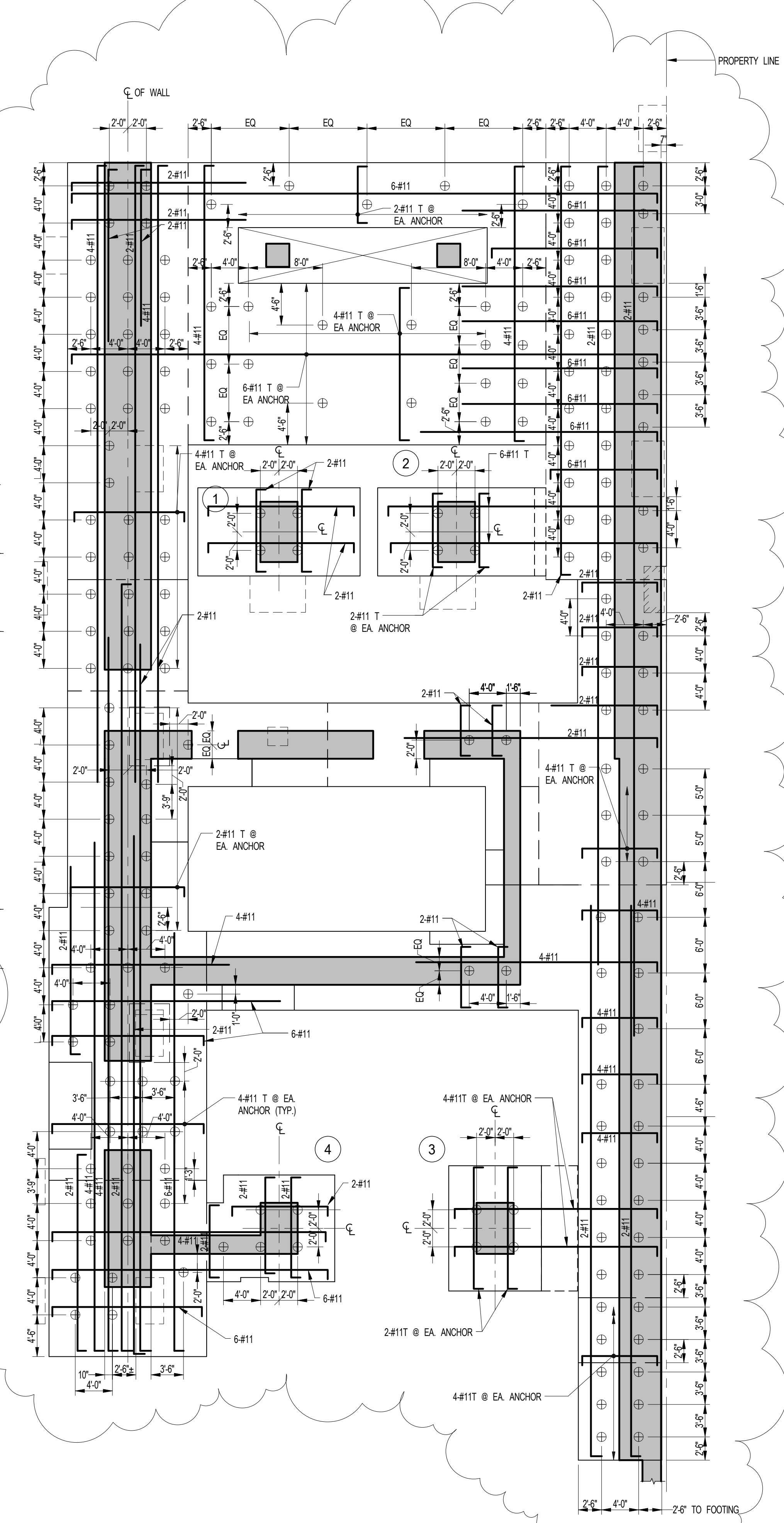
MARK	SIZE	THICKNESS (DEPTH IN INCHES)	REINFORCING LONG WAY	REINFORCING SHORT WAY	REMARKS
F3030	3'-0"x3'-0"	36	4-#9	4-#9	HOOK ALL REBAR
F4040	4'-0"x4'-0"	36	8-#9	8-#9	HOOK ALL REBAR
F100135	10'-0"x13'-6"	144	36-#11 (2 LAYERS)	SEE PLAN	SEE PLAN
F17095	17'-0"x9'-6"	144	34-#11	34-#11	HOOK ALL REBAR
F17595	17'-6"x9'-6"	144	48-#11 (3 LAYERS)	36-#11	HOOK ALL REBAR

STRAP BEAM SCHEDULE

BEAM MARK	WIDTH	DEPTH	REINFORCEMENT		STIRRUPS		REMARKS
			BOTTOM CONTINUOUS	TOP CONTINUOUS	TYPE	SIZE SPACING	
S81	114	144	SEE PLAN	SEE PLAN	SEE PLAN	SEE PLAN	
S92	162	144	SEE PLAN	SEE PLAN	SEE PLAN	SEE PLAN	



2 MAT REINFORCEMENT PLAN
FO-100 SCALE: 1/8" = 1'-0"



3 ROCK ANCHOR LOCATION PLAN
FO-100 SCALE: 1/8" = 1'-0"

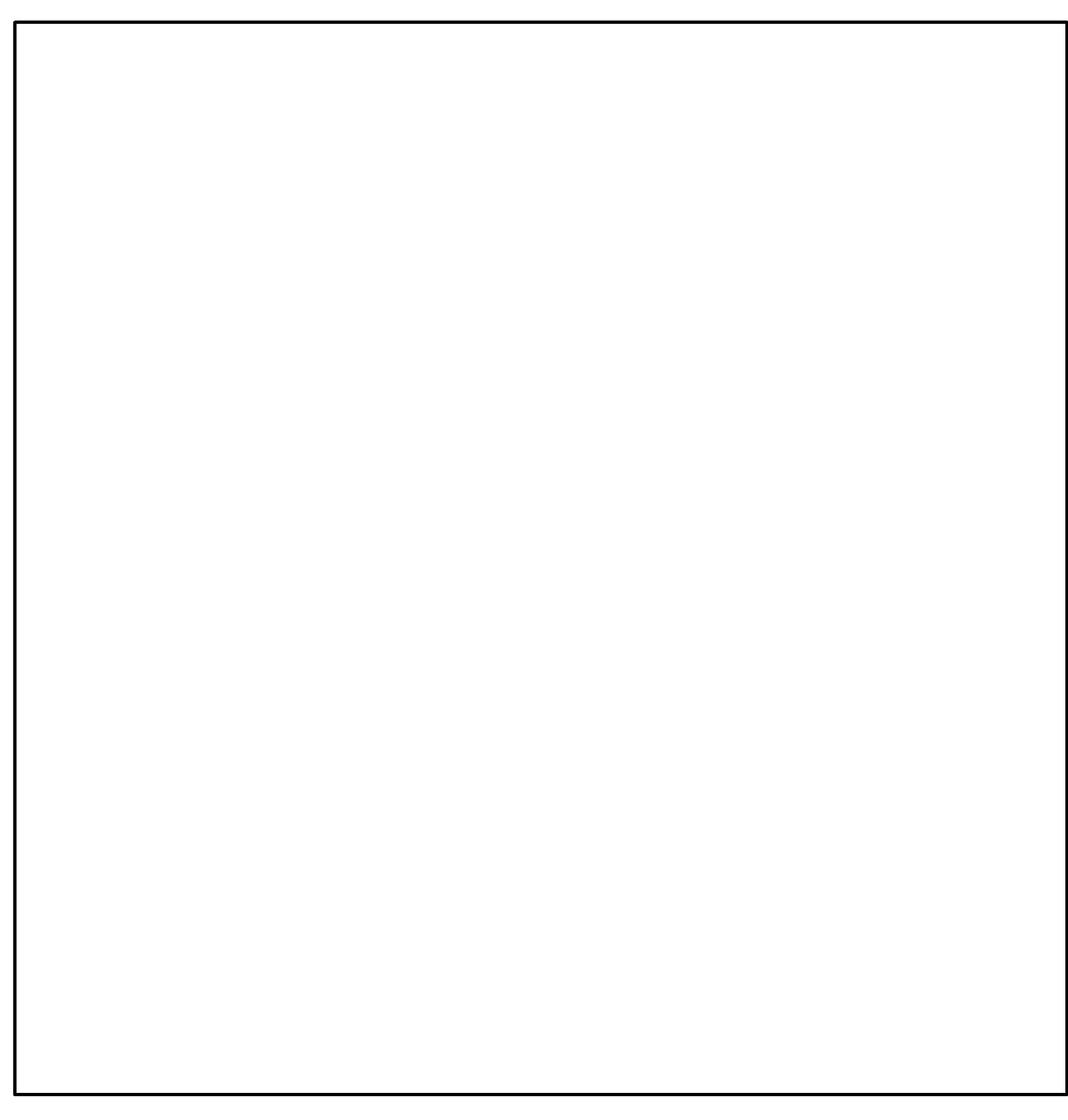
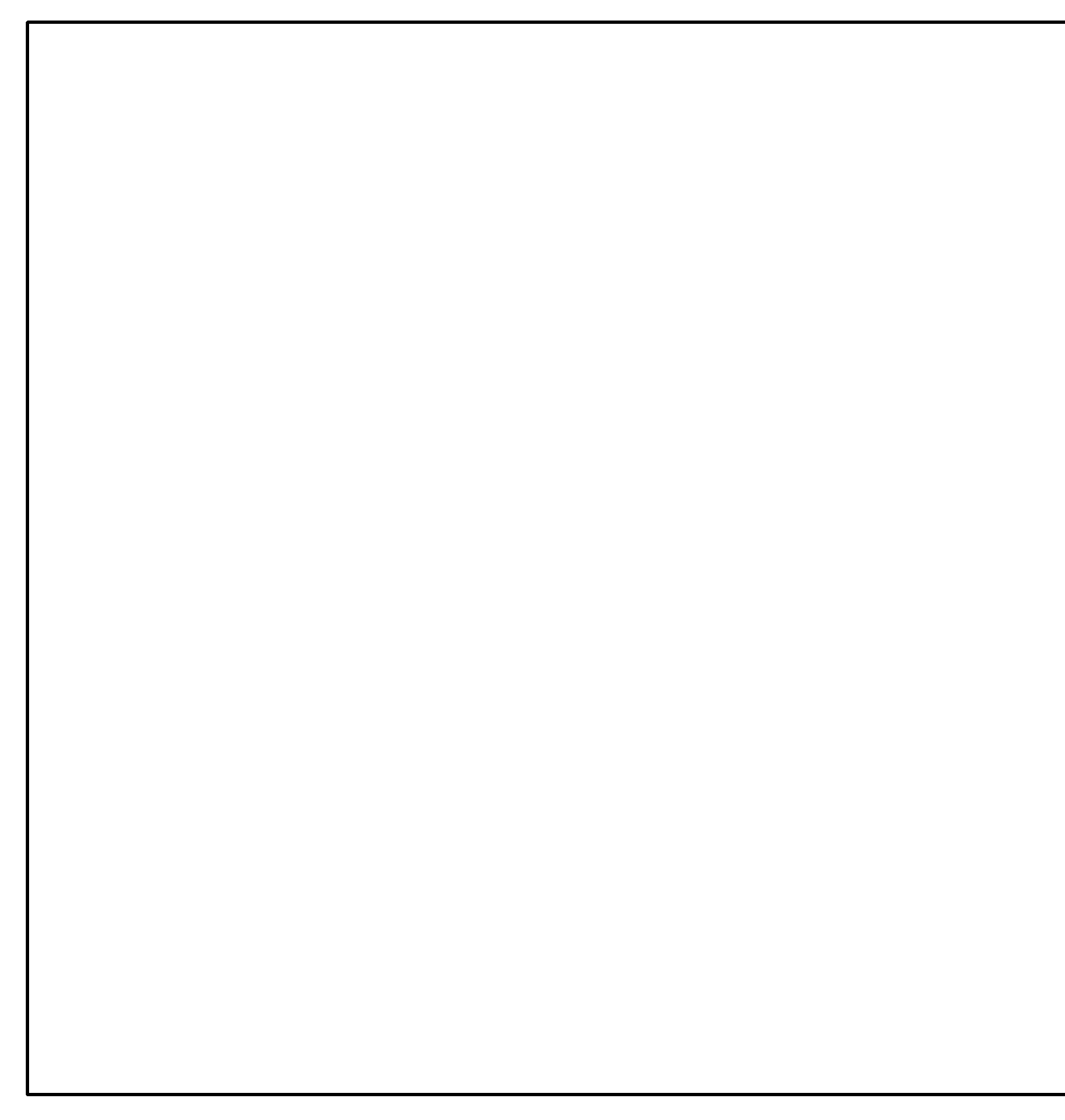
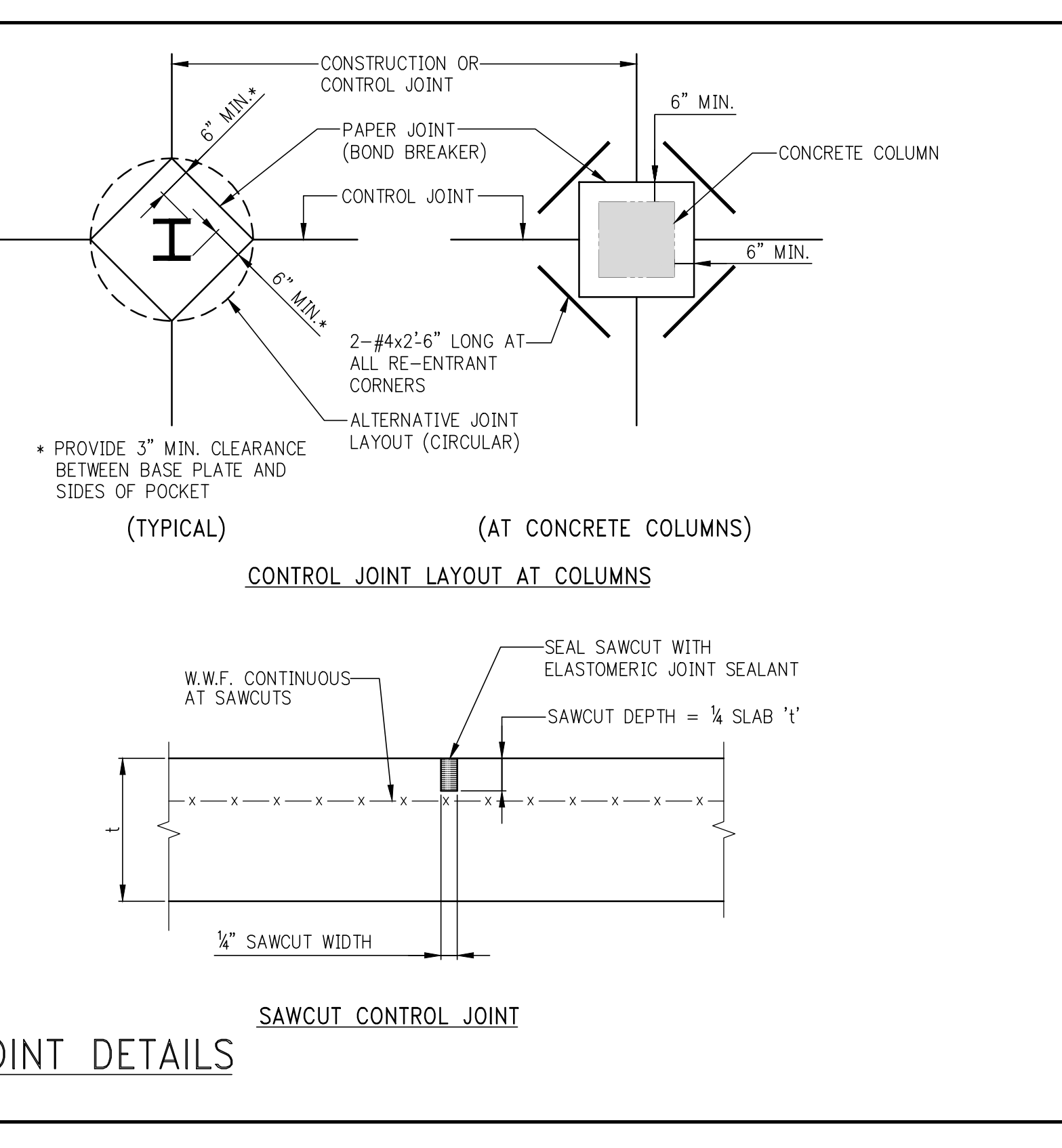
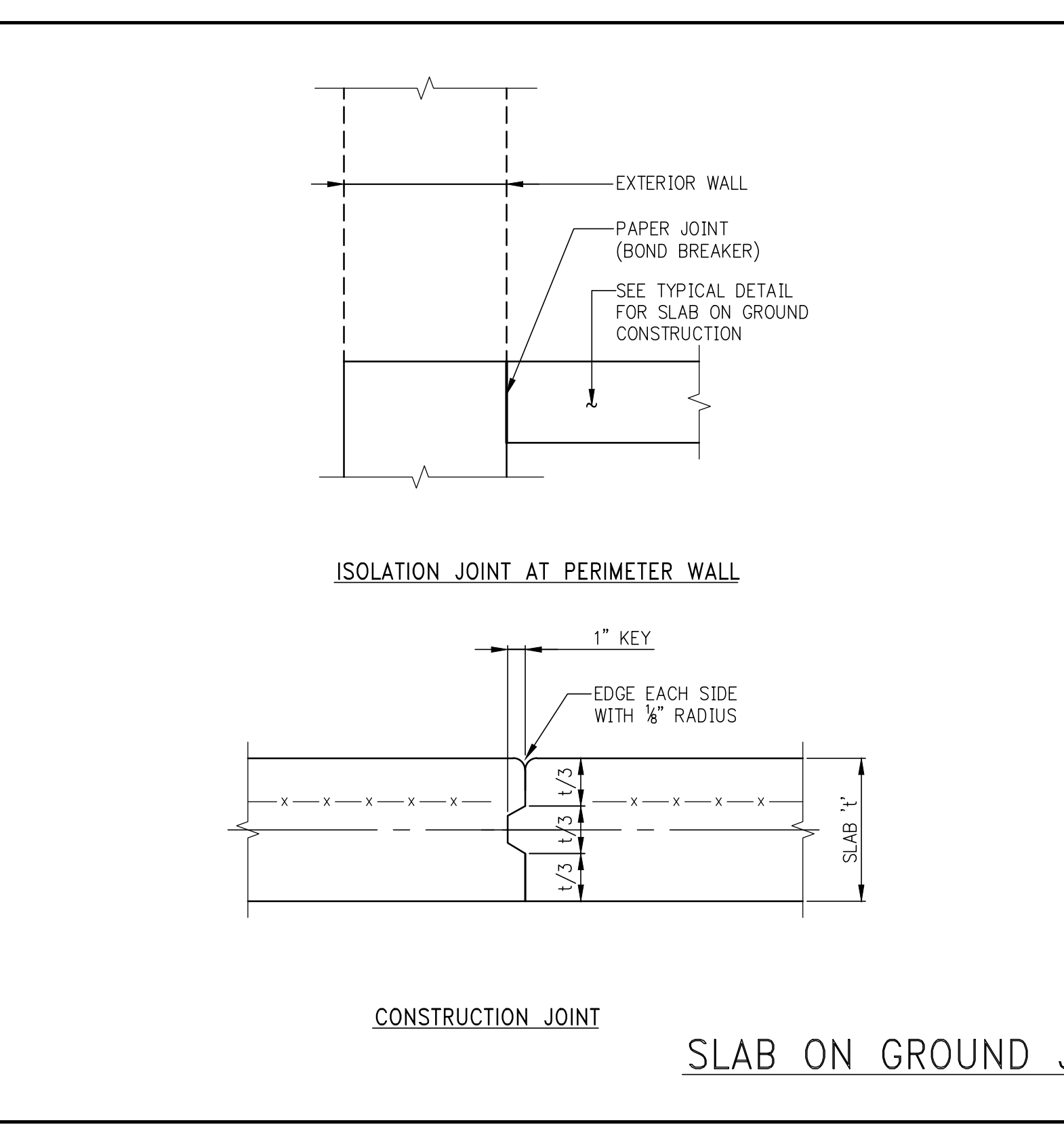
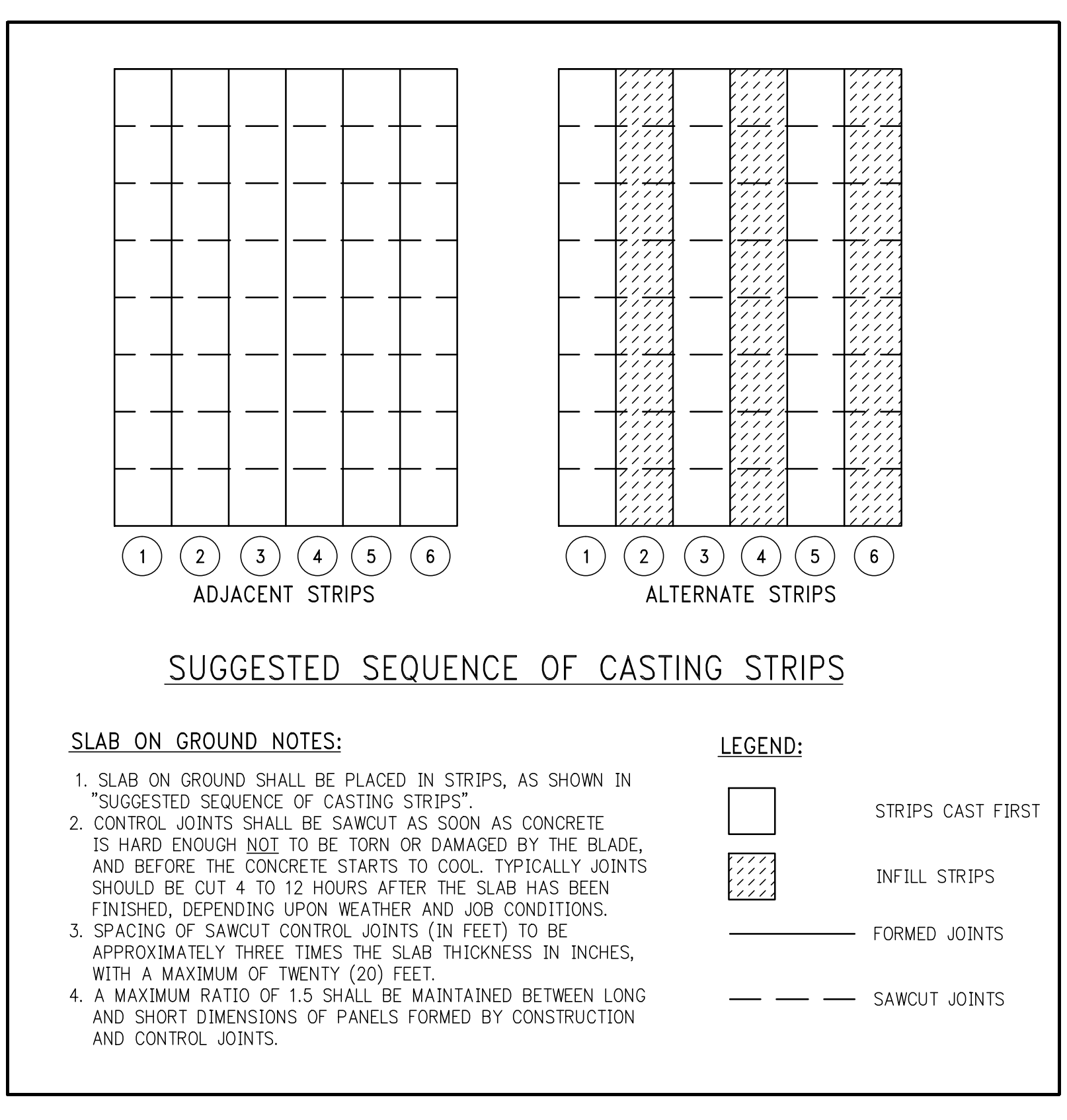
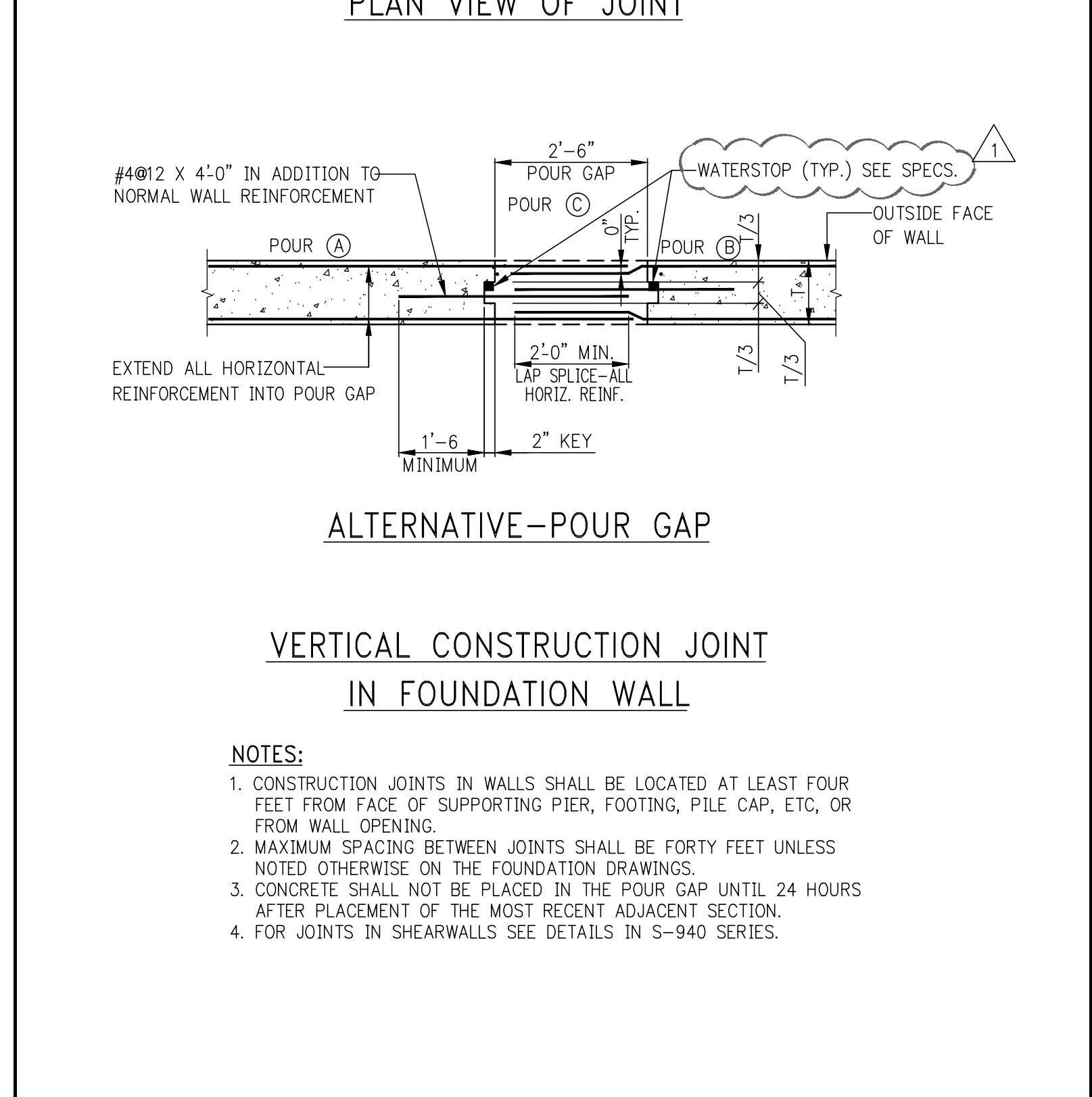
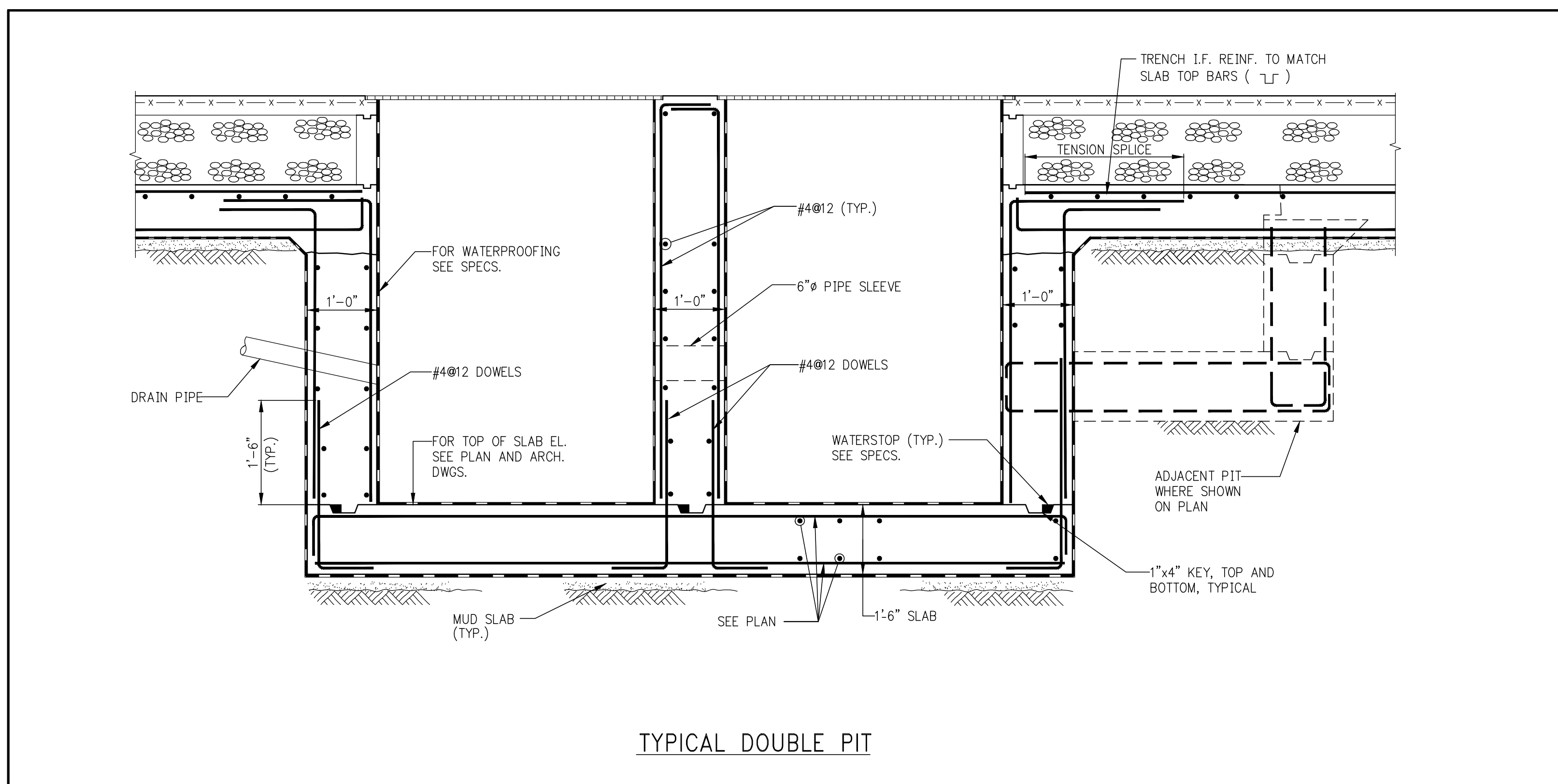
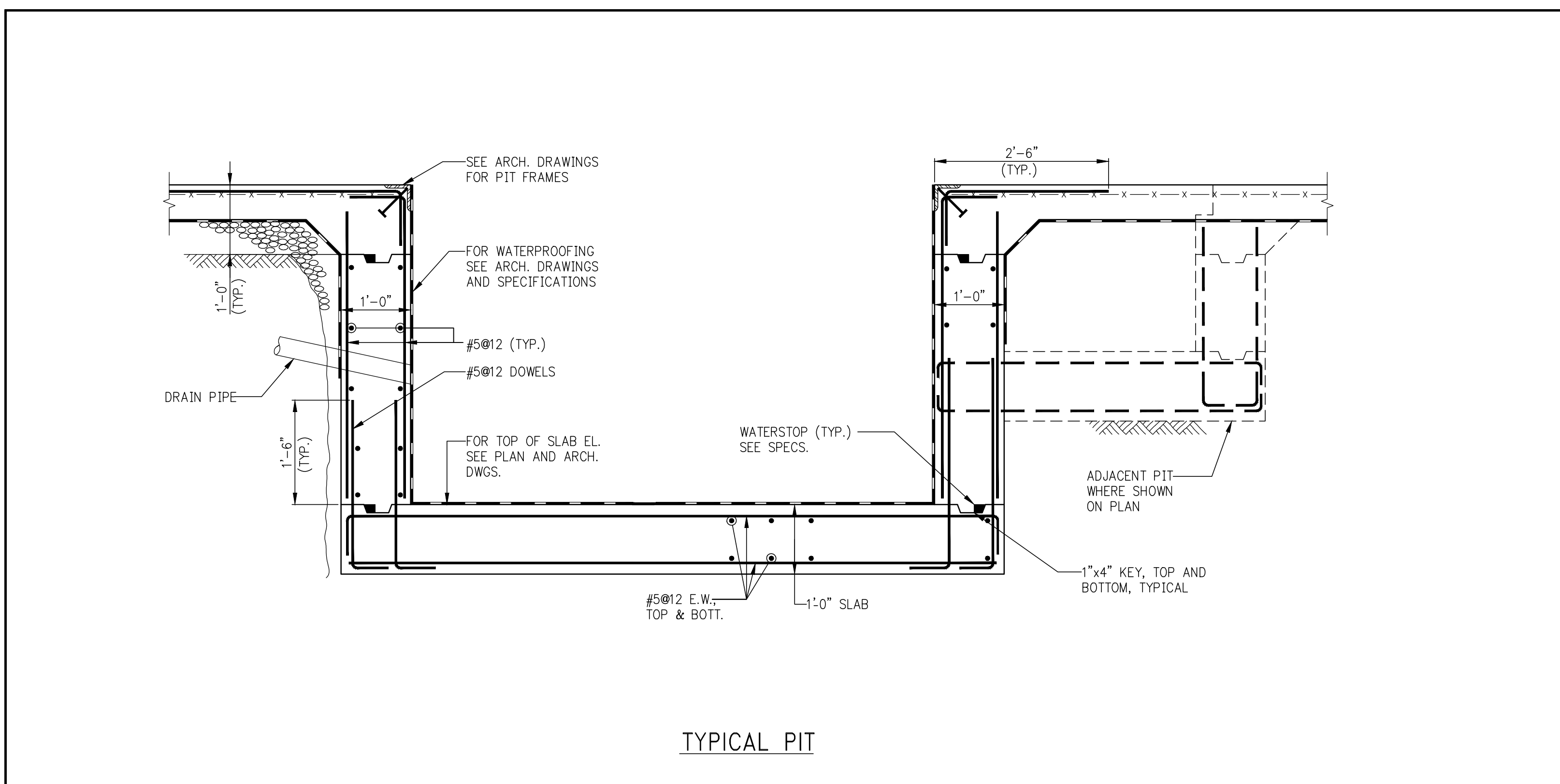
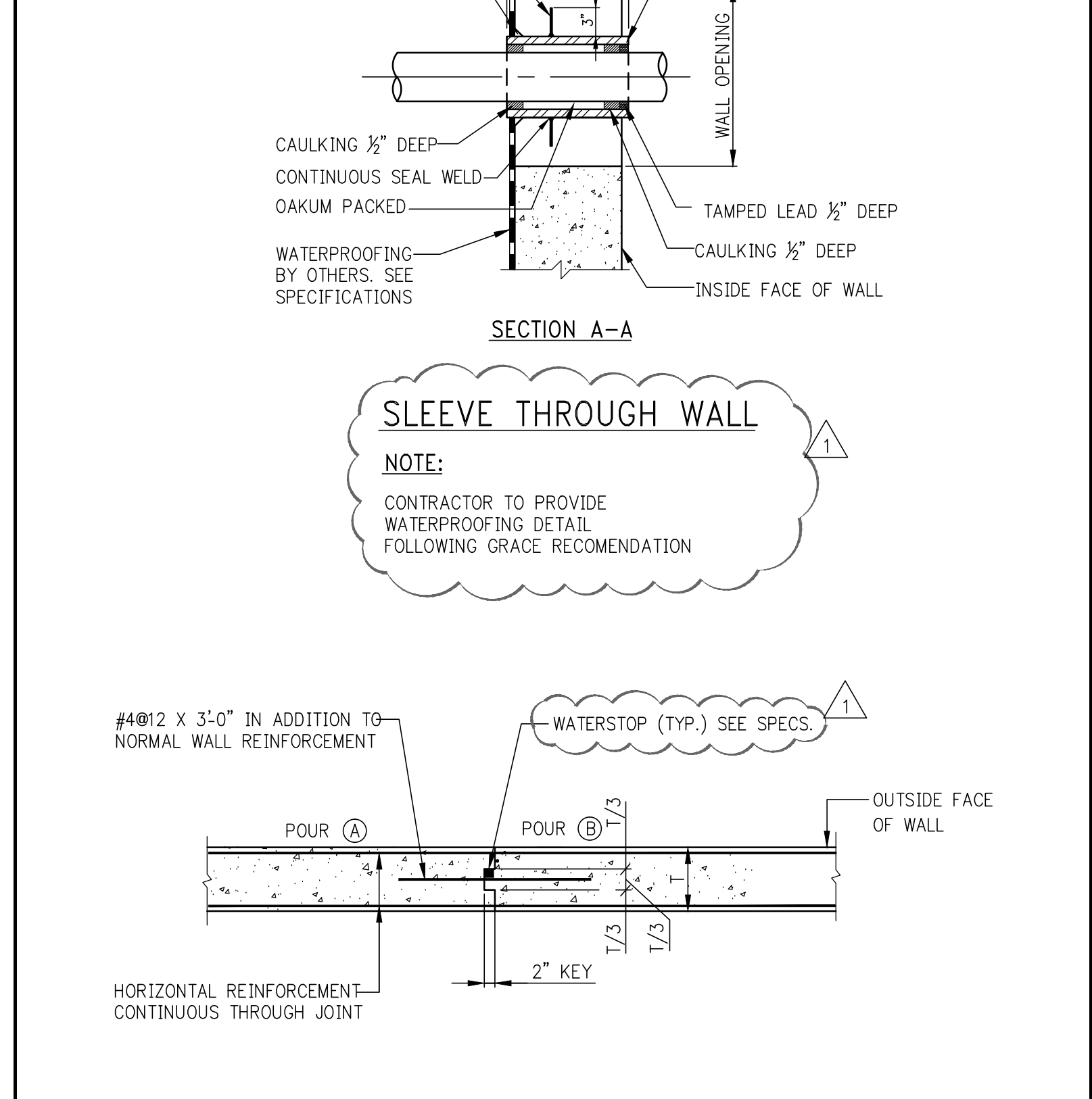
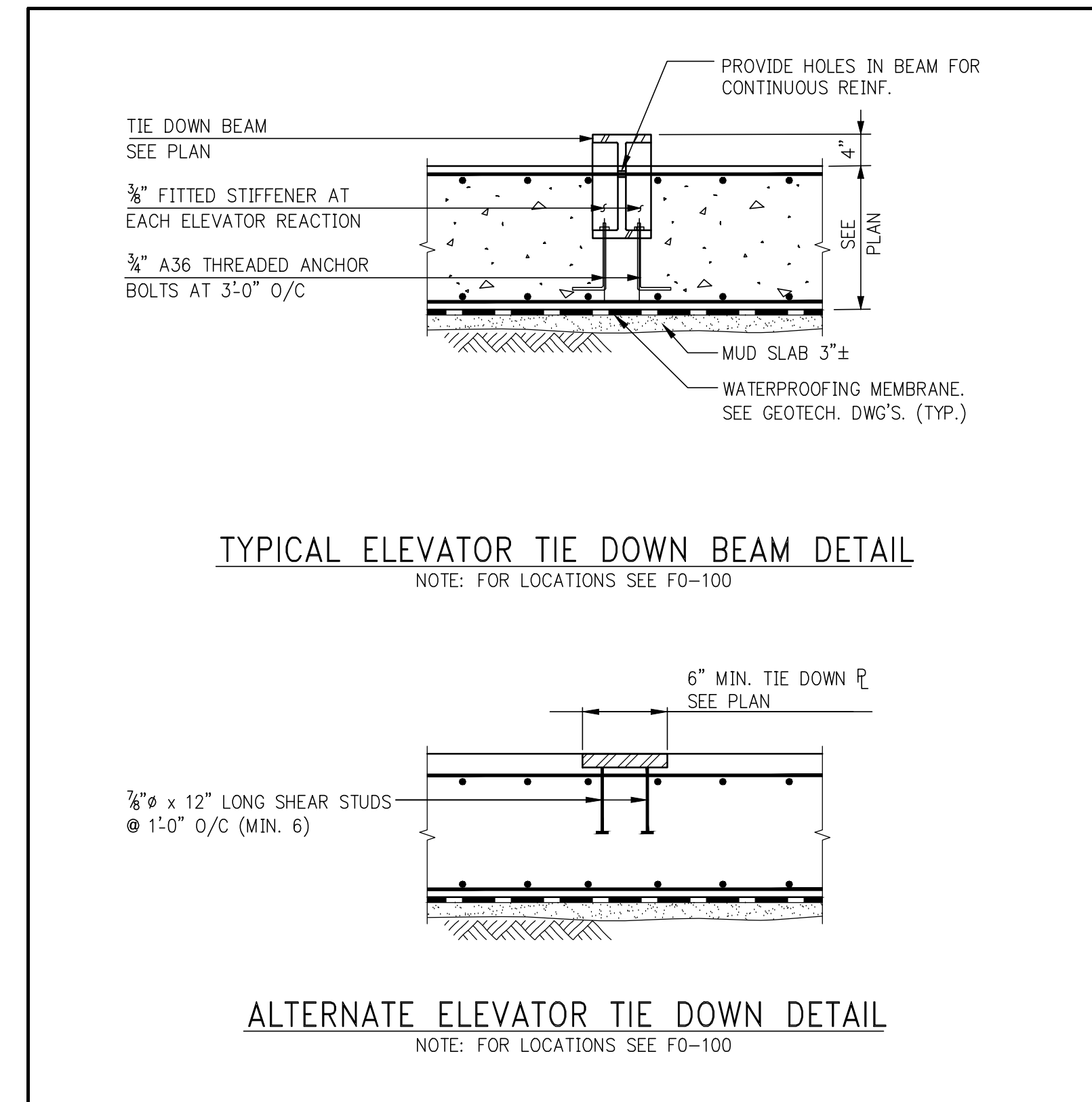
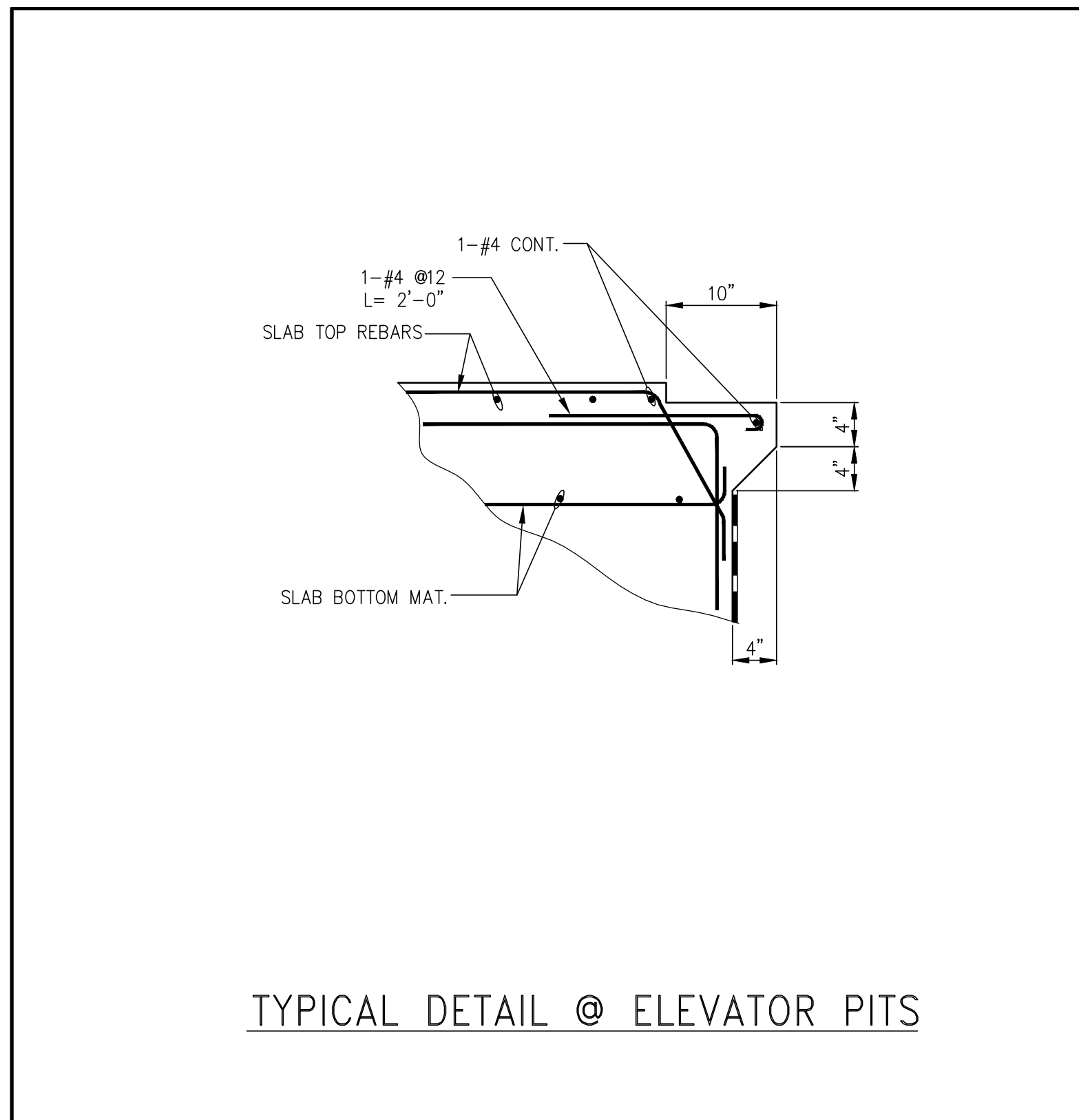
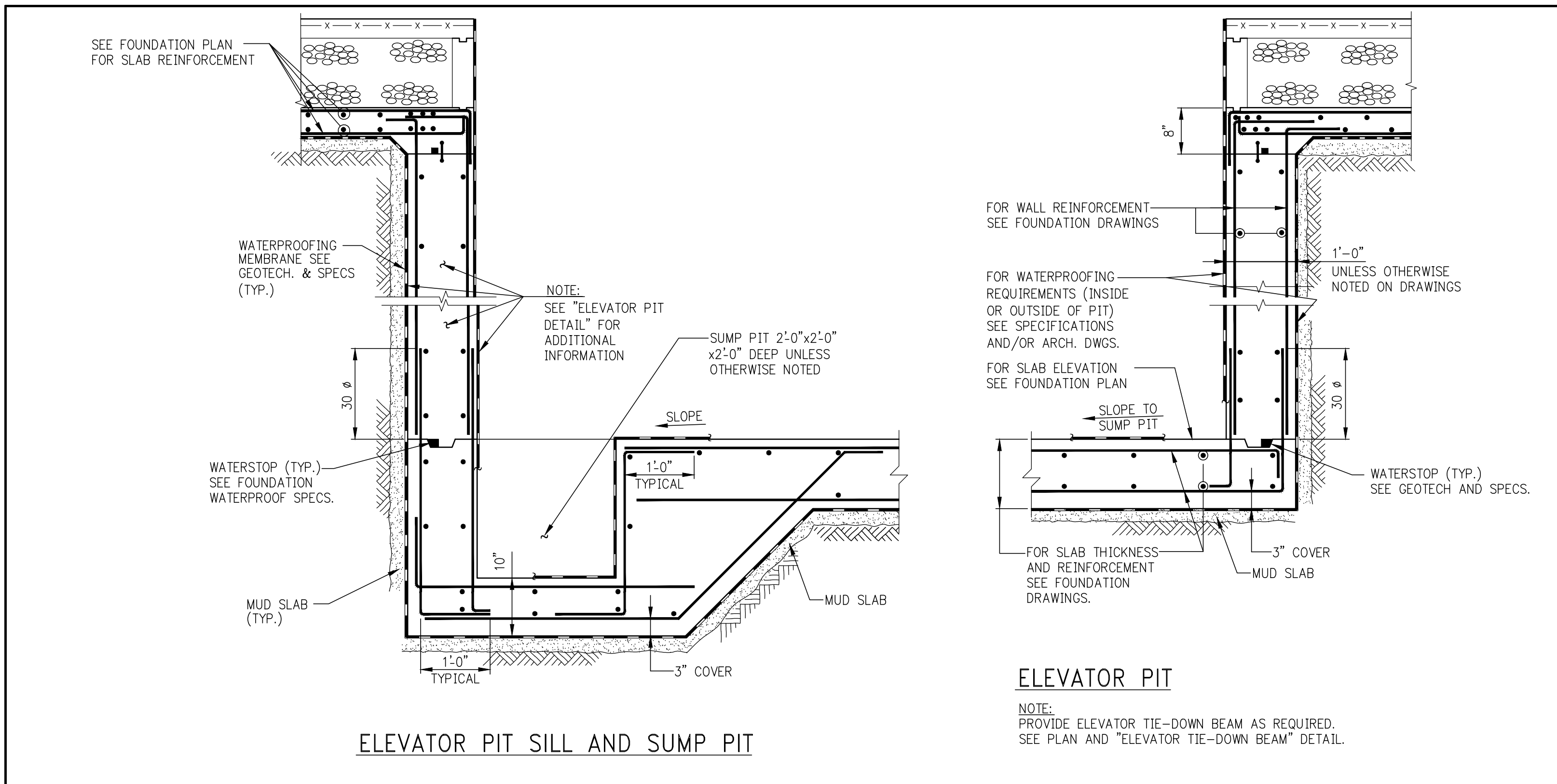
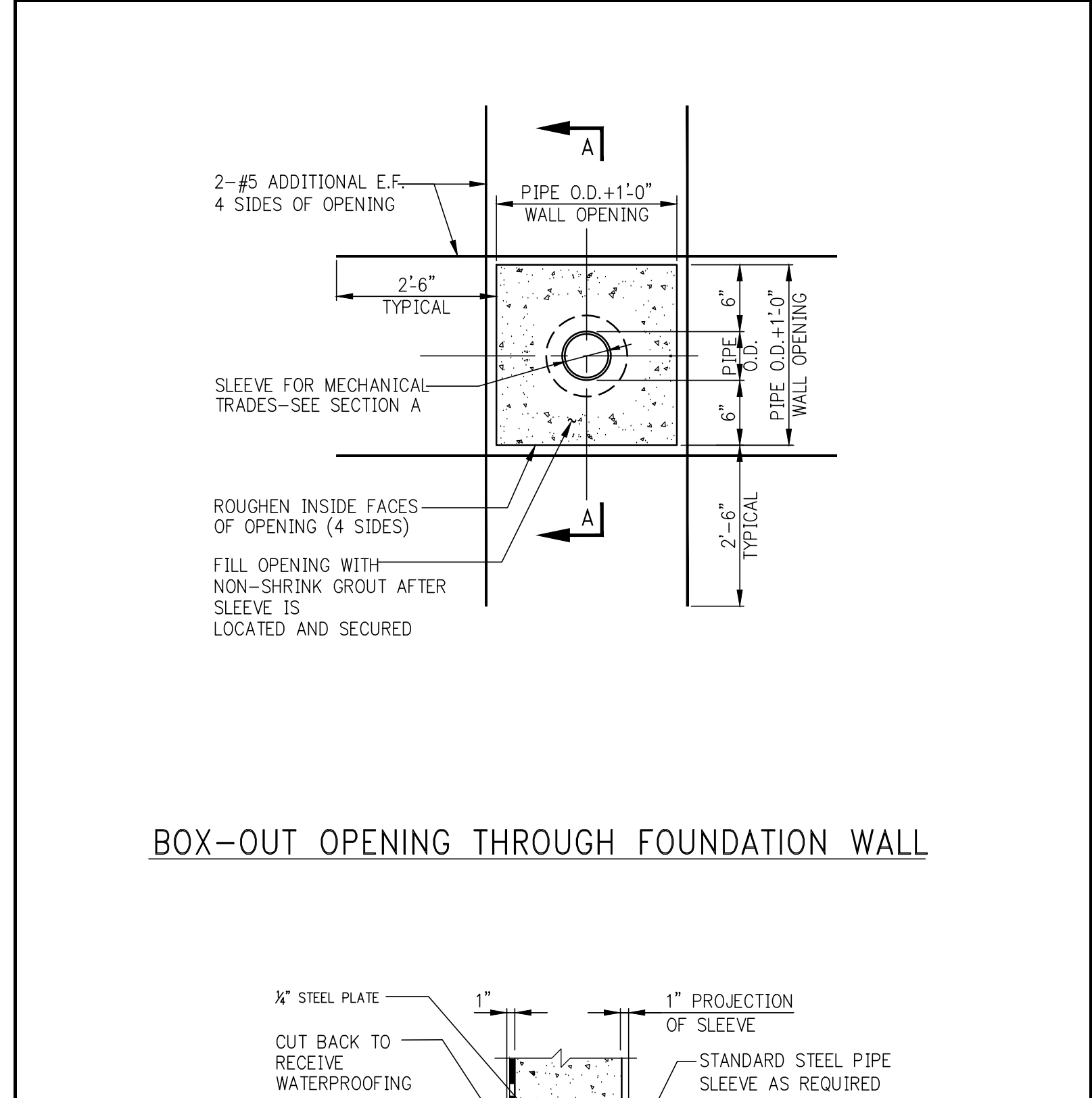
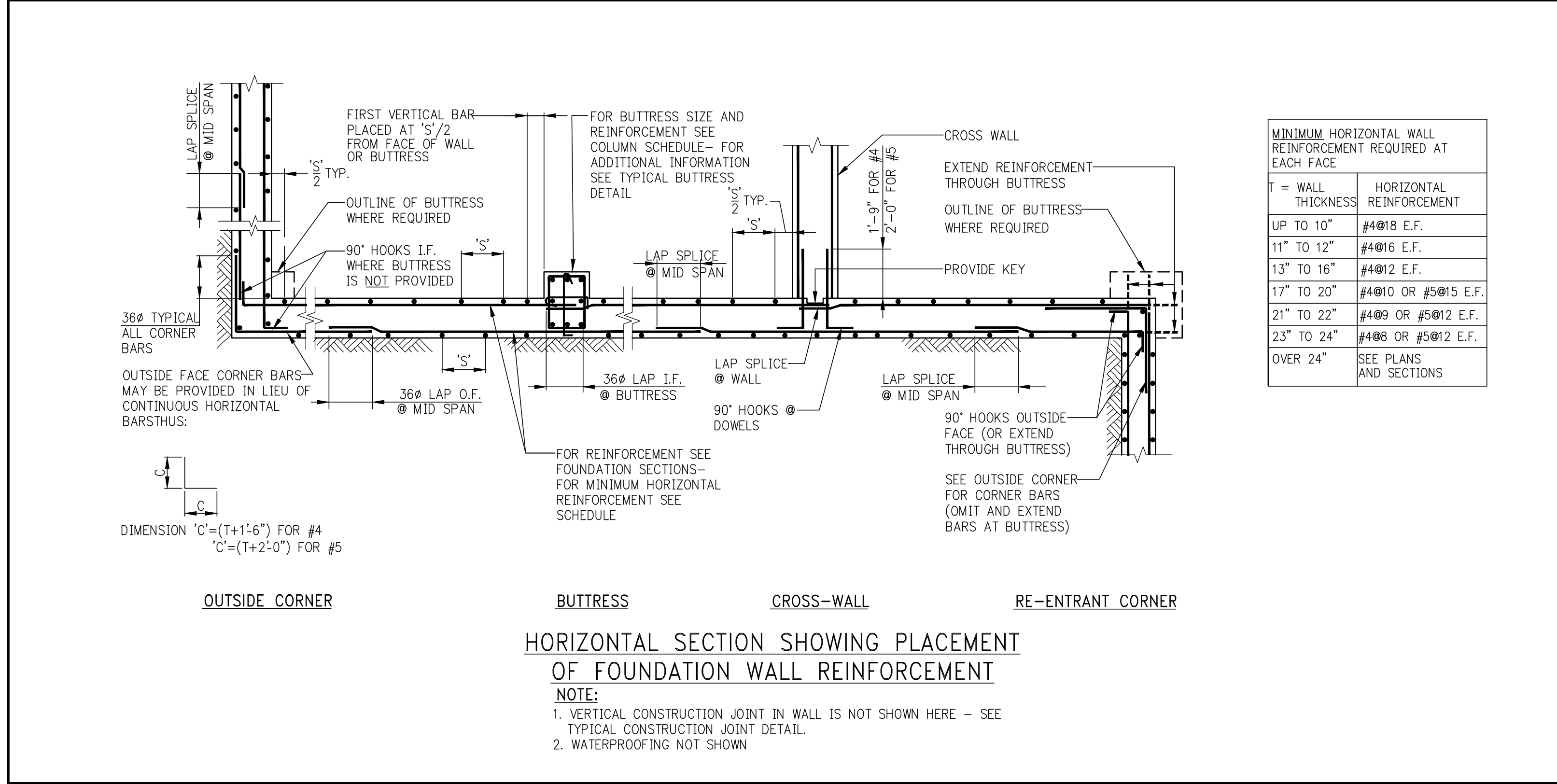
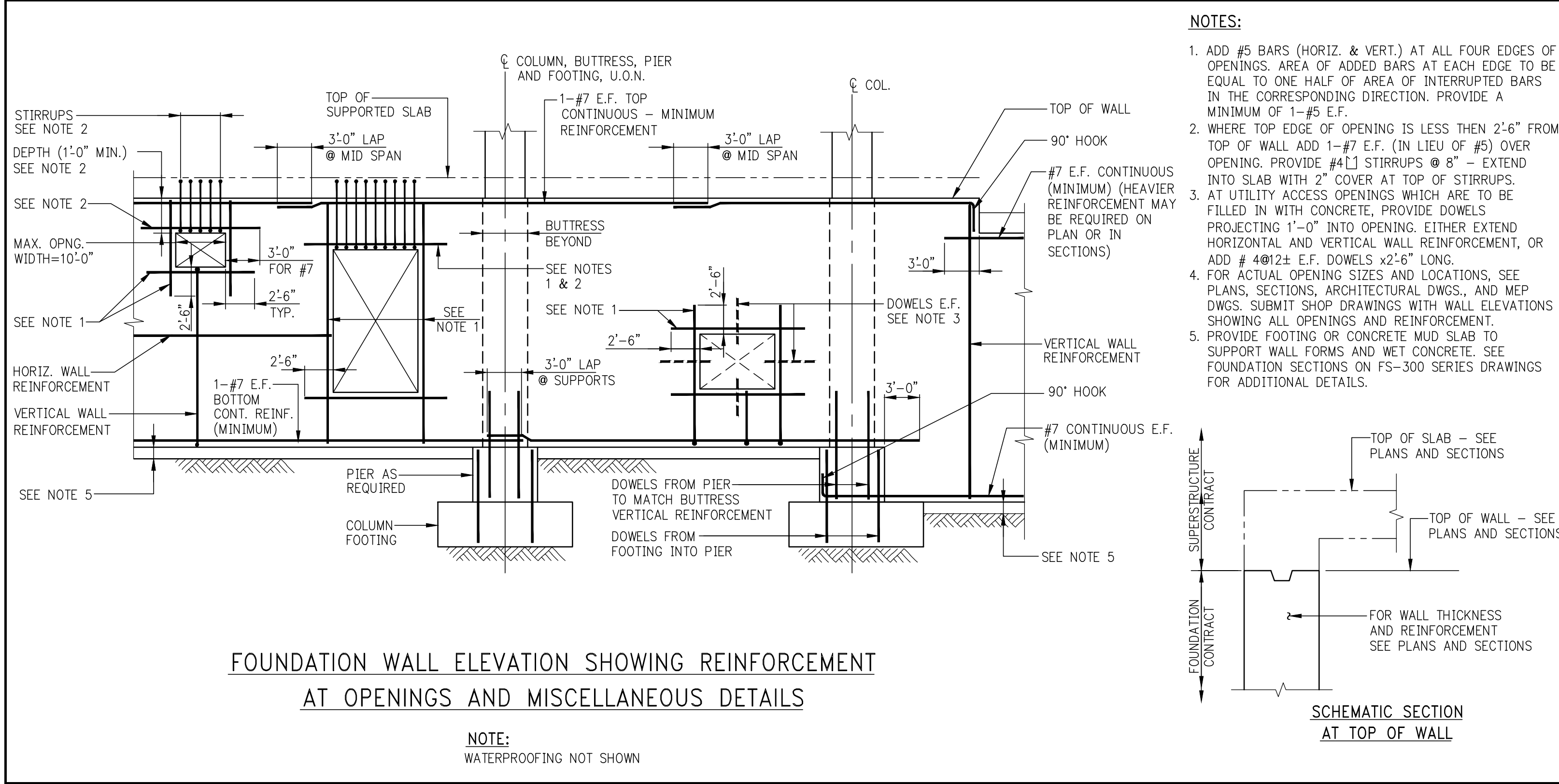
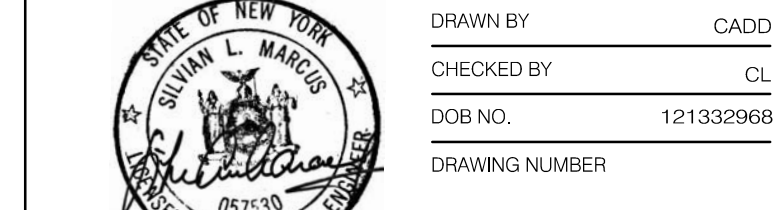


NO.	DATE	REVISION
1	3/21/15	DOOR/RAIL
2	5/14/15	DOOR/PLUMBING SET

NOT FOR CONSTRUCTION

FOUNDATION TYPICAL DETAILS 2

SCALE & SIGNATURE DATE: 07/16/15
PROJECT NO.: 1310140
DRAWN BY: CAD
CHECKED BY: CL
DOB NO.: 121330960
DRAWING NUMBER

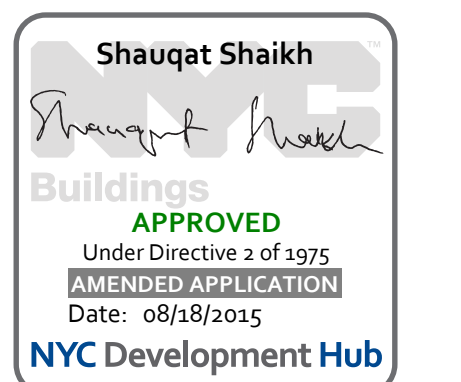


ARCHITECT		SHAP ARCHITECTS P.C.	
STRUCTURAL ENGINEER		SHAP ARCHITECTS P.C.	
MEP ENGINEER		JAMES BARM & SOLLER	
ACoustICS		LONKMAN INCORPORATED	
INTERIORS		STOCK SOURCE	
PROPERTY MARKETS GROUP		PROPERTY MARKETS GROUP	
CURRENT ISSUE		DOB PAA	



PROPERTY MARKETS GROUP
 5 EAST 17TH STREET, 2ND FLOOR
 NEW YORK, NY 10003
 TEL: 212-691-5000

DOB PAA



111 WEST 57TH STREET
 111 WEST 57TH STREET
 NEW YORK, NY 10019



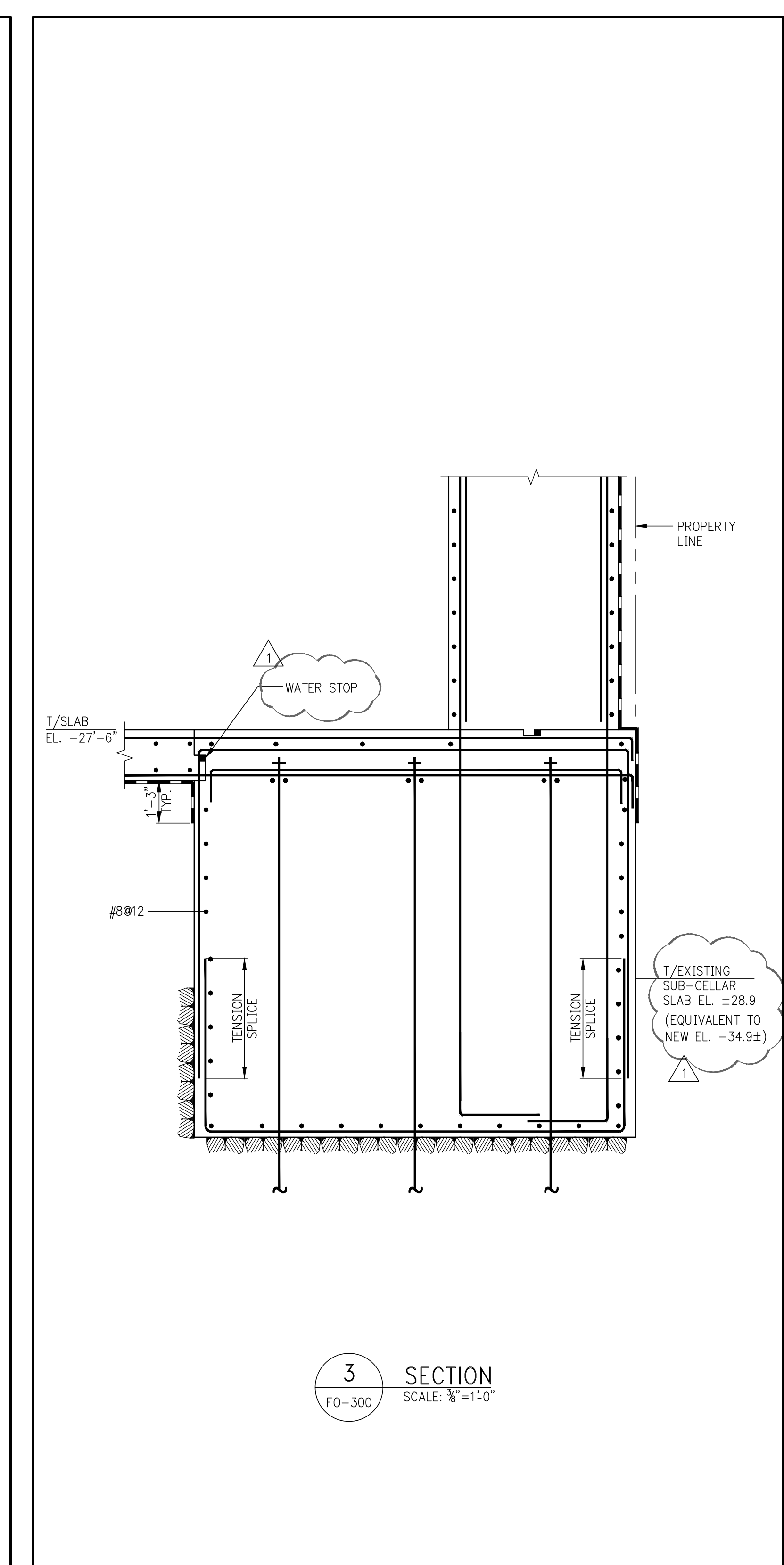
NO.	DATE	REVISION

● NOT FOR CONSTRUCTION

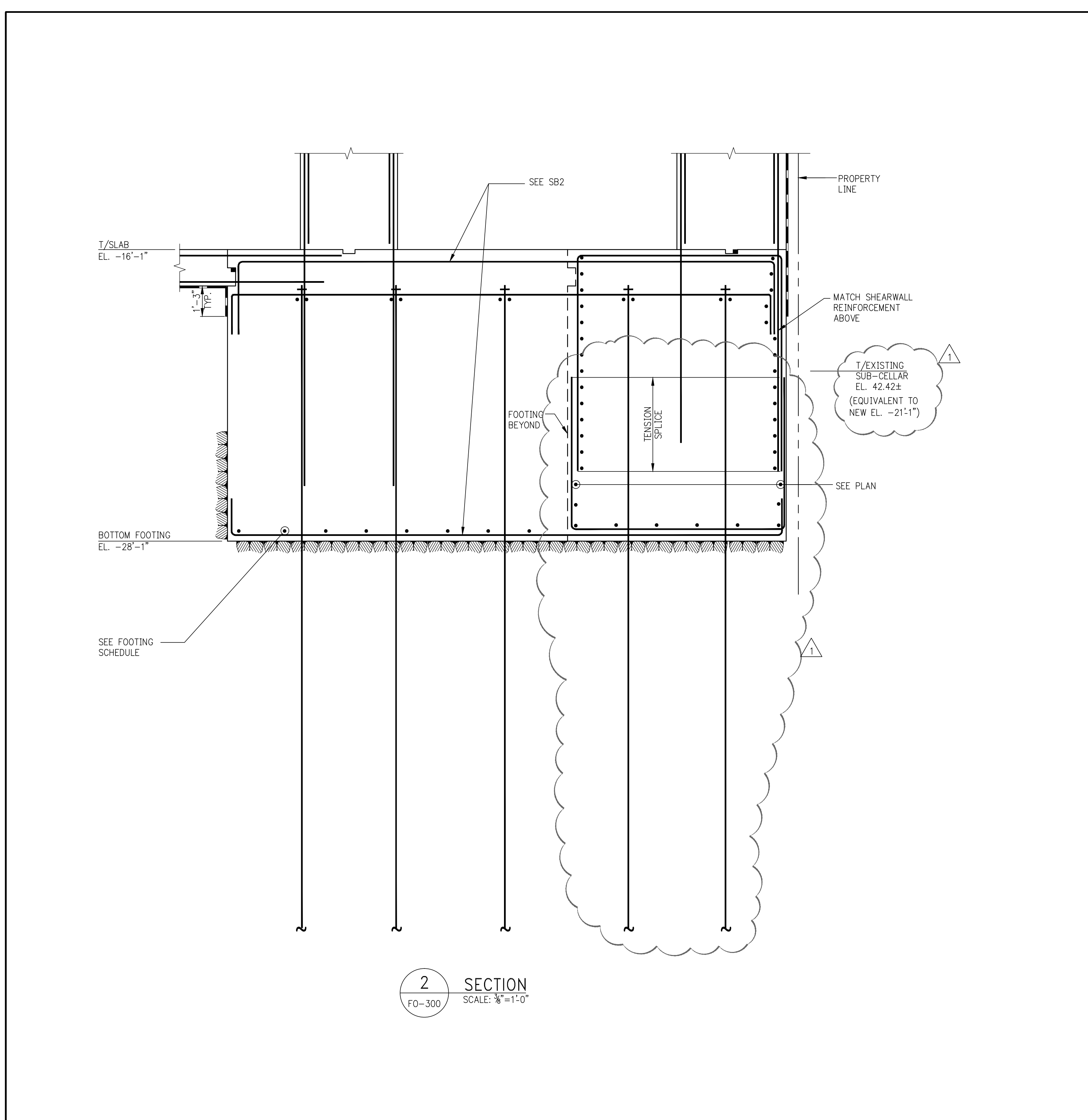
FOUNDATION SECTION 1

SEAL & SIGNATURE	DATE	07/16/15
PROJECT NO.	1310140	
DRAWN BY	CADD	
CHECKED BY	CL	
DOB NO.	121330968	
DRAWING NUMBER		

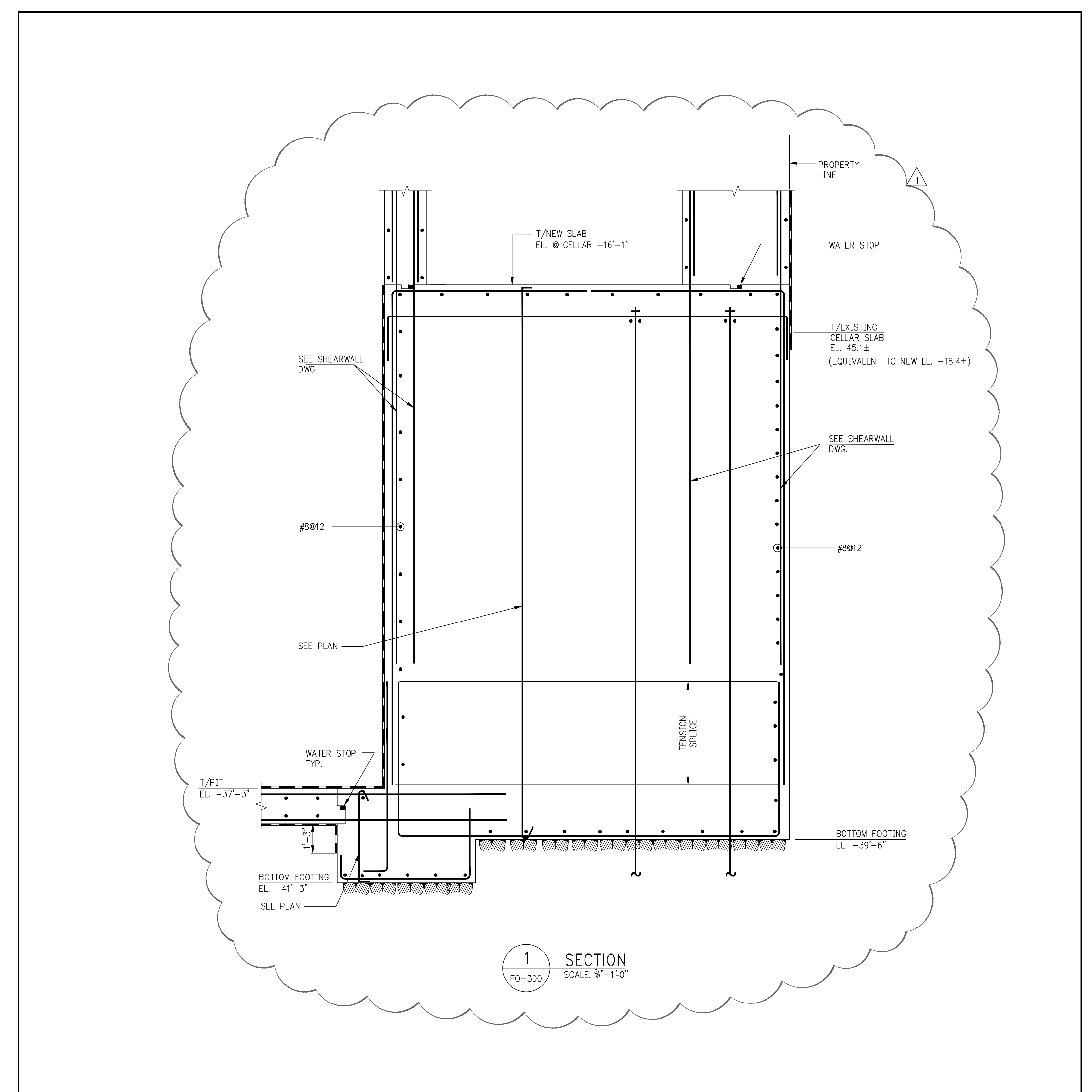
FO-300.01



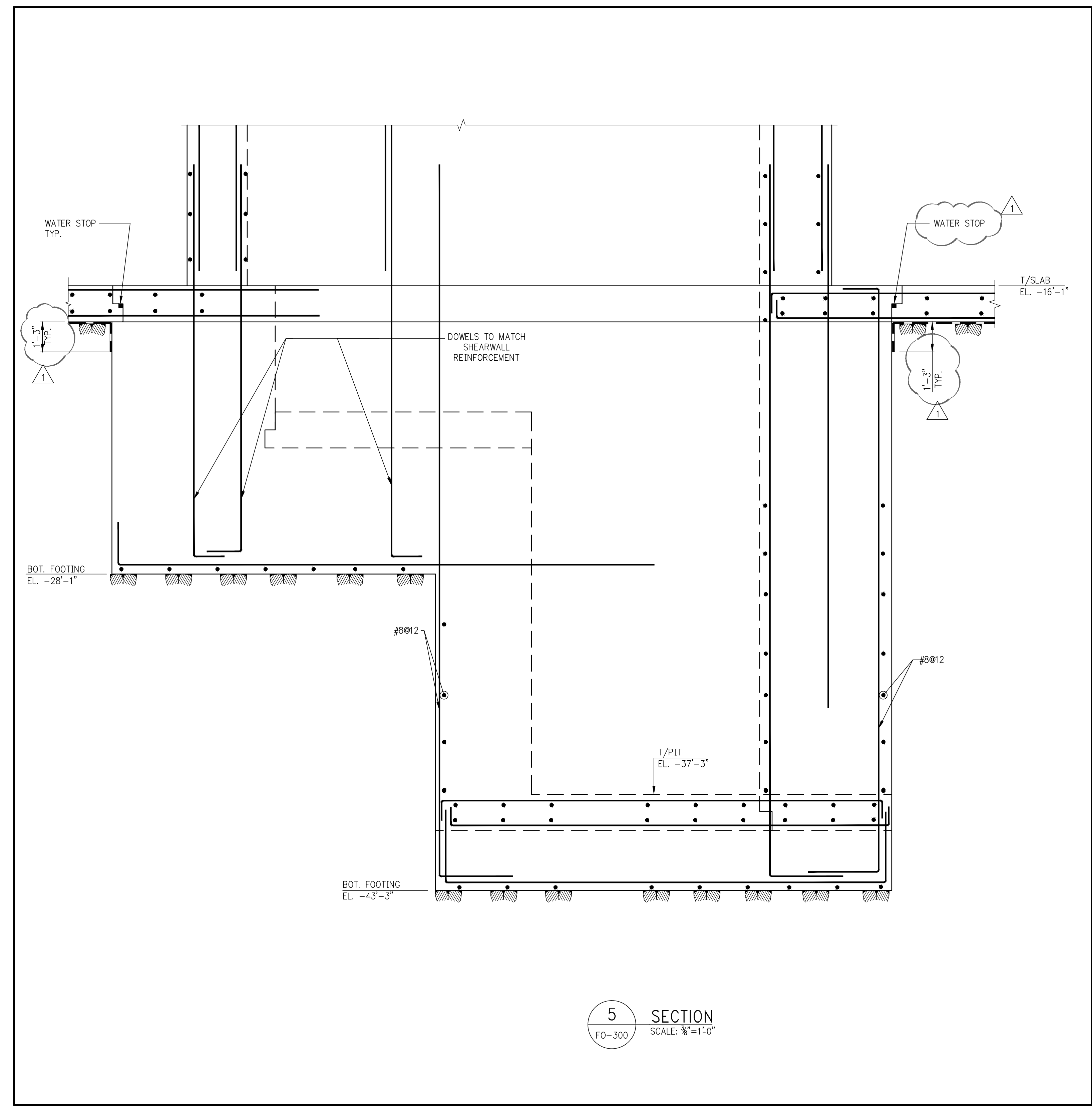
3 SECTION
 FO-300 SCALE: 3/8"=1'-0"



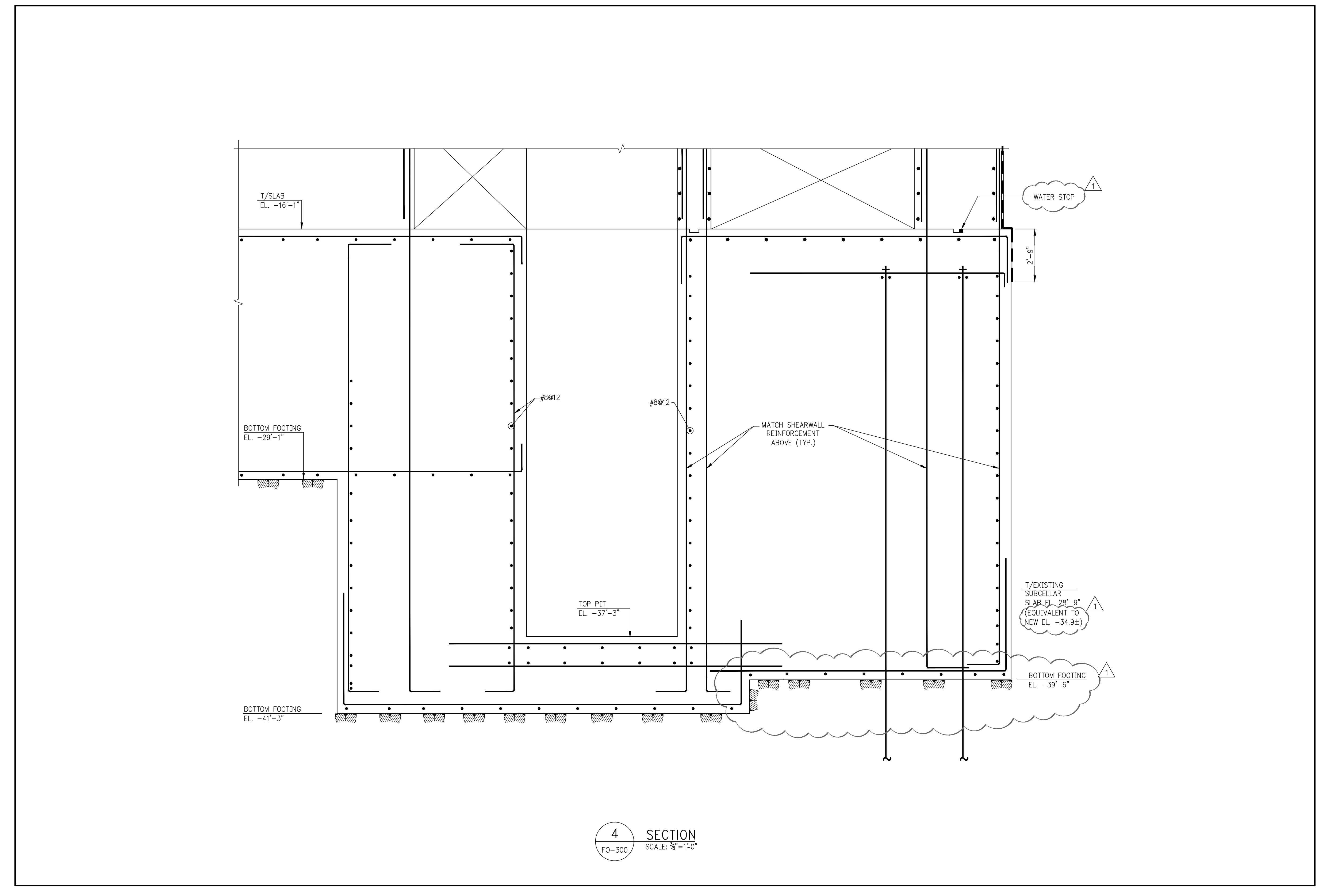
2 SECTION
 FO-300 SCALE: 3/8"=1'-0"



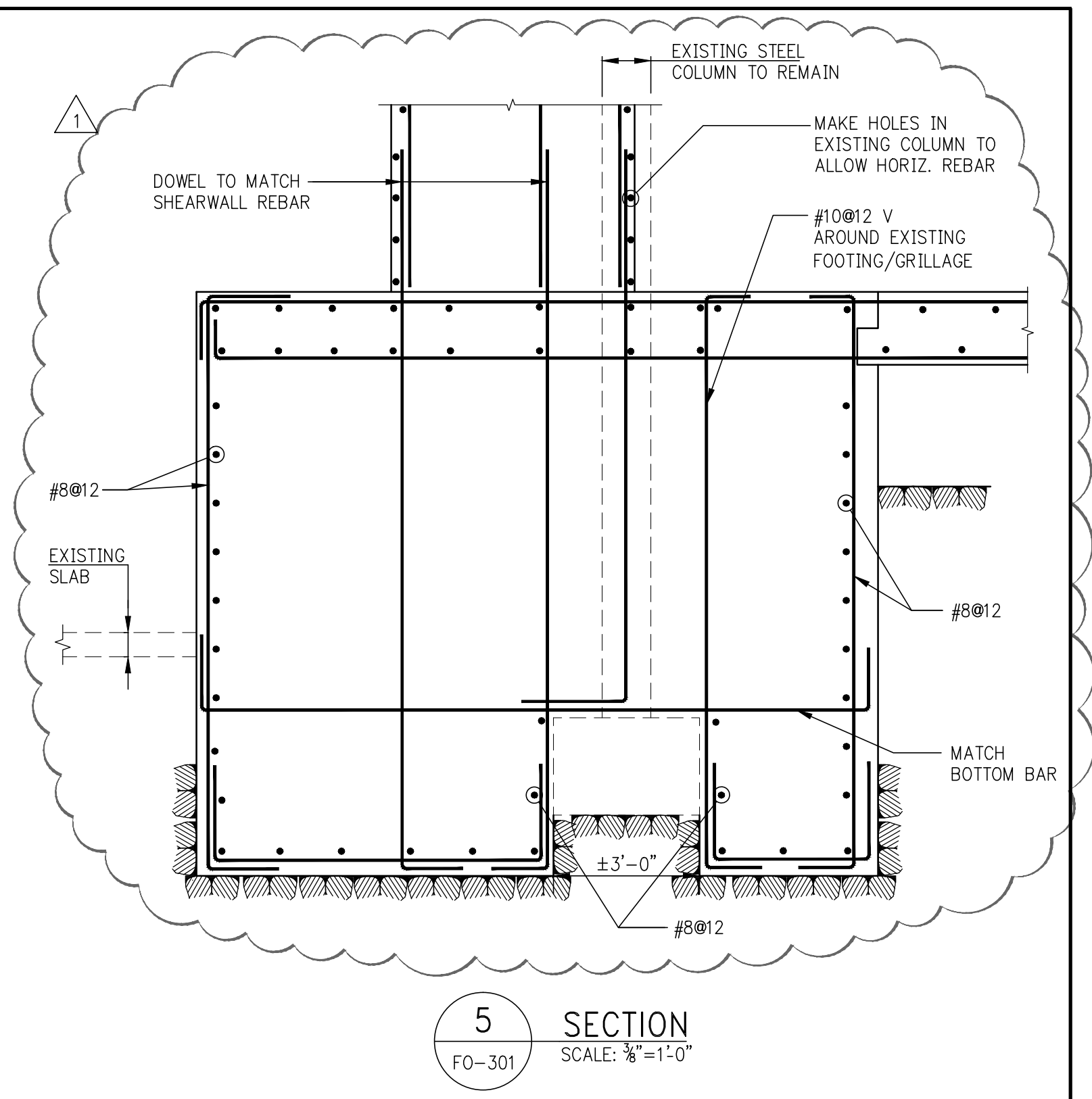
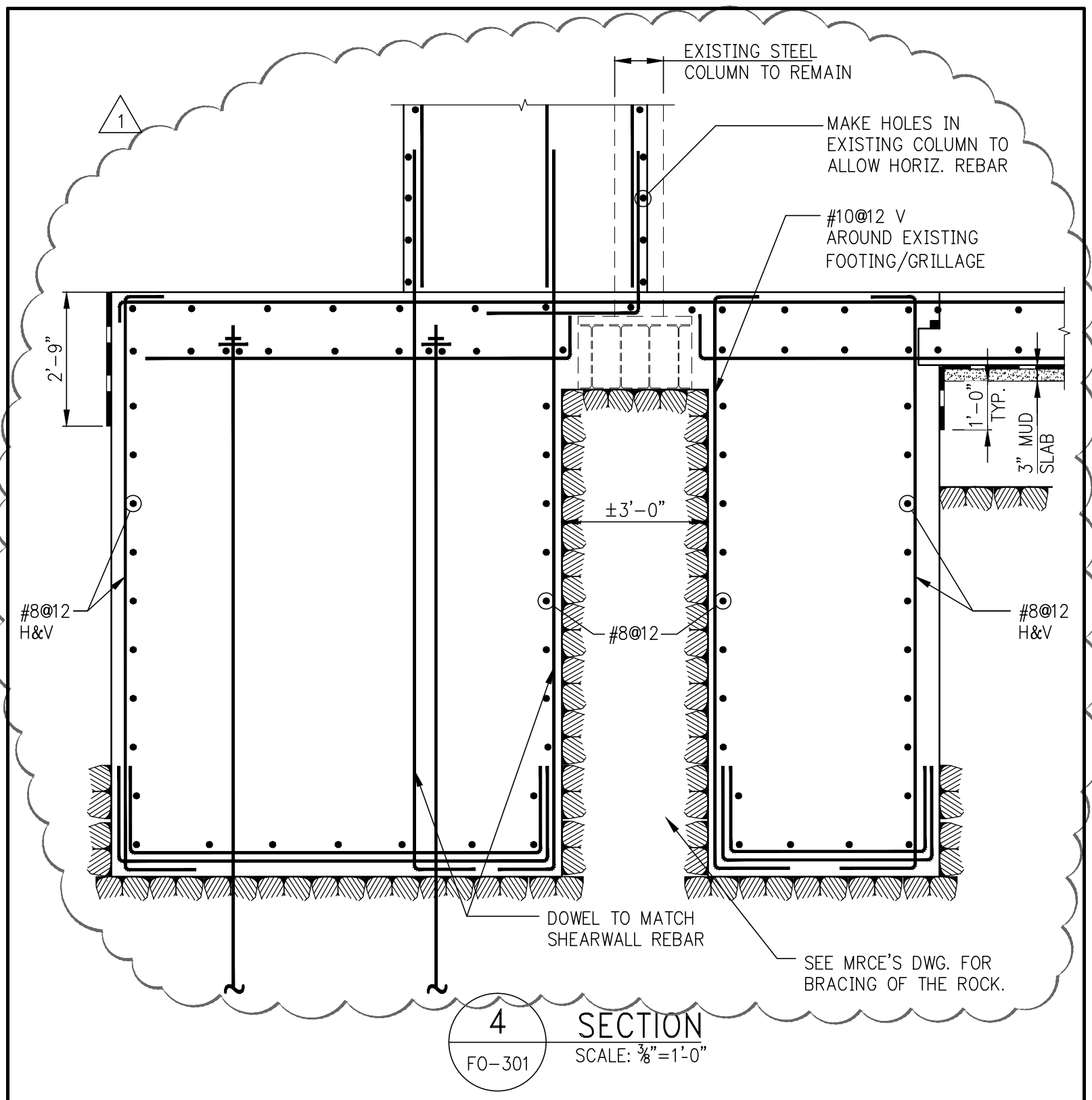
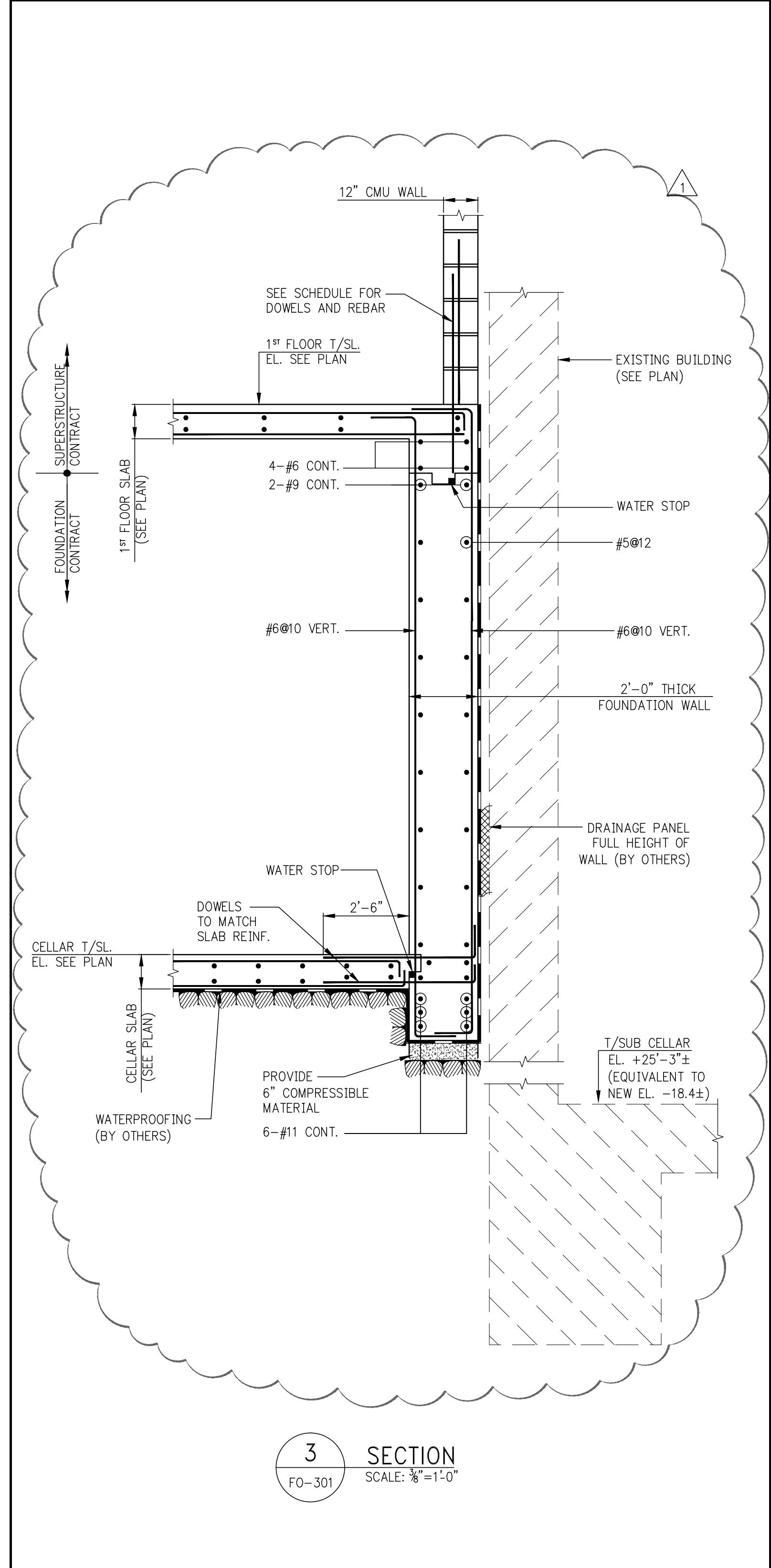
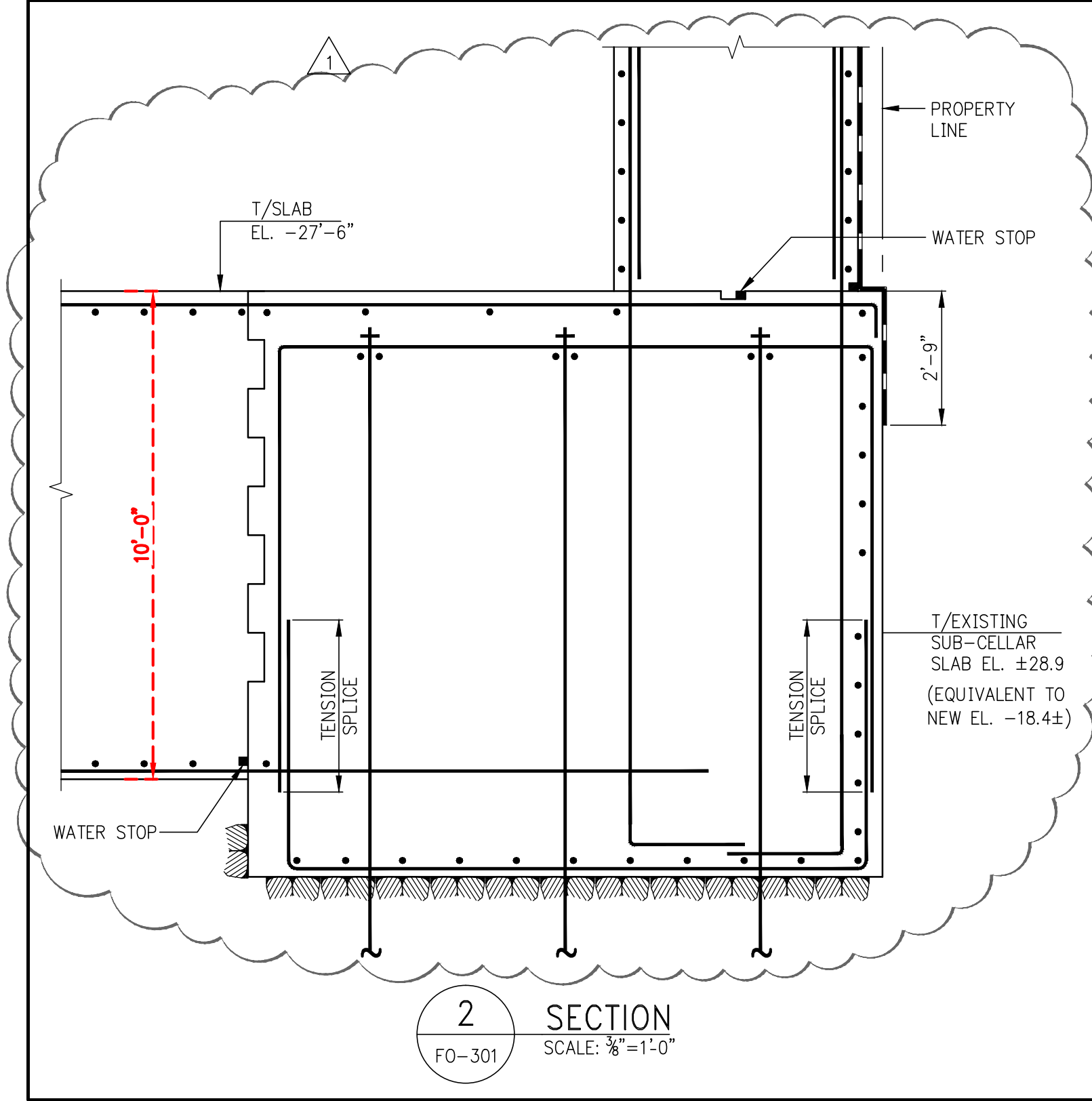
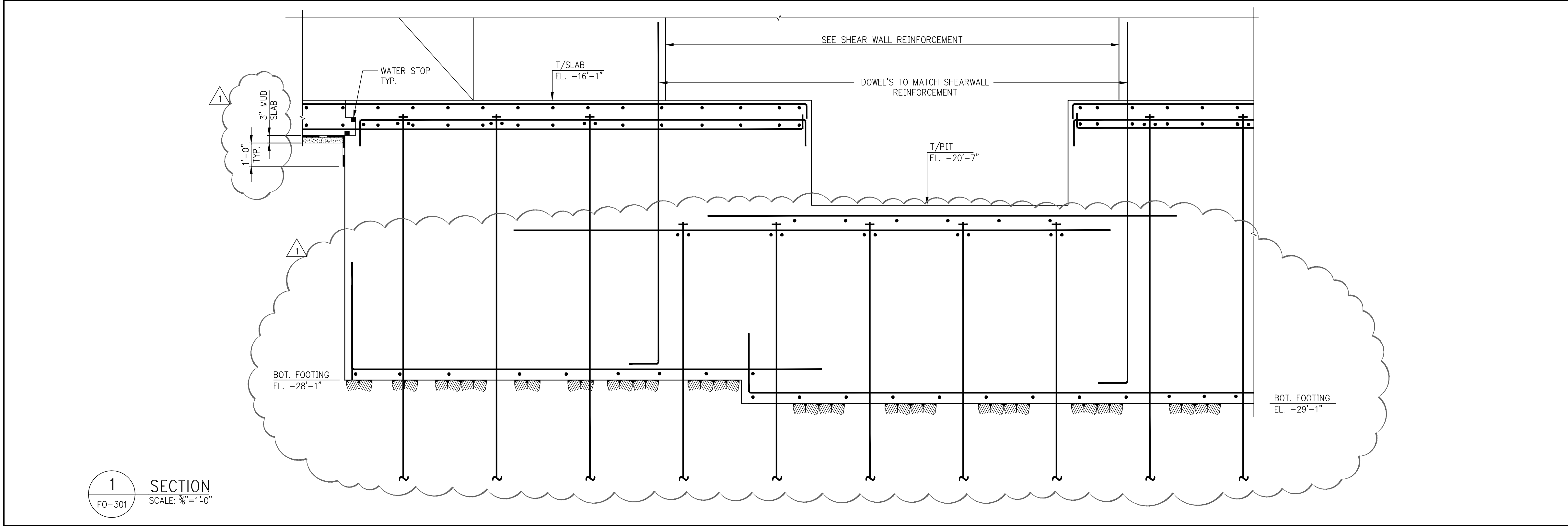
1 SECTION
 FO-300 SCALE: 3/8"=1'-0"



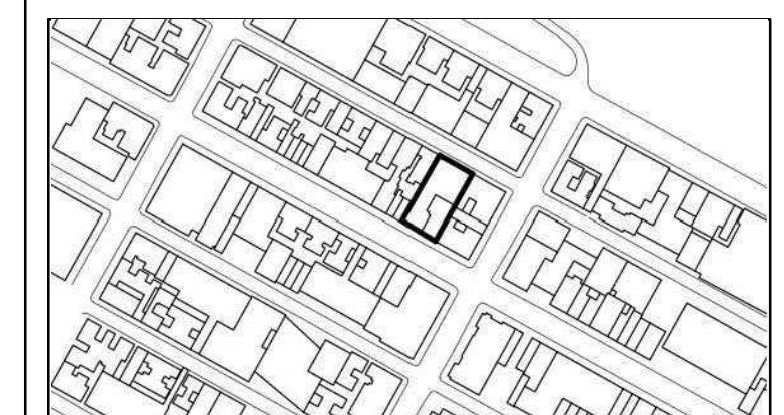
5 SECTION
 FO-300 SCALE: 3/8"=1'-0"



4 SECTION
 FO-300 SCALE: 3/8"=1'-0"



111 WEST 57TH STREET
111 WEST 57TH STREET
STREET
NEW YORK, NY
10019



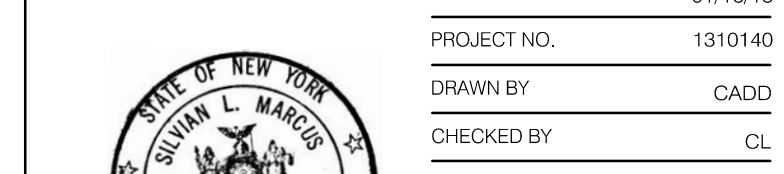
1	2015-08	DOB PAA	
2	2015-08	DOB PAA	

NO.	DATE	REVISION

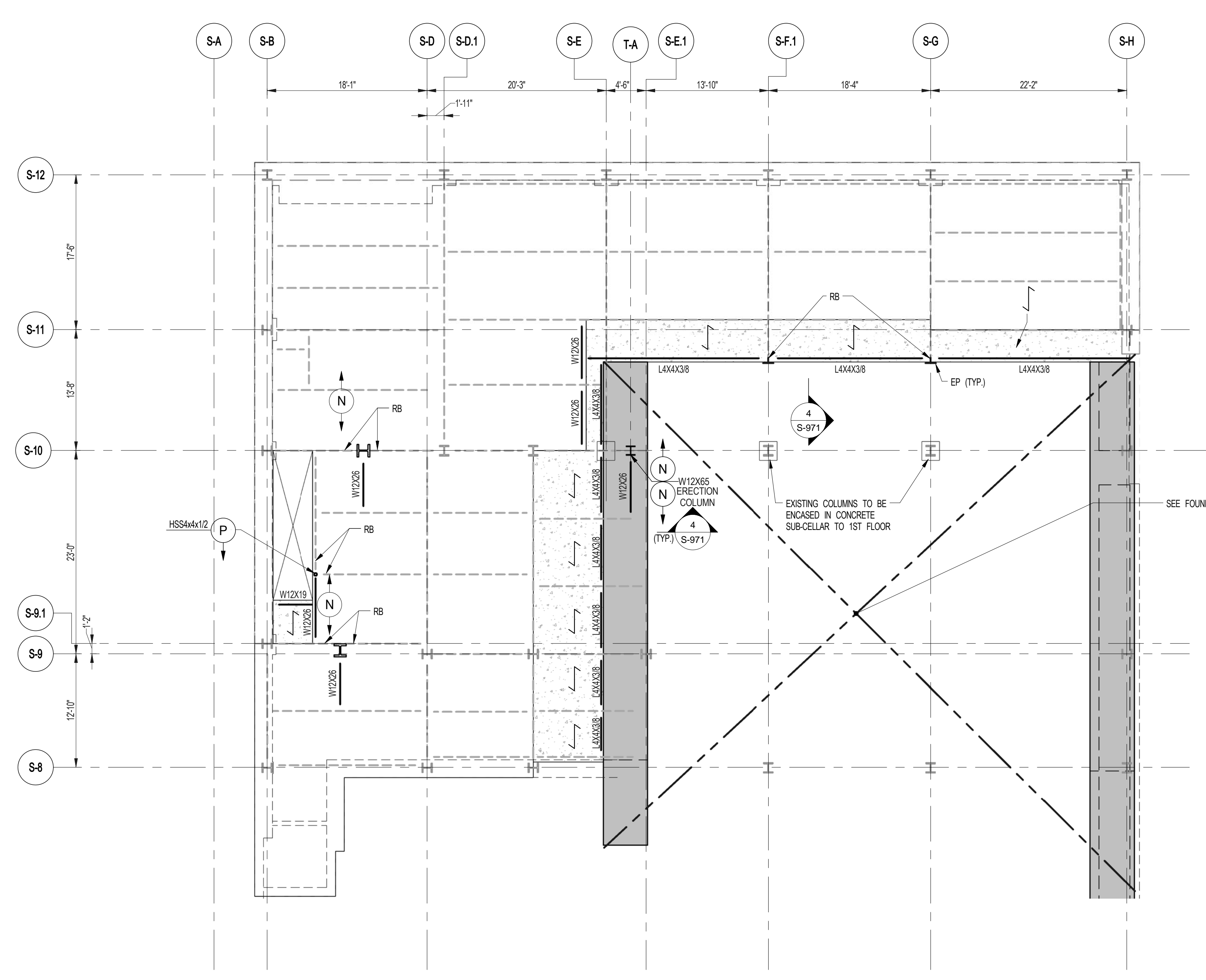
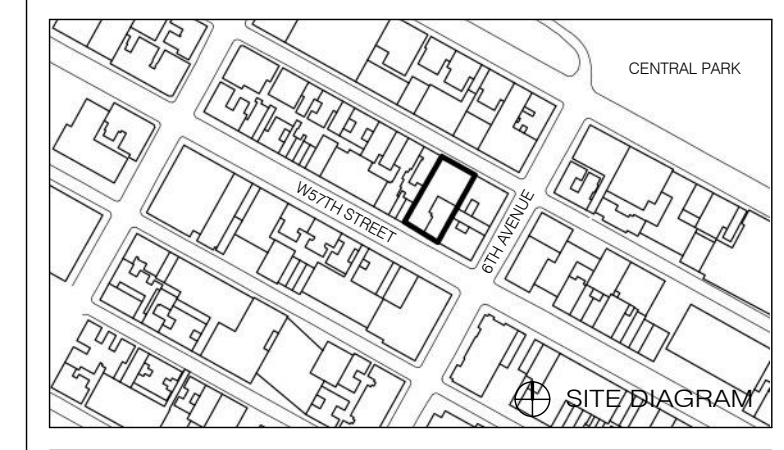
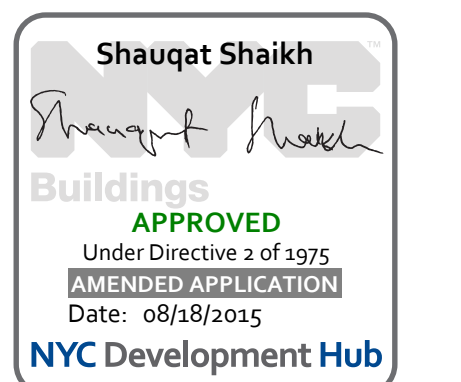
● NOT FOR CONSTRUCTION

DRAWING TITLE
FOUNDATION SECTION 2

SEAL & SIGNATURE DATE 07/16/15
PROJECT NO. 1310140
DRAWN BY CAD
CHECKED BY CL
DOB NO. 121330900
DRAWING NUMBER

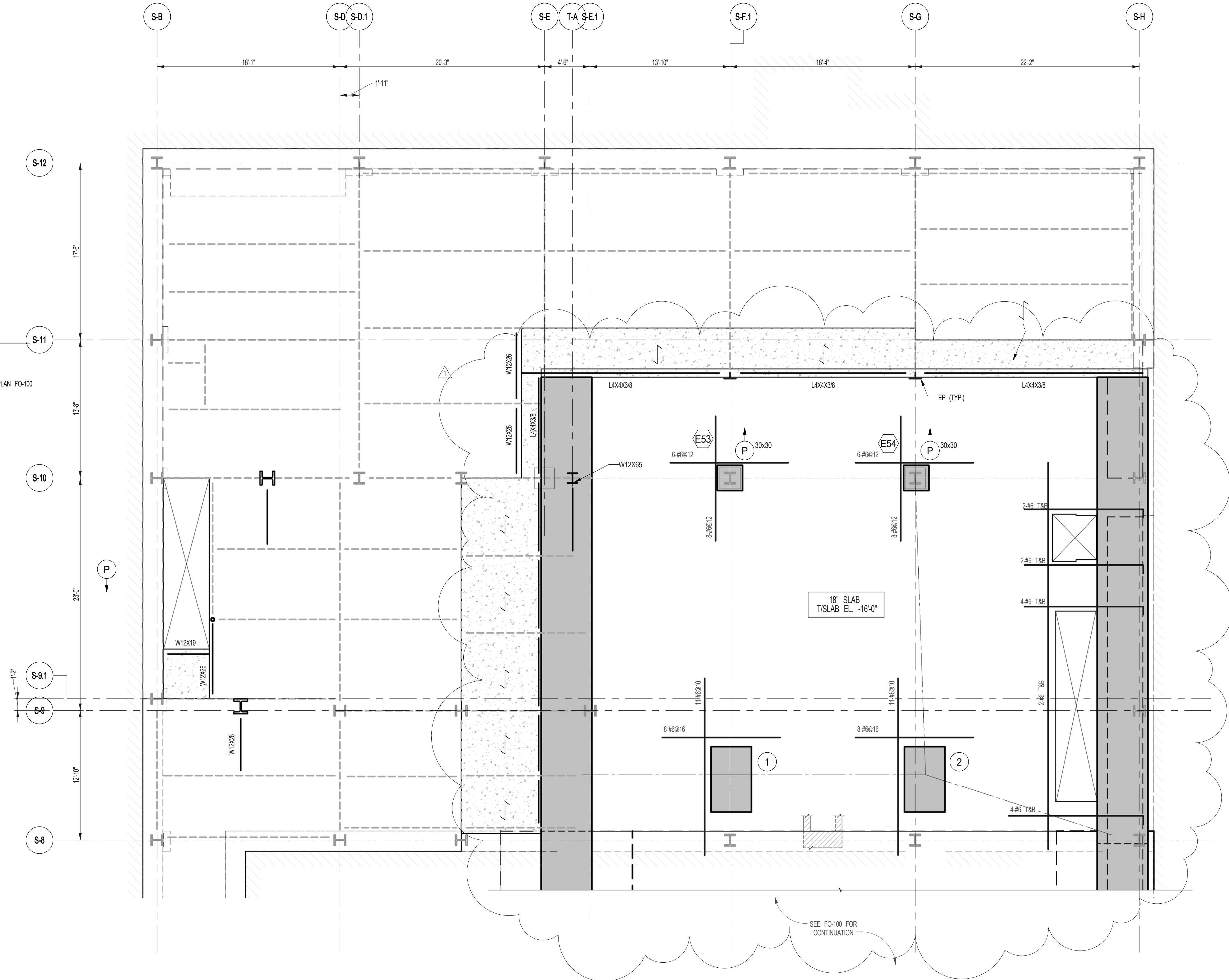


FO-301.01



1 CELLAR FRAMING PLAN
S-005 SCALE: 1/8" = 1'-0"

- NOTES:
- INDICATES NEW SLAB CONSTRUCTION. SEE SECT. 35-81
 - ELEVATION SHOWN THIS (---) INDICATES TESTS ELEVATION ABOVE TISLAB
 - FOR ADDITIONAL NOTES AND LEGEND SEE DRAWING FD-01
 - INSTALL 3/8"x2" LONG OVER DECK SHEAR CONNECTORS @ 1'-0" ON ALL NEW BEAMS WITH NEW DECK. U.O.N.
 - INDICATES 30x30 POST W9x49



2 ENLARGED CONCRETE FRAMING PLAN
S-005 SCALE: 3/16" = 1'-0"

- NOTES:
- TOP OF CONCRETE SLAB TO BE -18'-0" U.O.N.
 - SLAB THICKNESS TO BE 12" U.O.N. THIS (---) ON PLAN
 - TOP AND BOTTOM REINFORCEMENT TO BE #8@12" E-W. CONTINUOUS FOR 18" SLAB

1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET

NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHP ARCHITECTS P.C. ALL RIGHTS RESERVED.

NOT FOR CONSTRUCTION

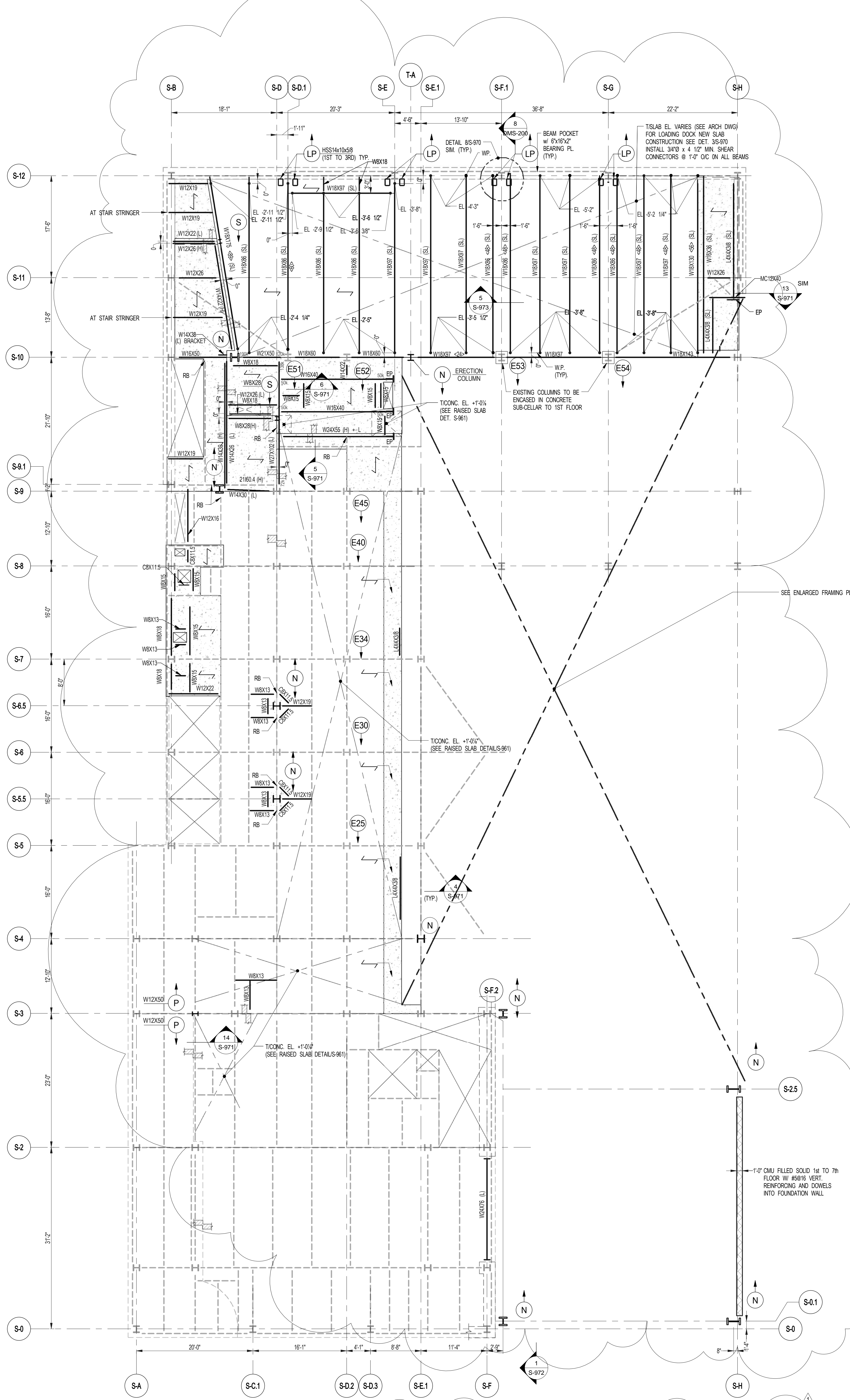
DRAWING TITLE

CELLAR FRAMING PLAN

SEAL & SIGNATURE DATE 5.1.14
PROJECT NO. 1310180
DRAWN BY CADD
CHECKED BY RK
DOB NO. 0915
DRAWING NUMBER



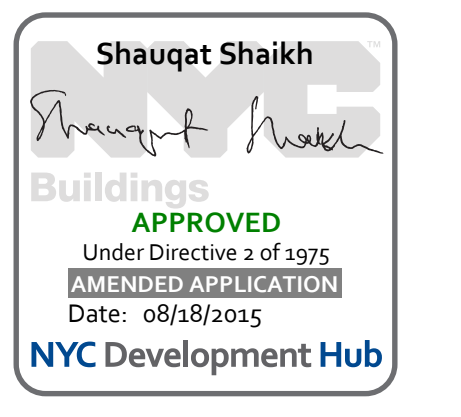
S-005.01



ARCHITECT	SHAP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10007 TEL: 212 869 9300	FACADE	SHAP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10007 TEL: 212 869 9300
STRUCTURAL ENGINEER	YUSEF CANTONI ENGINEER 228 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212 867 9886	MEP ENGINEER	JAVROS, BAUM & BOLLER 80 HUNTER STREET, 10TH FLOOR NEW YORK, NY 10002 TEL: 212 869 8333
MEP ENGINEER	JAVROS, BAUM & BOLLER 80 HUNTER STREET, 10TH FLOOR NEW YORK, NY 10002 TEL: 212 869 8333	VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 300 WEST STREET, SUITE 200 LARKSPUR, NJ 07033 TEL: 973 946 8775
CIVIL ENGINEER	AVRIF ENGINEERING, P.C. 400 WEST 46TH STREET, 7TH FLOOR NEW YORK, NY 10018 TEL: 212 264 6462	RESTORATION	JAN HRO FOKORNY ASSOCIATES 80 WEST 47TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 212 264 6462
ACOUSTICIAN	LONGMAN LINDSEY 40 WEST 47TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 212 264 6462	GEOTECH	NYCE 300 WEST 47TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 212 264 6462
INTERIORS	STUDIO JOSEPH 200 WARE STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 475 3000	LIGHTING	CONSERVATORIE INTERNATIONAL 100 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 264 6462



PROPERTY MARKETS GROUP
100 WEST 47TH STREET, 4TH FLOOR
NEW YORK, NY 10018
TEL: 212 869 9300
CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB PLNG SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.

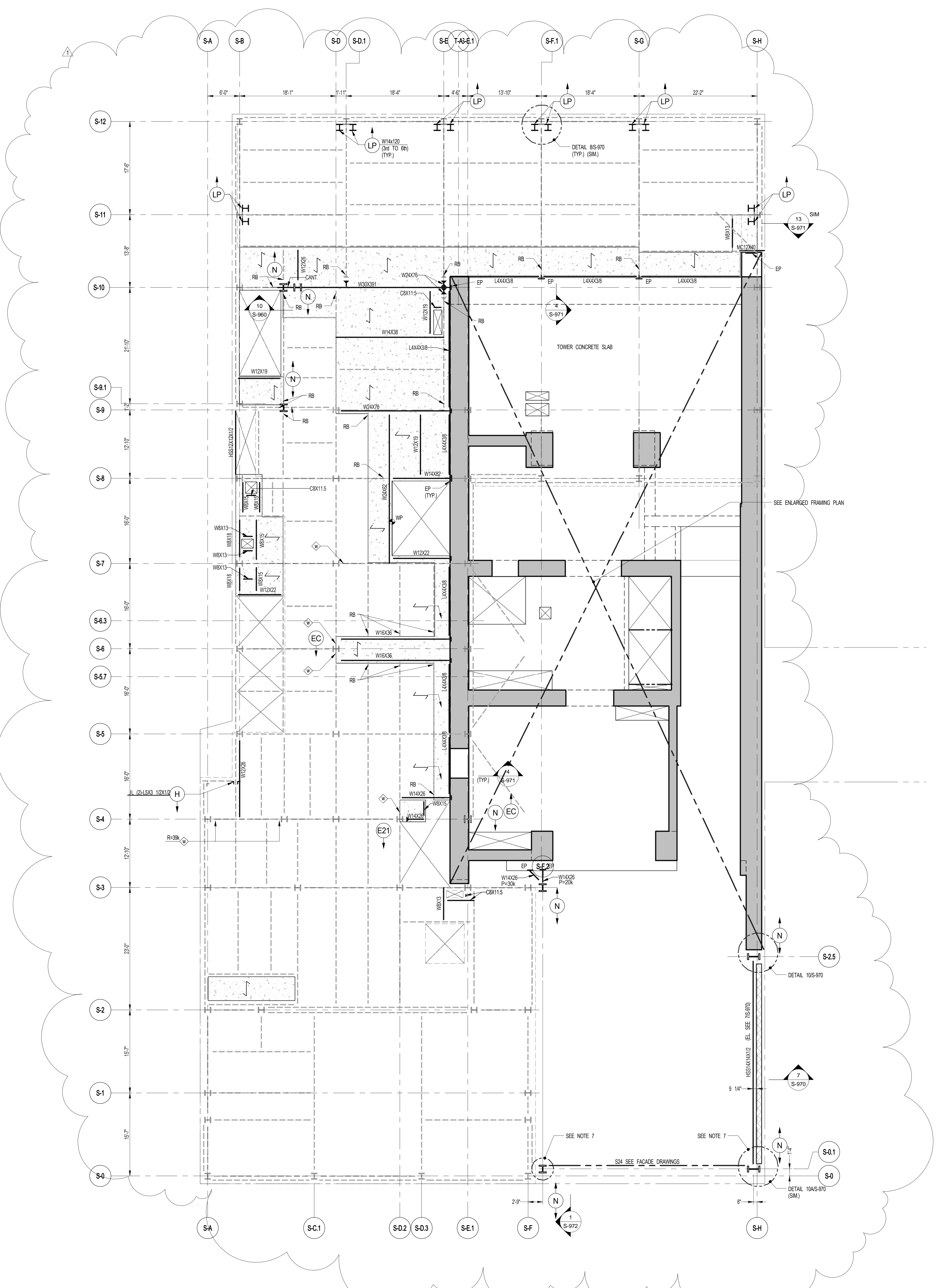
NOT FOR CONSTRUCTION

DRAWING TITLE

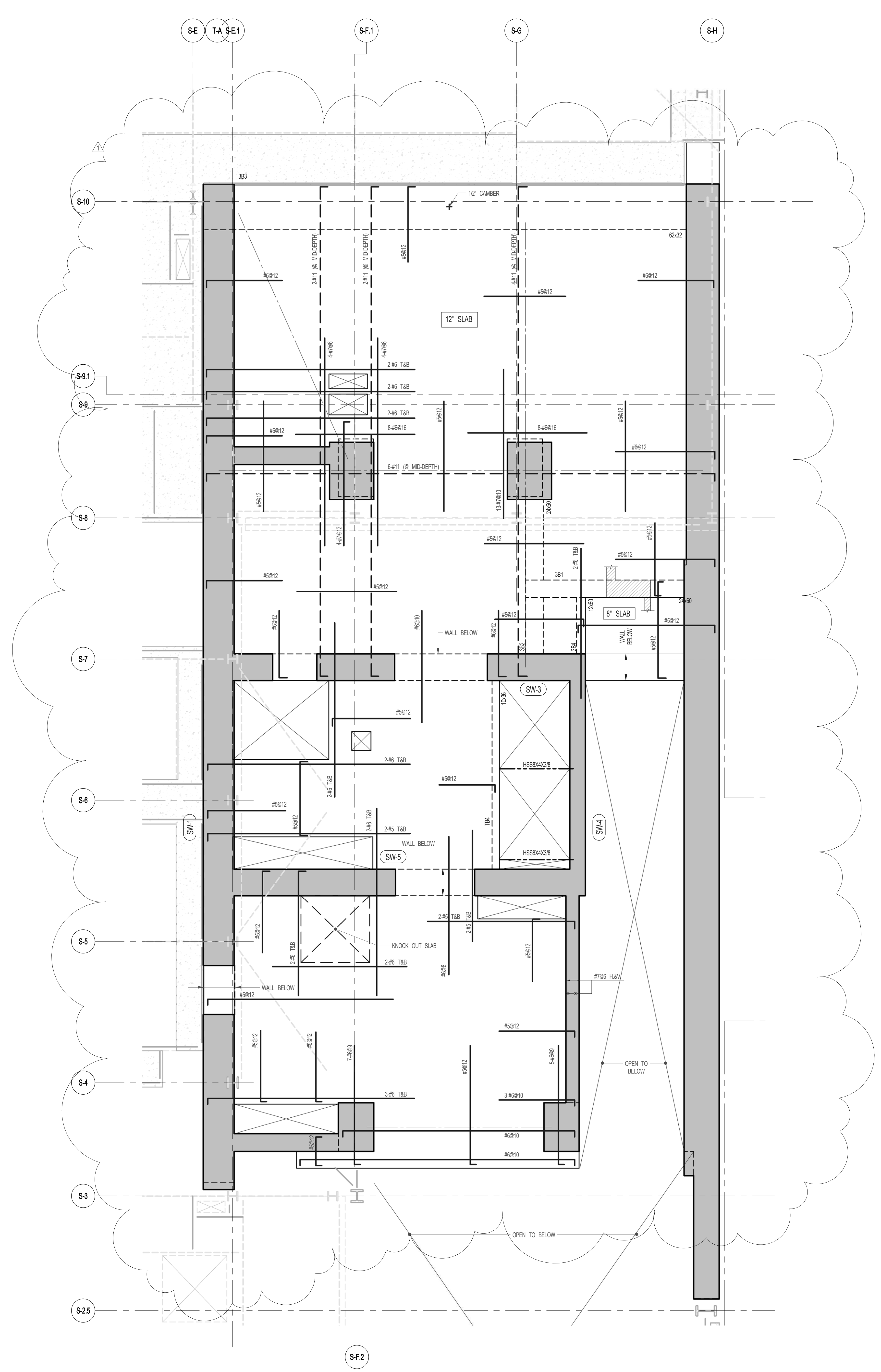
3RD FLOOR FRAMING PLAN

SEAL & SIGNATURE	DATE	5.1.14
PROJECT NO.	1310180	
DRAWN BY	CADD	
CHECKED BY	PK	
DOB NO.	09178	
DRAWING NUMBER		

S-030.01



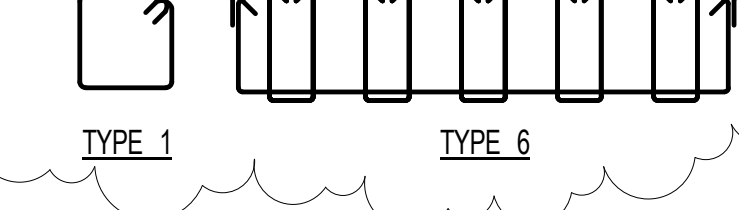
- 1**
S-030
3RD FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"
- NOTES:
- INDICATES NEW SLAB CONSTRUCTION. SEE SECT. 35-61.
 - ELEVATION SHOWS TRUS + - INDICATES STEEL ELEVATION ABOVE TSLAB.
 - FOR ADDITIONAL NOTES AND LEGEND SEE DRAWING PDD01.
 - INSTALL 2" LONG OVER BECK SHEAR CONNECTORS @ 1'-0" ON ALL NEW BEAMS WITH NEW BECK LVL.
 - FOR OPENING DIMENSIONS SEE ARCH DWG.
 - PH - INDICATES REVERSIBLE SERVICE WALL LOAD IN KIPS FOR DESIGN OF CONNECTION.
 - PROVIDE COLUMN 1/2" STIFF PLATES (SS) AT SVH BEAM CONNECTION.

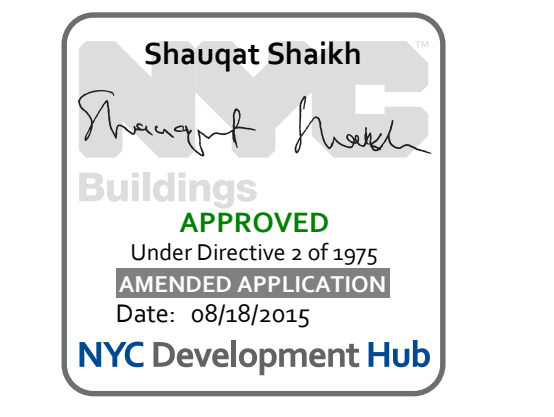


2
S-030
ENLARGED CONCRETE FRAMING PLAN
SCALE: 3/16" = 1'-0"

- NOTES:
- TOP OF SLAB EL. SEE ARCH DRAWINGS.
 - SLAB THICKNESS TO BE 12" UNLESS OTHERWISE NOTED.
 - BOTTOM REINFORCEMENT TO BE #4@12" E-W. CONTINUOUS FOR 8" SLAB.
 - FOR BALANCE OF NOTES SEE DRAWING S-030.

BEAM MARK	SIZE		REINFORCEMENT			STIRRUPS			REMARKS
	WIDTH	DEPTH	BOTTOM CONTINUOUS	TOP CONTINUOUS	TOP ADD'L BARS AT SUPPORT	TYPE	SIZE	SPACING	
3B1	24	60	4-#10	4-#8		1	#4	@12	
3B2	24	60	4-#11	4-#11		1	#4	@12	
3B3	62	30	10-#11	10-#11		6	#4	@12	
3B4	12	60	4-#8	4-#6		1	#4	@12	



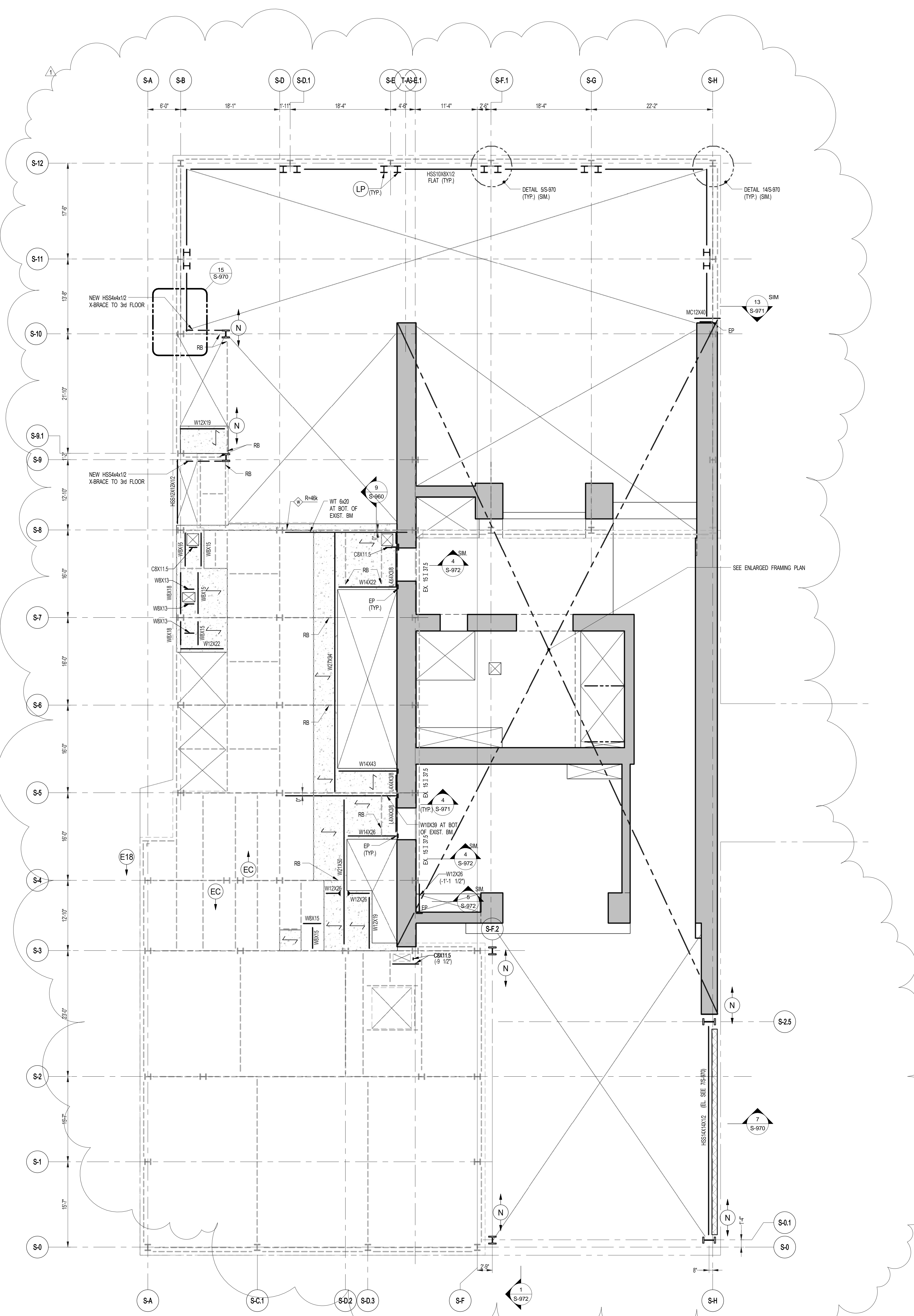


1	3.27.15	DOB PAA
	5.1.14	DOB FLING SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHP ARCHITECTS P.C. ALL RIGHTS RESERVED.

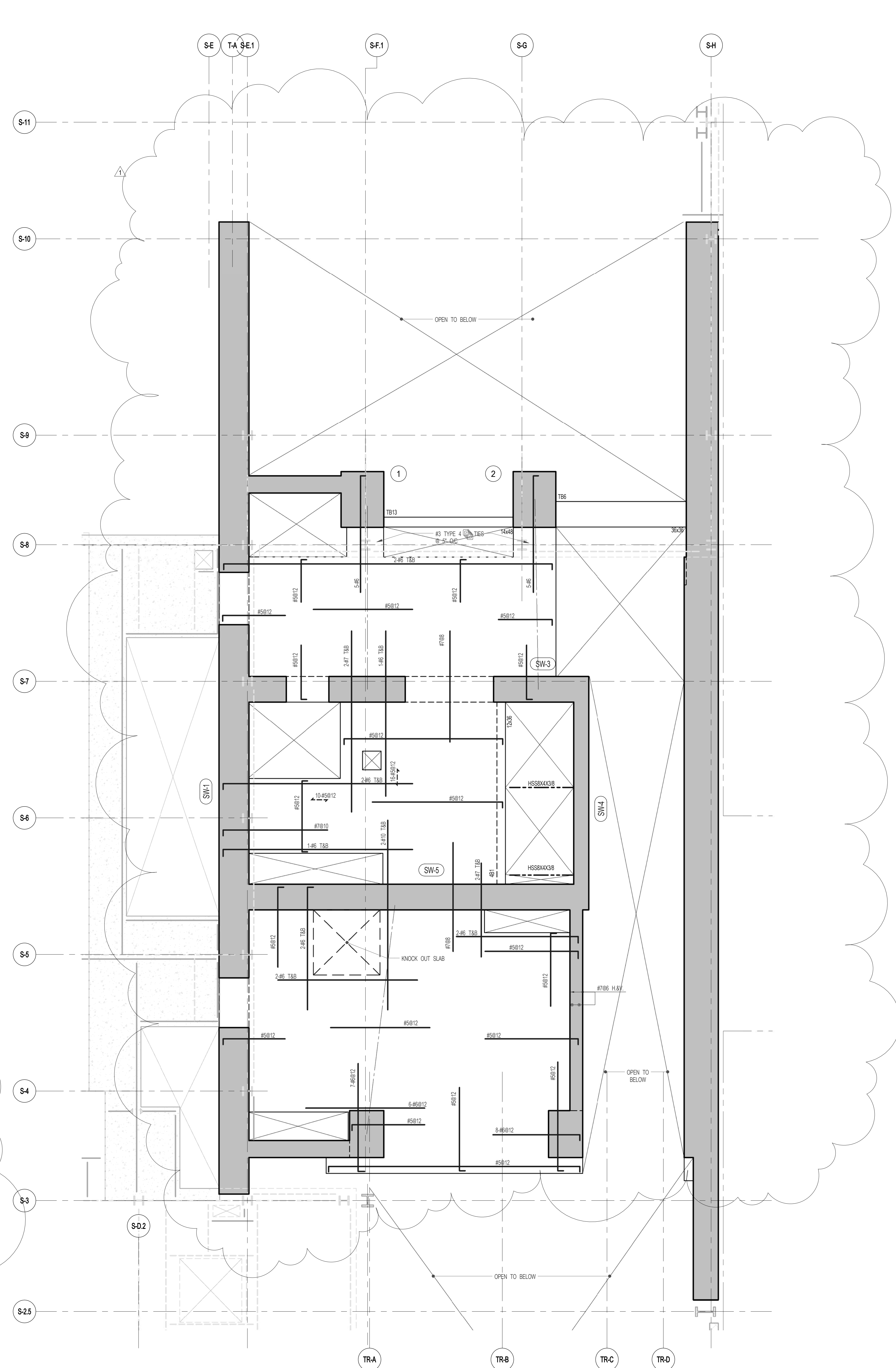
● NOT FOR CONSTRUCTION

SEAL & SIGNATURE	DATE	5.1.14
	PROJECT NO.	1310180
	DRAWN BY	CADD
	CHECKED BY	PK
	DOB NO.	0915
	DRAWING NUMBER	S-040.01



1 4TH FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"

- NOTES
- INDICATES NEW SLAB CONSTRUCTION. SEE SECT. 35.661.
 - ELEVATION SHOWN THIS (—) INDICATES TOTAL ELEVATION ABOVE T.S.M.R.
 - FOR ADDITIONAL NOTES AND LEGEND SEE DRAWING F001.
 - INSTALL 3/4" x 2" LONG OVER DECK SHEAR CONNECTORS @ 12" ON ALL NEW BEAMS WITH NEW DECK. U.O.M.
 - FOR OPENINGS DIMENSIONS SEE ARCH DWG.



2 ENLARGED CONCRETE FRAMING PLAN
SCALE: 3/16" = 1'-0"

- NOTES
- TOP OF SLAB EL. SEE ARCH. DRAWINGS.
 - SLAB THICKNESS TO BE 12" U.O.M. THIS (—) ON PLAN.
 - BOTTOM REINFORCEMENT TO BE #5@12 E.W. CONTINUOUS FOR 12" SLAB.
 - FOR BALANCE OF NOTES SEE DRAWING S-010.

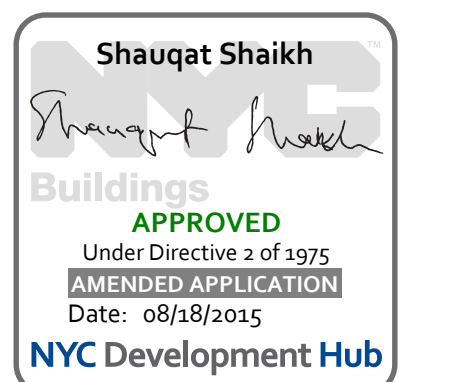
4TH FLOOR BEAM SCHEDULE									
BEAM MARK	WIDTH	DEPTH	REINFORCEMENT			STIRRUPS		REMARKS	
			BOTTOM CONTINUOUS	TOP CONTINUOUS	TOP ADD'L BARS AT SUPPORT	TYPE	SIZE		
4B1	12	36	3-#10	3-#8		#4	@10		

TYPE 1

ARCHITECT SHP ARCHITECTS, P.C. 233 BROADWAY, 11TH FLOOR NEW YORK, NY 10007 TEL: 212 869 3000	FAÇADE BURROUGHS WELLS 110 BROADWAY NEW YORK, NY 10005 TEL: 212 244 2025
STRUCTURAL ENGINEER TOPIC CONSULTING ENGINEERS 238 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212 897 5886	VERTICAL TRANSPORTATION VAN DEUSEN & ASSOCIATES 8 WINDMILL STREET, SUITE 201 LARKSPUR, NY 10099 TEL: 212 869 8000
MEP ENGINEER JORDIS, BAIAM & BOLLER 40 W. 57TH STREET, 12TH FLOOR NEW YORK, NY 10019 TEL: 212 869 8000	RESTORATION JAN HROFKORNY ASSOCIATES 30 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212 268 4442
CIVIL ENGINEER ARIF ENGINEERING, P.C. 240 WEST 46TH STREET, 7TH FLOOR NEW YORK, NY 10018 TEL: 212 268 2828	GEOTECH MICE 305 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212 268 4000
ACOUSTICS LONGMAN LINDSEY 40 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212 268 2800	LIGHTING CONSERVATORIE INTERNATIONAL 105 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 475 3000



PROPERTY MARKETS GROUP
3 EAST 47TH STREET, 2ND FLOOR
NEW YORK, NY 10017
TEL: 212 869 3000
CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

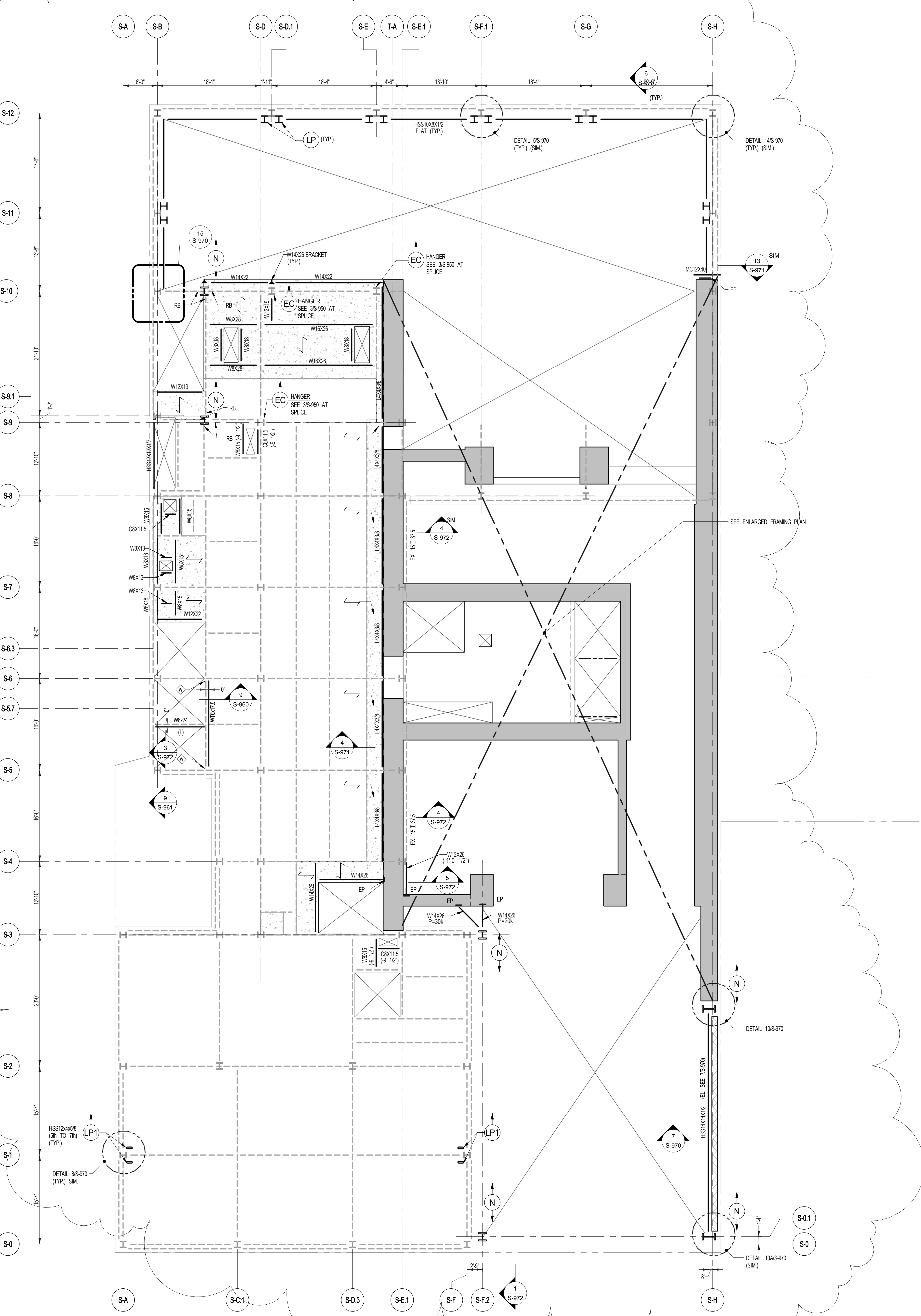
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHP ARCHITECTS P.C. ALL RIGHTS RESERVED.

● NOT FOR CONSTRUCTION

DRAWING TITLE

5TH FLOOR FRAMING PLAN

SEAL & SIGNATURE	DATE	5.1.14
	PROJECT NO.	1310180
	DRAWN BY	CADD
	CHECKED BY	PK
	DOB NO.	0975
	DRAWING NUMBER	S-050.01



ARCHITECT	SHAP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10038 TEL: 212 850 3000	FAÇADE	SHOENBERG FELD 105 BROADWAY NEW YORK, NY 10038 TEL: 212 254 2025
STRUCTURAL ENGINEER	TOPP CONSULTING GROUP 230 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212 697 2886	VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 8 BROADWAY, 20TH FLOOR LARKSPUR, NJ 07033 TEL: 212 869 8333
MEP ENGINEER	JACOBS BAHAM & BOLLER 80 WINE STREET, 12TH FLOOR NEW YORK, NY 10038 TEL: 212 869 8333	RESTORATION	JAN HRO POKORNY ASSOCIATES 80 WEST 40TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 212 259 4442
CIVIL ENGINEER	AKRF ENGINEERING, P.C. 200 WEST 40TH STREET, 7TH FLOOR NEW YORK, NY 10018 TEL: 212 259 4442	GEOTECH	MTICE 305 WEST 40TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 212 259 4442
ACOUSTICIST	LONGMAN LINDSEY 40 WEST 40TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 212 259 4442	LIGHTING	CONSERVATORIE INTERNATIONAL 105 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 475 3000



PROPERTY MARKETS GROUP
30 EAST 17TH STREET, 2ND FLOOR
NEW YORK, NY 10003
TEL: 212 850 3000

CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



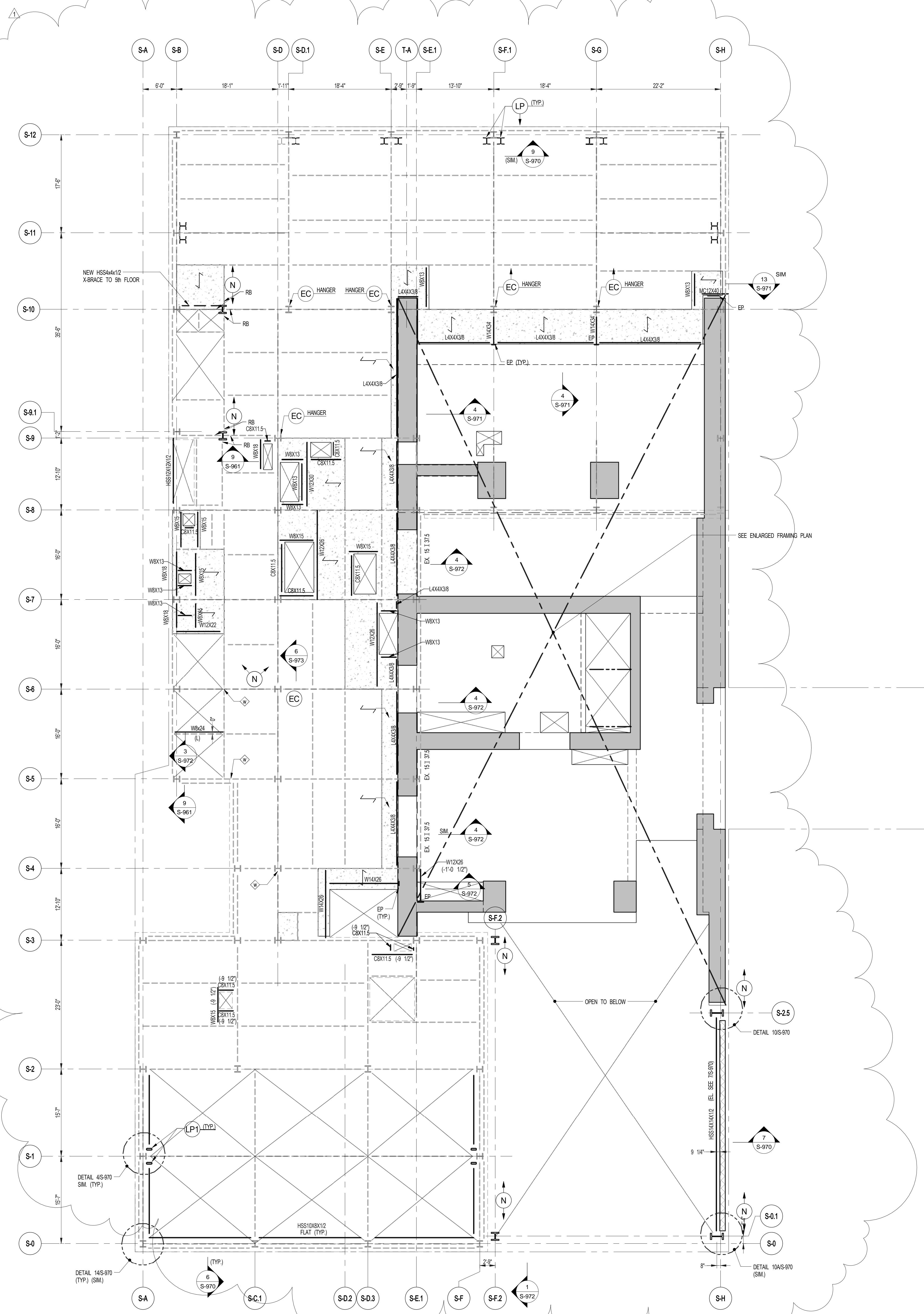
1	3.27.15	DOB PAA
	5.1.14	DOB PLNG SET
NO.	DATE	REVISION

● NOT FOR CONSTRUCTION

DRAWING TITLE

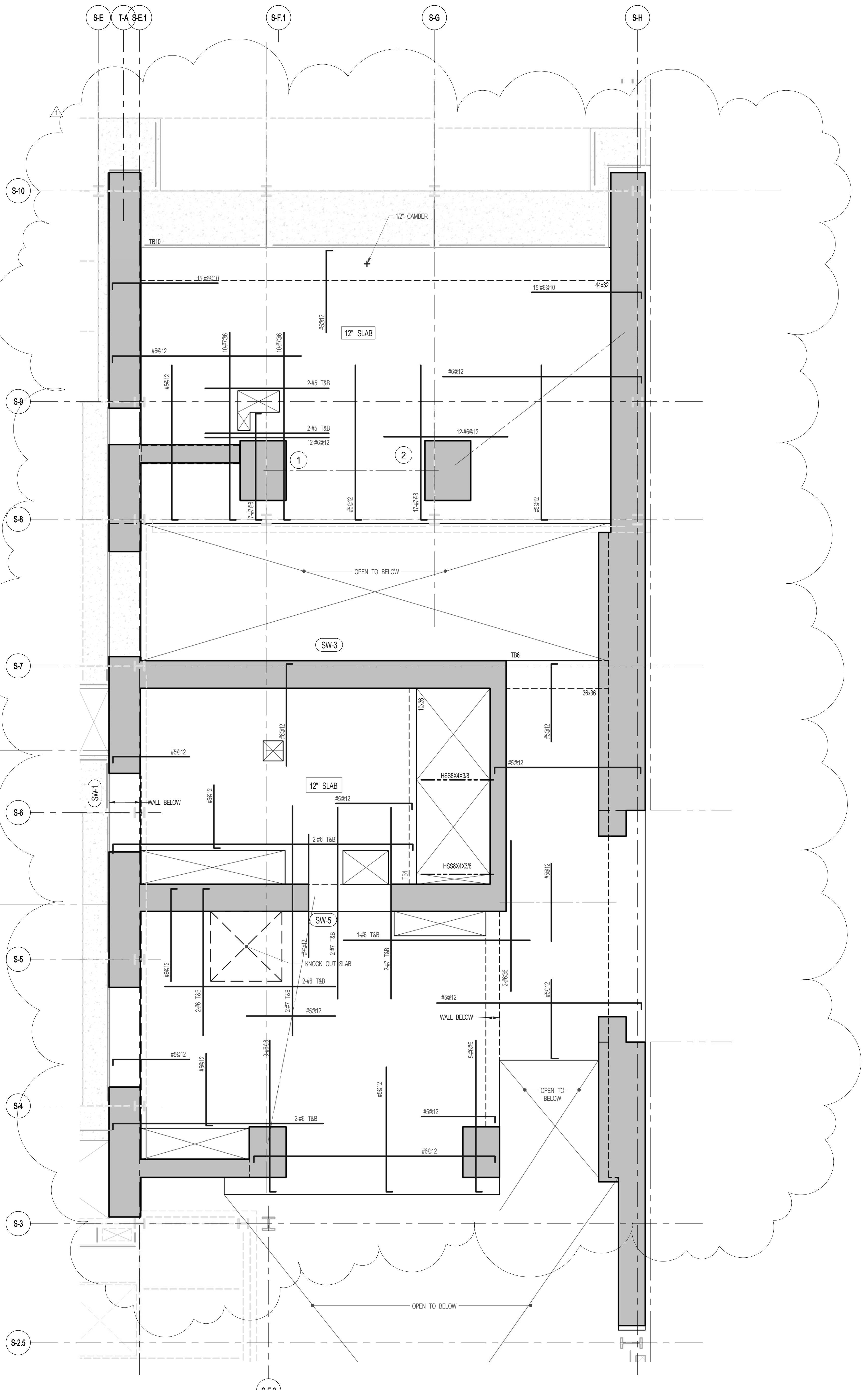
SCALE	DATE	5.1.14
PROJECT NO.	1310180	
DRAWN BY	CADD	
CHECKED BY	PK	
DOB NO.	0915	
DRAWING NUMBER		

S-060.01



1 6TH FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"

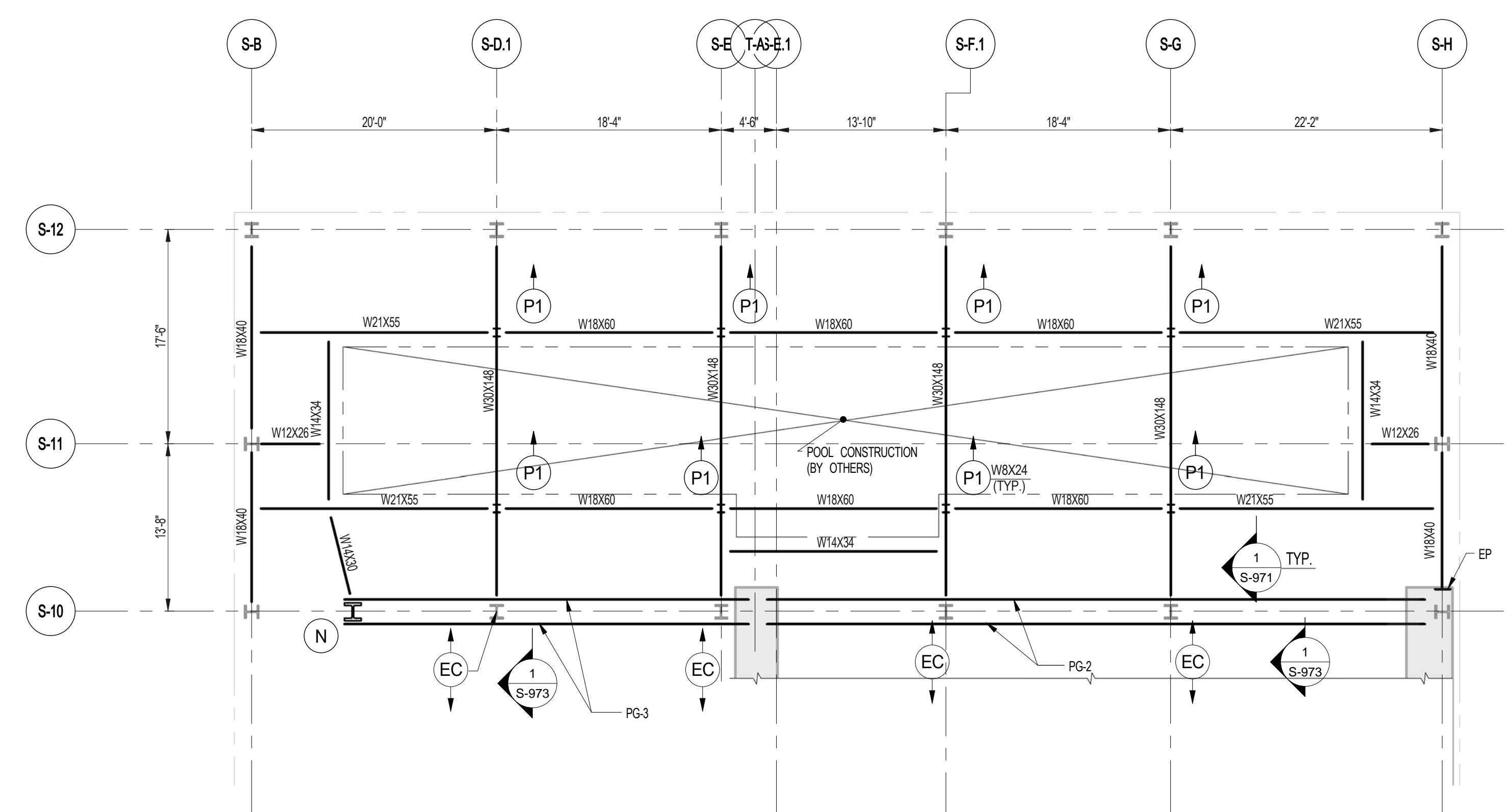
- NOTES:
- INDICATES NEW SLAB CONSTRUCTION. SEE SECT. 30-961.
 - ELEVATION SHOWN THUS (---) INDICATES 1" STEEL ELEVATION ABOVE TSLAB.
 - FOR ADDITIONAL NOTES AND LEGEND SEE DRAWING P-0201.
 - INSTALL 3/8" x 2" LONG OVER DECK BREAK CONNECTORS @ 1'-0" ON ALL NEW BEAMS WITH NEW DECK U/D.
 - FOR OPENINGS DIMENSIONS SEE ARCH DWG.



2 ENLARGED CONCRETE FRAMING PLAN
SCALE: 3/16" = 1'-0"

- NOTES:
- TOP OF SLAB EL. SEE ARCH DRAWINGS.
 - SLAB THICKNESS TO BE 12" UNLESS NOTED OTHERWISE ON PLAN.
 - BOTTOM REINFORCEMENT TO BE #6@12" E-W CONTINUOUS FOR 12" SLAB.
 - FOR BALANCE OF NOTES SEE DRAWING S-010.

ARCHITECT SHP ARCHITECTS, P.C. 220 BROADWAY, 11TH FLOOR NEW YORK, NY 10005 TEL: 212 689 9300	STRUCTURAL ENGINEER YUSUF QADAR BISHARA 220 EAST 43RD STREET NEW YORK, NY 10017 TEL: 212 697 5866	MEP ENGINEER JANIS BAHAM & BOLLER 80 WEST STREET, 12TH FLOOR NEW YORK, NY 10006 TEL: 212 699 9300	CIVIL ENGINEER ARIF EGHTESAMI, P.C. 60 FIFTH AVE, 20TH FLOOR NEW YORK, NY 10011 TEL: 646 288 8028	ACOUSTICS LONGMAN LINDSEY 40 WEST 58TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917 288 2889	INTERIORS STUDIOS JENSEN 200 WALKER STREET NEW YORK, NY 10002 TEL: 212 475 1300	FAÇADE BURROUGHS WERFIELD 100 BROADWAY NEW YORK, NY 10005 TEL: 212 254 2025	VERTICAL TRANSPORTATION VAN DEUSEN & ASSOCIATES 8 BROADWAY, SUITE 200 LARKSPER, NJ 07033 TEL: 973 984 4770	RESTORATION JAN HROFKORNY ASSOCIATES 80 WEST 57TH STREET, 11TH FLOOR NEW YORK, NY 10019 TEL: 212 258 6462	GEOTECH MICE 200 WEST 43RD STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 917 288 4900	LIGHTING CONSERVATORIE INTERNATIONAL 100 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 258 4463
--	---	---	---	---	---	---	--	---	---	---



1 POOL LOWER FRAMING PLAN
S-061 SCALE: 1/8" = 1'-0"



PROPERTY MARKETS GROUP
100 WEST 43RD STREET, 10TH FLOOR
NEW YORK, NY 10018
TEL: 212 699 9300

CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHP ARCHITECTS P.C. ALL RIGHTS RESERVED.

NOT FOR CONSTRUCTION

DRAWING TITLE
POOL LOWER FRAMING PLAN

SEAL & SIGNATURE DATE 5.1.14
PROJECT NO. 1310180

DRAWN BY	Author
CHECKED BY	Checker
DOB NO.	1310180
DRAWING NUMBER	S-061.01

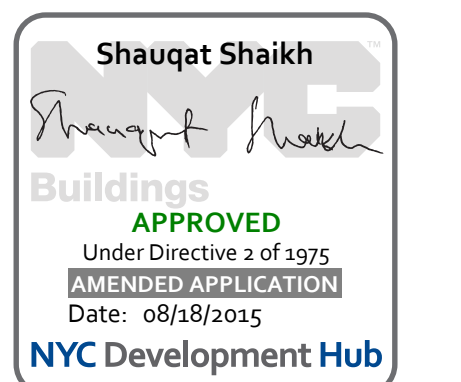


S-061.01

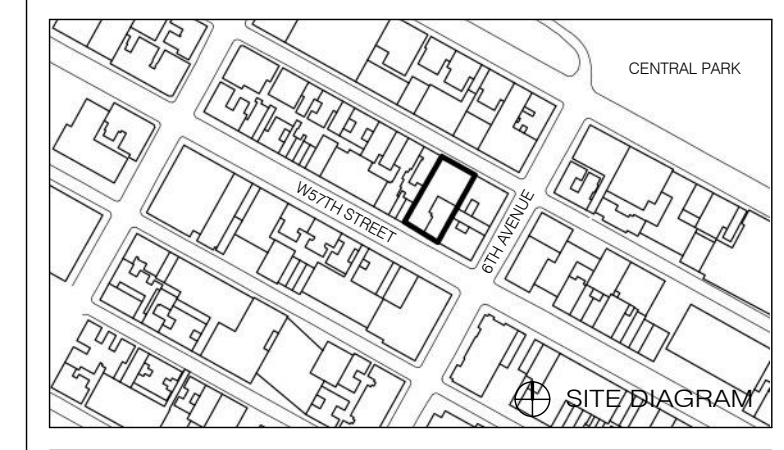
ARCHITECT	SHAP ARCHITECTS, P.C. 235 BROADWAY, 11TH FLOOR NEW YORK, NY 10007 TEL: 212 850 3000	FAÇADE	SHAP ARCHITECTS, P.C. 235 BROADWAY, 11TH FLOOR NEW YORK, NY 10007 TEL: 212 850 3000
STRUCTURAL ENGINEER	TOPIC CONSULTING ENGINEERS 235 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212 850 3000	MEP ENGINEER	JANIS BALK & BOLLER 80 WEST STREET, 12TH FLOOR NEW YORK, NY 10006 TEL: 212 850 3000
MEP ENGINEER	JANIS BALK & BOLLER 80 WEST STREET, 12TH FLOOR NEW YORK, NY 10006 TEL: 212 850 3000	CIVIL ENGINEER	AVIR ENGINEERING, P.C. 240 WEST 46TH STREET, 7TH FLOOR NEW YORK, NY 10018 TEL: 212 850 3000
ACUSTICIAN	LONGMAN LINDSEY 40 WEST 40TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 212 850 3000	INTERIORS	STUDIO JOSEPH 200 WAREHOUSES STREET NEW YORK, NY 10014 TEL: 212 850 3000
RESTORATION	JAN HRO FOKORNY ASSOCIATES 200 WEST 40TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 212 850 3000	GEOTECH	LONGMAN LINDSEY 40 WEST 40TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 212 850 3000
CONSERVATION INTERNATIONAL	US BANK STREET, 7TH FLOOR EAST NEW YORK, NY 10003 TEL: 212 850 3000	LIGHTING	CONSERVATION INTERNATIONAL US BANK STREET, 7TH FLOOR EAST NEW YORK, NY 10003 TEL: 212 850 3000



PROPERTY MARKETS GROUP
111 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212 850 3000
CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019

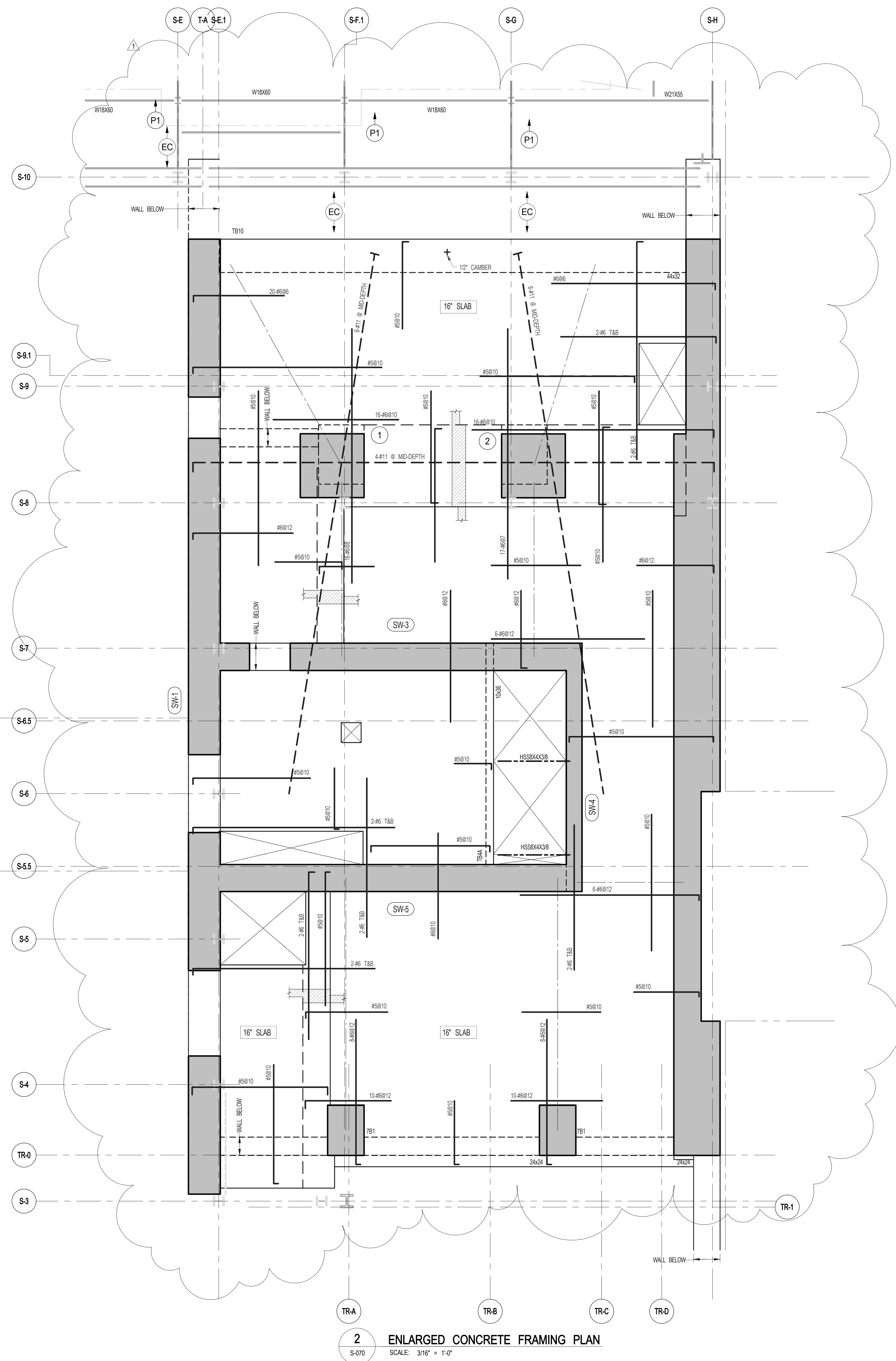


1	3.27.15	DOB PAA
1	5.1.14	DOB PLING SET
NO.	DATE	REVISION
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS, P.C. ALL RIGHTS RESERVED.		

● NOT FOR CONSTRUCTION

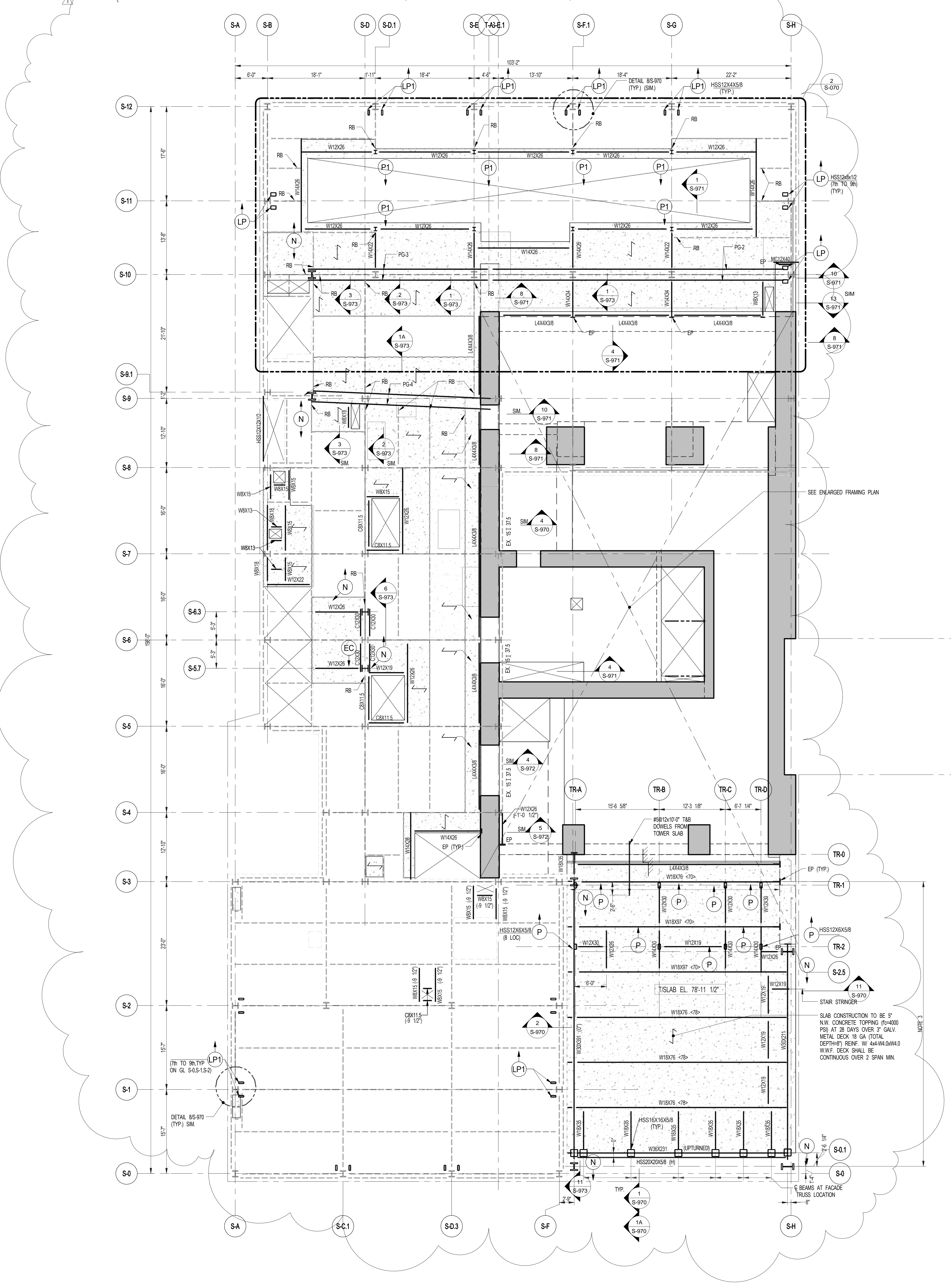
DRAWING TITLE
7TH FLOOR FRAMING PLAN

SEAL & SIGNATURE	DATE	5.1.14
PROJECT NO.	CADD	1310180
DRAWN BY	CHECKED BY	PK
DOE NO.	DRAWING NUMBER	121332068
S-070.01		



2 ENLARGED CONCRETE FRAMING PLAN
SCALE: 3/16" = 1'-0"

- NOTES:
1. TOP OF SLAB EL. SEE ARCH. DRAWINGS.
2. SLAB THICKNESS TO BE 12" UON THIS PLAN.
3. BOTTOM REINFORCEMENT TO BE: #6@12" EW CONTINUOUS FOR 12" SLAB; #5@7" EW CONTINUOUS FOR 16" SLAB.
4. FOR BALANCE OF NOTES SEE DRAWING S-010.



1 7TH FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"

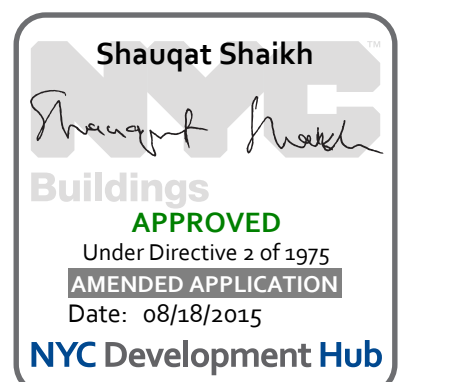
- NOTES:
1. INDICATES NEW SLAB CONSTRUCTION. SEE SECT. 35-861.
2. ELEVATION SHOWN THIS (-) INDICATES TISTEEL ELEVATION ABOVE TISLAB.
3. ATTEND SLAB SUPPORT BEAMS TO BE PAINTED (UNLESS FREPROOFED) PER ARCH. SPECIFICATIONS.
4. FOR ADDITIONAL NOTES AND LEGEND SEE DRAWING FD-01.
5. INSTALL 2x6x2" LONG OVER DECK SHEAR CONNECTORS @ 1'0" OC ON ALL NEW BEAMS WITH NEW DECK UO/L.
6. FOR OPENINGS DIMENSIONS SEE ARCH. DWG.

ARCHITECT	SHAP ARCHITECTS, P.C. 235 BROADWAY, 11TH FLOOR NEW YORK, NY 10007 TEL: 212 869 3000	FACADE	SHOENBERG BARFIELD 105 BROADWAY NEW YORK, NY 10005 TEL: 212 244 2025
STRUCTURAL ENGINEER	YUSEF GANTON BERKMAN 235 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212 697 2886	MEP ENGINEER	VERTICAL TRANSPORTATION VAN DEUSEN & ASSOCIATES 8 BROADWAY, SUITE 2014 LARKSPER, NJ 07033 TEL: 201 988 8700
MEP ENGINEER	JORDIS, BALM & BOLLER 80 KING STREET, 12TH FLOOR NEW YORK, NY 10002 TEL: 212 693 8333	CIVIL ENGINEER	RESTORATION JAN HRO FOKORNY ASSOCIATES 80 WEST 47TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 212 758 4442
ACoustics	LONGMAN LINDSEY 40 WEST 47TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 917 238 3300	INTERIORS	STUDIOS JENSEN 200 LAURETTA STREET NEW YORK, NY 10002 TEL: 212 475 3300

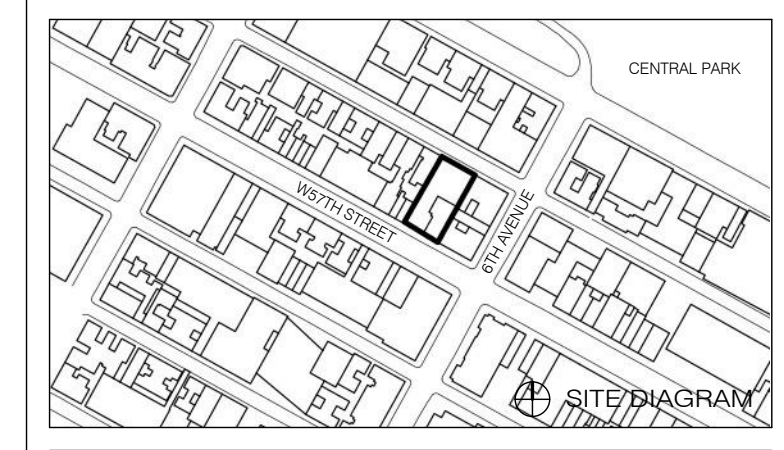


PROPERTY MARKETS GROUP
30 EAST 47TH STREET, 2ND FLOOR
NEW YORK, NY 10017
TEL: 212 693 8333

CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



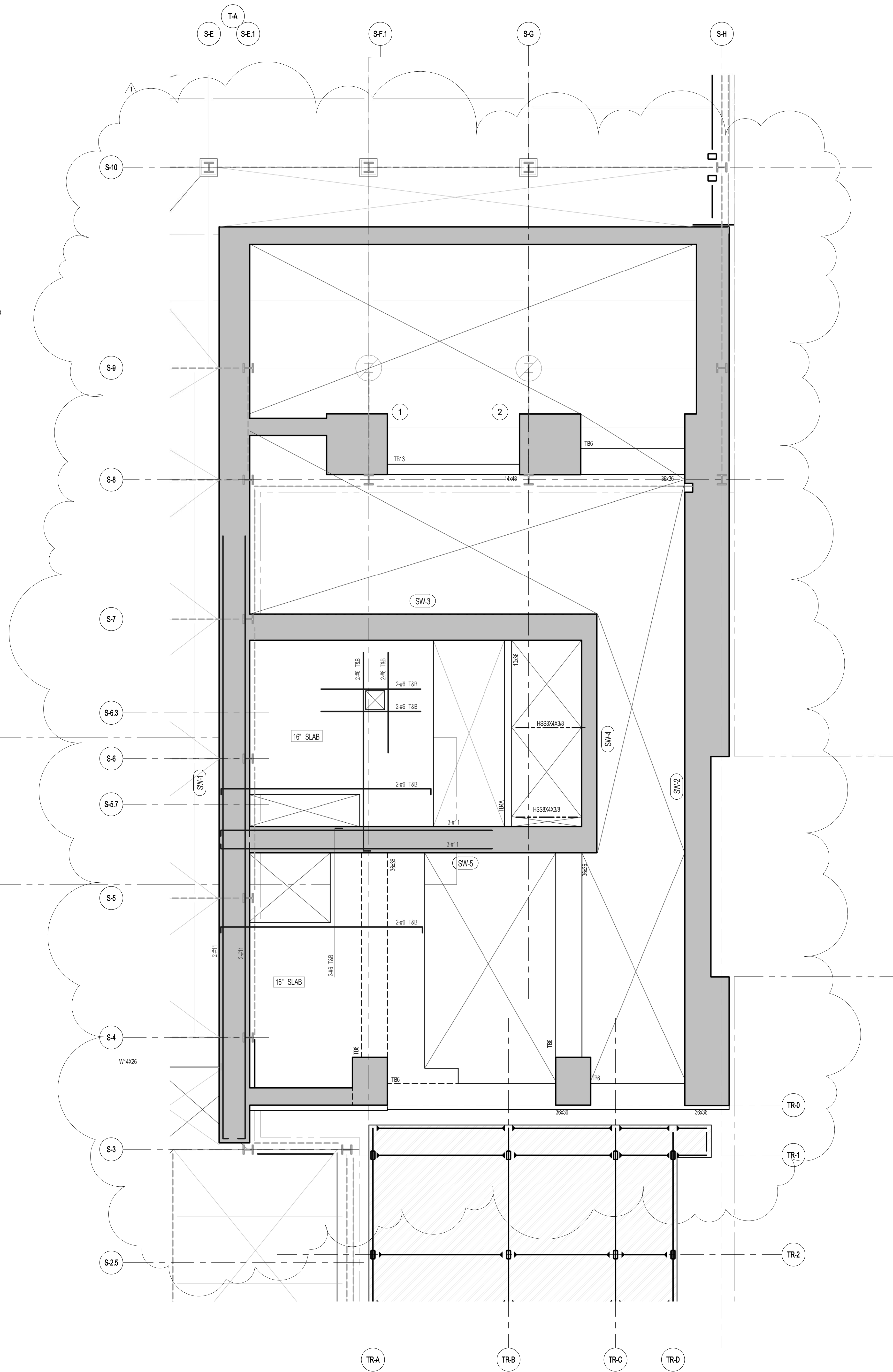
1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.

● NOT FOR CONSTRUCTION

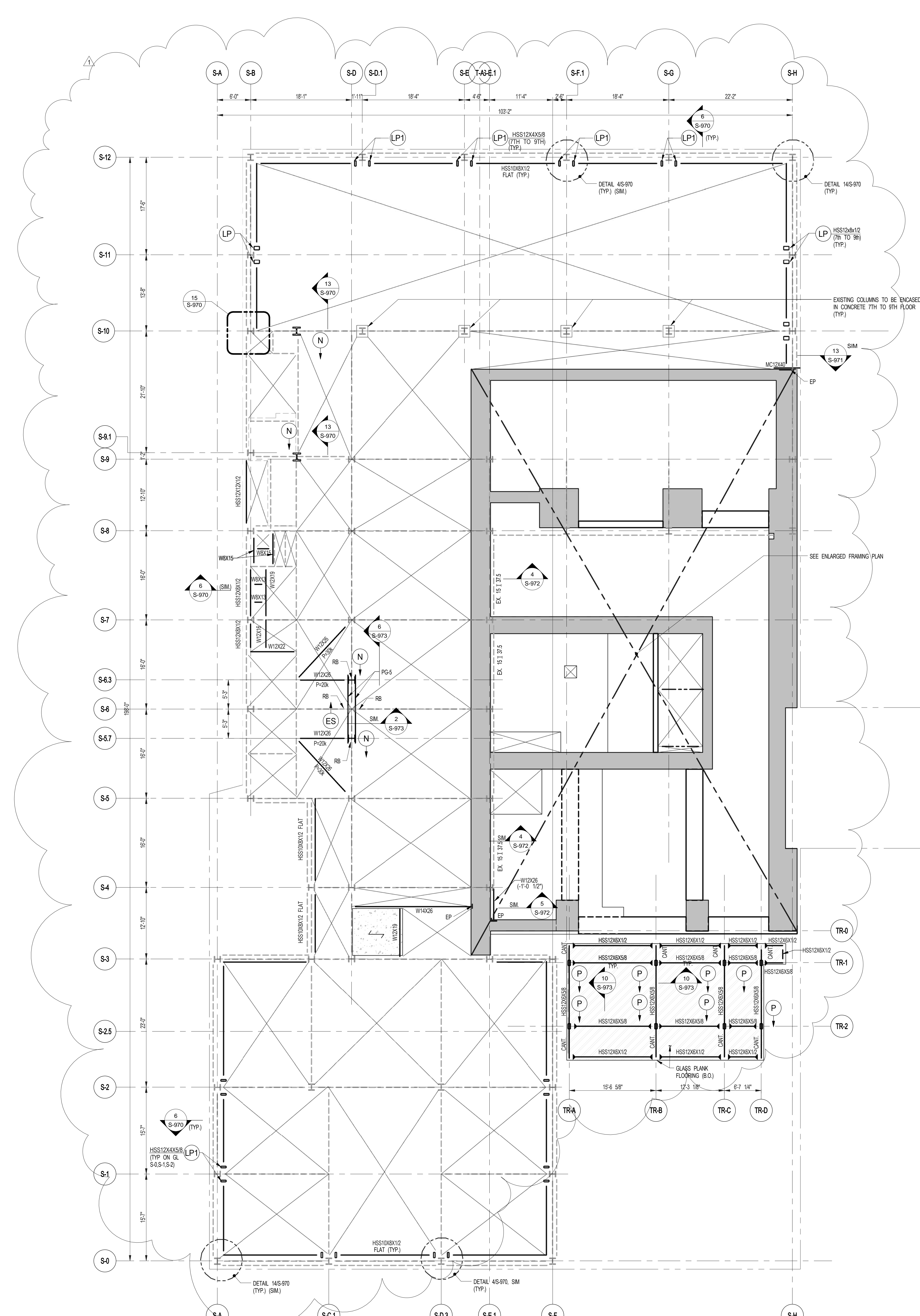
8TH FLOOR FRAMING PLAN

SEAL & SIGNATURE	DATE	5.1.14
	PROJECT NO.	1310180
	DRAWN BY	CADD
	CHECKED BY	PK
	DOB NO.	09175
	DRAWING NUMBER	S-080.01



2 ENLARGED CONCRETE FRAMING PLAN
SCALE: 3/16" = 1'-0"

- NOTES:
- TOP OF SLAB EL. SEE ARCH. DRAWINGS
 - SLAB THICKNESS TO BE 16" UNLESS OTHERWISE NOTED ON PLAN
 - BOTTOM & TOP REINFORCEMENT TO BE #5@10" E.W. CONTINUOUS FOR 16" SLAB
 - FOR BALANCE OF NOTES SEE DRAWING S-010



1 8TH FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"

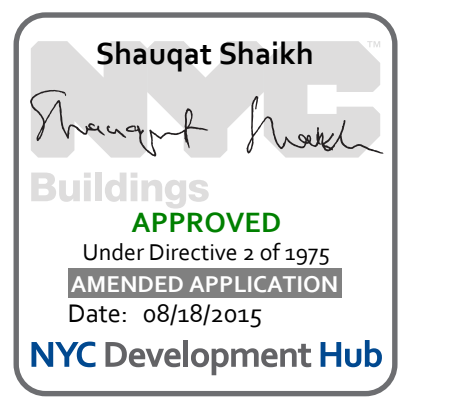
- NOTES:
- INDICATES NEW SLAB CONSTRUCTION TO BE 3" 1/4" L. W/ CONCRETE TOPPING FOR 4000 PSI AT 28 DAYS (MATCH EXISTING SLAB ELEVATION OVER 7" GALV. METAL DECK IS GA (TOTAL DEPTH 1 1/4") REIN. W/ #5@10" E.W. UNLESS OTHERWISE NOTED)
 - ELEVATION SHOWN THIS (-) INDICATES 1" STEEL ELEVATION ABOVE T.S.L.B.
 - FOR ADDITIONAL NOTES AND LEGEND SEE DRAWING S-010
 - INSTALL 3/4" x 6" LONG AFTER WELDING SHEAR CONNECTORS @ 1'-0" ON ALL NEW BEAMS WITH CONCRETE SLAB U.O.N.
 - FOR OPENING DIMENSIONS SEE ARCH. DWG.
 - PH... INDICATES REVERSIBLE SERVICE ANNUAL LOADS IN KIPS FOR DESIGN OF CONNECTION.

ARCHITECT SNAP ARCHITECTS, P.C. 235 BROADWAY, 11TH FLOOR NEW YORK, NY 10038 TEL: 212 880 9300	FAÇADE BURROUGHS WELLS 105 BROADWAY NEW YORK, NY 10038 TEL: 212 244 2025
STRUCTURAL ENGINEER TOPIC CIVIL ENGINEERING 235 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212 887 9886	MEP ENGINEER JANUS BALK & BOLLER 80 W. 47TH STREET, 12TH FLOOR NEW YORK, NY 10019 TEL: 212 880 8833
MEP ENGINEER JANUS BALK & BOLLER 80 W. 47TH STREET, 12TH FLOOR NEW YORK, NY 10019 TEL: 212 880 8833	RESTORATION JAN HRO POKORNY ASSOCIATES 80 WEST 47TH STREET, 11TH FLOOR NEW YORK, NY 10019 TEL: 212 758 6482
CIVIL ENGINEER ANIR ENGINEERING, P.C. 80 WEST 47TH STREET, 11TH FLOOR NEW YORK, NY 10019 TEL: 212 758 6482	GEOTECH LONGMAN LINDSEY 40 WEST 47TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917 288 8900
ACOUSTICS LONGMAN LINDSEY 40 WEST 47TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917 288 8900	INTERIORS STUDIO SCENEFIELD 300 W. 47TH STREET NEW YORK, NY 10019 TEL: 212 251 4453
ACOUSTICS LONGMAN LINDSEY 40 WEST 47TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917 288 8900	LIGHTING CONSERVATORIE INTERNATIONAL 105 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 251 4453



PROPERTY MARKETS GROUP
1345 4TH AVENUE, 2ND FLOOR
NEW YORK, NY 10017
TEL: 212 880 9300

CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET

NO. DATE REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JDS DEVELOPMENT GROUP.

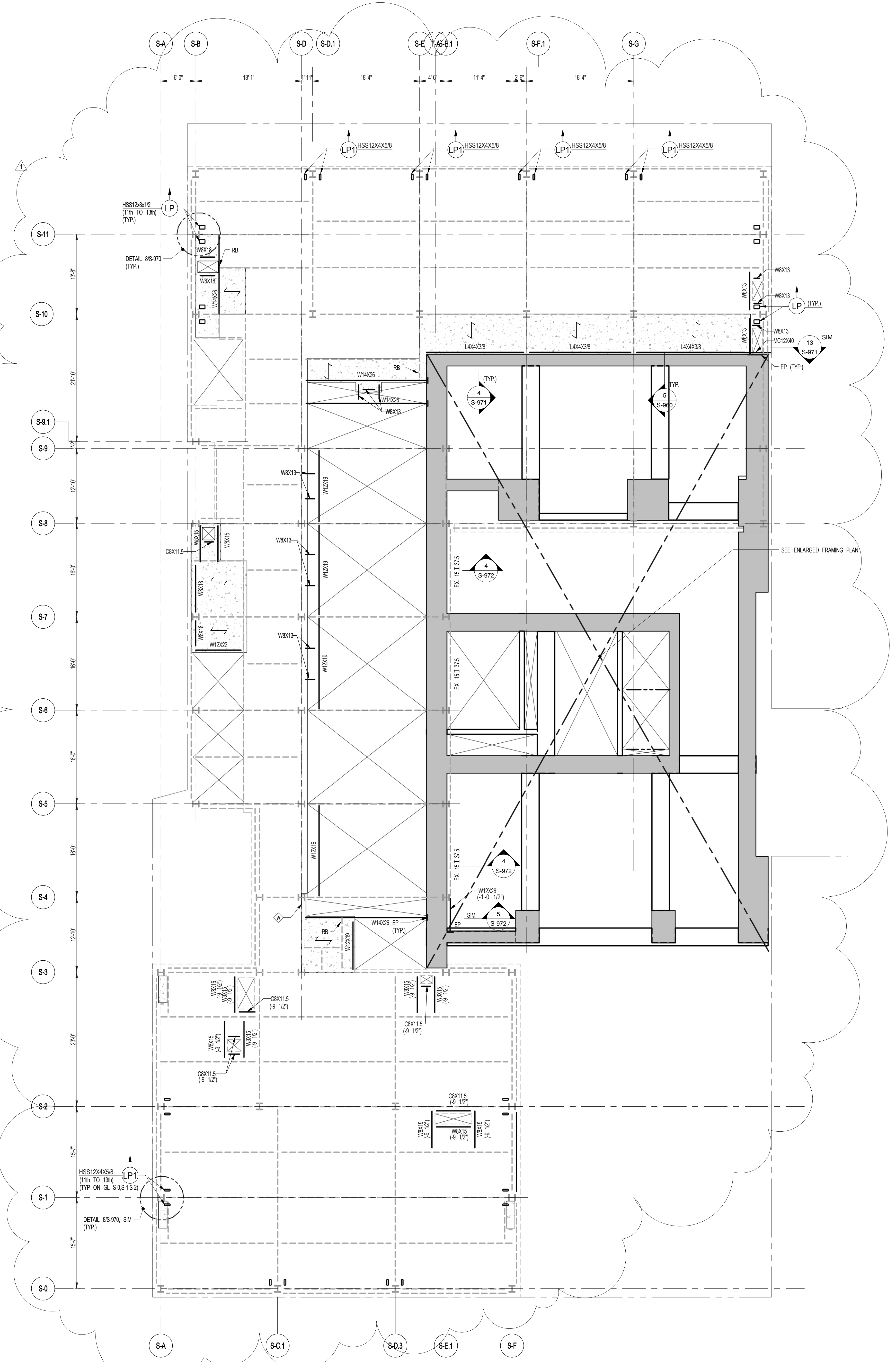
● NOT FOR CONSTRUCTION

DRAWING TITLE

111TH FLOOR FRAMING PLAN

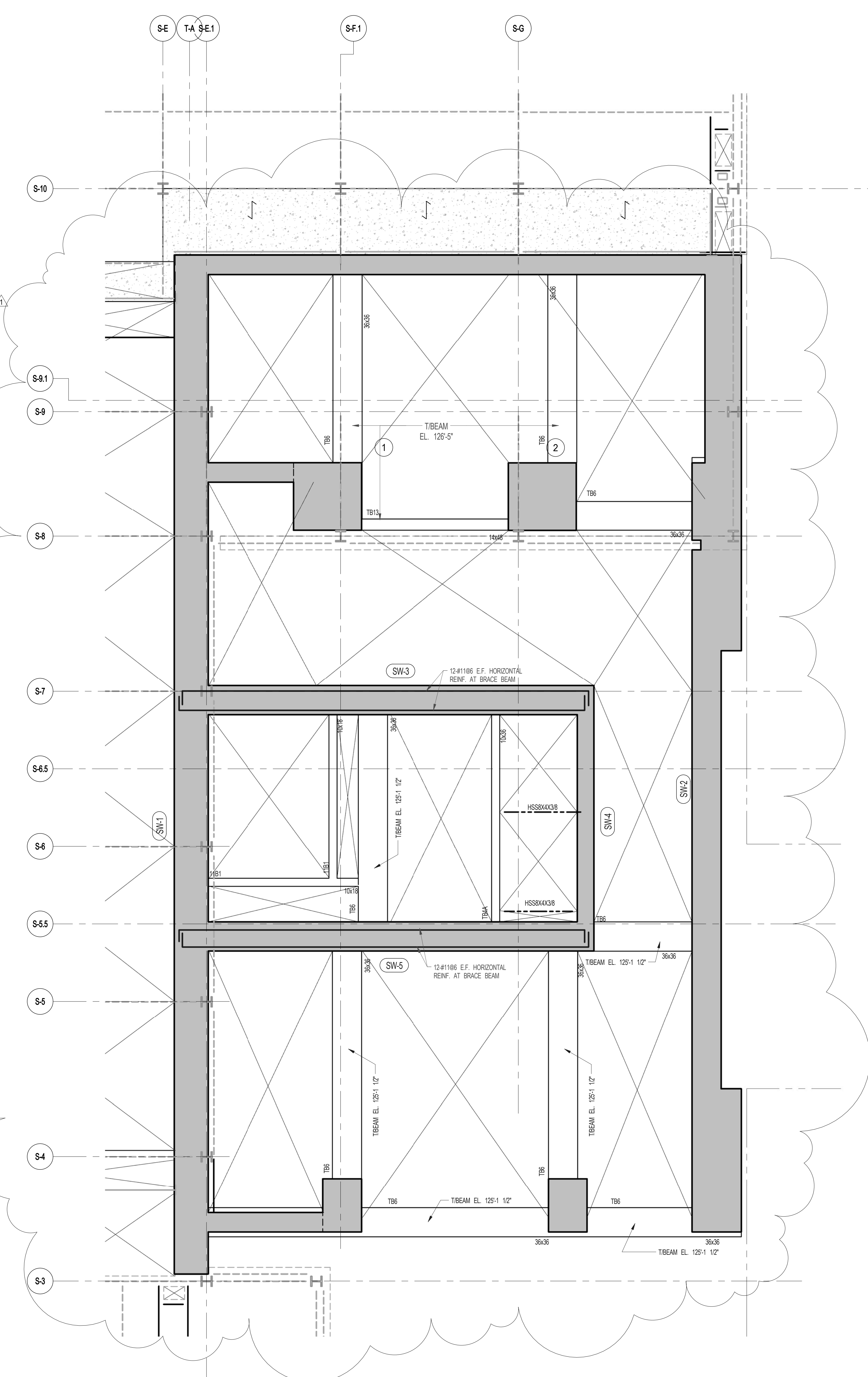
SEAL & SIGNATURE DATE 5.1.14
PROJECT NO. 1310180
DRAWN BY CAD
CHECKED BY RK
DOB NO. 09157
DRAWING NUMBER

S-110.01



1 11TH FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"

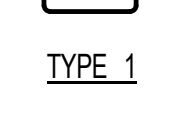
- NOTES
- INDICATES NEW SLAB CONSTRUCTION. SEE SECT. 35-861
 - ELEVATION SHOWN THIS (-) INDICATES TIE-UP ELEVATION ABOVE TSLAB.
 - FOR ADDITIONAL NOTES AND LEGEND SEE DRAWING F-001.
 - INSTALL 3/8" x 2" LONG OVER DECK SHEAR CONNECTORS @ 1'-0" OC ON ALL NEW BEAMS WITH NEW DECK U/L/D.
 - FOR OPENINGS DIMENSIONS SEE ARCH DWG.



2 ENLARGED CONCRETE FRAMING PLAN
SCALE: 3/16" = 1'-0"

- NOTES
- FOR BALANCE OF NOTES SEE DRAWING S-010.

BEAM MARK	SIZE		REINFORCEMENT			STIRRUPS			REMARKS
	WIDTH	DEPTH	BOTTOM CONTINUOUS	TOP CONTINUOUS	TOP ADD'L BARS AT SUPPORT	TYPE	SIZE	SPACING	
11B1	10	18	2-#8	2-#6		1	#3	@6	



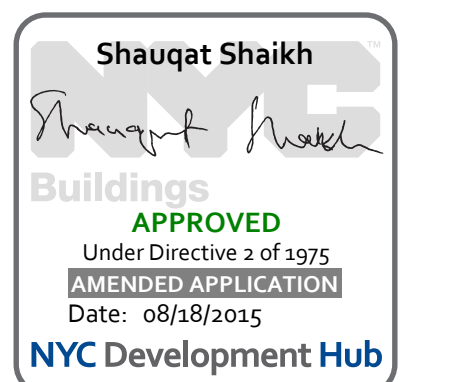
TYPE 1

ARCHITECT	SHAP ARCHITECTS, P.C. 238 BROADWAY, 11TH FLOOR NEW YORK, NY 10006 TEL: 212 889 9300
STRUCTURAL ENGINEER	YUSEF GANTOUB ENGINEERING 238 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212 889 9300
MEP ENGINEER	JARVIS, BALAM & SCILLES 80 HUNGATE STREET, LOWER LEVEL LARKSPUR, NJ 07033 TEL: 212 889 9300
CIVIL ENGINEER	AWR ENGINEERING, P.C. 400 WEST 44TH STREET, 17TH FLOOR NEW YORK, NY 10018 TEL: 212 889 9300
ACOUSTICIST	LONGMAN LINDSEY 40 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212 889 9300
INTERIORS	STUDIO SCENEFIELD 80 LARKSPUR STREET NEW YORK, NY 10019 TEL: 212 889 9300
FAÇADE	BURTON HARRFIELD 100 BROADWAY NEW YORK, NY 10005 TEL: 212 254 2025
VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 8 HUNTER STREET, SUITE 204 LARKSPUR, NJ 07033 TEL: 212 889 9300
RESTORATION	JAN HRO FOKORNY ASSOCIATES 80 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212 254 4442
GEOTECH	MTC 305 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212 254 4442
LIGHTING	CONSERVATIVE INTERNATIONAL 100 WALL STREET, 7TH FLOOR EAST NEW YORK, NY 10005 TEL: 212 254 4442



PROPERTY MARKETS GROUP
340 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212 889 9300

CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET

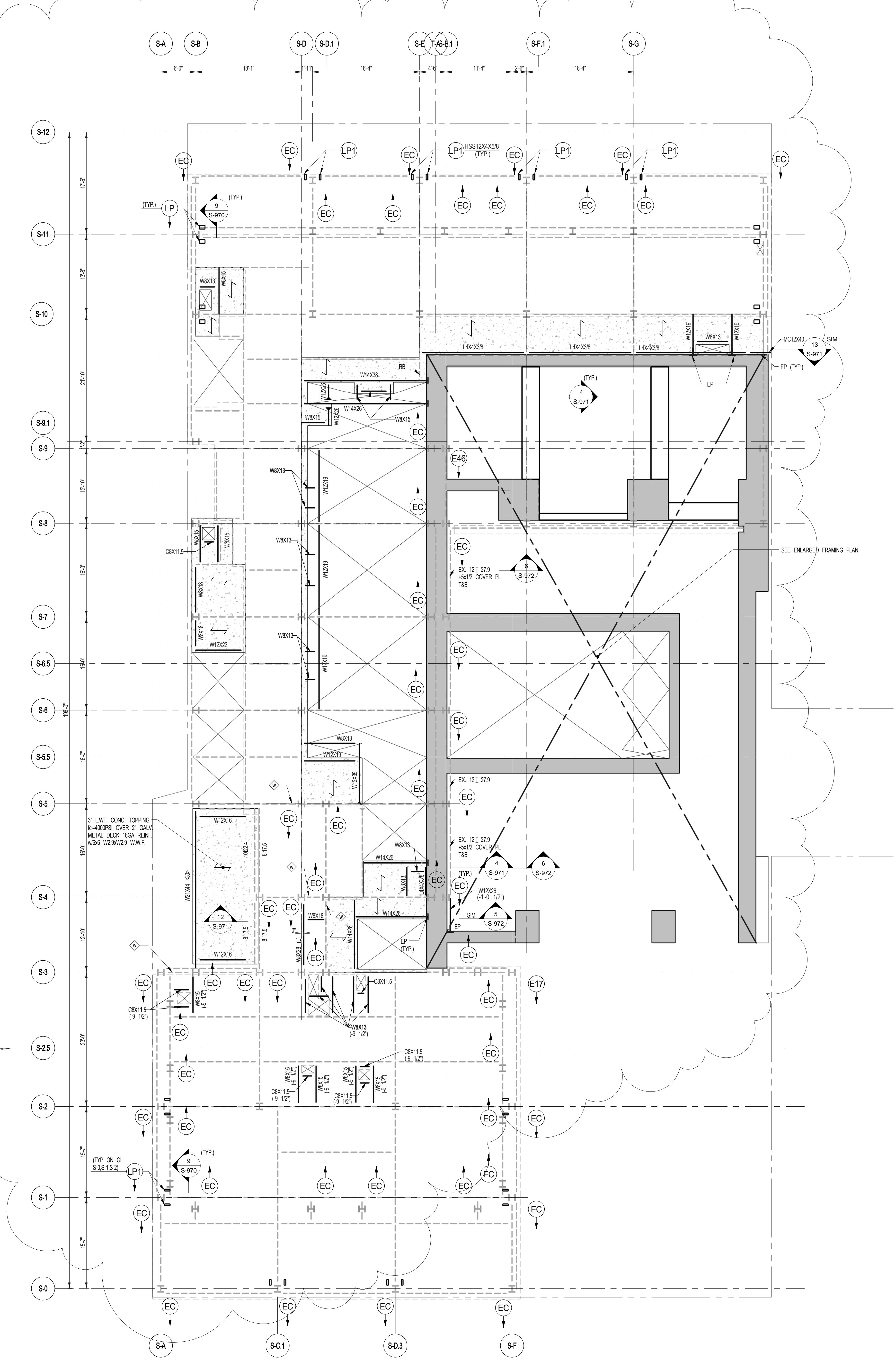
NO.	DATE	REVISION

● NOT FOR CONSTRUCTION

DRAWING TITLE

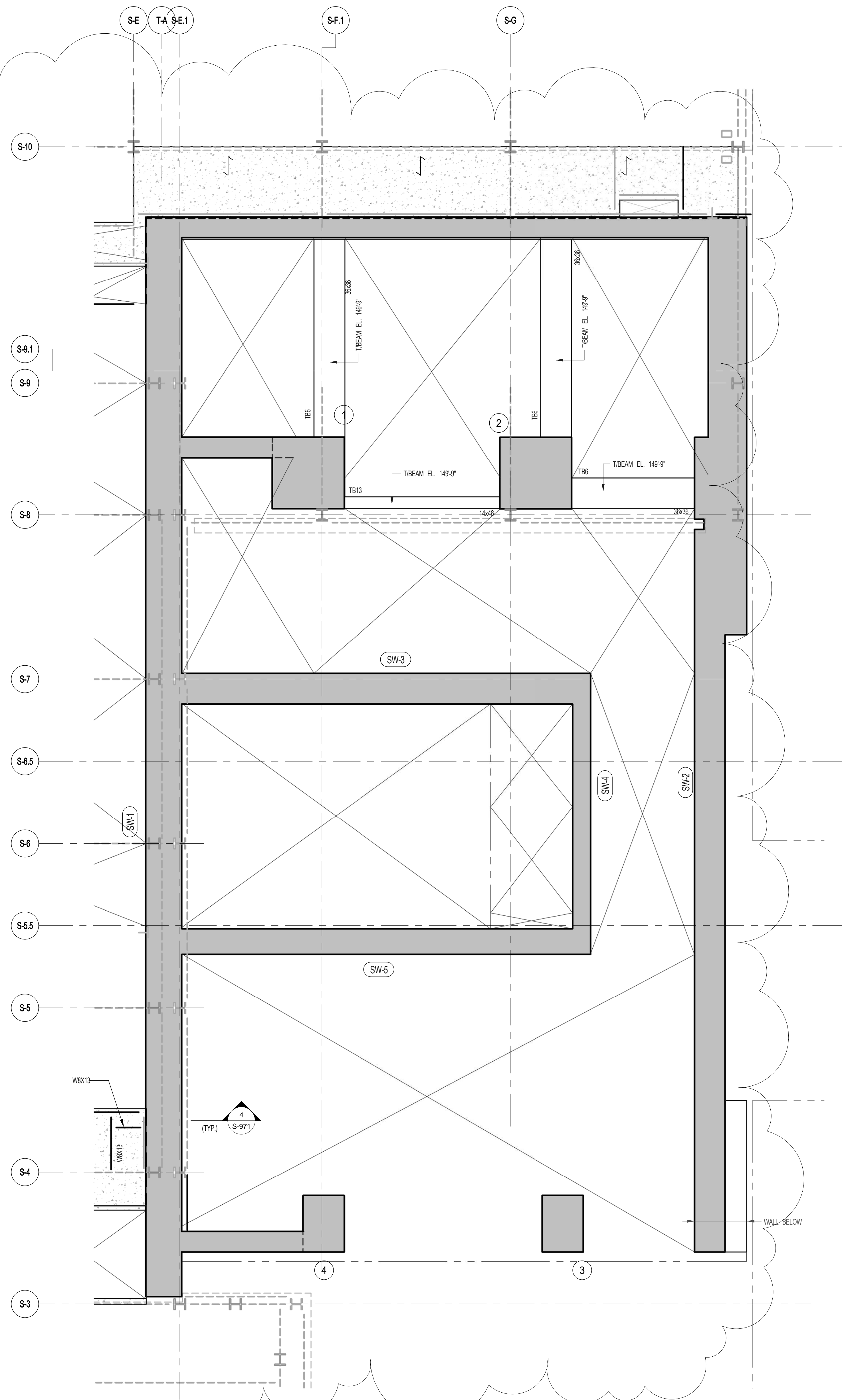
13TH FLOOR FRAMING PLAN

SEAL & SIGNATURE	DATE	5.1.14
	PROJECT NO.	1310180
	DRAWN BY	CADD
	CHECKED BY	PK
	DOB NO.	09757
	DRAWING NUMBER	S-130.01

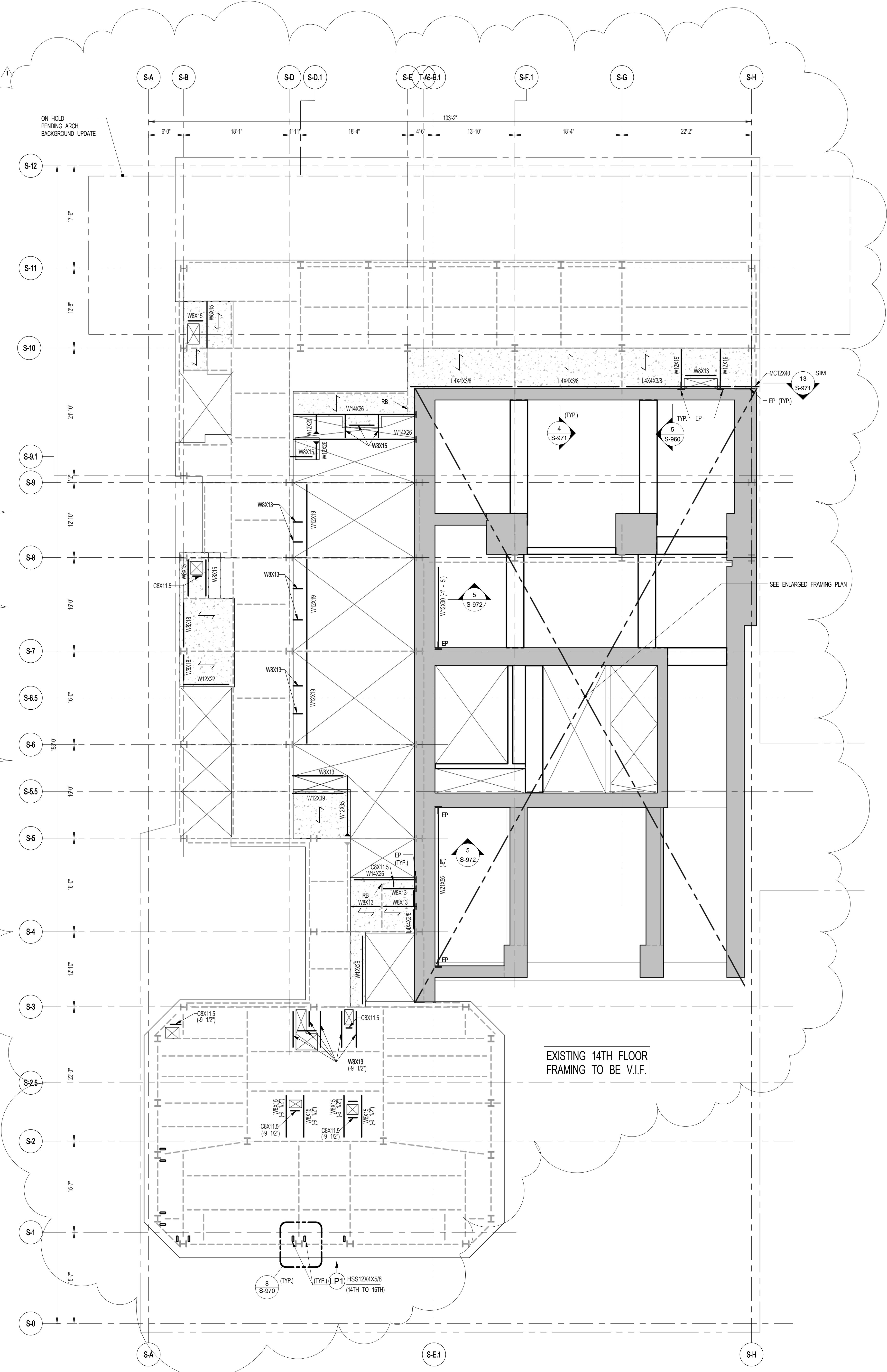
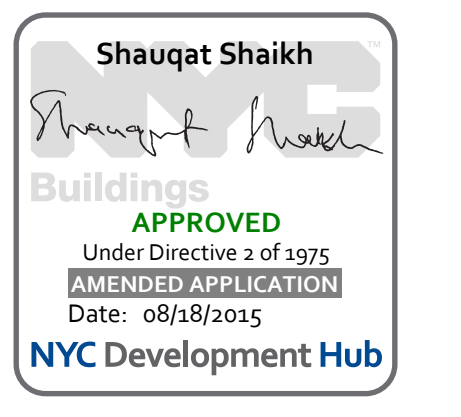


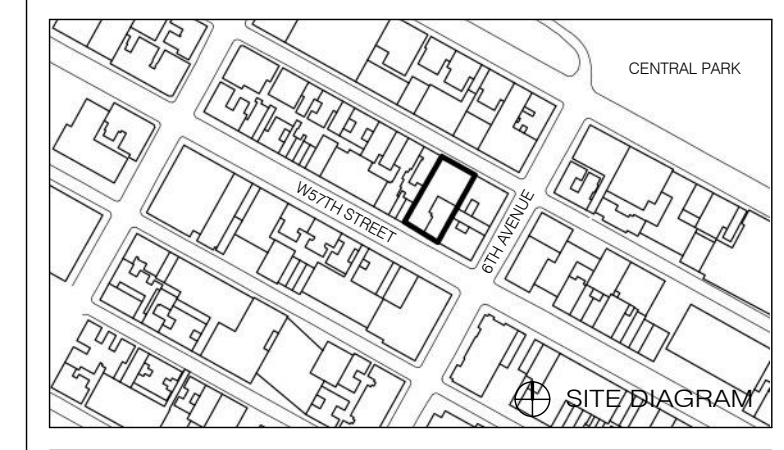
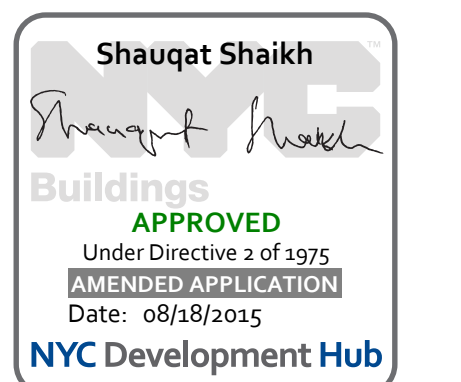
1 13TH FLOOR FRAMING PLAN
S-130 SCALE: 1/8" = 1'-0"

NOTES:
1. INDICATES NEW SLAB CONSTRUCTION. SEE SECT. 30-601.
2. ELEVATION SHOWN THUS (---) INDICATES STEEL ELEVATION ABOVE TSLAB.
3. FOR ADDITIONAL NOTES AND LEGENDS SEE DRAWING P001.
4. INSTALL 3/4" x 7" LONG OVER DECK SHEAR CONNECTORS @ 1'0" OC ON ALL NEW BEAMS WITH NEW DECK. U.O.N.
5. FOR OPENINGS DIMENSIONS SEE ARCH DWG.



2 ENLARGED CONCRETE FRAMING PLAN
S-130 SCALE: 3/16" = 1'-0"



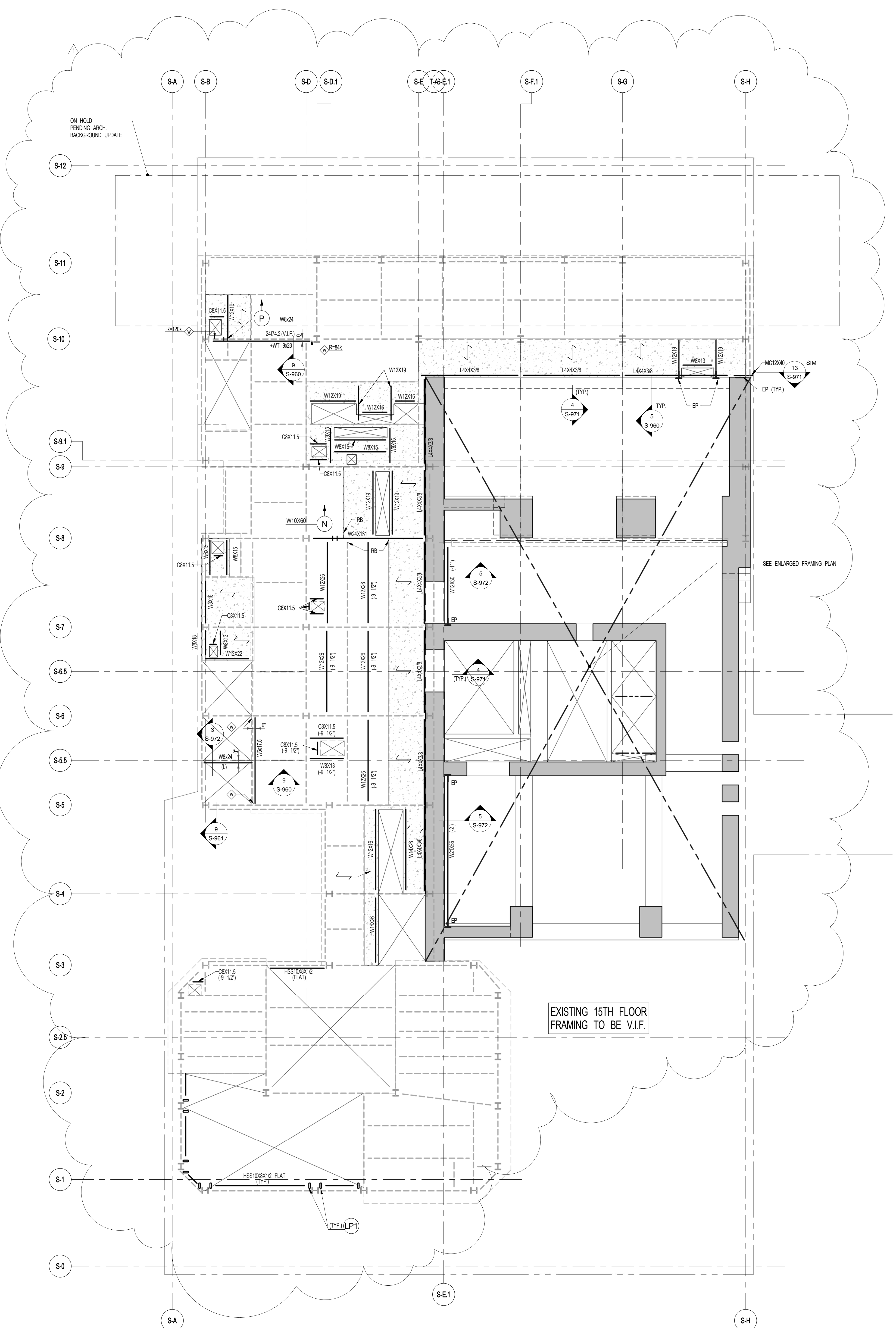


1	3.27.15	DOB PAA
	5.1.14	DOB FLNG SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHP ARCHITECTS P.C. ALL RIGHTS RESERVED.

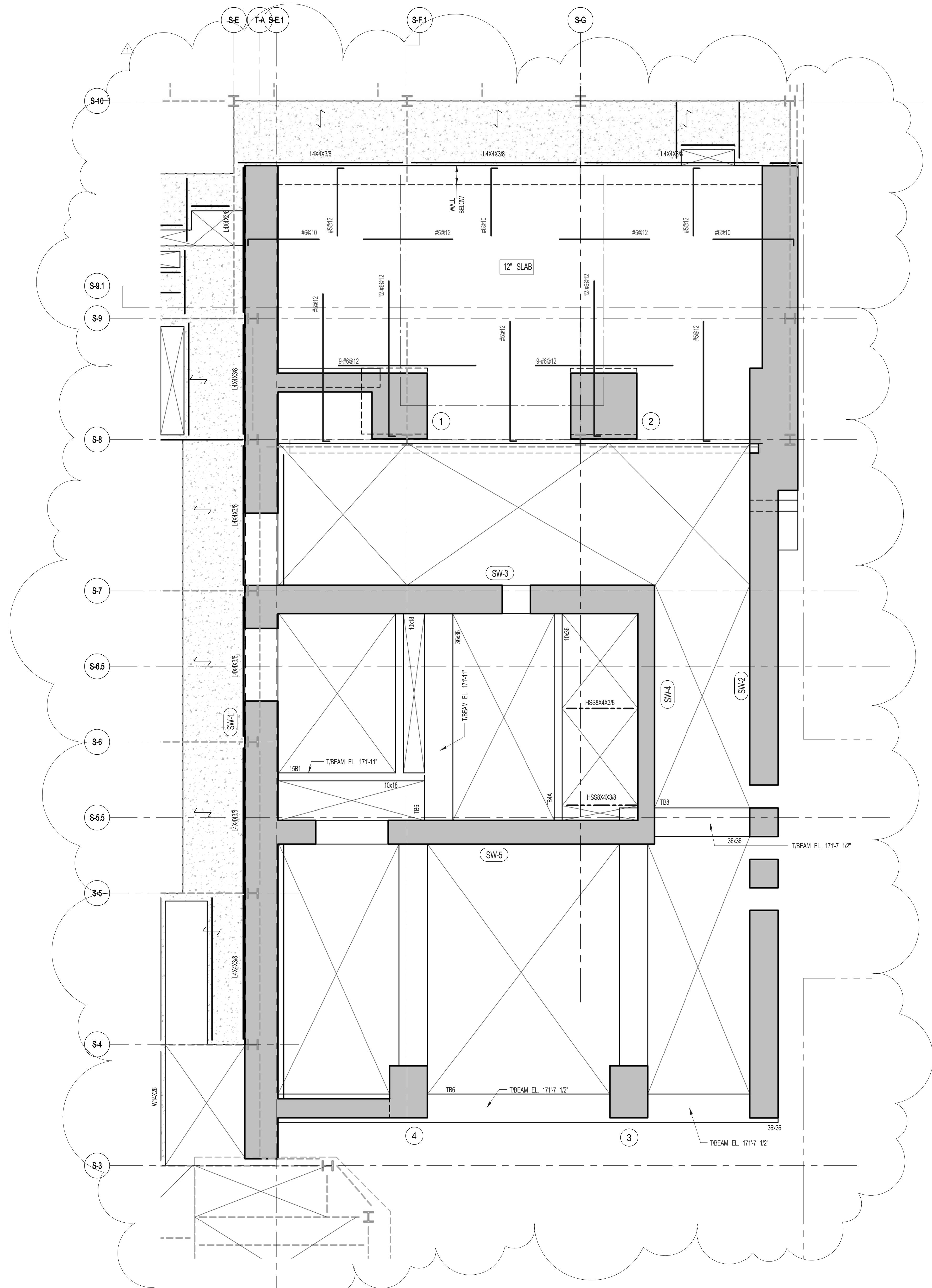
NOT FOR CONSTRUCTION

SEAL & SIGNATURE	DATE	5.1.14
	PROJECT NO.	1310180
	DRAWN BY	CADD
	CHECKED BY	PK
	DOB NO.	09175
	DRAWING NUMBER	S-150.01



1 15TH FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"

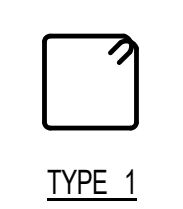
- NOTES:
- INDICATES NEW SLAB CONSTRUCTION. SEE SECT. 35/81
 - ELEVATION SHOWN THIS (-) INDICATES TIE-BL. ELEVATION ABOVE TSLAB
 - FOR ADDITIONAL NOTES AND LEGEND SEE DRAWING F-001
 - INSTALL WITH 2" LONG OVER DECK SHEAR CONNECTORS @ 12" ON ALL NEW BEAMS WITH NEW DECK, U.O.N.
 - LOAD BEARING MASONRY WALL TO HAVE MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI. MASONRY UNITS SHALL BE LIGHT WEIGHT HOLLOW CONCRETE. PROVIDE VERTICAL REINFORCEMENT W/RS10 AND HORIZONTAL W/TRUSS @ 1600# FOR BALANCE INFORMATION SEE DWG. S-98
 - FOR OPENING DIMENSIONS SEE ARCH DWGS.



2 ENLARGED CONCRETE FRAMING PLAN
SCALE: 3/16" = 1'-0"

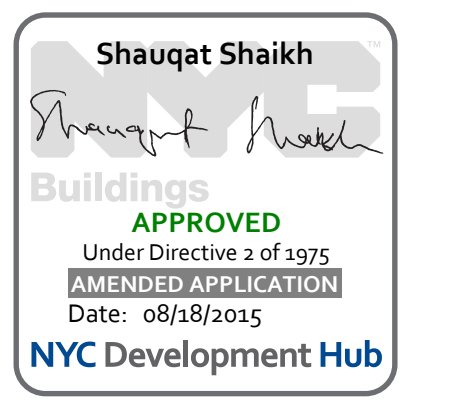
- NOTES:
- TOP OF SLAB IS. SEE ARCH DRAWING.
 - SLAB THICKNESS TO BE 12" U.O.N. THIS ON PLAN.
 - BOTTOM REINFORCEMENT TO BE W/RS2-E.W. CONTINUOUS FOR 12" SLAB
 - FOR BALANCE OF NOTES SEE DRAWING S-011

BEAM MARK	SIZE		REINFORCEMENT			STIRRUPS			REMARKS
	WIDTH	DEPTH	BOTTOM CONTINUOUS	TOP CONTINUOUS	TOP ADD'L BARS AT SUPPORT	TYPE	SIZE	SPACING	
15B1	10	18	2-#6	2-#6		1	#3	@6	



TYPE 1

ARCHITECT	SHAP ARCHITECTS, P.C. 235 BROADWAY, 11TH FLOOR NEW YORK, NY 10007 TEL: 212.869.9000	FAÇADE	SHAP ARCHITECTS, P.C. 235 BROADWAY, 11TH FLOOR NEW YORK, NY 10007 TEL: 212.869.9000
STRUCTURAL ENGINEER	YUSEF GANTON BERKOW 235 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212.897.9986	VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 8 BROADWAY, 20TH FLOOR LARKSPUR, NJ 07033 TEL: 201.983.8333
MEP ENGINEER	JARVIS, BALM & BOLLER 80 BOND STREET, 12TH FLOOR NEW YORK, NY 10002 TEL: 212.850.8500	RESTORATION	JAN HROFKORNY ASSOCIATES 80 WEST 47TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 212.759.4442
CIVIL ENGINEER	AWR ENGINEERING, P.C. 240 PARK AVE, 20TH FLOOR NEW YORK, NY 10017 TEL: 212.268.2628	GEOTECH	LONGMAN LINDSEY 40 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212.268.2628
ACOUSTICS	LONGMAN LINDSEY 40 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212.268.2628	INTERIORS	STUDIO JOSEPH FIELD 300 WASHINGTON STREET NEW YORK, NY 10013 TEL: 212.475.3000
PROPERTY MARKETS GROUP	30 EAST 17TH STREET, 2ND FLOOR NEW YORK, NY 10003 TEL: 212.850.8500	CURRENT ISSUE	



111 WEST 57TH STREET
 111 WEST 57TH STREET
 NEW YORK, NY 10019

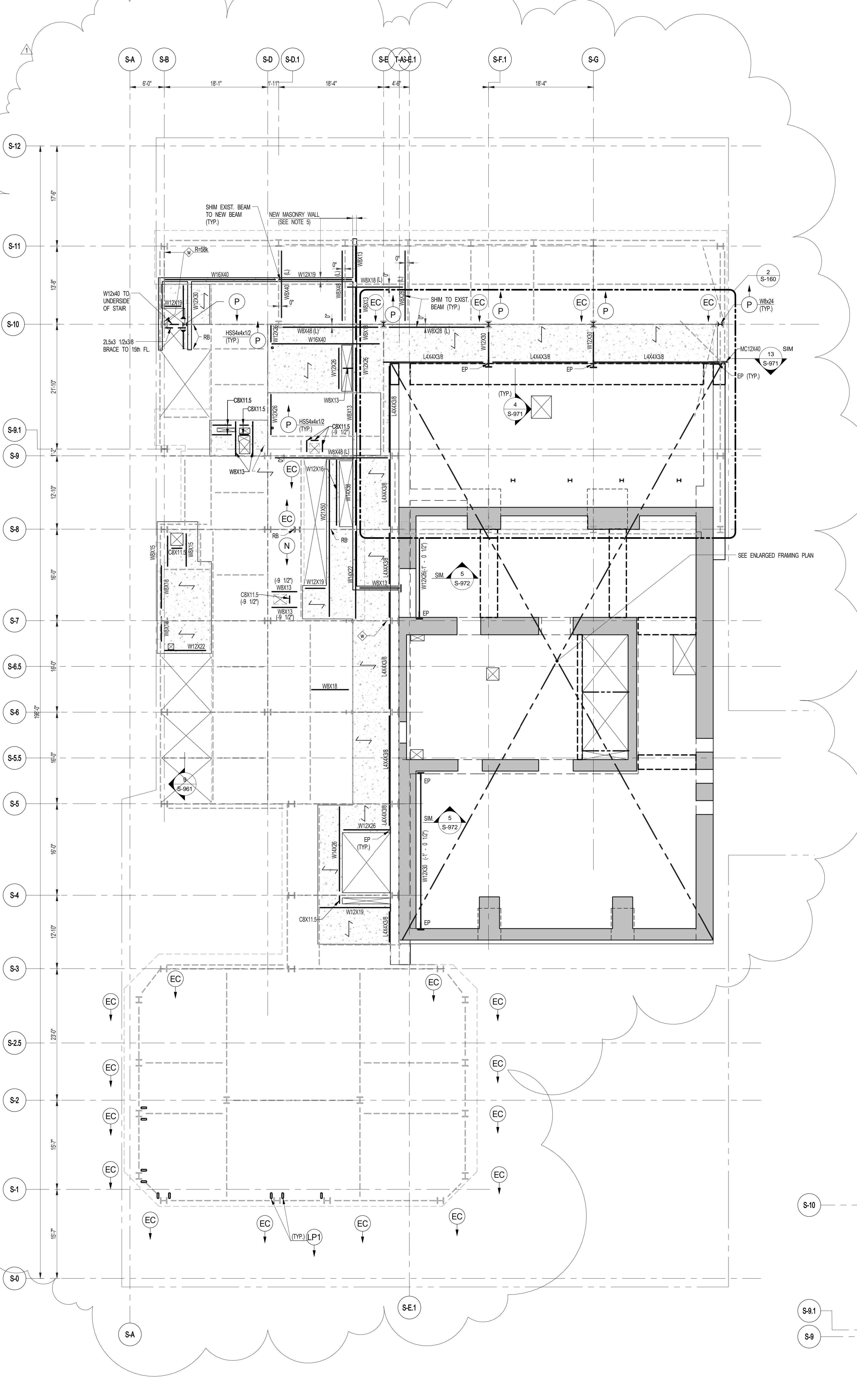


1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

● NOT FOR CONSTRUCTION

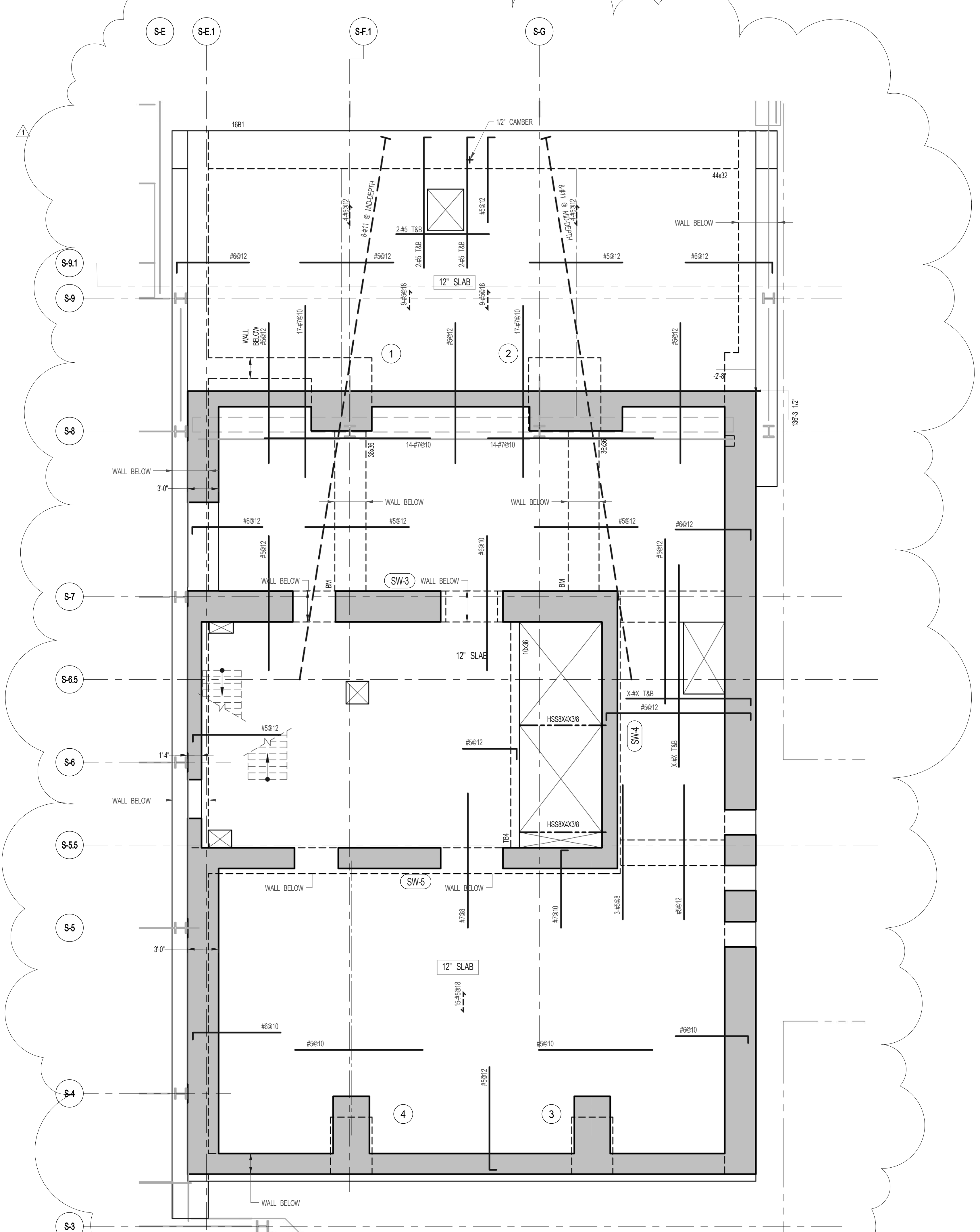
DRAWING TITLE
16TH FLOOR FRAMING PLAN

SEAL & SIGNATURE	DATE	5.1.14
	PROJECT NO.	1310180
	DRAWN BY	CADD
	CHECKED BY	PK
	DOB NO.	8975
	DRAWING NUMBER	S-160.01



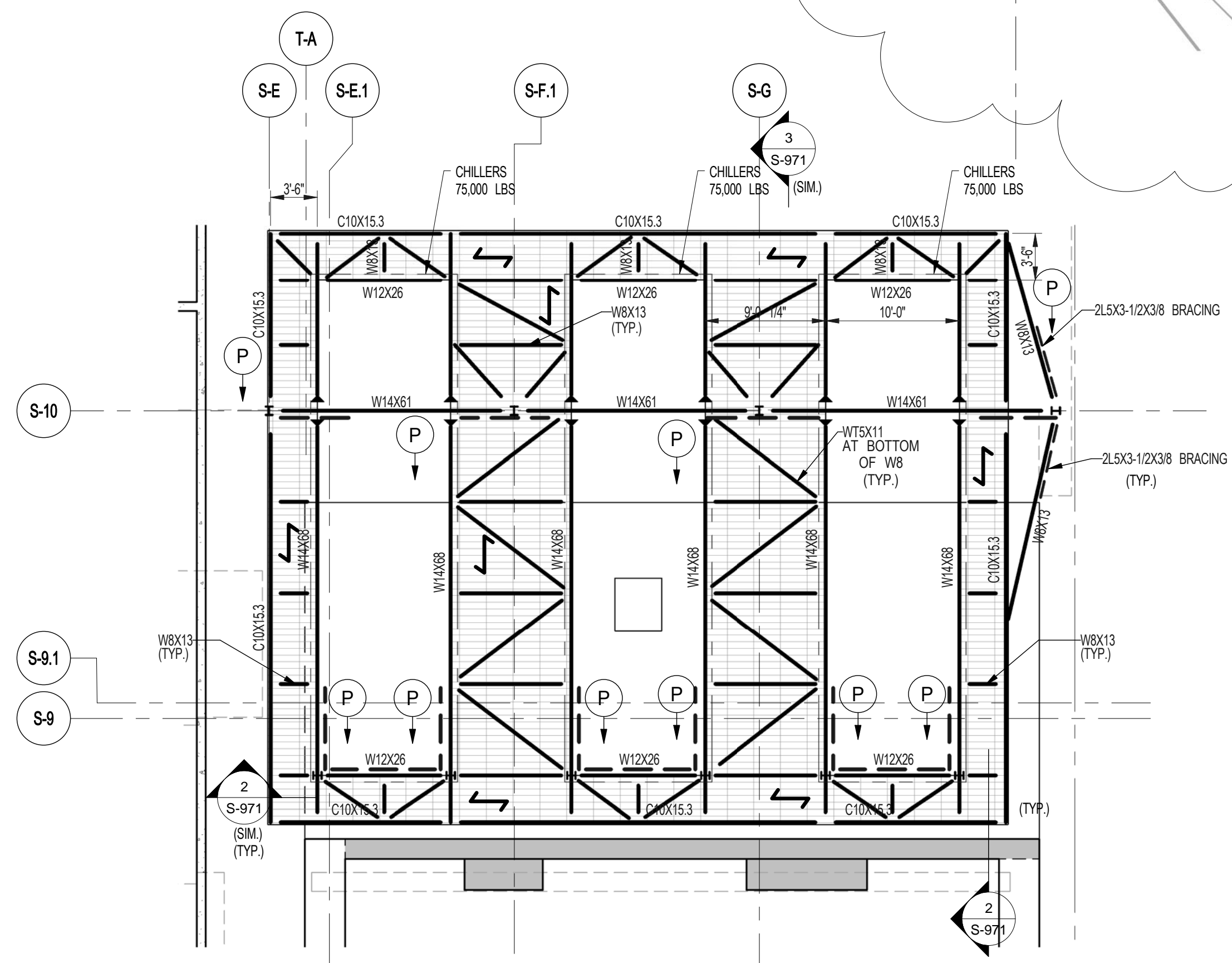
1 16TH FLOOR FRAMING PLAN
 SCALE: 1/8" = 1'-0"

- NOTES:
- INDICATES NEW SLAB CONSTRUCTION TO BE 3" W/ L. W/ CONCRETE TOPPING FINISH AT 2" OVER EXISTING SLAB ELEVATION OVER 3" GALV. METAL DECK 18 GA. (TOTAL DEPTH= 6") REIN. W/ 3#X1/4" W/ W/ U.O.N. (SEE ALSO SECT. S-160)
 - ELEVATION SHOWN THIS (-) INDICATES TOTAL ELEVATION ABOVE T.SLAB. FOR ADDITIONAL NOTES AND LEGEND SEE DRAWING T-1001.
 - INITIAL 54" x 6" LONG AFTER HOLDING SHEAR CONNECTORS @ 1' ON OC ON ALL NEW BEAMS U.O.N.
 - LOAD BEARING MASONRY WALL TO HAVE MINIMUM COMPRESSIVE STRENGTH OF 1500 PSI. MASONRY UNITS SHALL BE LIGHT WEIGHT HOLLOW CONCRETE. PROVIDE VERTICAL REINFORCEMENT W/ #6 AND HORIZONTAL W/ #6 @ 18" OC. FOR BALANCE INFORMATION SEE DWG. S-160.
 - FOR OPENINGS DIMENSIONS SEE ARCH. DWGS.



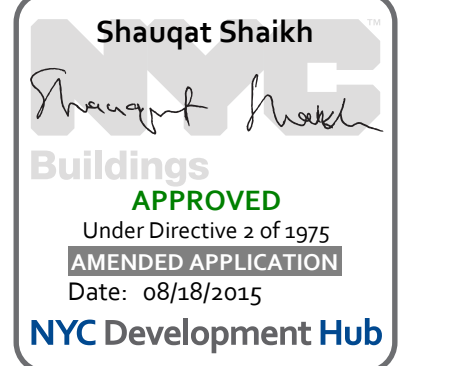
3 ENLARGED CONCRETE FRAMING PLAN
 SCALE: 3/16" = 1'-0"

- NOTES:
- TOP OF SLAB EL. SEE ARCH. DRAWINGS.
 - SLAB THICKNESS TO BE 12" UNLESS OTHERWISE NOTED ON PLAN.
 - BOTTOM REINFORCEMENT TO BE #5@12" E.W. CONTINUOUS FOR 12" SLAB.
 - FOR BALANCE OF NOTES SEE DRAWING S-010.



2 16TH FLOOR DUNNAGE FRAMING PLAN
 SCALE: 1/8" = 1'-0"

- NOTES:
- (P) INDICATES WBX4
 - ALL STEEL TO BE HD. GALVANIZED
 - FOR ADDITIONAL NOTES AND LEGEND SEE DRAWING S-001



1	3.27.15	DOB PAA
	5.1.14	DOB FILING SET

NO.	DATE	REVISION
-----	------	----------

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR COMPLETION OF THIS PROJECT BY OTHERS.
COPYRIGHT © 2018 SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.

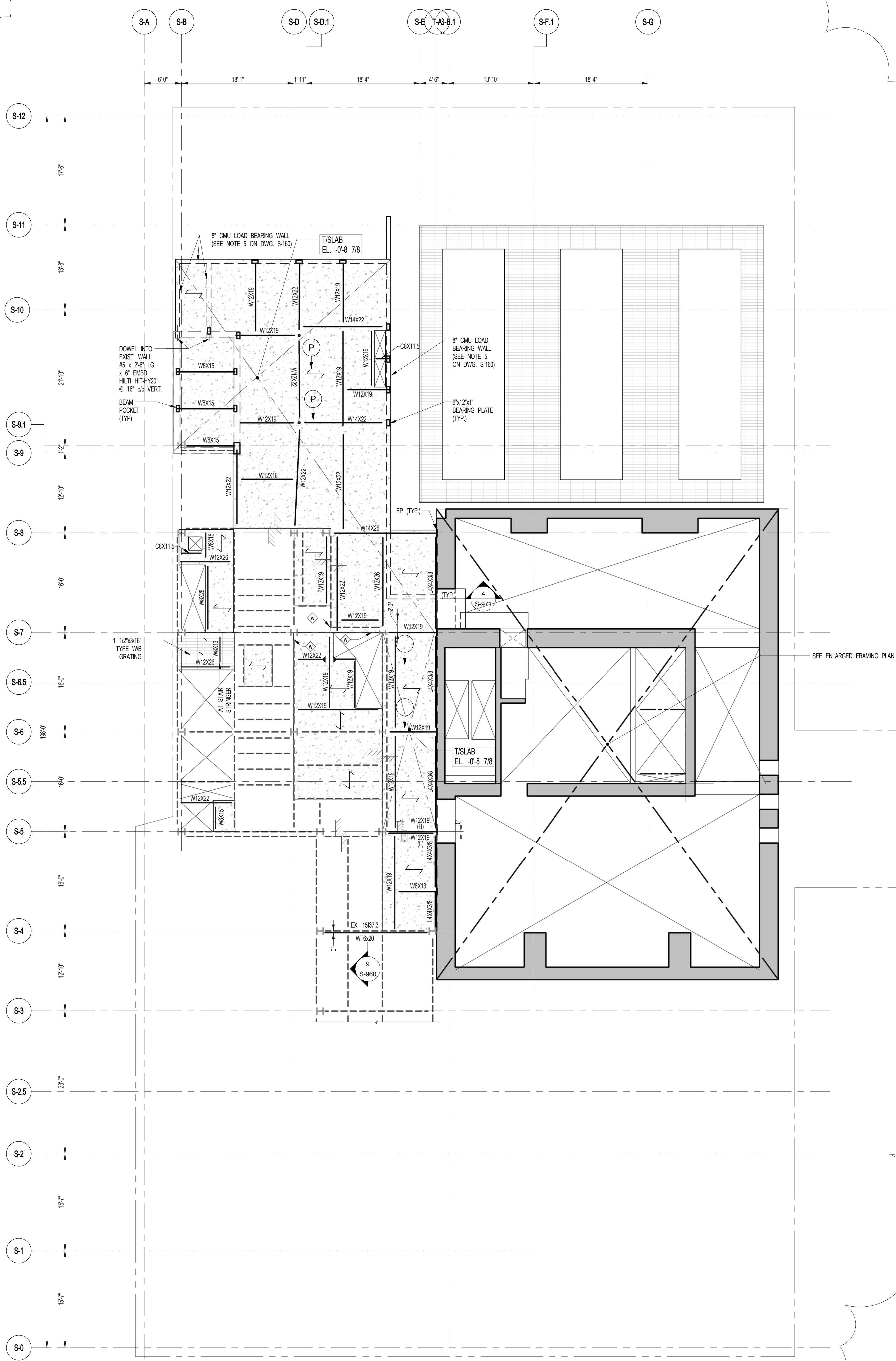
NOT FOR CONSTRUCTION

DRAWING TITLE

17TH FLOOR FRAMING PLAN

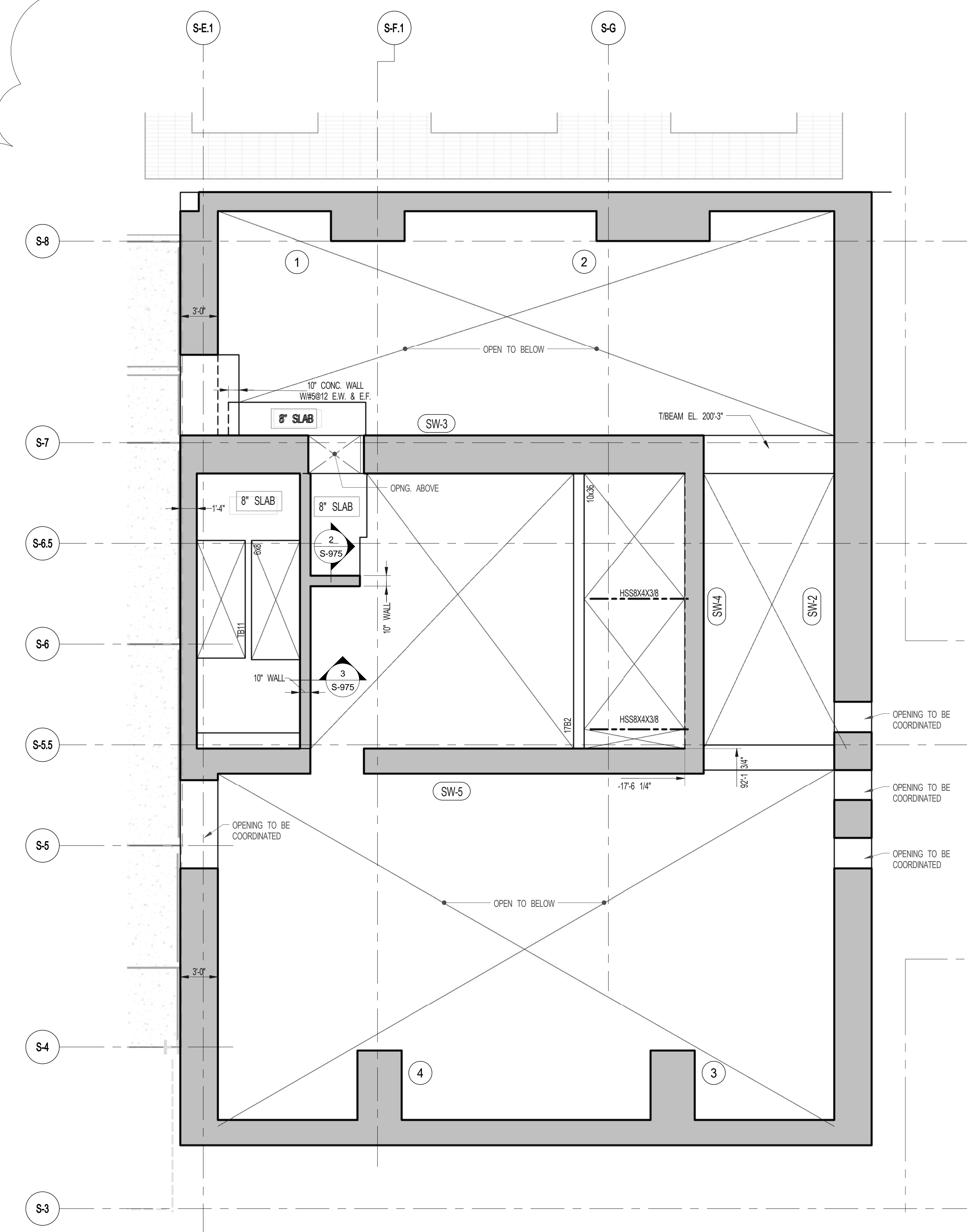
SEAL & SIGNATURE	DATE	5.1
		13.10

DRAWN BY	CA
CHECKED BY	
DATE	
DRAWING NUMBER	



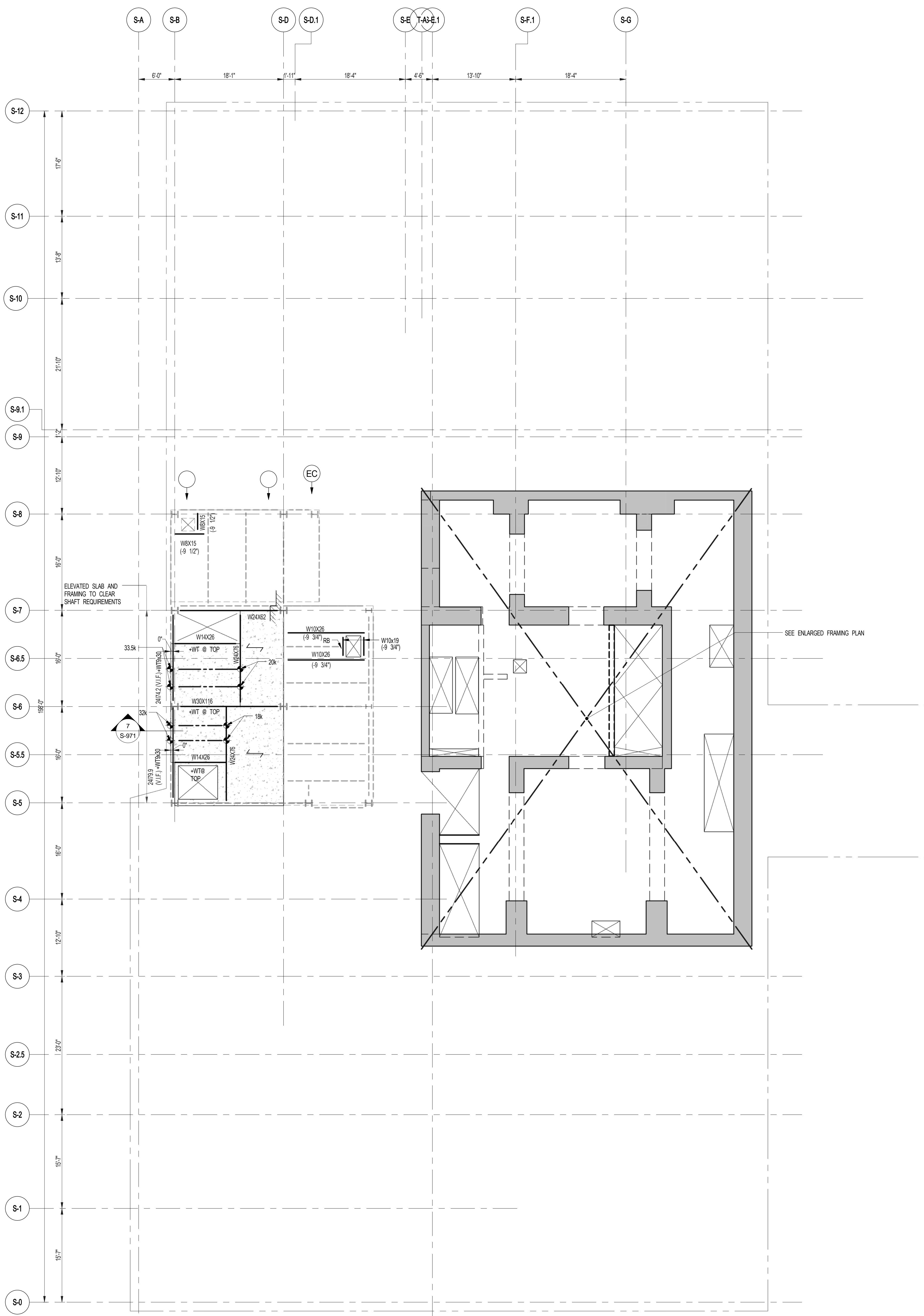
1 17TH FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"

- NOTES**
- INDICATES NEW SLAB CONSTRUCTION TO BE 3" 1/4" L. WT. CONCRETE TOPPING OVER 1/2" 20 GA. METAL DECK. 18 GA. TOTAL DEPTH. 1/4" REIN. W/ 6@18" ON CENTER. SEE ALSO S-171 FOR NEW SLAB ON EXISTING BEAMS.
 - ELEVATION SHOWN. THIS (-) INDICATES STEEL ELEVATION ABOVE 1944.
 - FOR ADDITIONAL NOTES AND LEGEND SEE DRAWING S-171.
 - INSTALL 3/4" x 6" L. U.C. AFTER WELDING SHEAR CONNECTORS @ 12" OC ON ALL NEW BEAMS U.O.N.
 - LOAD BEARING MASONRY WALL TO HAVE MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI. MASONRY UNITS SHALL BE LIGHT WEIGHT HOLLOW CONCRETE. PROVIDE VERTICAL REINFORCEMENT W/ #4 @ 16" ON CENTER. PROVIDE HORIZONTAL REINFORCEMENT W/ #4 @ 16" ON CENTER. FOR BALANCE INFORMATION SEE DWG. S-999.
 - FOR OPENING DIMENSIONS SEE ARCH. DWGS.



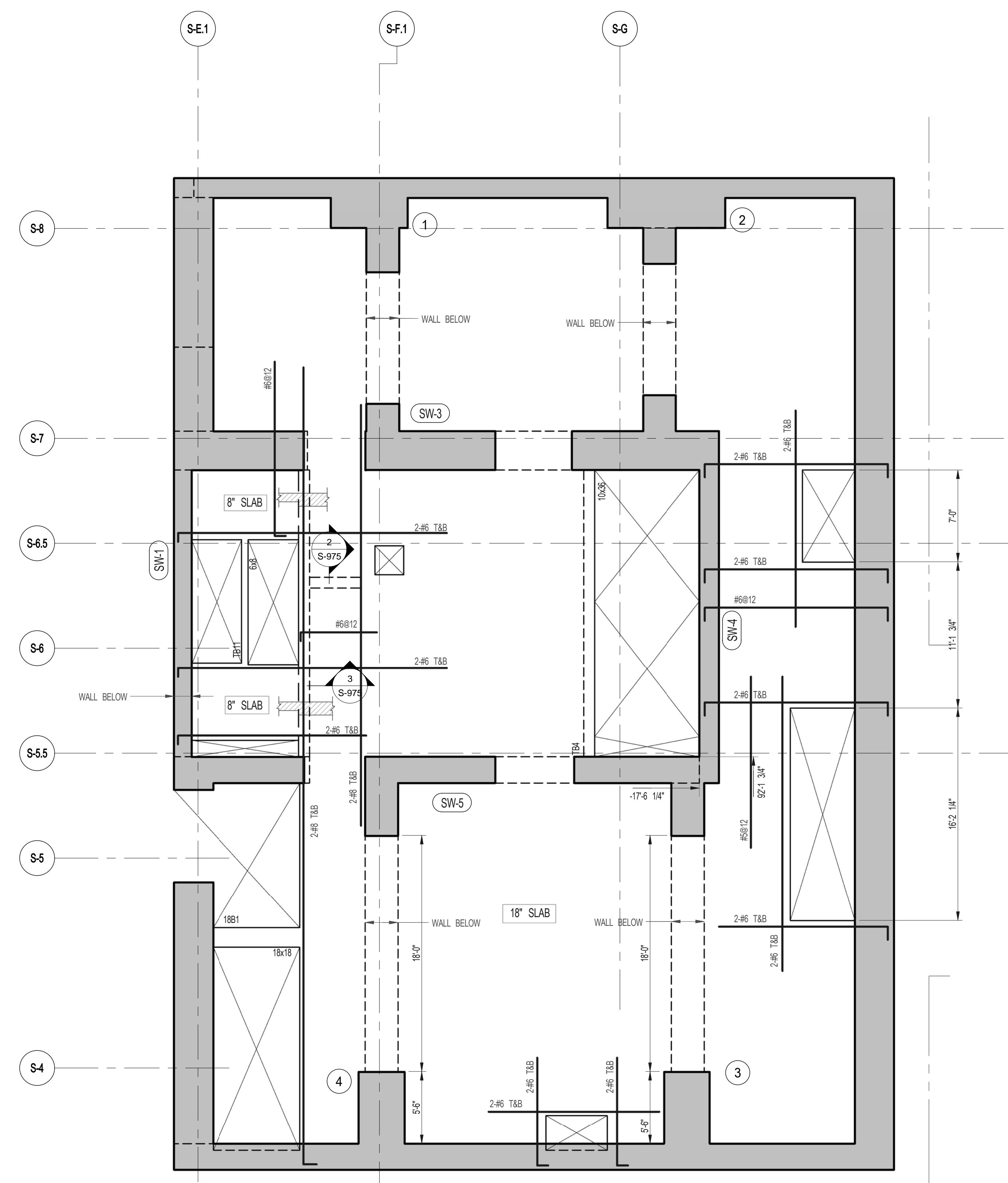
2 ENLARGED CONCRETE FRAMING PLAN
SCALE: 3/16" = 1'-0"

- NOTES**
- TOP OF SLAB EL. SEE ARCH. DRAWINGS.
 - SLAB THICKNESS TO BE 12" U.O.N. THIS (-) ON PLAN.
 - TOP & BOTTOM REINFORCEMENT TO BE #6@12" EW. CONTINUOUS FOR 8" SLAB.
 - FOR BALANCE OF NOTES SEE DRAWING S-170.



1 18TH/17.5 TOWER FLOOR FRAMING PLAN
S-180 SCALE: 1/8" = 1'-0"

- NOTES**
- INDICATES NEW SLAB CONSTRUCTION TO BE 3 1/2" N. WT. CONCRETE TOPPING 75#00 @ 4" AT 2' BAYS (MATCH EXISTING SLAB ELEVATION OVER 3" GALV. METAL DECK 18 GA TOTAL DEPTH 14" RENE. W/ 6#6@12" O.C. W/W.F. U.O.N.
 - ELEVATION SHOWN TRUSS 1-1 INDICATES TSTEEL ELEVATION ABOVE TSLAB.
 - FOR ADDITIONAL NOTES AND LEGEND SEE DRAWING F-001.
 - INSTALL 3/8" x 3' LONG AFTER WELDING SHEAR CONNECTORS @ 1'-0" ON ALL NEW BEAMS U.O.N.



2 ENLARGED CONCRETE FRAMING PLAN
S-180 SCALE: 3/16" = 1'-0"

- NOTES**
- TOP OF SLAB EL. SEE ARCH. DRAWINGS.
 - SLAB THICKNESS TO BE 12" U.O.N. TRUSS ON PLAN.
 - BOTTOM REINFORCEMENT TO BE #8@12" E-W CONTINUOUS FOR 8" SLAB.
 - TOP & BOTTOM REINFORCEMENT TO BE #8@12" E-W CONTINUOUS FOR 18" SLAB.
 - FOR BALANCE OF NOTES SEE DRAWING S-01.

ARCHITECT SHAP ARCHITECTS, P.C. 225 BROADWAY, 17TH FLOOR NEW YORK, NY 10019 TEL: 212.693.8800	STRUCTURAL ENGINEER WSP CANTOR BENTK 225 EAST 45TH STREET NEW YORK, NY 10017 TEL: 212.697.9800	MEP ENGINEER JANCO BISH & BOLLIES 85 WING STREET, 12TH FLOOR NEW YORK, NY 10003 TEL: 212.690.0000	CIVIL ENGINEER AKRF ENGINEERING, P.C. 450 PARK AVE SOUTH, 19TH FLOOR NEW YORK, NY 10018 TEL: 866.888.8828	ACoustics LONGMAN LINDSEY 4 WEST 45TH STREET, 8TH FLOOR NEW YORK, NY 10018 TEL: 212.259.2800	INTERIORS STUDIO SOFIELD 30 LAKARATE STREET NEW YORK, NY 10002 TEL: 212.473.0000	FACADE BURO HARRPOLD 108 BROADWAY NEW YORK, NY 10003 TEL: 212.334.2325	VERTICAL TRANSPORTATION MANUELS & ASSOCIATES 1 FREDERICK STREET, SUITE 524 LIPSON TOWER, 10TH FLOOR NEW YORK, NY 10002 TEL: 212.694.6000	RESTORATION JAN HED POKORNY ASSOCIATES 30 WEST 57TH STREET, 17TH FLOOR EAST NEW YORK, NY 10019 TEL: 212.764.8440	GEOTECH MRC 200 WEST 42ND STREET, 8TH FLOOR NEW YORK, NY 10018-0002 TEL: 212.269.8800	LIGHTING L'OSERVATOIRE INTERNATIONAL 100 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212.253.4465
--	---	--	--	---	---	---	--	---	--	--

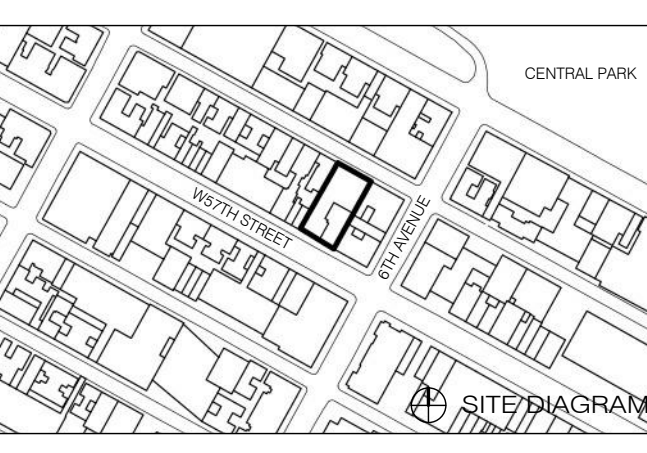


PROPERTY MARKETS GROUP
1 EAST 70TH STREET, 8TH FLOOR
NEW YORK, NY 10019
TEL: 212.693.8800

CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



NO.	DATE	REVISION
1	3.27.15	DOB PAK
	10.1.14	DOB FILES SET

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR FOR REPRODUCTION OF THIS PROJECT BY OTHERS.

COPIRIGHT © 2015 SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.

NOT FOR CONSTRUCTION

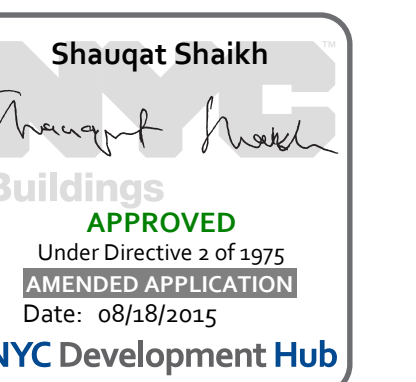
DRAWING TITLE
18TH/17.5 TOWER FLOOR FRAMING PLAN

SEAL & SIGNATURE	DATE	5.1.14
	PROJECT NO.	1310180
	DRAWN BY	CADD
	CHECKED BY	PK
	DATE	05/15/14
	DRAWING NUMBER	S-180.01

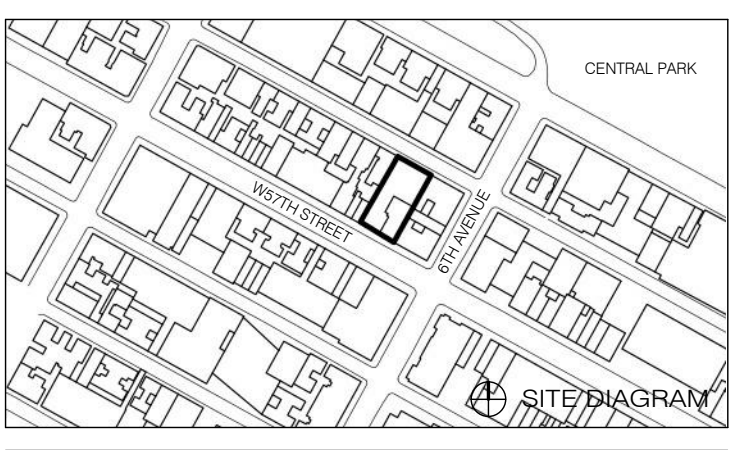
ARCHITECT	SHAP ARCHITECTS, P.C. 220 BROADWAY, 11TH FLOOR NEW YORK, NY 10038 TEL: 212.880.3000	FACADE	BURROUGHS WELLS 100 BROADWAY NEW YORK, NY 10038 TEL: 212.254.2025
STRUCTURAL ENGINEER	YUSEF GANTOUB ENGINEERING 220 EAST 43RD STREET NEW YORK, NY 10017 TEL: 212.697.5886	MEP ENGINEER	JORDIS, BAIAM & BOLLER 80 WING STREET, 12TH FLOOR NEW YORK, NY 10003 TEL: 212.880.8000
MEP ENGINEER	JORDIS, BAIAM & BOLLER 80 WING STREET, 12TH FLOOR NEW YORK, NY 10003 TEL: 212.880.8000	VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 8 WINDY STREET, SUITE 204 LARKSPRING, NJ 07033 TEL: 973.944.8770
CIVIL ENGINEER	AWR ENGINEERING, P.C. 40 FIFTH AVE, 20TH FLOOR NEW YORK, NY 10018 TEL: 212.268.8828	RESTORATION	JAN HRO FOKORNY ASSOCIATES 30 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212.259.4442
ACOUSTICS	LONGMAN LINDSEY 41 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212.259.3300	GEO TECH	MICE 200 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212.259.4442
INTERIORS	STUDIOS JOSEPH FIELD 30 WALKER STREET NEW YORK, NY 10003 TEL: 212.475.1300	LIGHTING	CONSERVATORIE INTERNATIONAL 100 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10003 TEL: 212.255.4442



PROPERTY MARKETS GROUP
100 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212.259.4442
CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



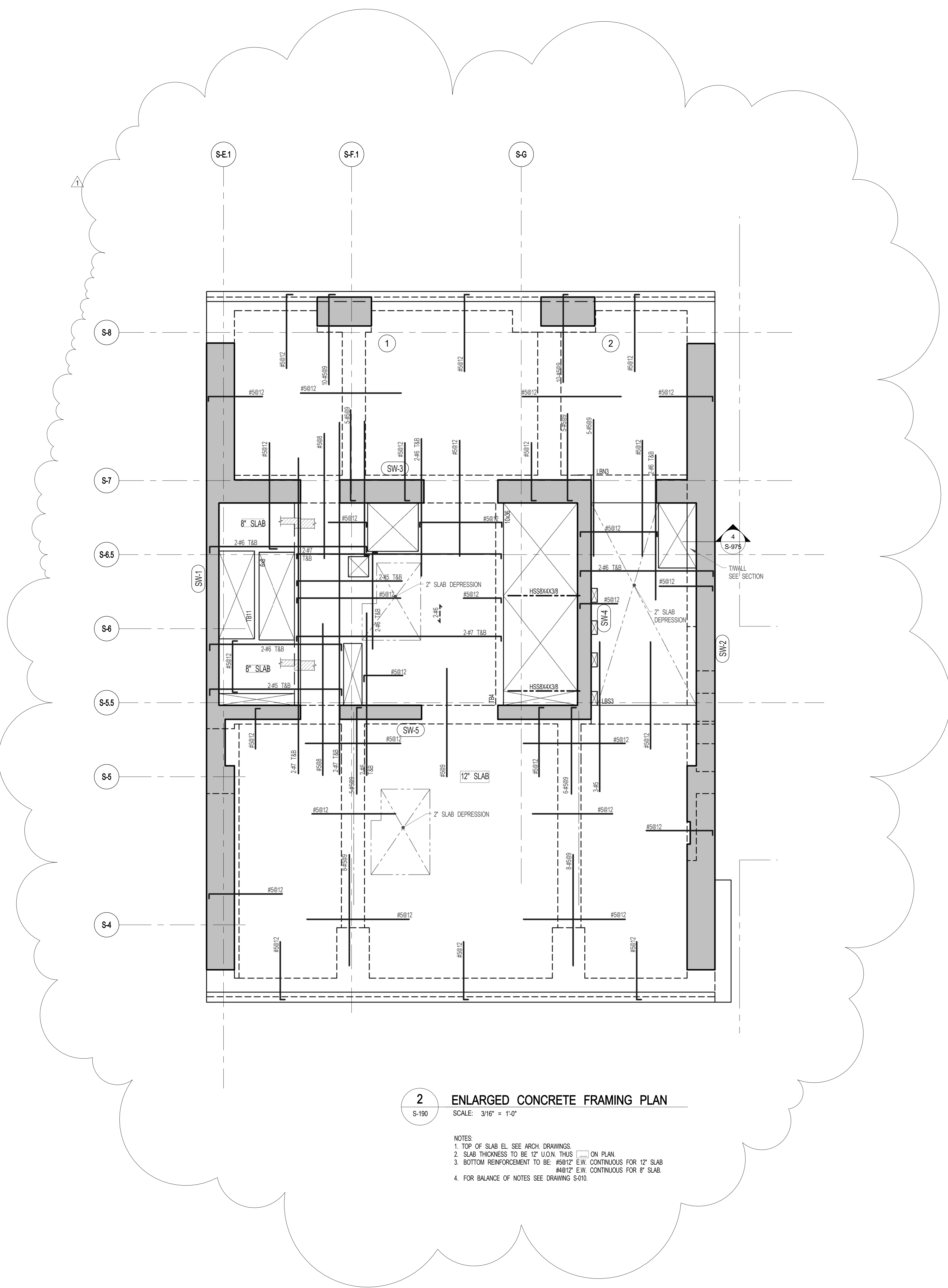
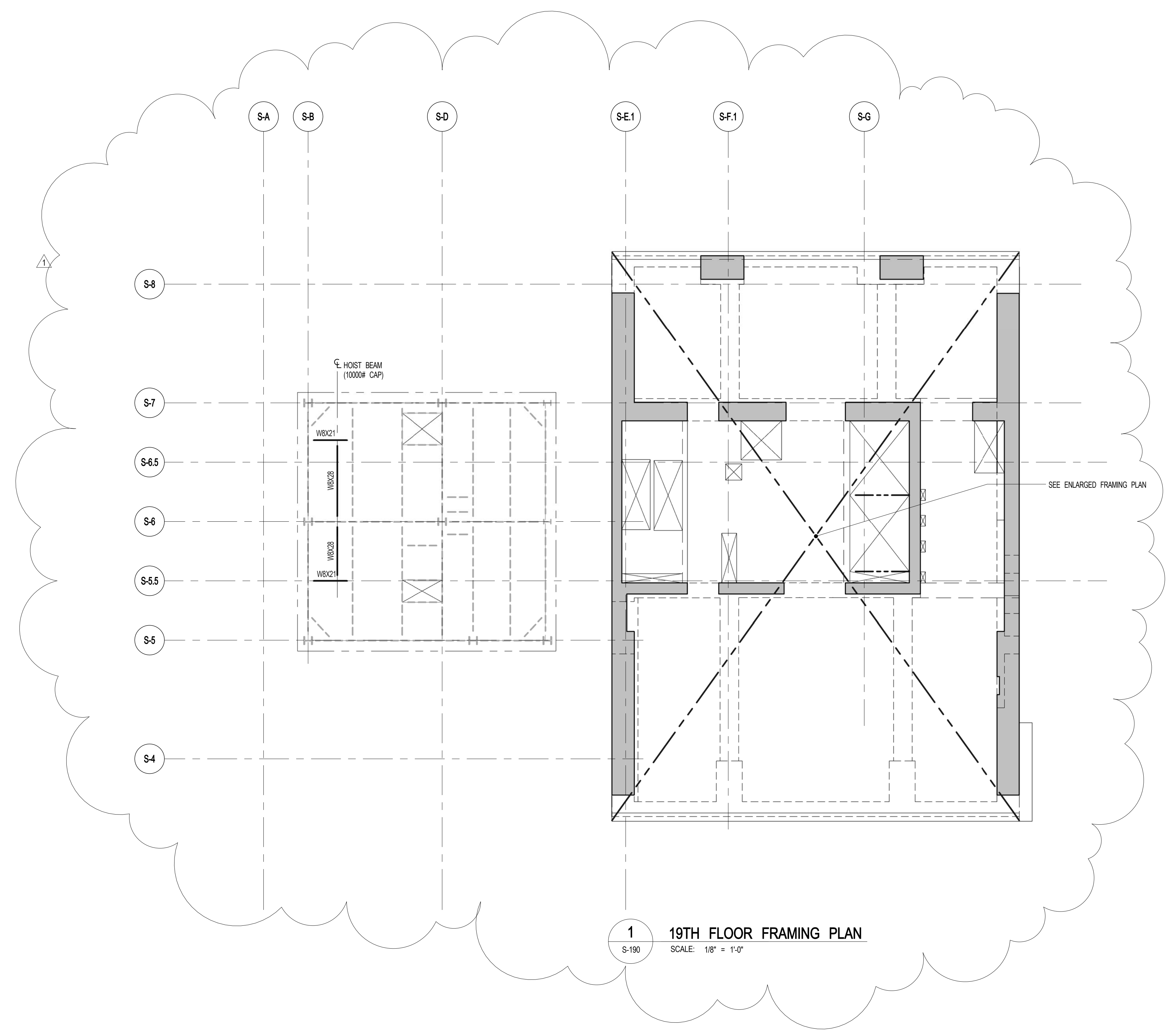
1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.

● NOT FOR CONSTRUCTION

DRAWING TITLE
19TH FLOOR FRAMING PLAN

SEAL & SIGNATURE	DATE	5.1.14
	PROJECT NO.	1310180
	DRAWN BY	Author
	CHECKED BY	Checker
	DOB NO.	09757
	DRAWING NUMBER	S-190.01



- NOTES:
- TOP OF SLAB EL. SEE ARCH. DRAWINGS.
 - SLAB THICKNESS TO BE 12" U.O.N. THIS ON PLAN.
 - BOTTOM REINFORCEMENT TO BE #5@12" E-W CONTINUOUS FOR 12" SLAB. #8@12" E-W CONTINUOUS FOR 8" SLAB.
 - FOR BALANCE OF NOTES SEE DRAWING S-200.

JDS DEVELOPMENT GROUP
134 FIFTH AVENUE, 8TH FLOOR
NEW YORK, NY 10011
NY 609.600.2800

ARCHITECT
SNIP ARCHITECTS, P.C.
230 BROADWAY, 11TH FLOOR
NEW YORK, NY 10038
NY 212.689.0000

STRUCTURAL ENGINEER
WEP CANON BENK
220 EAST 43RD STREET
NEW YORK, NY 10017
NY 212.647.0888

MEP ENGINEER
JARDS, BALM & ROLLES
80 FINE STREET, 10TH FLOOR
NEW YORK, NY 10038
NY 212.533.0000

CIVIL ENGINEER
ANIR ENGINEERING, P.C.
400 PARK AVE SOUTH, 7TH FLOOR
NEW YORK, NY 10014
NY 609.388.0000

ACOUSTICS
LONGMAN LINDSEY
41 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
NY 617.289.2000

INTERIORS
STUDIO SCHAFF
300 MARSHFIELD STREET
NEW YORK, NY 10002
NY 212.431.1000

FAÇADE
BURD HANFOLD
90 BROADWAY
NEW YORK, NY 10003
NY 212.244.2000

VERTICAL TRANSPORTATION
VAN DEUSEN & ASSOCIATES
170 WEST STREET, SUITE 604
UNIONDALE, NY 11553
NY 516.848.4000

RESTORATION
JAN HIRSHKOPFFNY ASSOCIATES
30 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
NY 212.751.6400

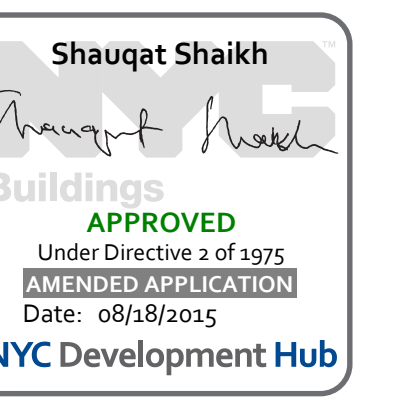
GEOTECH
MPC
41 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
NY 617.289.2000

LIGHTING
LOEBERWATHE INTERNATIONAL
300 MARSHFIELD STREET
NEW YORK, NY 10002
NY 212.258.4400

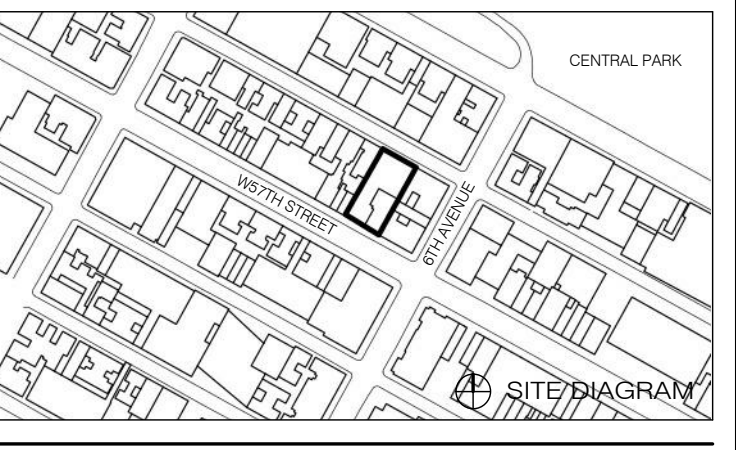


PROPERTY MARKETS GROUP
8 EAST 17TH STREET, 2ND FLOOR
NEW YORK, NY 10003
NY 212.610.2000

CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET



1	3.27.15	DOB PAA
	5.1.14	DOB FILING SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF SNIP ARCHITECTS, P.C. ALL RIGHTS RESERVED.
COPYRIGHT © 2015 SNIP ARCHITECTS, P.C. ALL RIGHTS RESERVED.

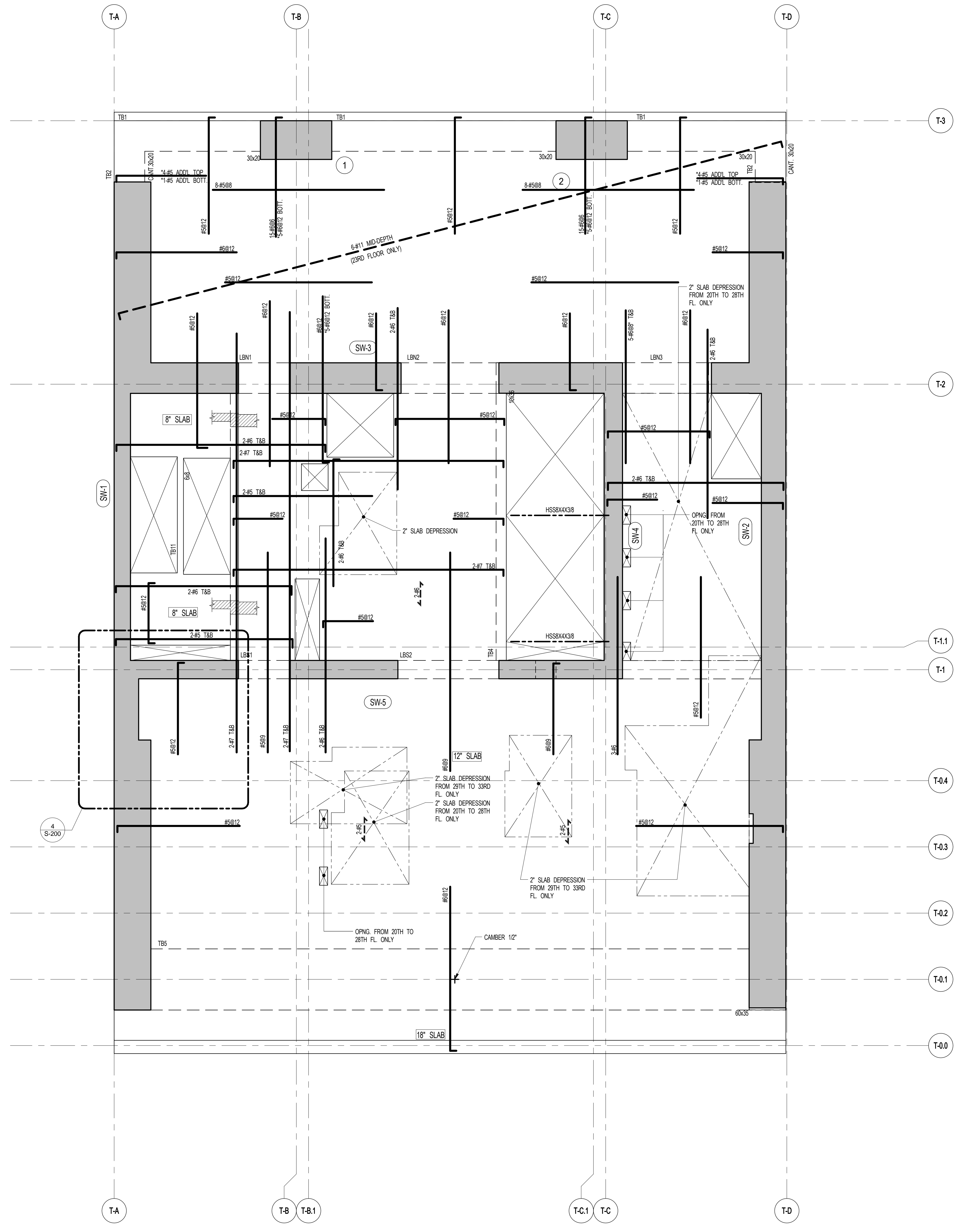
● NOT FOR CONSTRUCTION

DRAWING TITLE
20TH-33RD FLOOR FRAMING PLAN

DESIGNER'S SIGNATURE: DATE: 5.1.14
PROJECT NO: 1315140
DRAWN BY: CADDO
CHECKED BY: CL
DOB NO:
DRAWING NUMBER

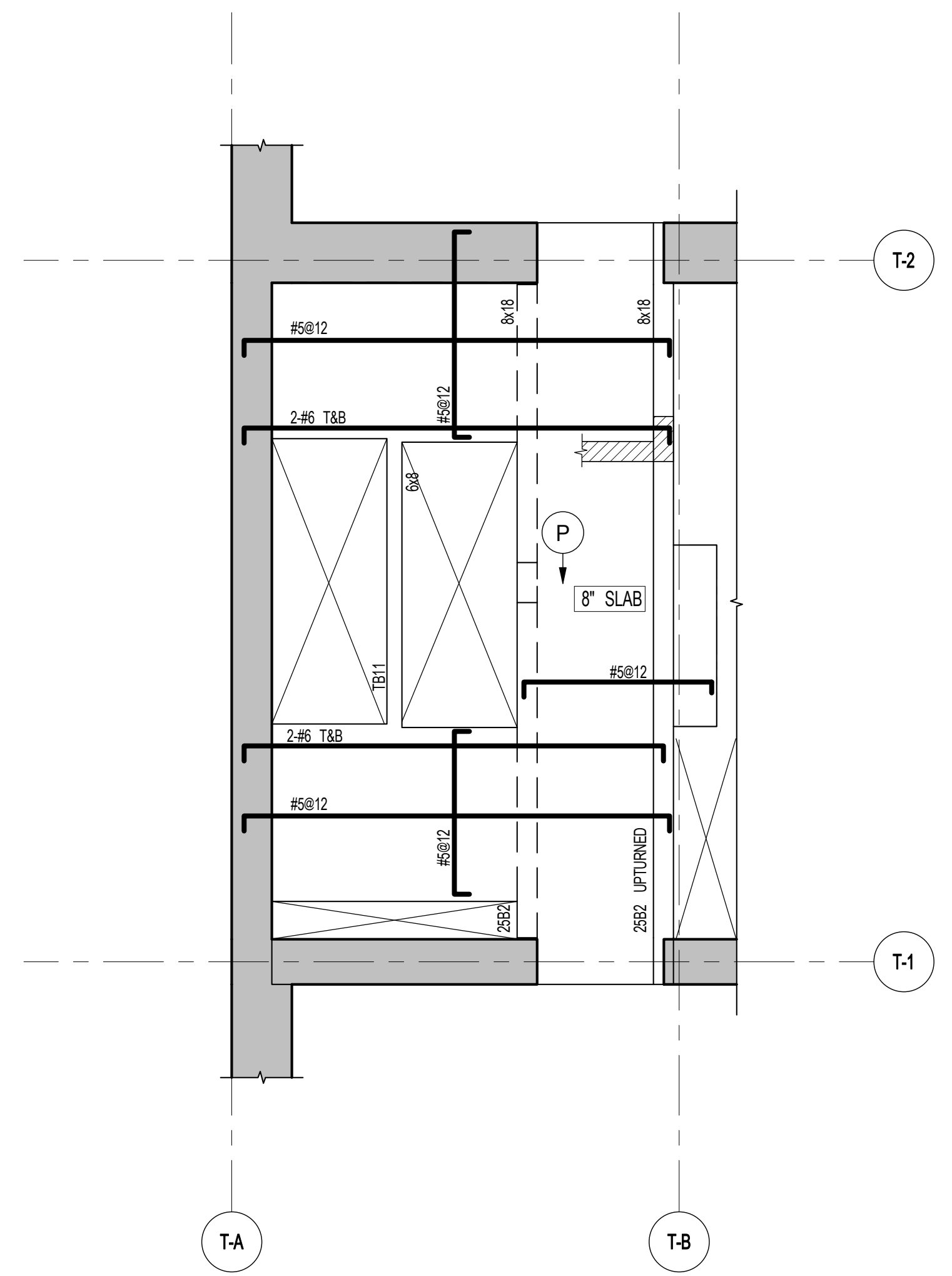


S-200.01

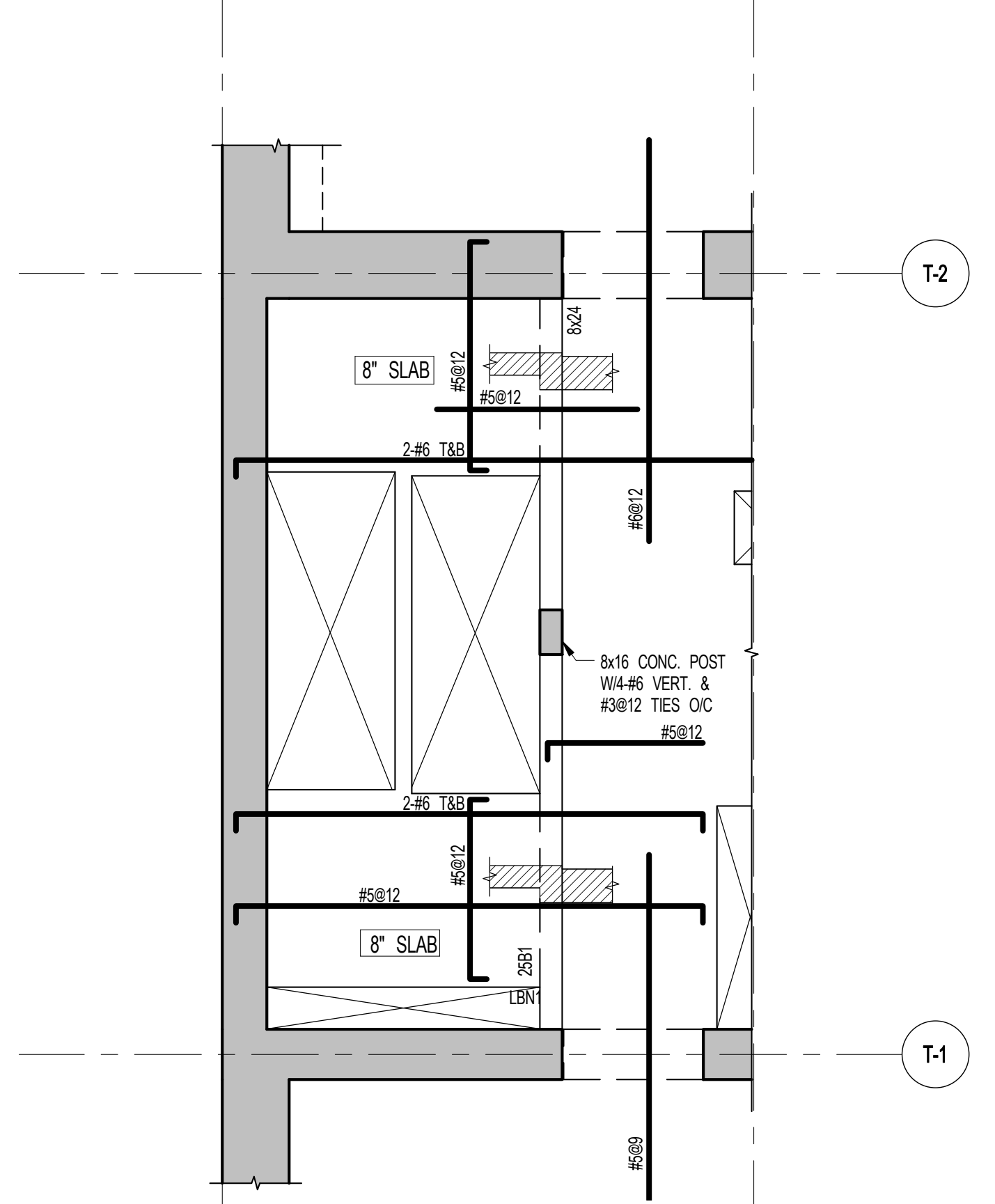


1 20TH-33RD FLOOR FRAMING PLAN
S-200 SCALE: 1/4" = 1'-0"

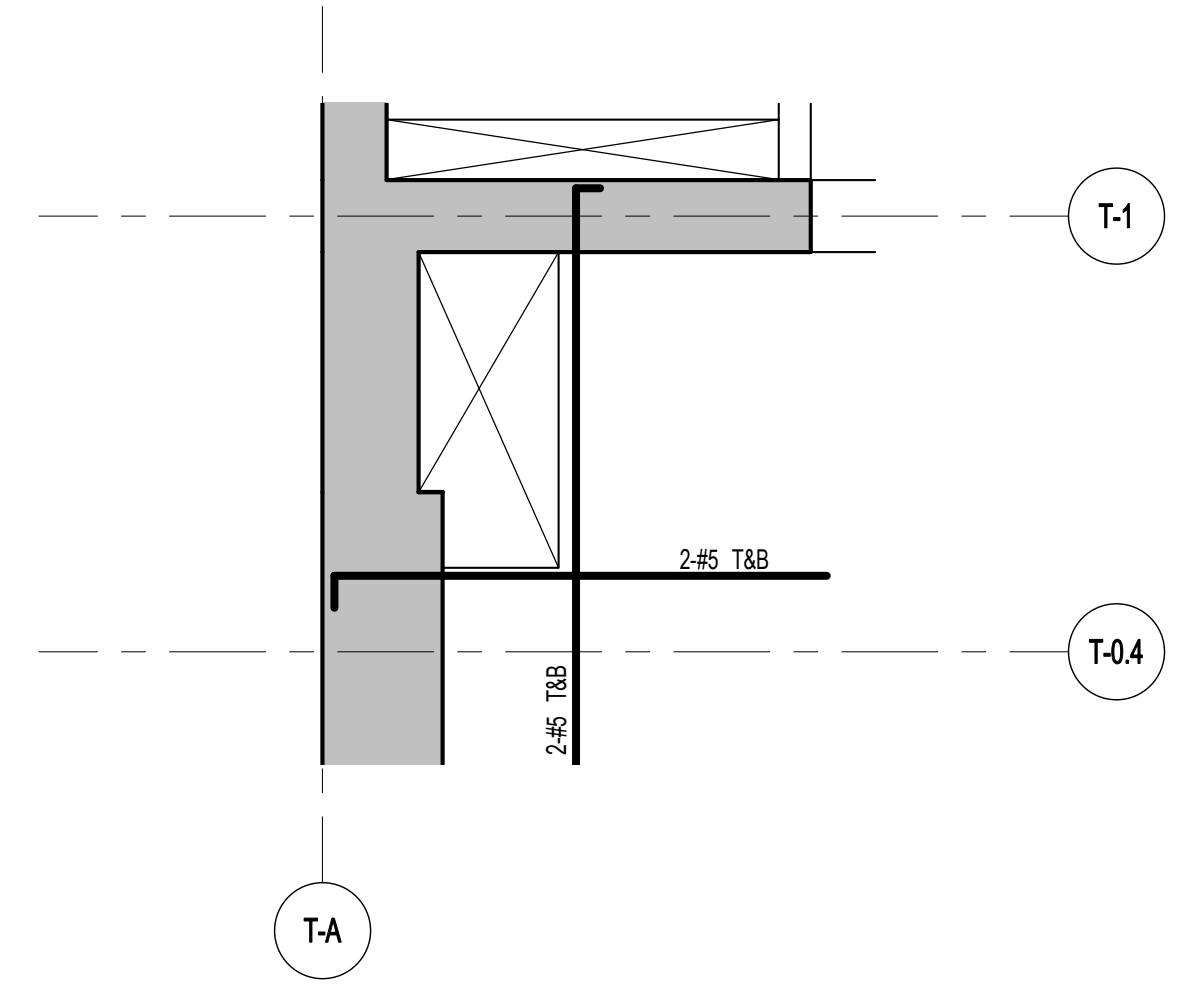
- NOTES
- TOP OF SLAB EL. SEE ARCH. DRAWINGS.
 - SLAB THICKNESS TO BE 12" UNL. THIS ON PLAN.
 - BOTTOM REINFORCEMENT TO BE #5@12" E-W CONTINUOUS FOR 12" SLAB #4@12" E-W CONTINUOUS FOR 8" SLAB #6@12" E-W CONTINUOUS FOR 18" SLAB.
 - FOR BALANCE OF NOTES SEE DRAWING S-010.



2 24TH MEZZ FLOOR PART FRAMING PLAN
S-200 SCALE: 1/4" = 1'-0"



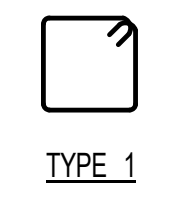
3 24TH FLOOR PART FRAMING PLAN
S-200 SCALE: 1/4" = 1'-0"



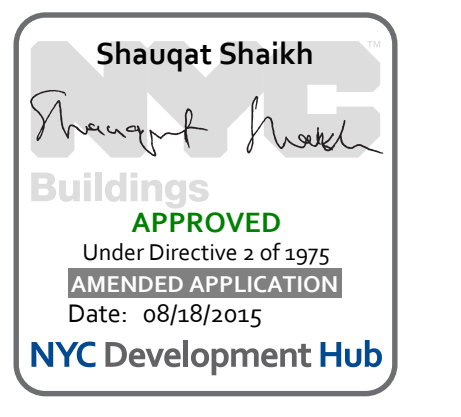
4 29TH-33RD FLOOR PART FRAMING PLAN
S-200 SCALE: 1/4" = 1'-0"

25TH FLOOR BEAM SCHEDULE

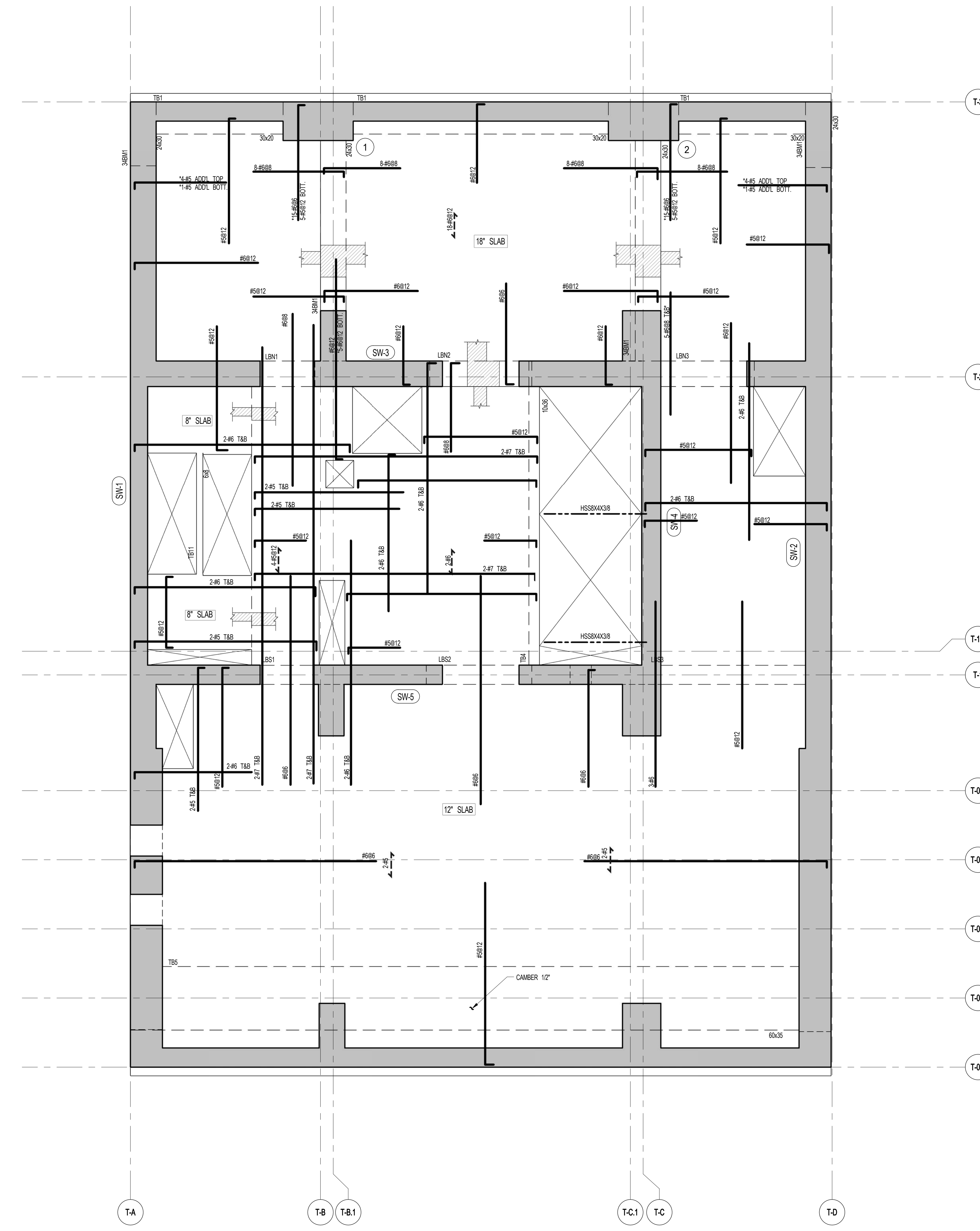
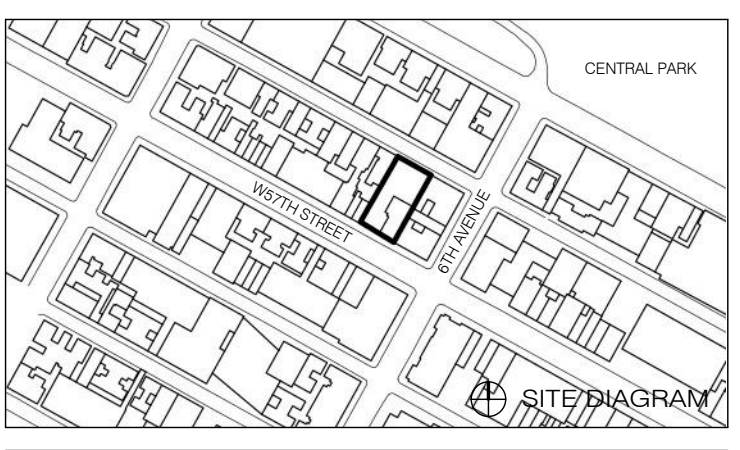
BEAM MARK	WIDTH	SIZE	DEPTH	REINFORCEMENT		STIRRUPS			REMARKS
				BOTTOM CONTINUOUS	TOP CONTINUOUS	TYPE	SIZE	SPACING	
25B1	8"	24"	24"	2#7	2#6	1	#4	@10"	
25B2	8"	18"	18"	2#7	2#6	1	#3	@8"	UPTURNED



TYPE 1



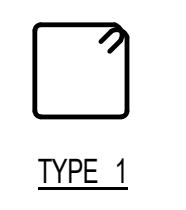
111 WEST 57TH STREET
111 WEST 57TH STREET



1 34TH FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

- NOTES:
1. TOP OF SLAB EL. SEE ARCH. DRAWINGS.
2. TOP SLAB THICKNESS TO BE 12" UNLESS OTHERWISE NOTED ON PLAN.
3. BOTTOM REINFORCEMENT TO BE #5@12" EW CONTINUOUS FOR 8" SLAB.
#5@12" EW CONTINUOUS FOR 12" SLAB.
#5@12" EW CONTINUOUS FOR 16" SLAB.
4. FOR BALANCE OF NOTES SEE DRAWING S-340.

BEAM MARK	WIDTH	DEPTH	REINFORCEMENT		STIRRUPS			REMARKS
			BOTTOM CONTINUOUS	TOP CONTINUOUS	TYPE	SIZE	SPACING	
34BM1	24"	30"	3-#9	3-#9	1	#4	@6"	



NO.	DATE	REVISION
1	3.27.15	DOB PAA
2	5.1.14	DOB PLING SET

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.

NOT FOR CONSTRUCTION

34TH FLOOR FRAMING PLAN

SEAL & SIGNATURE	DATE	5.1.14
PROJECT NO.	1310140	
DRAWN BY	CADD	
CHECKED BY	CL	
DOB NO.		
DRAWING NUMBER		



S-340.01

ARCHITECT SHAP ARCHITECTS, P.C. 220 BROADWAY, 11TH FLOOR NEW YORK, NY 10005 TEL: 212 880 9300	STRUCTURAL ENGINEER YUSEF GANTOUB ENGINEERING 220 EAST 43RD STREET NEW YORK, NY 10017 TEL: 212 897 2886	MEP ENGINEER JACOBI, BALK & BOLLER 80 WING STREET, 12TH FLOOR NEW YORK, NY 10003 TEL: 212 880 8000	CIVIL ENGINEER AWR ENGINEERING, P.C. 400 PARK AVE, 20TH FLOOR NEW YORK, NY 10022 TEL: 212 268 2828	ACQUISITION LONGMAN LINDSEY 40 WEST 58TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917 238 2300	INTERIORS STUDIO JOSEPH 30 WALKER STREET NEW YORK, NY 10002 TEL: 212 475 1300	FAÇADE BURROUGHS WAREFIELD 100 BROADWAY NEW YORK, NY 10005 TEL: 212 254 2025	VERTICAL TRANSPORTATION VAN DEUSEN & ASSOCIATES 100 WEST STREET, SUITE 200 LARKSPER, NJ 07033 TEL: 973 984 4700	RESTORATION JAN HROD POKORNY ASSOCIATES 30 WEST 57TH STREET, 11TH FLOOR NEW YORK, NY 10019 TEL: 212 238 6462	GEOTECH MTC 200 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917 238 4900	LIGHTING CONSERVATORIE INTERNATIONAL 100 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 255 4453
---	---	--	--	---	---	--	---	--	--	---



PROPERTY MARKETS GROUP
100 WEST 57TH STREET, 10TH FLOOR
NEW YORK, NY 10019
TEL: 212 880 9300
CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET



1 35TH FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

- NOTES:
- TOP OF SLAB E.L. SEE ARCH. DRAWINGS
 - SLAB THICKNESS TO BE 12" U.O.N. THIS [] ON PLAN
 - BOTTOM REINFORCEMENT TO BE #4@12" E.W. CONTINUOUS FOR 8" SLAB
TOP AND BOTTOM REIN. TO BE #6@12" E.W. CONTINUOUS FOR 18" SLAB U.O.N.
 - FOR BALANCE OF NOTES SEE DRAWING S-010.

1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

● NOT FOR CONSTRUCTION

35TH FLOOR FRAMING PLAN

SEAL & SIGNATURE	DATE	5.1.14
	PROJECT NO.	1310140
	DRAWN BY	CADD
	CHECKED BY	CL
	DOB NO.	
	DRAWING NUMBER	S-350.01



ARCHITECT
SHP ARCHITECTS, P.C.
230 BROADWAY, 11TH FLOOR
NEW YORK, NY 10005
TEL: 212 869 9300

STRUCTURAL ENGINEER
YUSEF GANTOY REYNOLDS
230 EAST 43RD STREET
NEW YORK, NY 10017
TEL: 212 867 5866

MEP ENGINEER
JACOBI, BAUM & BOLLER
80 WINE STREET, 12TH FLOOR
NEW YORK, NY 10038
TEL: 212 869 8333

CIVIL ENGINEER
ARUP ENGINEERING, P.C.
40 FIFTH AVE, 26TH FLOOR
NEW YORK, NY 10018
TEL: 212 260 2600

ACOUSTICIST
LONGMAN LINDSEY
40 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 917 238 3389

INTERIORS
STUDIOS JENSEN
20 WALKER STREET
NEW YORK, NY 10002
TEL: 212 475 3000

FAÇADE
BURROUGHS WELFORD
100 BROADWAY
NEW YORK, NY 10005
TEL: 212 254 2025

VERTICAL TRANSPORTATION
VAN DEUSEN & ASSOCIATES
8 WOOD STREET, SUITE 204
LARKSPER, NJ 07033
TEL: 973 984 4770

RESTORATION
JAN HROFKORNY ASSOCIATES
30 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212 238 6462

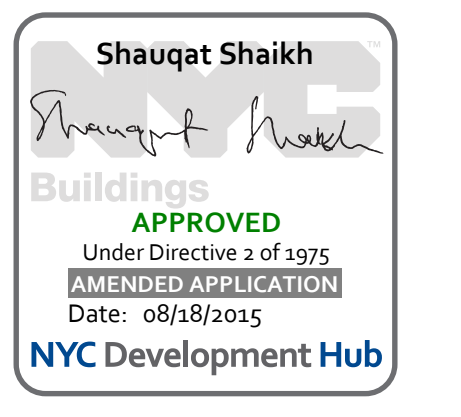
GEOTECH
MICE
200 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 917 238 4900

LIGHTING
CONSERVATORIE INTERNATIONAL
100 WALKER STREET, 7TH FLOOR EAST
NEW YORK, NY 10002
TEL: 212 254 4443

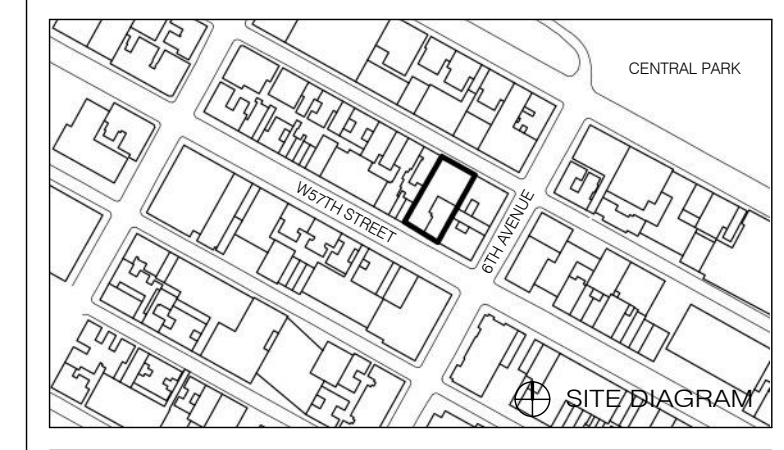


PROPERTY MARKETS GROUP
100 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212 869 9300

CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET



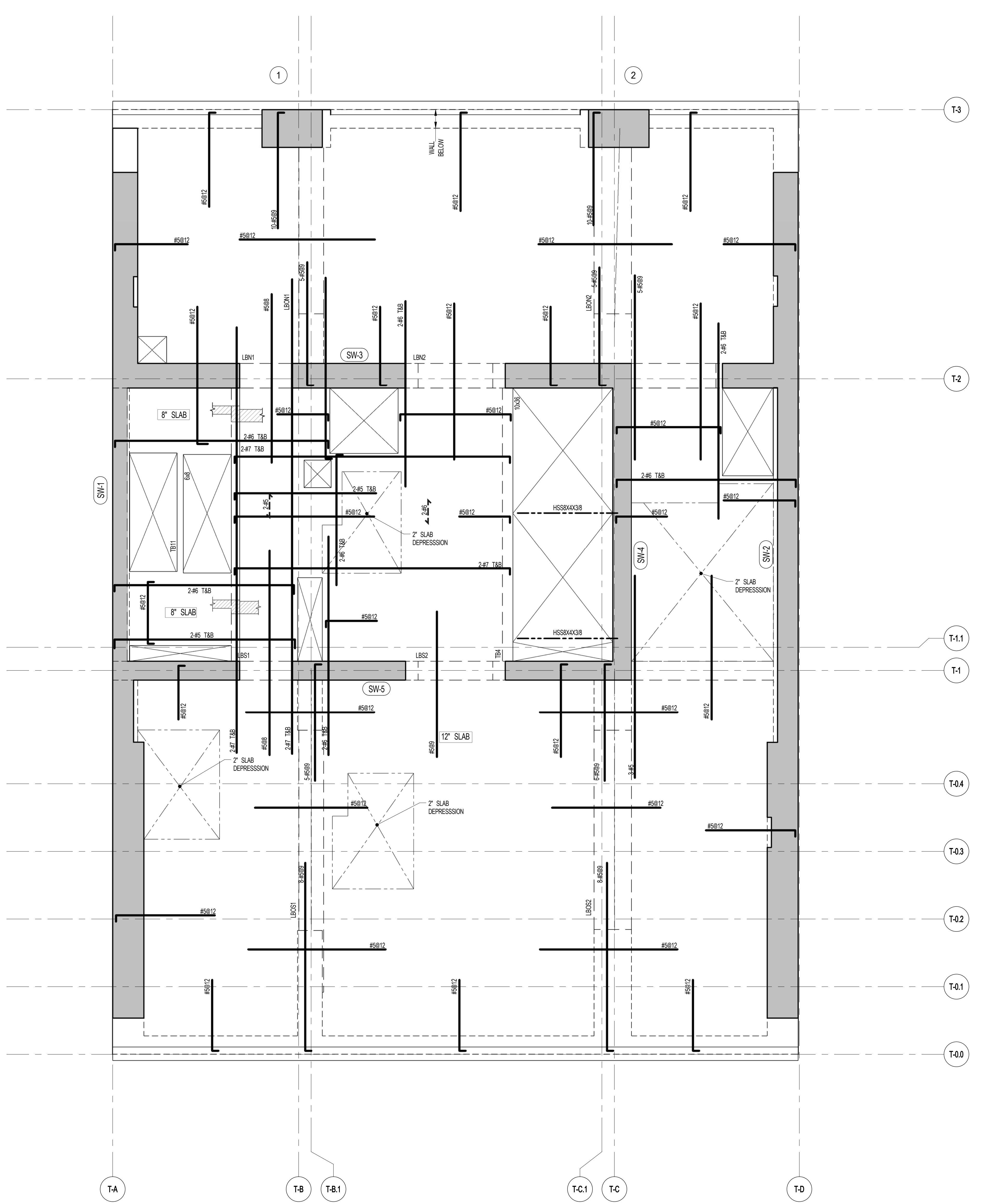
1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHP ARCHITECTS P.C. ALL RIGHTS RESERVED.

NOT FOR CONSTRUCTION

DRAWING TITLE
36TH FLOOR FRAMING PLAN

SEAL & SIGNATURE	DATE	5.1.14
	PROJECT NO.	1310140
	DRAWN BY	CADD
	CHECKED BY	CL
	DOB NO.	
	DRAWING NUMBER	S-360.01



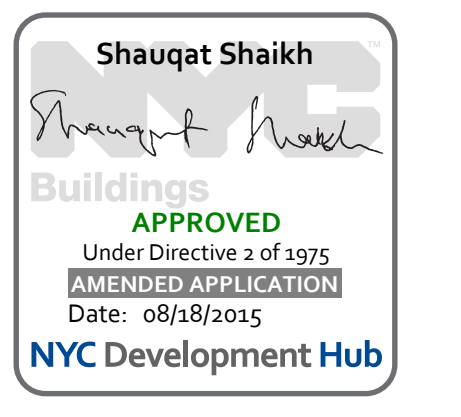
1 36TH FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

- NOTES
- TOP OF SLAB EL. SEE ARCH DRAWINGS
 - SLAB THICKNESS TO BE 12" UNLESS NOTED OTHERWISE ON PLAN.
 - BOTTOM REINFORCEMENT TO BE #5@12" E-W; CONTINUOUS FOR 12" SLAB #5@12" E-W; CONTINUOUS FOR 8" SLAB #5@12" E-W.
 - FOR BALANCE OF NOTES SEE DRAWING S-010.

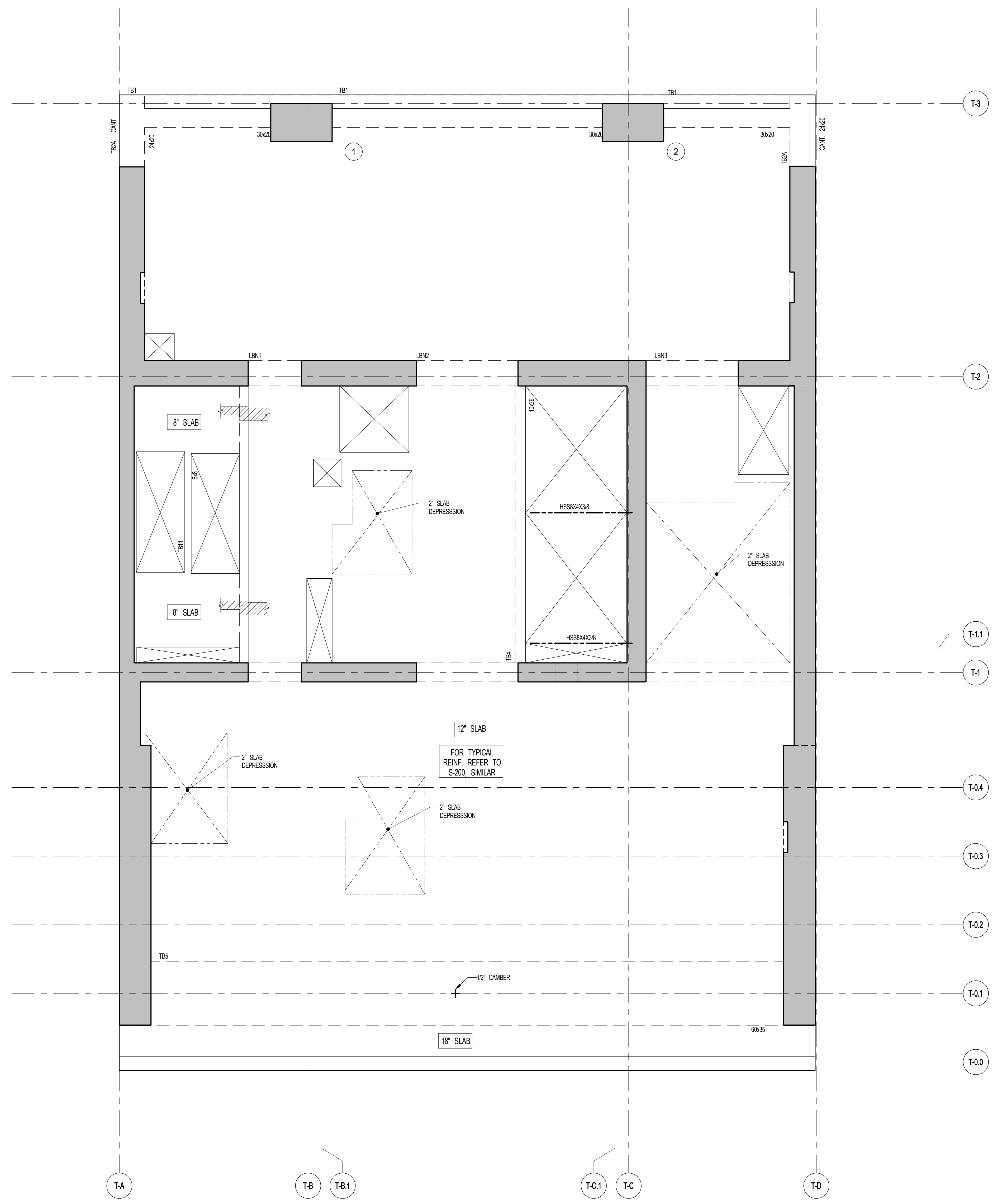
ARCHITECT	SHAP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10005 TEL: 212 689 9300	FAÇADE	BURROUGHS WELLS 100 BROADWAY NEW YORK, NY 10005 TEL: 212 254 2025
STRUCTURAL ENGINEER	YUSEF GANTOUB ENGINEERING 228 EAST 43RD STREET NEW YORK, NY 10017 TEL: 212 697 5886	VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 1 BROADWAY, 20TH FLOOR LARKSPRING, NJ 07033 TEL: 973 984 4700
MEP ENGINEER	JACOBS, BALK & BOLLER 40 WINE STREET, 12TH FLOOR NEW YORK, NY 10005 TEL: 212 693 6000	RESTORATION	JAN HRO FOKORNY ASSOCIATES 30 WEST 57TH STREET, 4TH FLOOR, 10A NEW YORK, NY 10019 TEL: 212 259 6462
CIVIL ENGINEER	AWR ENGINEERING, P.C. 40 WINE AND SOUTH 7TH FLOOR NEW YORK, NY 10013 TEL: 646 288 8028	GEOTECH	LONGMAN LINDSEY 40 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917 288 2880
ACOUSTICS	LONGMAN LINDSEY 40 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917 288 2880	INTERIORS	STUDIO JENSEN 30 WALKER STREET NEW YORK, NY 10002 TEL: 212 475 1300
MECHANICAL	YUSEF GANTOUB ENGINEERING 228 EAST 43RD STREET NEW YORK, NY 10017 TEL: 212 697 5886	LIGHTING	CONSERVATIVE INTERNATIONAL 100 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 255 4463



PROPERTY MARKETS GROUP
100 WEST 47TH STREET, 9TH FLOOR
NEW YORK, NY 10019
TEL: 212 693 6000
CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET



1 37TH - 44TH FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

- NOTES:
1. TOP OF SLAB E.L. SEE ARCH. DRAWINGS.
 2. SLAB THICKNESS TO BE 12" U.O.N. THIS.
 3. BOTTOM REINFORCEMENT TO BE #5@12" E-W; CONTINUOUS FOR 12" SLAB #4@12" E-W; CONTINUOUS FOR 8" SLAB #3@12" E-W; CONTINUOUS FOR 18" SLAB #3@12" E-W.
 4. FOR BALANCE OF NOTES SEE DRAWING S-010.

1	3/27/15	DOB PRA
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.

● NOT FOR CONSTRUCTION

DRAWING TITLE
37TH-44TH FLOOR FRAMING PLAN

SEAL & SIGNATURE	DATE	3/27/15
PROJECT NO.	1310140	
DRAWN BY	CADD	
CHECKED BY	CL	
DOB NO.		
DRAWING NUMBER		



S-370.00

ARCHITECT	SHAP ARCHITECTS, P.C. 228 BROADWAY, 11TH FLOOR NEW YORK, NY 10003 TEL: 212 669 9336
STRUCTURAL ENGINEER	YUSEF GANTOUB ENGINEERING 228 EAST 43RD STREET NEW YORK, NY 10017 TEL: 212 697 5866
MEP ENGINEER	JACOBI, BALKIN & BOLLER 40 RINE STREET, 12TH FLOOR NEW YORK, NY 10005 TEL: 212 693 6333
CIVIL ENGINEER	AWR ENGINEERING, P.C. 40 FIFTH AVE, 20TH FLOOR NEW YORK, NY 10003 TEL: 646 288 8928
ACOUSTICIAN	LONGMAN LINDSEY 40 WEST 40TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 917 238 3389
INTERIORS	STUDIO JOSEPH 30 WALKER STREET NEW YORK, NY 10002 TEL: 212 475 1300
FAÇADE	BURRO HARRFIELD 105 BROADWAY NEW YORK, NY 10005 TEL: 212 254 2025
VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 1 BROADWAY, 20TH FLOOR LARKSPRING, NJ 07033 TEL: 973 984 8770
RESTORATION	JAN HROFKORNY ASSOCIATES 30 WEST 37TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 212 238 6462
GEOTECH	MTICE 205 WEST 40TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 917 238 4900
LIGHTING	CONSERVATORIE INTERNATIONAL 105 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 252 4443



PROPERTY MARKETS GROUP
100 WEST STREET, 10TH FLOOR
NEW YORK, NY 10006
TEL: 212 693 9900
CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET



1	3.27.15	DOB PRA
NO.	DATE	REVISION

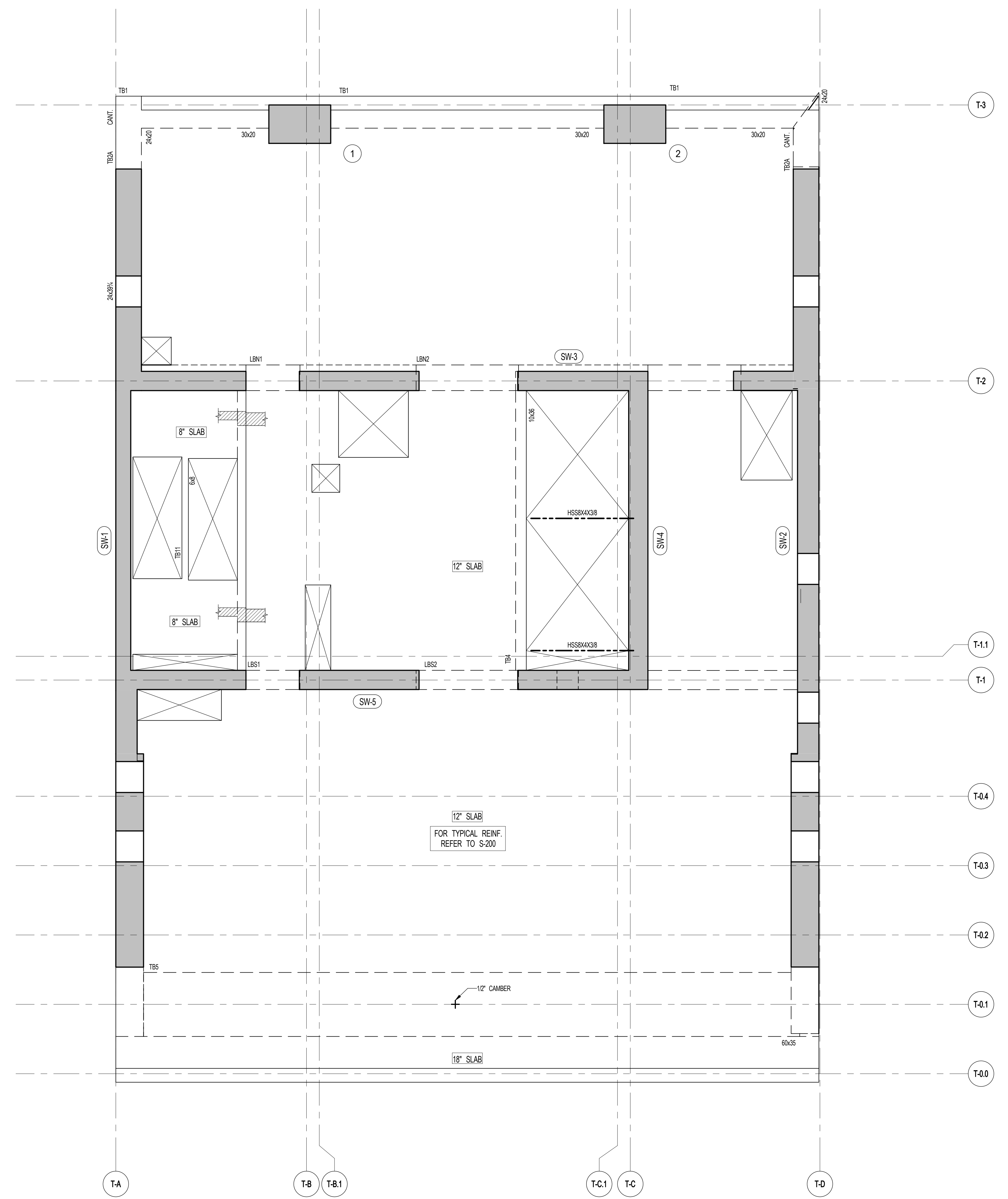
● NOT FOR CONSTRUCTION

DRAWING TITLE
45TH FLOOR FRAMING PLAN

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	1310140	
DRAWN BY	CADD	
CHECKED BY	CL	
DOB NO.		
DRAWING NUMBER		



S-450.00



1 45TH FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"
S-450

NOTES:
1. TOP OF SLAB EL. SEE ARCH. DRAWINGS. ON PLAN
2. SLAB THICKNESS TO BE 12" U.O.N. THIS
3. BOTTOM REINFORCEMENT TO BE #6@12" E-W. CONTINUOUS FOR 12" SLAB
#4@12" E-W. CONTINUOUS FOR 8" SLAB
#6@12" E-W. CONTINUOUS FOR 16" SLAB
4. FOR BALANCE OF NOTES SEE DRAWING S-010.

JDS DEVELOPMENT GROUP
124 WEST 57TH STREET, 8TH FLOOR
NEW YORK, NY 10019
TEL: 212.633.2800



ARCHITECT
SNIP ARCHITECTS, P.C.
230 BROADWAY, 11TH FLOOR
NEW YORK, NY 10038
TEL: 212.689.0000

STRUCTURAL ENGINEER
WSP CANON BERNUK
230 EAST 43RD STREET
NEW YORK, NY 10017
TEL: 212.647.2888

MEP ENGINEER
JARDS, BAUM & ROLLES
80 FINE STREET, 10TH FLOOR
NEW YORK, NY 10038
TEL: 212.233.8800

CIVIL ENGINEER
AKRF ENGINEERING, P.C.
400 PARK AVE SOUTH, 17TH FLOOR
NEW YORK, NY 10014
TEL: 800.388.0028

ACOUSTICS
LONGMAN LINDSEY
41 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212.259.2200

INTERIORS
STUDIO SCHAFFEL
300 WASHINGTON STREET
NEW YORK, NY 10013
TEL: 212.451.1300

FAÇADE
BURRO HANFORD
100 BROADWAY
NEW YORK, NY 10003
TEL: 212.244.2525

VERTICAL TRANSPORTATION
VAN DEUSEN & ASSOCIATES
7 FINESTREET SQUARE, 6TH
LONDON, U.K. SW1H 1AA
TEL: 0171.948.4228

RESTORATION
JANI HIRSHKOPFF ASSOCIATES
30 WEST 37TH STREET, FLOOR 10A
NEW YORK, NY 10018
TEL: 212.751.4425

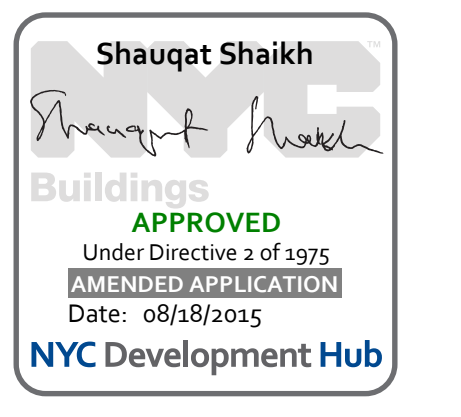
GEO TECH
MPC
105 WEST 57TH STREET, 6TH FLOOR
NEW YORK, NY 10019
TEL: 212.259.2200

LIGHTING
LOEBERFATHER INTERNATIONAL
100 WASHINGTON STREET, 17TH FLOOR
NEW YORK, NY 10013
TEL: 212.259.4425

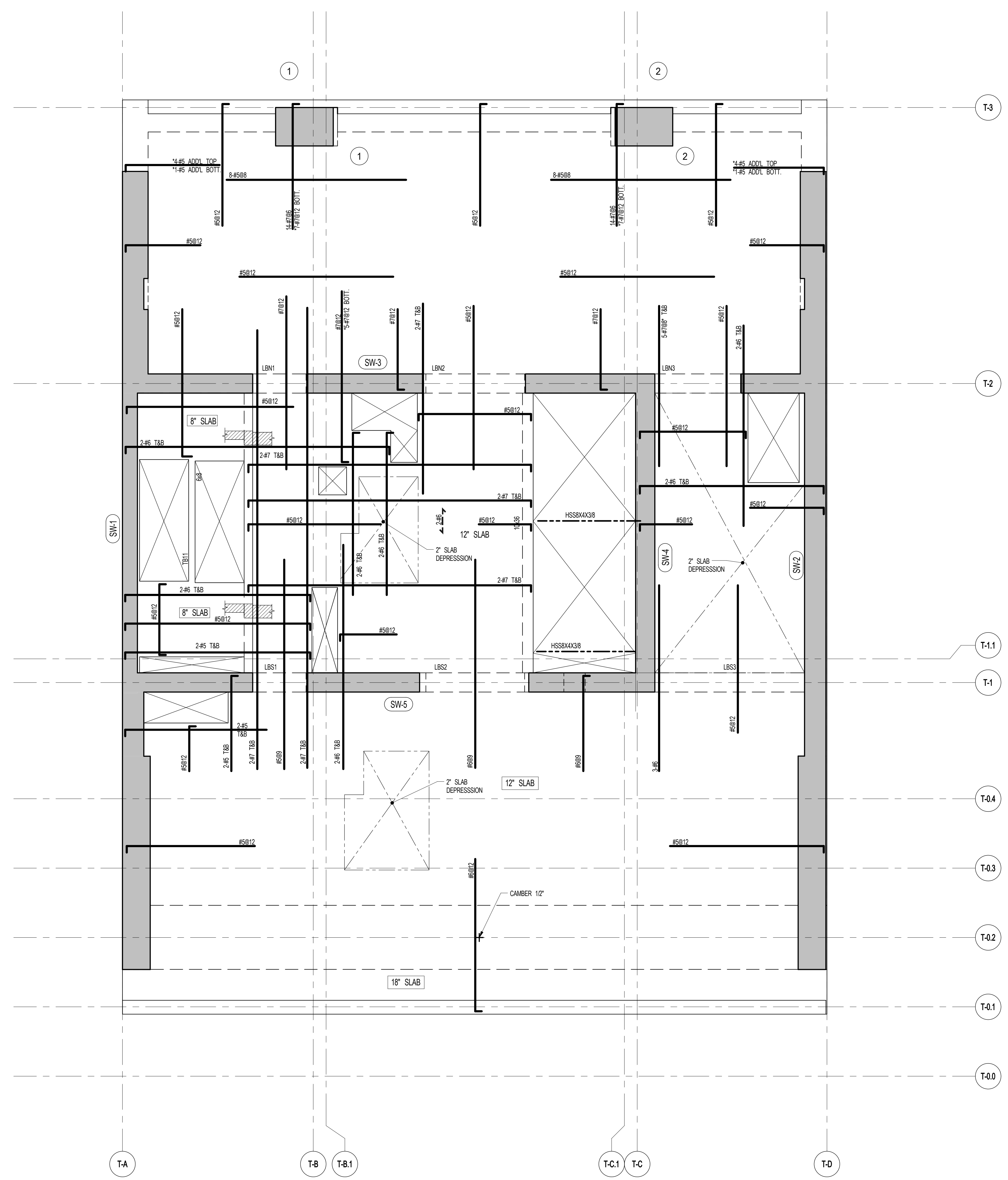
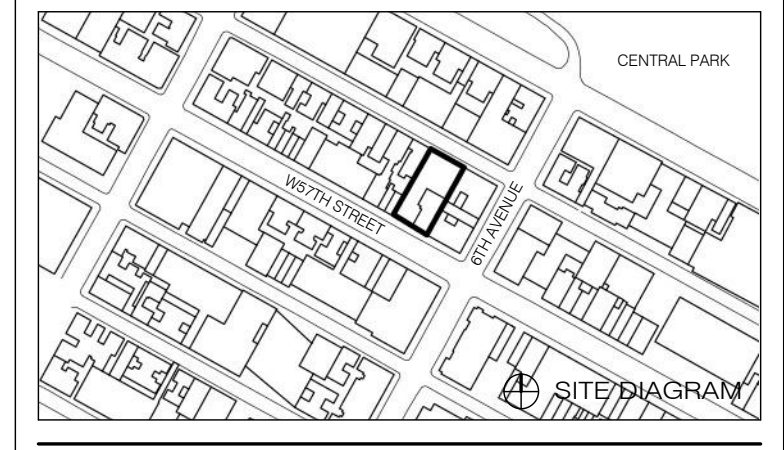


PROPERTY MARKETS GROUP
1 EAST 17TH STREET, 2ND FLOOR
NEW YORK, NY 10003
TEL: 212.610.2800

CURRENT ISSUE

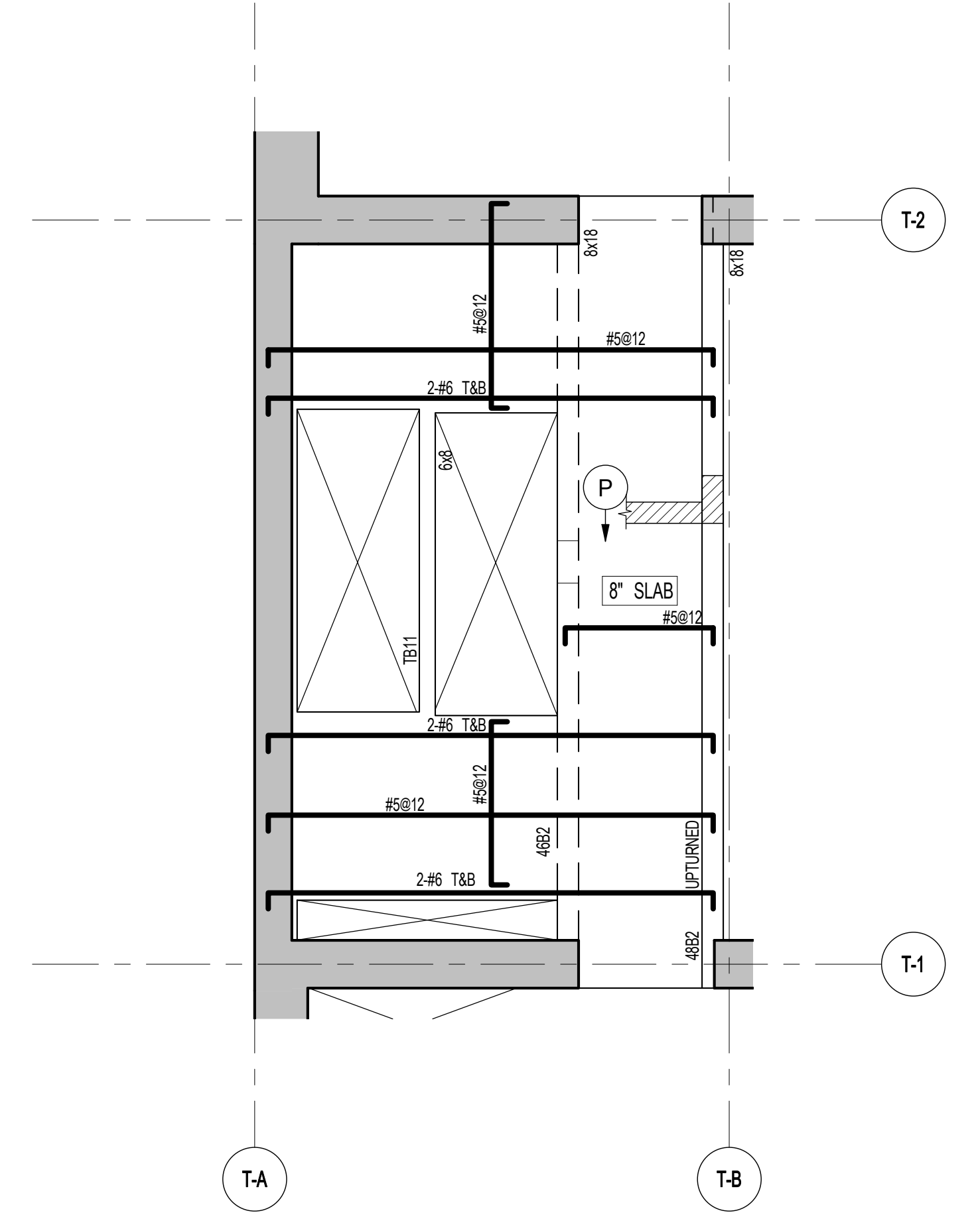


111 WEST 57TH STREET
111 WEST 57TH STREET

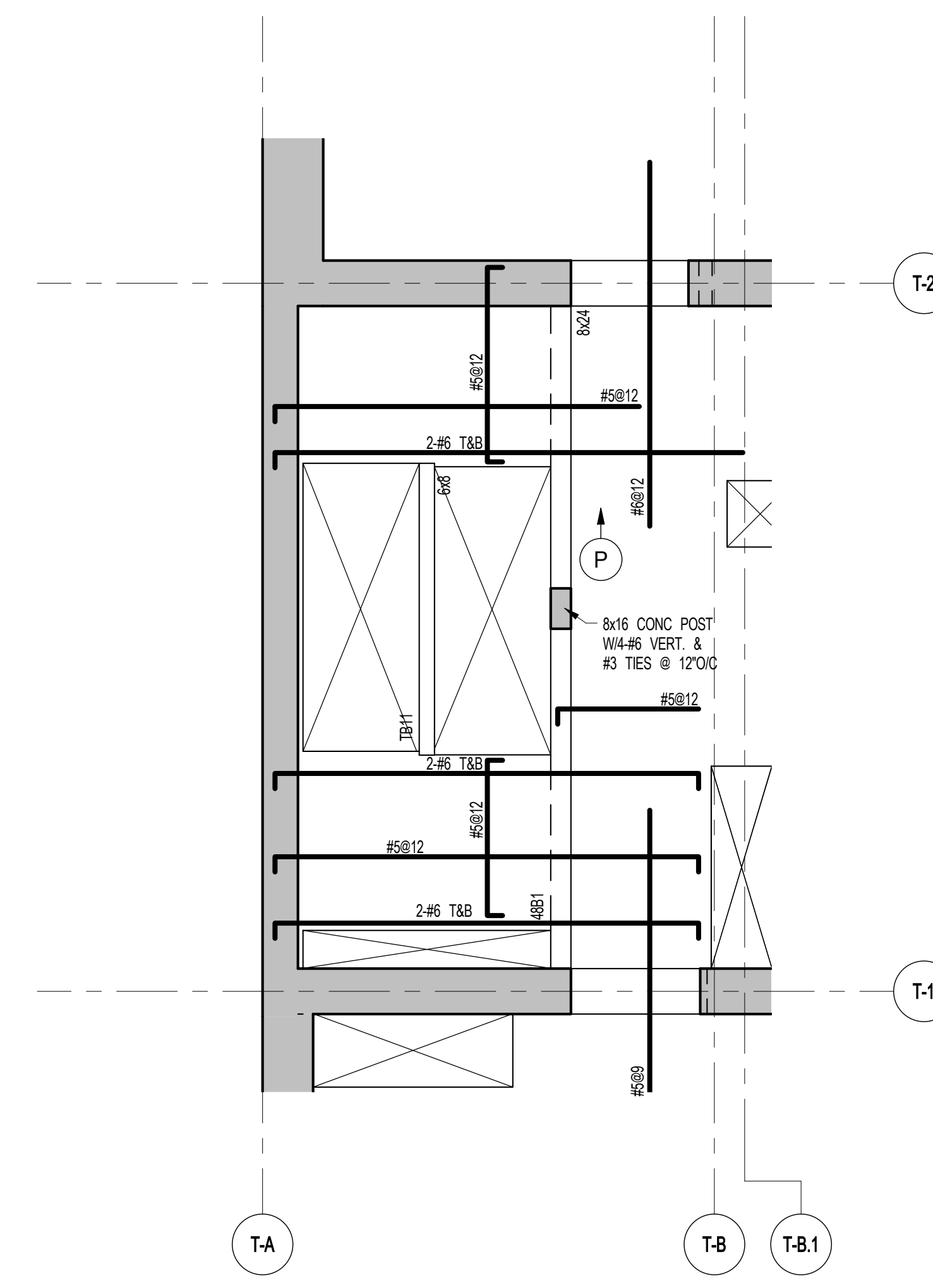


1 46TH-53RD FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

- NOTES:
- TOP OF SLAB IS SEE ARCH DRAWINGS.
 - SLAB THICKNESS TO BE 12" UNLESS OTHERWISE NOTED ON PLAN.
 - BOTTOM REINFORCEMENT TO BE #5@12" E-W, CONTINUOUS FOR 12" SLAB; #4@12" E-W, CONTINUOUS FOR 8" SLAB.
 - FOR BALANCE OF NOTES SEE DRAWING S-410.

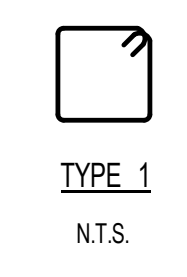


4 48TH MEZZ FLOOR PART FRAMING PLAN
SCALE: 1/4" = 1'-0"



3 48TH FLOOR PART FRAMING PLAN
SCALE: 1/4" = 1'-0"

48TH FLOOR BEAM SCHEDULE								
BEAM MARK	SIZE		REINFORCEMENT		STIRRUPS			REMARKS
	WIDTH	DEPTH	BOTTOM CONTINUOUS	TOP CONTINUOUS	TYPE	SIZE	SPACING	
48B1	8	24	2#7	2#6	1	#4	#10	
48B2	8	18	2#7	2#6	1	#3	#8	UPTURNED



TYPE 1
N.T.S.

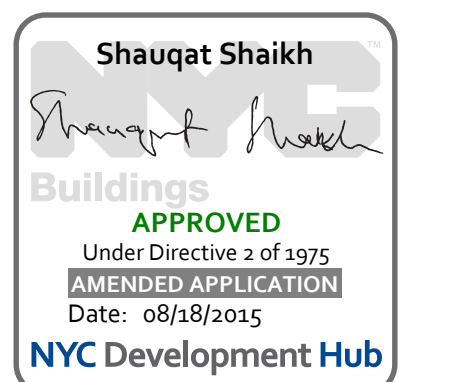
NO.	DATE	REVISION
1	3.27.15	DOB PAA
2	5.1.14	DOB FILING SET

46TH-53RD FLOOR FRAMING PLAN

DATE: 5.1.14
PROJECT NO: 1315140
DRAWN BY: CAD/D
CHECKED BY: CL
DOB NO: 10179
DRAWING NUMBER: S-460.01



S-460.01

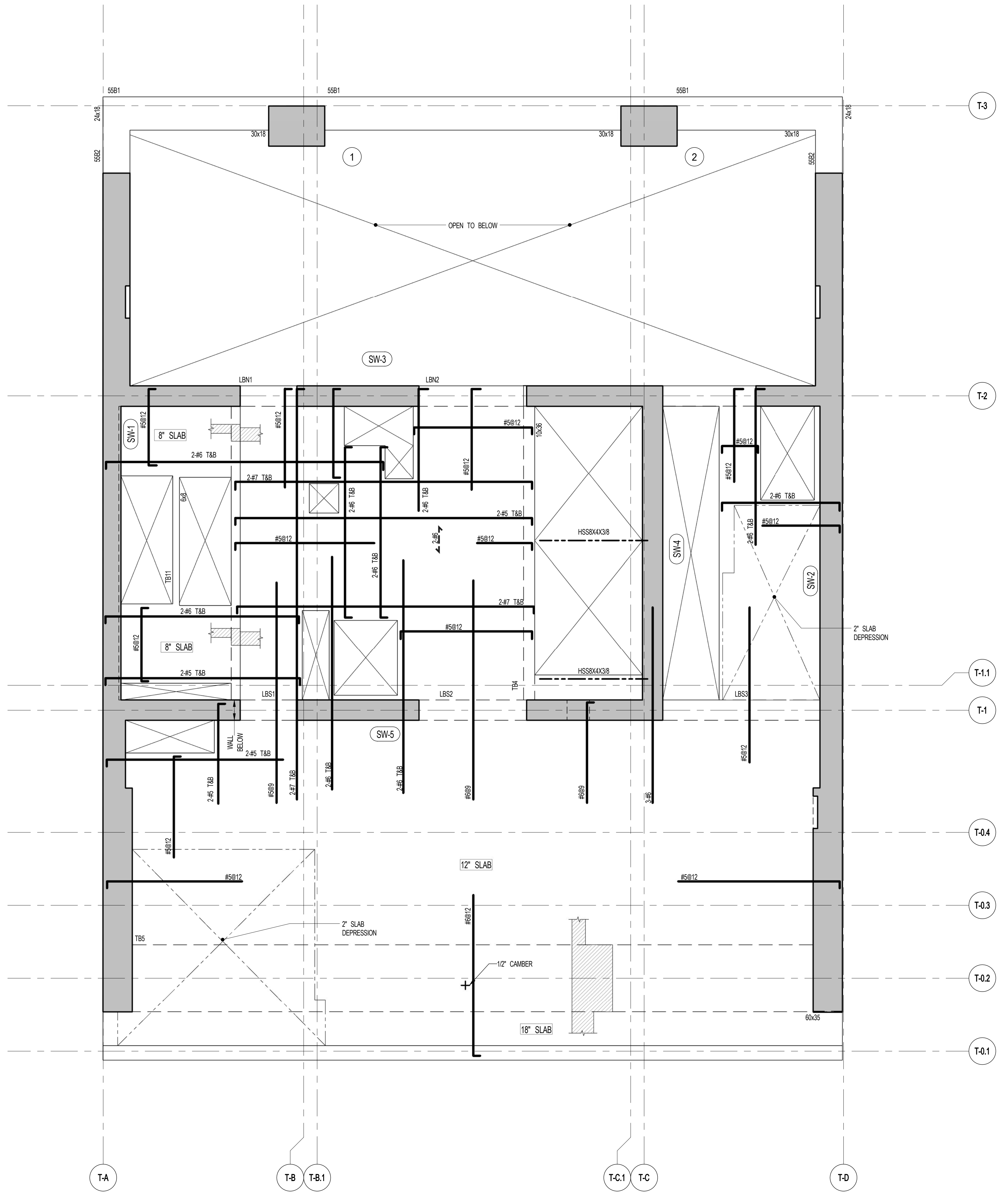


1	3.27.15	DOB PAA
	5.1.14	DOB PLNG SET
NO.	DATE	REVISION

● NOT FOR CONSTRUCTION

55TH FLOOR FRAMING PLAN

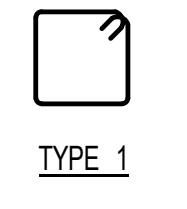
SEAL & SIGNATURE	DATE	5.1.14
	PROJECT NO.	1310140
	DRAWN BY	CADD
	CHECKED BY	CL
	DOB NO.	
	DRAWING NUMBER	S-550.01

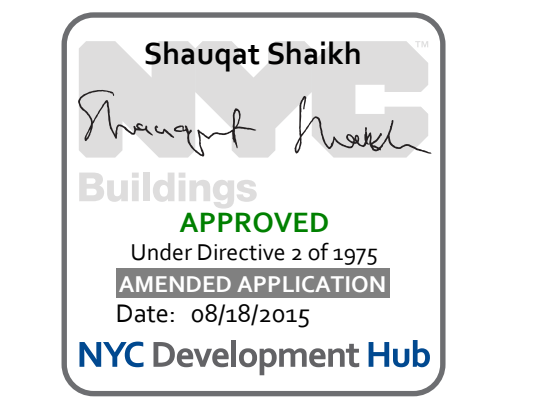


1 55TH FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

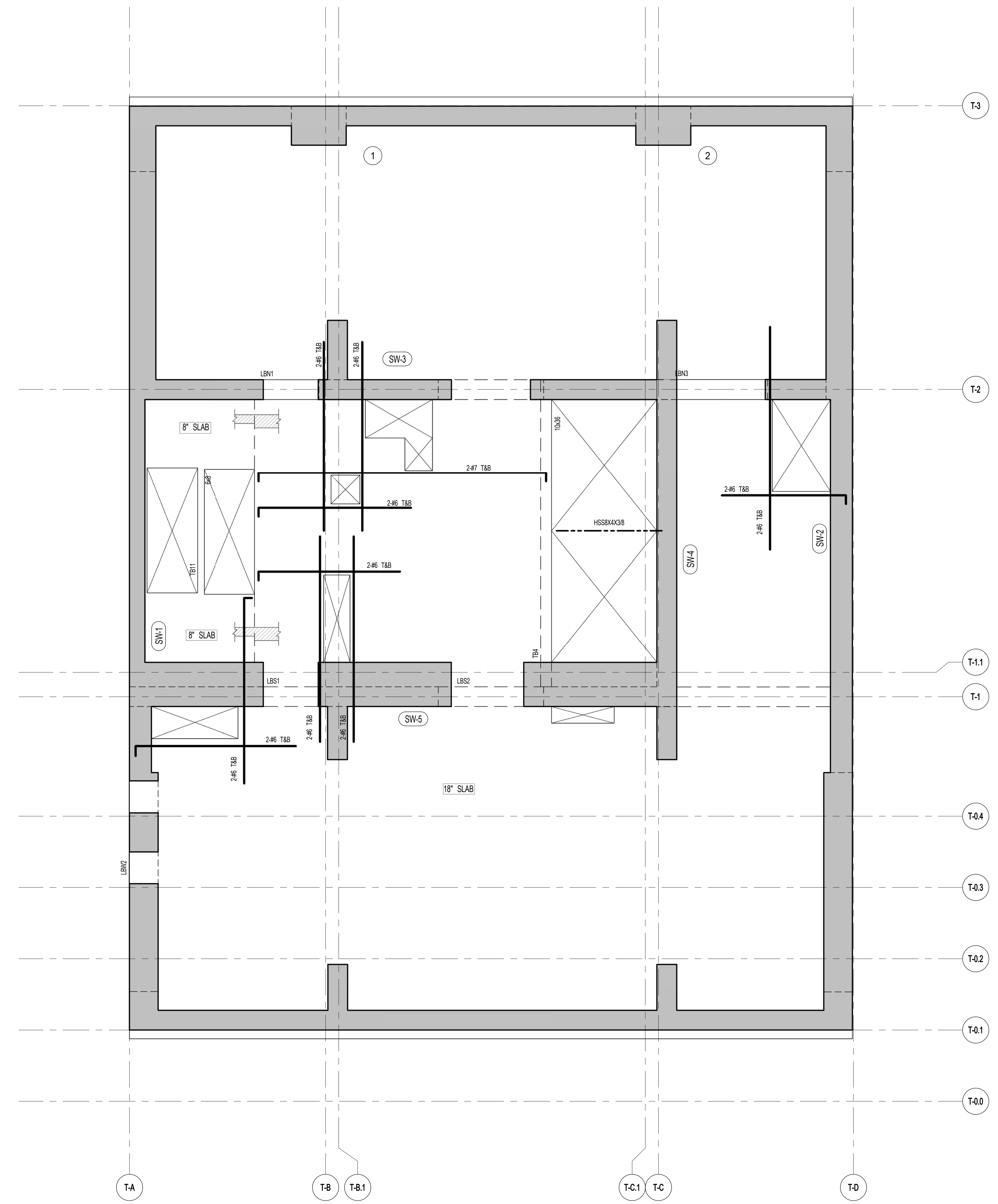
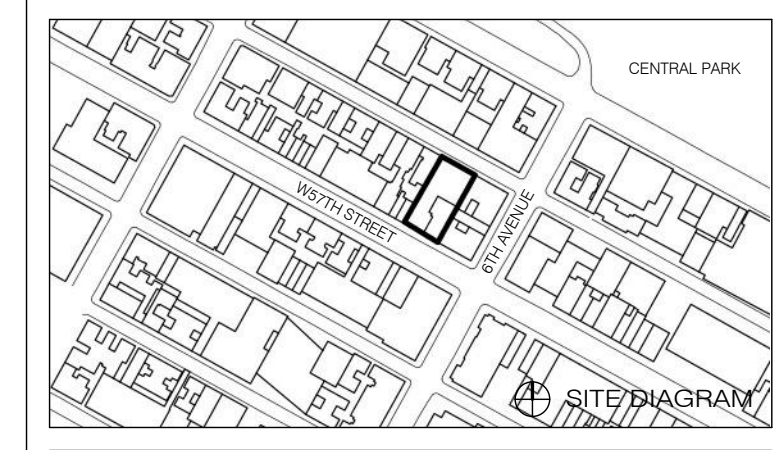
- NOTES
1. TOP OF SLAB EL. SEE ARCH. DRAWINGS.
 2. SLAB THICKNESS TO BE 12" U.O.N. THIS ON PLAN.
 3. BOTTOM REINFORCEMENT TO BE #6@12" E-W CONTINUOUS FOR 18" SLAB
#6@12" E-W CONTINUOUS FOR 12" SLAB
#6@12" E-W CONTINUOUS FOR 8" SLAB
 4. FOR BALANCE OF NOTES SEE DRAWING S-010.

BEAM MARK	SIZE		REINFORCEMENT		STIRRUPS			REMARKS
	WIDTH	DEPTH	BOTTOM CONTINUOUS	TOP CONTINUOUS	TYPE	SIZE	SPACING	
55B1	30	18	3-#8	3-#8	1	#4	@8	ADD 1-#8 SIDE REINF. E.F.
55B2	24	18	3-#8	3-#8	1	#4	@8	





111 WEST 57TH STREET
111 WEST 57TH STREET



1 56TH FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

- NOTES:
1. TOP OF SLAB EL. SEE ARCH DRAWINGS.
 2. SLAB THICKNESS TO BE 12" UNLESS OTHERWISE NOTED ON PLAN.
 3. REINFORCEMENT TO BE #4@12" BOTH E-W & N-S CONTINUOUS FOR 8" SLAB. #6@12" TOP & BOTTOM E-W CONTINUOUS FOR 18" SLAB.
 4. FOR BALANCE OF NOTES SEE DRAWING S-610.

1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

● NOT FOR CONSTRUCTION

56TH FLOOR FRAMING PLAN

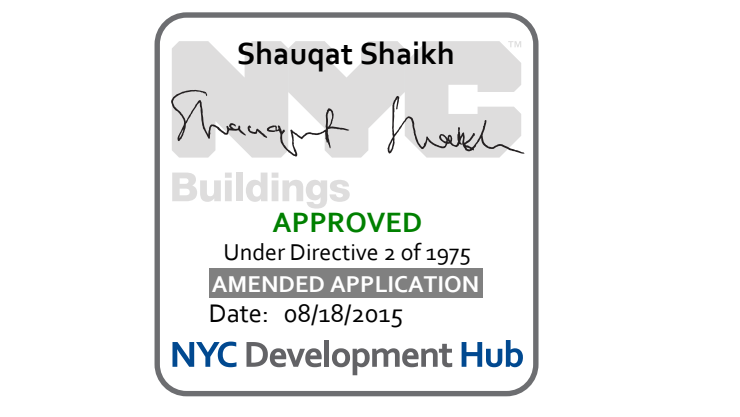
SEAL & SIGNATURE	DATE	5.1.14
	PROJECT NO.	1310140
	DRAWN BY	CADD
	CHECKED BY	CL
	DOB NO.	
	DRAWING NUMBER	S-560.01



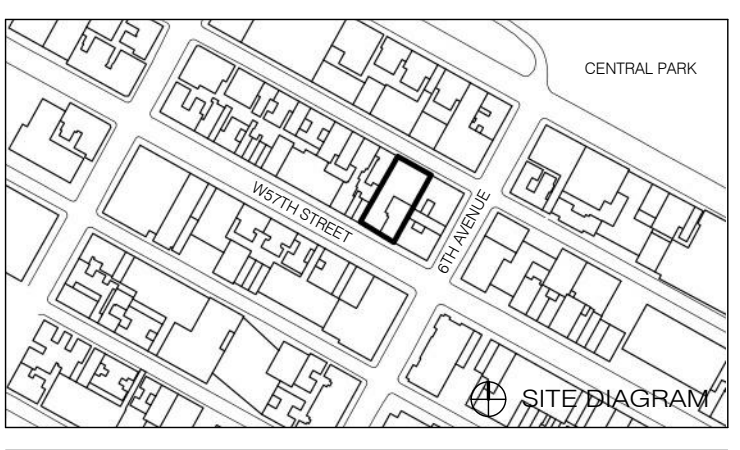
ARCHITECT SHAP ARCHITECTS, P.C. 238 BROADWAY, 11TH FLOOR NEW YORK, NY 10005 TEL: 212 869 9000	STRUCTURAL ENGINEER YUSEF GANTOUB ENGINEERING 228 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212 867 2886	MEP ENGINEER JACOBS, BALK & BOLLER 80 WING STREET, 12TH FLOOR NEW YORK, NY 10003 TEL: 212 869 9000	CIVIL ENGINEER AARF ENGINEERING, P.C. 60 FIFTH AVE, 20TH FLOOR NEW YORK, NY 10011 TEL: 212 278 8828	ACOUSTICS LONGMAN LINDSEY 40 WEST 40TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 917 238 2300	INTERIORS STUDIOS JENSEN 20 WALKER STREET NEW YORK, NY 10002 TEL: 212 475 3000	FAÇADE BURROUGHS WERFIELD 100 BROADWAY NEW YORK, NY 10005 TEL: 212 234 2025	VERTICAL TRANSPORTATION VAN DEUSEN & ASSOCIATES 8 BROADWAY, 10TH FLOOR LARKSPER, NJ 07033 TEL: 973 984 4700	RESTORATION JAN HROFKORNY ASSOCIATES 30 WEST 29TH STREET, 11TH FLOOR NEW YORK, NY 10001 TEL: 212 238 6462	GEOTECH MICE 100 WEST 40TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 917 238 4000	LIGHTING CONSERVATIVE INTERNATIONAL 100 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 252 4453
---	---	--	---	---	--	---	---	---	---	--



PROPERTY MARKETS GROUP
100 WEST 47TH STREET, 2ND FLOOR
NEW YORK, NY 10018
TEL: 212 869 9000
CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET



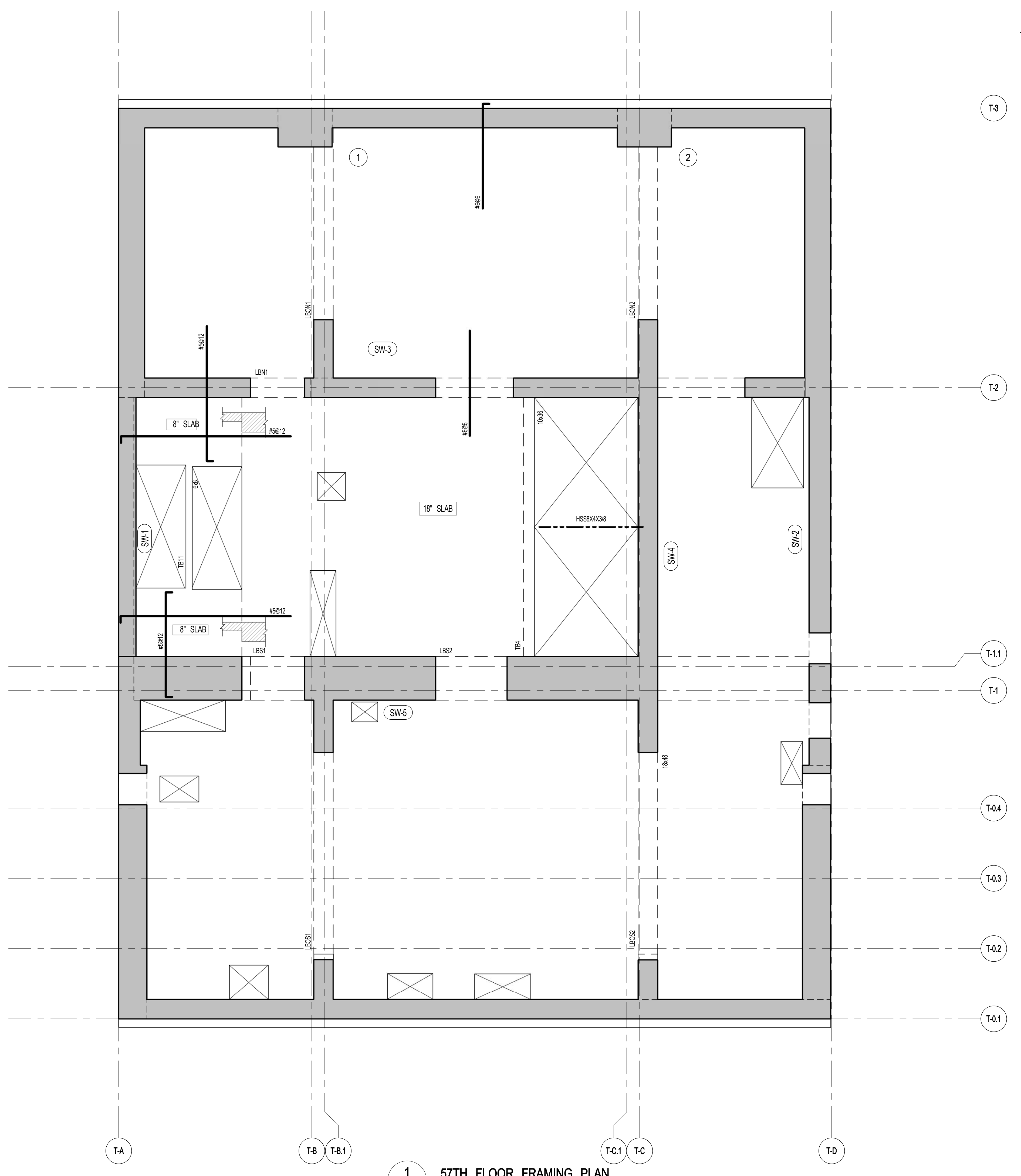
1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.

NOT FOR CONSTRUCTION

DRAWING TITLE: **57TH FLOOR FRAMING PLAN**

SEAL & SIGNATURE	DATE	5.1.14
	PROJECT NO.	1310140
	DRAWN BY	CADD
	CHECKED BY	CL
	DOB NO.	
	DRAWING NUMBER	S-570.01



1 57TH FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

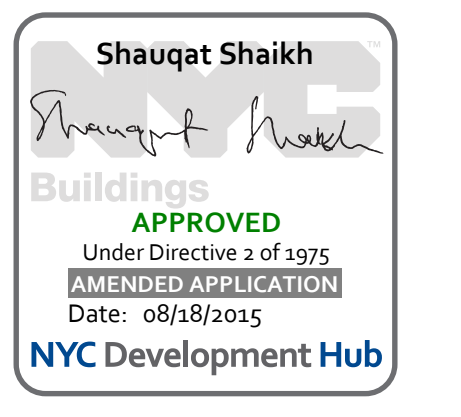
- NOTES:
1. TOP OF SLAB EL. SEE ARCH. DRAWINGS.
 2. SLAB THICKNESS TO BE 12" U.O.N. THIS ON PLAN.
 3. BOTTOM REINFORCEMENT TO BE #8@12" E-W, CONTINUOUS FOR 8" SLAB REINFORCEMENT TO BE #8@12" N-S, E-W, CONTINUOUS FOR 18" SLAB U.O.N.
 4. FOR BALANCE OF NOTES SEE DRAWING S-670.

JDS DEVELOPMENT GROUP
 124 FIFTH AVENUE, 8TH FLOOR
 NEW YORK, NY 10011
 TEL: 646.602.2800

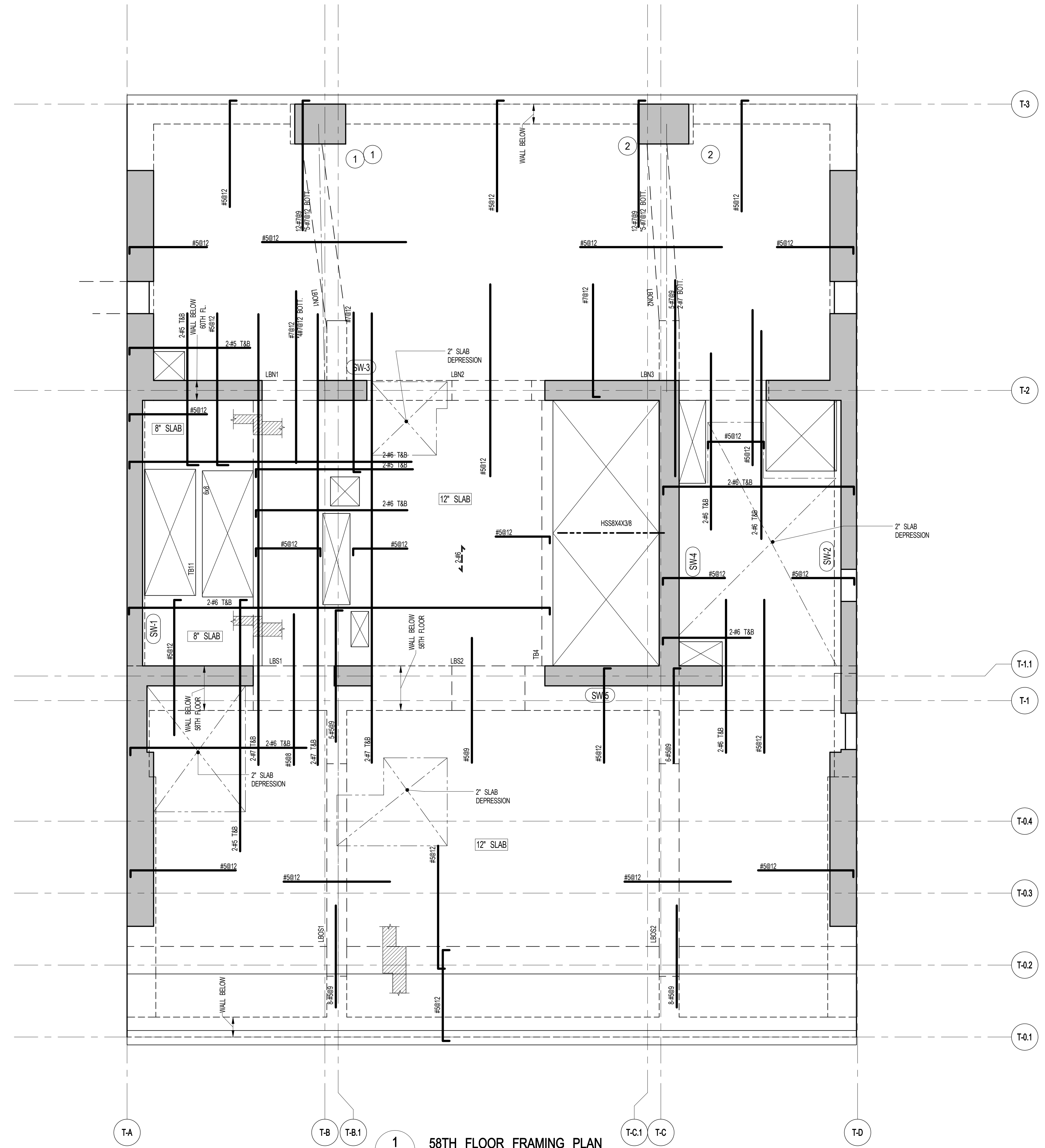
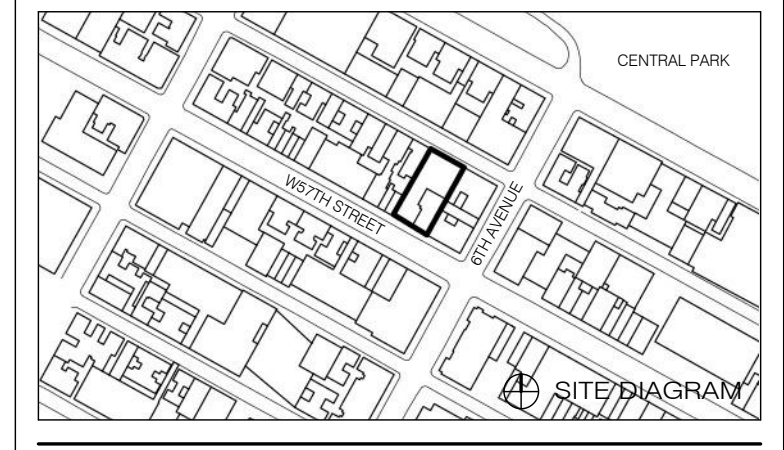
ARCHITECT SNIP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10038 TEL: 212.680.0000	STRUCTURAL ENGINEER WSP CANON BENJUK 220 EAST 43RD STREET NEW YORK, NY 10017 TEL: 212.647.0888	MEP ENGINEER JARDS, BAUM & ROLLES 80 FINE STREET, 10TH FLOOR NEW YORK, NY 10038 TEL: 212.510.0000	CIVIL ENGINEER AKRF ENGINEERING, P.C. 400 PARK AVE SOUTH, 17TH FLOOR NEW YORK, NY 10038 TEL: 646.388.0000	ACOUSTICS LONGMAN LINDSEY 41 WEST 58TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917.289.2000	INTERIORS STUDIO SCHAFFEL 300 WAREHOUSES STREET NEW YORK, NY 10003 TEL: 212.493.1000	FAÇADE BUNO HANFOLD 90 BROADWAY NEW YORK, NY 10003 TEL: 212.246.2000	VERTICAL TRANSPORTATION VAN DEUSEN & ASSOCIATES 7 FINESTREET SQUARE 604 LONDON, AUSTRALIA TEL: 012 984 4000	RESTORATION JAN HIRSHPOKORNY ASSOCIATES 30 WEST 37TH STREET, FLOOR 10A NEW YORK, NY 10018 TEL: 212.751.6400	GEOTECH MPC 225 WEST 58TH STREET, 6TH FLOOR NEW YORK, NY 10019 TEL: 917.289.0000	LIGHTING LOEBERFATHER INTERNATIONAL 100 WAREHOUSES STREET NEW YORK, NY 10003 TEL: 212.261.4400
--	---	--	--	--	---	---	--	--	---	---



PROPERTY MARKETS GROUP
 1 EAST 17TH STREET, 2ND FLOOR
 NEW YORK, NY 10003
 TEL: 212.610.2000
CURRENT ISSUE



111 WEST 57TH STREET
 111 WEST 57TH STREET



1 58TH FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"

- NOTES:
- TOP OF SLAB EL. SEE ARCH. DRAWINGS.
 - SLAB THICKNESS TO BE 12" UO.N. THIS ON PLAN.
 - BOTTOM REINFORCEMENT TO BE #5@12" E-W CONTINUOUS FOR 12" SLAB #5@12" E-W CONTINUOUS FOR 8" SLAB.
 - FOR BALANCE OF NOTES SEE DRAWING S-101.

1	3.27.15	DOB PAA
	5.1.14	DOB FILING SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF SNIP ARCHITECTS, P.C. ALL RIGHTS RESERVED.
 COPYRIGHT © 2015 SNIP ARCHITECTS, P.C. ALL RIGHTS RESERVED.

NOT FOR CONSTRUCTION

DRAWING TITLE
58TH FLOOR FRAMING PLAN

SEAL & SIGNATURE	DATE	5.1.14
	PROJECT NO.	13151140
	DRAWN BY	CADD
	CHECKED BY	CL
	DOB NO.	
	DRAWING NUMBER	

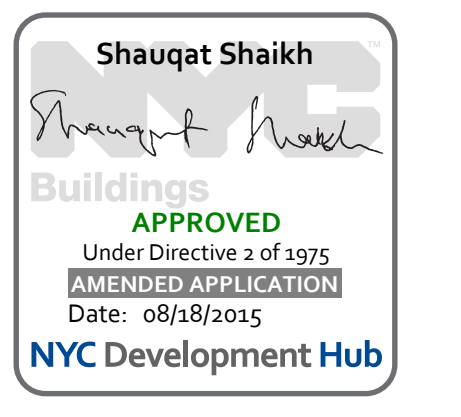


S-580.01

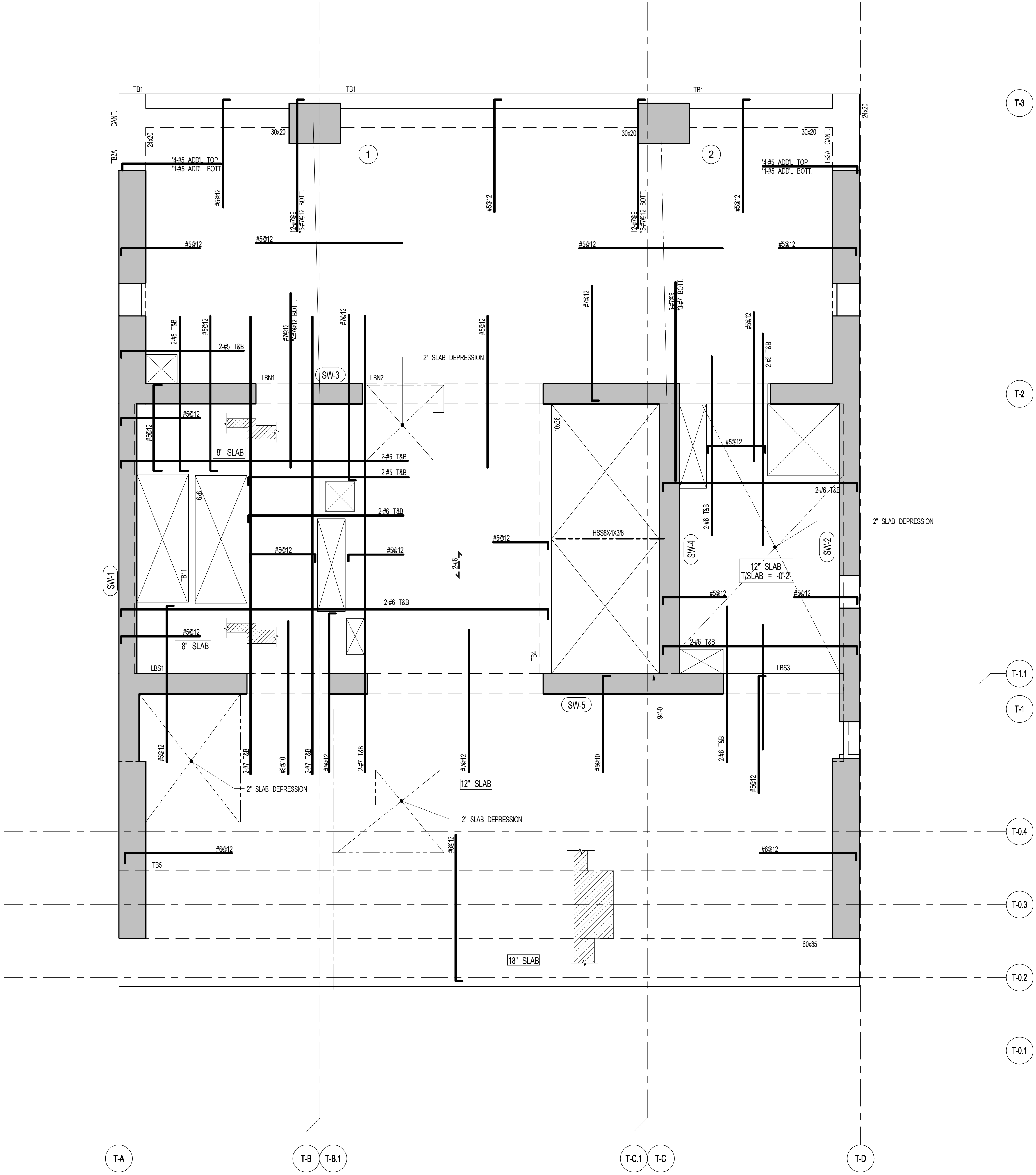
ARCHITECT	SNIP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10038 TEL: 212.689.0000	FAÇADE	BURRO HANFORD 100 BROADWAY NEW YORK, NY 10003 TEL: 212.246.2000
STRUCTURAL ENGINEER	WEP CANTOR BERNUK 230 EAST 43RD STREET NEW YORK, NY 10017 TEL: 212.647.0888	VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 7 FIFTH STREET, SUITE 604 LONGBEACH, ALABAMA TEL: 257.948.4200
MEP ENGINEER	JARDS, BAUM & ROLLES 80 FINE STREET, 10TH FLOOR NEW YORK, NY 10006 TEL: 212.220.0000	RESTORATION	JAN HIRSHKOPFFNY ASSOCIATES 30 WEST 37TH STREET, FLOOR 10A NEW YORK, NY 10018 TEL: 212.751.6400
CIVIL ENGINEER	AKRF ENGINEERING, P.C. 440 PARK AVE SOUTH, 7TH FLOOR NEW YORK, NY 10004 TEL: 800.388.0000	GEOTECH	MINCE 125 WEST 57TH STREET, 6TH FLOOR NEW YORK, NY 10019 TEL: 917.289.0000
ACOUSTICS	LONGMAN LINDSEY 41 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917.289.0000	LIGHTING	LOEBERWATHE INTERNATIONAL 100 WASHINGTON STREET, 7TH FLOOR/DAW NEW YORK, NY 10012 TEL: 212.451.1000
INTERIORS	STUDIO SCHAFFL 300 WASHINGTON STREET NEW YORK, NY 10003 TEL: 212.451.1000		



PROPERTY MARKETS GROUP	1 EAST 17TH STREET, 2ND FLOOR NEW YORK, NY 10003 TEL: 212.610.2000
CURRENT ISSUE	



111 WEST 57TH STREET
111 WEST 57TH STREET



1 59TH-64TH FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

- NOTES
1. TOP OF SLAB EL. SEE ARCH. DRAWINGS
 2. SLAB THICKNESS TO BE 12" U.O.N. THIS ON PLAN
 3. BOTTOM REINFORCEMENT TO BE #5@12" E-W CONTINUOUS FOR 12" SLAB
#5@12" E-W CONTINUOUS FOR 8" SLAB
#5@12" E-W CONTINUOUS FOR 18" SLAB
 4. FOR BALANCE OF NOTES SEE DRAWING S-510.

1	3/27/15	DOB PAA
	5/1/14	DOB FILING SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE ENGINEER OR ARCHITECT. COPYRIGHT © 2015 SNIP ARCHITECTS, P.C. ALL RIGHTS RESERVED.

NOT FOR CONSTRUCTION

DRAWING TITLE

59TH-64TH FLOOR FRAMING PLAN

SEAL & SIGNATURE	DATE	5/1/14
	PROJECT NO.	13151140
	DRAWN BY	CADD
	CHECKED BY	CL
	DOB NO.	
	DRAWING NUMBER	S-590.01



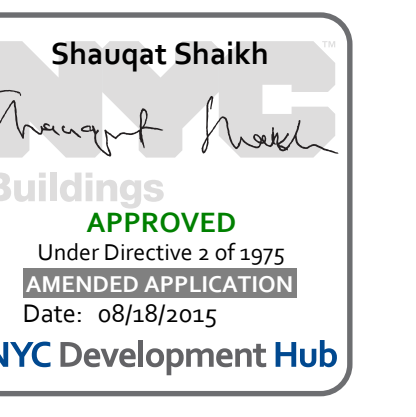
JDS DEVELOPMENT GROUP
124 FIFTH AVENUE, 8TH FLOOR
NEW YORK, NY 10011
NY 606.600.2800



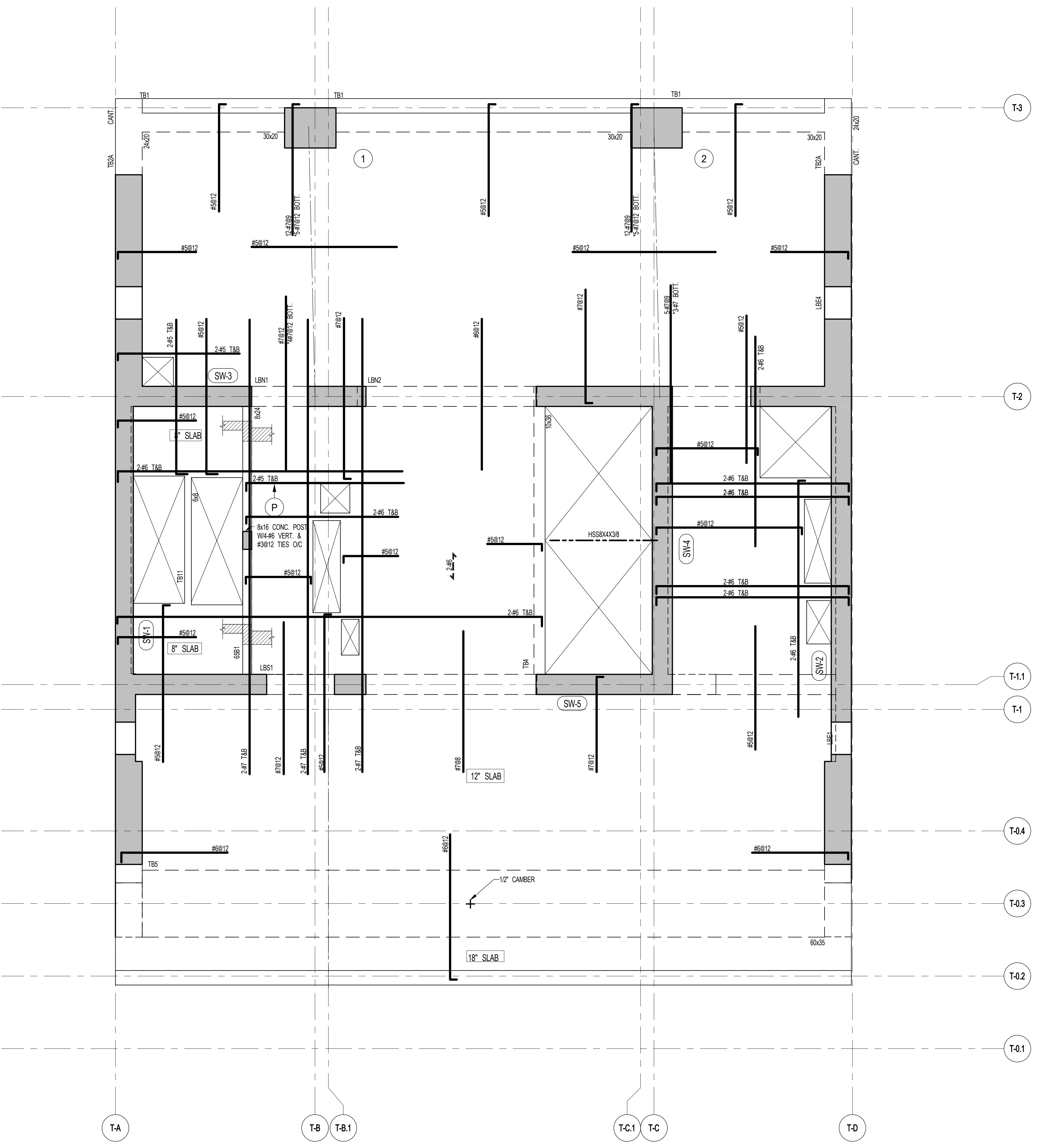
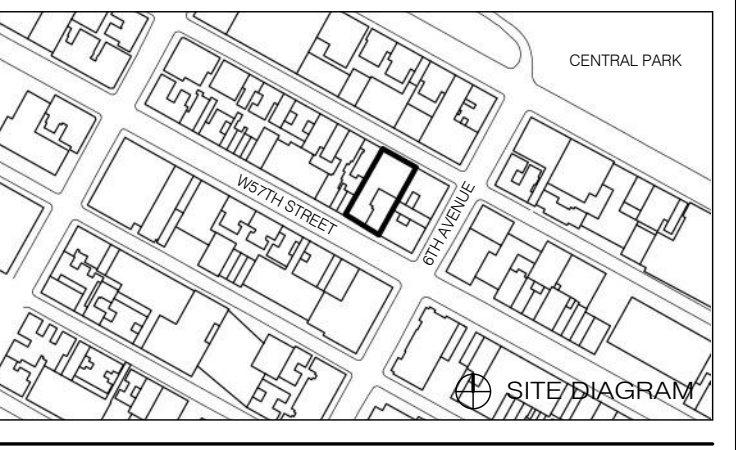
ARCHITECT SNIP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10038 NY 212.689.0000	STRUCTURAL ENGINEER WEP CANFOR BERNUK 220 EAST 43RD STREET NEW YORK, NY 10017 NY 212.647.0888	MEP ENGINEER JACOBS, BAUM & BOLLES 80 FINE STREET, 10TH FLOOR NEW YORK, NY 10038 NY 212.220.8800	CIVIL ENGINEER AKRF ENGINEERING, P.C. 440 PARK AVE SOUTH, 7TH FLOOR NEW YORK, NY 10004 NY 609.380.0000	ACoustICS LONGMAN LINDSEY 41 WEST 59TH STREET, 4TH FLOOR NEW YORK, NY 10019 NY 917.289.2000	INTERIORS STUDIO SCHAFFEL 300 MANHATTAN STREET NEW YORK, NY 10002 NY 212.451.1000	FAÇADE BURRO HANFPOLD 90 BROADWAY NEW YORK, NY 10003 NY 212.244.2000	VERTICAL TRANSPORTATION VAN DEUSEN & ASSOCIATES 7 FINESTREET SQUARE, 6TH LONDON, U.K. W1P 3AA NY 212.689.4000	RESTORATION JAN HIRSHKOPFFNY ASSOCIATES 34 WEST 37TH STREET, FLOOR 10A NEW YORK, NY 10018 NY 212.751.4400	GEOTECH MPC 125 WEST 59TH STREET, 6TH FLOOR NEW YORK, NY 10019 NY 917.289.0000	LIGHTING LOEBERFATHER INTERNATIONAL 100 MANHATTAN STREET, 7TH FLOOR, EAST NEW YORK, NY 10002 NY 212.281.4400
--	--	---	---	--	--	---	--	--	---	---



PROPERTY MARKETS GROUP
1 EAST 17TH STREET, 2ND FLOOR
NEW YORK, NY 10003
NY 212.610.2000
CURRENT ISSUE

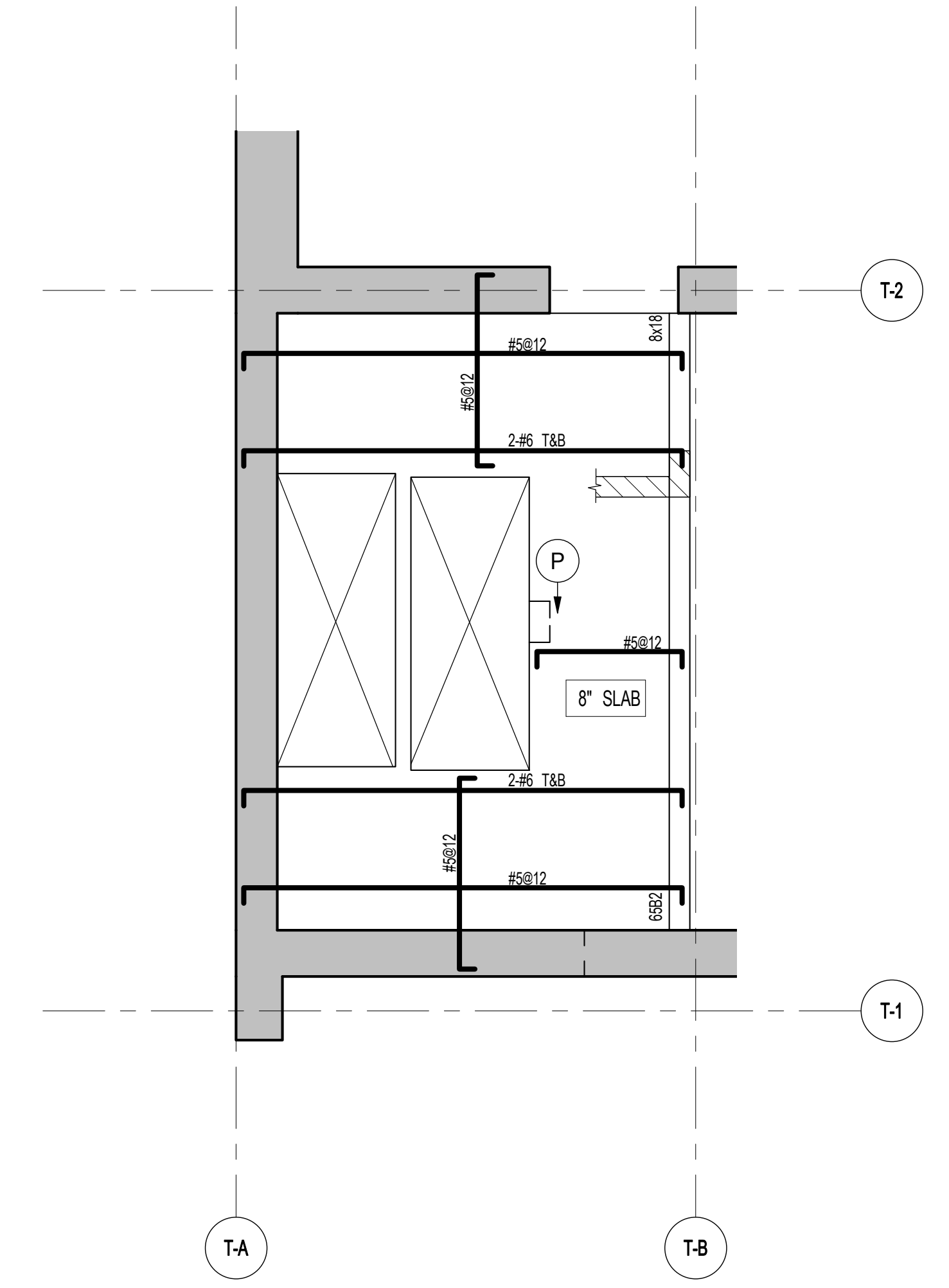


111 WEST 57TH STREET
111 WEST 57TH STREET



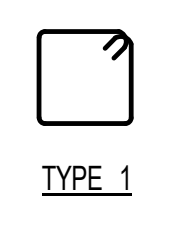
1 65TH FLOOR FRAMING PLAN
S-650 SCALE: 1/4" = 1'-0"

- NOTES:
1. TOP OF SLAB EL. SEE ARCH DRAWINGS.
2. SLAB THICKNESS TO BE 12" U.O.N. THIS [] ON PLAN.
3. BOTTOM REINFORCEMENT TO BE: #5@12' E-W, CONTINUOUS FOR 18" SLAB; #5@12' E-W, CONTINUOUS FOR 12" SLAB; #5@12' E-W, CONTINUOUS FOR 9" SLAB.
4. FOR BALANCE OF NOTES SEE DRAWING S-650.



2 65TH MEZZ FLOOR PART FRAMING PLAN
S-650 SCALE: 1/4" = 1'-0"

BEAM MARK	65TH FLOOR BEAM SCHEDULE								REMARKS
	SIZE		REINFORCEMENT			STIRRUPS			
	WIDTH	DEPTH	BOTTOM CONTINUOUS	TOP CONTINUOUS	TYPE	SIZE	SPACING		
6581	8	24	2-#7	2-#6	1	#3	@10	65TH FLOOR ONLY	
6582	8	18	2-#7	2-#6	1	#3	@8	UPTURNED	



TYPE 1

1	3.27.15	DOB PAA
	5.1.14	DOB FILING SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF JDS DEVELOPMENT GROUP. COPYRIGHT © 2015 SNIP ARCHITECTS, P.C. ALL RIGHTS RESERVED.

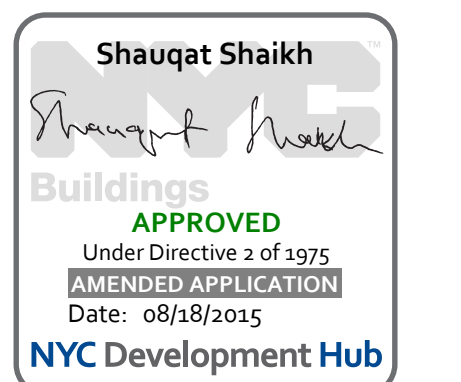
● NOT FOR CONSTRUCTION

DRAWING TITLE
65TH FLOOR FRAMING PLAN

DATE: 5.1.14
PROJECT NO: 1315140
DRAWN BY: CAD/D
CHECKED BY: CL
DOB NO:
DRAWING NUMBER: S-650.01



S-650.01



111 WEST 57TH STREET
111 WEST 57TH STREET

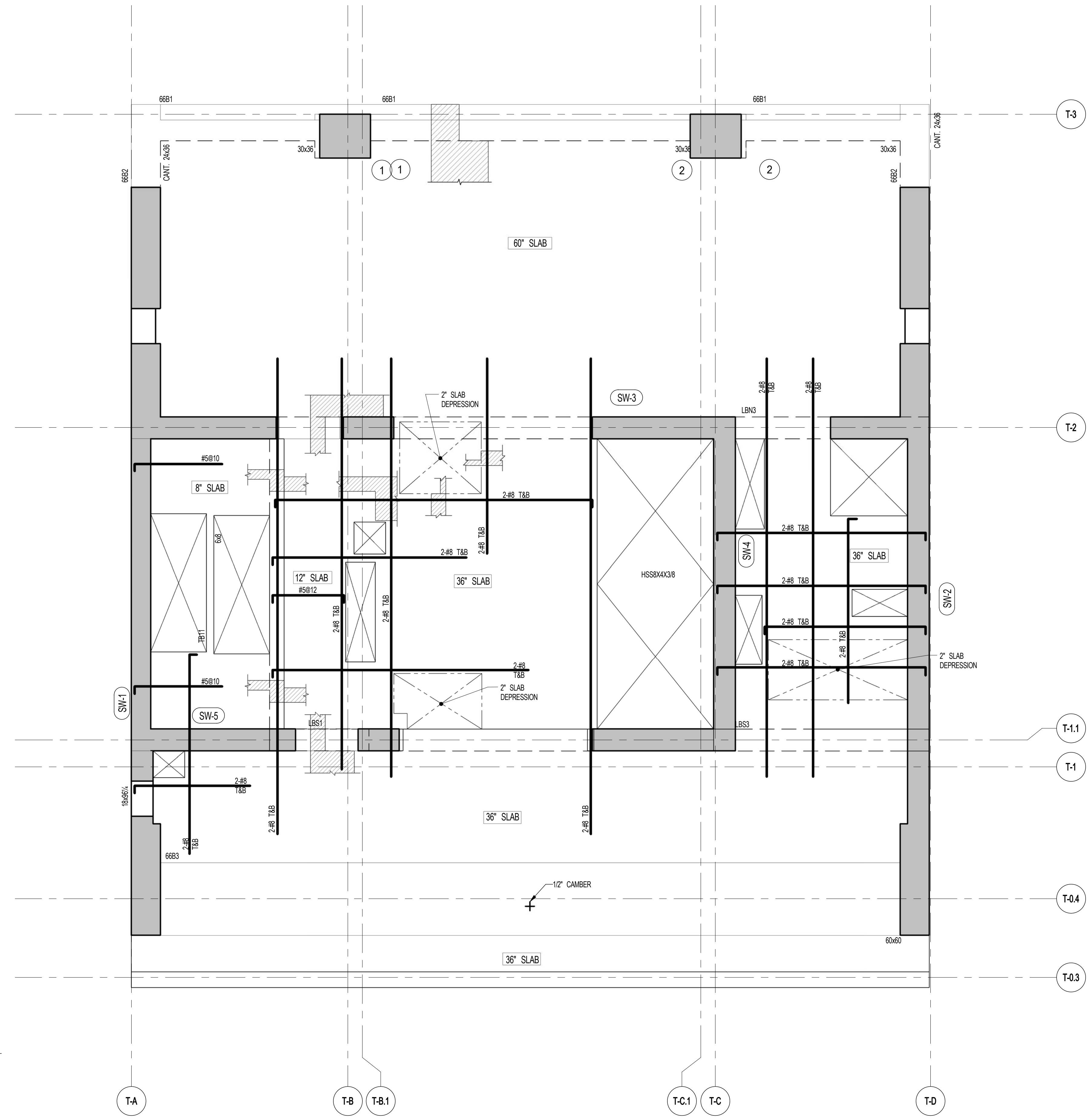


NO.	DATE	REVISION
1	3.27.15	DOB PAA
1	5.1.14	DOB FILING SET

● NOT FOR CONSTRUCTION

66TH FLOOR FRAMING PLAN

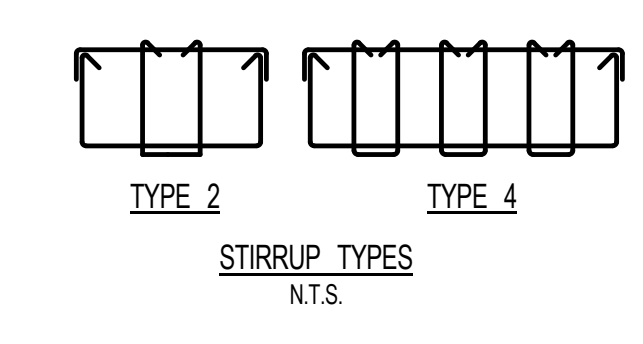
SEAL & SIGNATURE	DATE	5.1.14
	PROJECT NO.	1310140
	DRAWN BY	CADD
	CHECKED BY	CL
	DOB NO.	
	DRAWING NUMBER	S-660.01



1 66TH FLOOR FRAMING PLAN
S-660 SCALE: 1/4" = 1'-0"

NOTES:
1. TOP OF SLAB EL. SEE ARCH. DRAWINGS.
2. SLAB THICKNESS TO BE 12" U.O.N. THIS ON PLAN.
3. REINFORCEMENT TO BE: #18@TOP & BOTT. E.W. CONTINUOUS FOR 66" SLAB
#8@12" TOP & BOTT. E.W. CONTINUOUS FOR 36" SLAB
#8@12" BOTT. E.W. CONTINUOUS FOR 12" SLAB
#8@12" BOTT. E.W. CONTINUOUS FOR 8" SLAB
4. FOR BALANCE OF NOTES SEE DRAWING S-010.

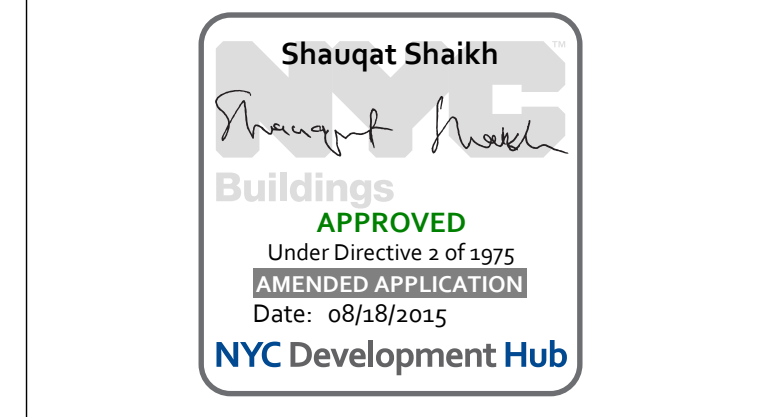
BEAM MARK	SIZE		REINFORCEMENT		STIRRUPS		REMARKS
	WIDTH	DEPTH	BOTTOM CONTINUOUS	TOP CONTINUOUS	TYPE	SIZE SPACING	
66B1	30	36	5-#9	5-#8	2	#4 @16	
66B2	24	36	5-#9	5-#8	2	#4 @16	
66B3	60	60	14-#11	14-#11	4	#4 @24	



ARCHITECT	SH&P ARCHITECTS, P.C. 228 BROADWAY, 11TH FLOOR NEW YORK, NY 10038 TEL: 212 693 9336	FACADE	BURROUGHS WELLS 100 BROADWAY NEW YORK, NY 10038 TEL: 212 254 2025
STRUCTURAL ENGINEER	YOSHICANTO NEW YORK 228 EAST 43RD STREET NEW YORK, NY 10017 TEL: 212 697 2886	VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 8 BROADWAY STREET, SUITE 204 LARKSPER, NJ 07033 TEL: 973 984 4755
MEP ENGINEER	JACOBS 100 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212 693 9336	RESTORATION	JAN HROFKORNY ASSOCIATES 80 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212 254 4442
CIVIL ENGINEER	AWR ENGINEERING, P.C. 60 FIFTH AVE, 20TH FLOOR NEW YORK, NY 10011 TEL: 212 693 9336	GEOTECH	MTICE 300 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917 238 4900
ACOUSTICS	LONGMAN LINDSEY 4 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917 238 2889	LIGHTING	CONSERVATORIE INTERNATIONAL 100 WEST 57TH STREET, 7TH FLOOR EAST NEW YORK, NY 10019 TEL: 212 475 1300
INTERIORS	STUDIO JOSEPH 200 WEST 57TH STREET NEW YORK, NY 10019 TEL: 212 475 1300		



PROPERTY MARKETS GROUP
100 WEST 57TH STREET, 4TH FLOOR
NEW YORK, NY 10019
TEL: 212 693 9336
CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET

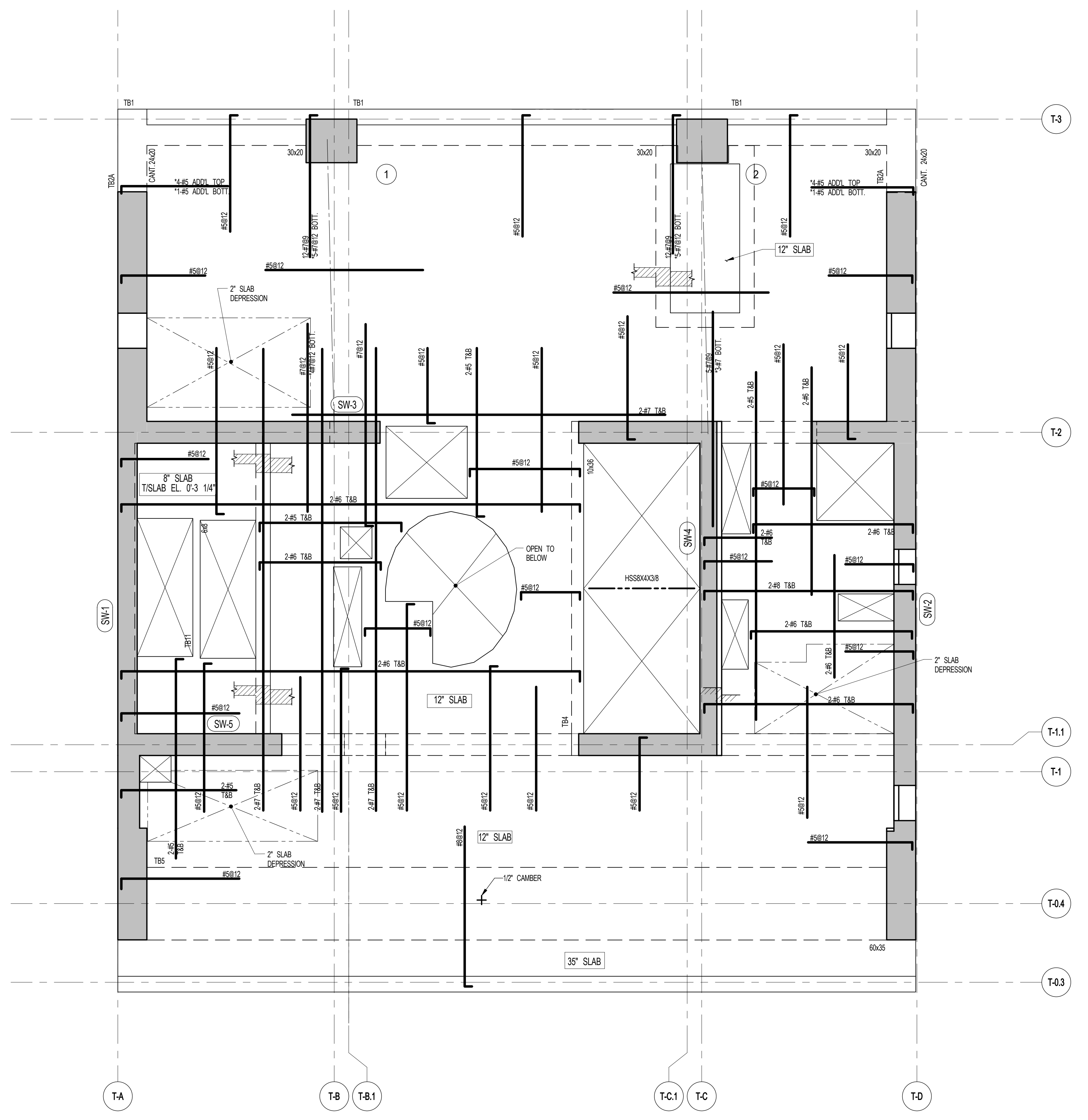


1	3/27/15	DOB PRA
NO.	DATE	REVISION

● NOT FOR CONSTRUCTION

67TH & 69TH FLOOR FRAMING PLAN

SEAL & SIGNATURE	DATE	3/27/15
PROJECT NO.	1310140	
DRAWN BY	CADD	
CHECKED BY	CL	
DOB NO.	0915	
DRAWING NUMBER	S-670.00	

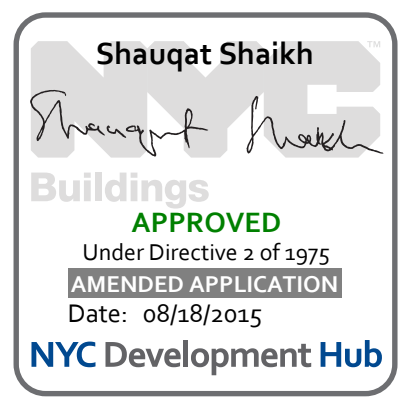


1 67TH & 69TH FLOOR FRAMING PLAN
S-670
SCALE: 1/4" = 1'-0"
NOTES:
1. TOP OF SLAB EL. SEE ARCH. DRAWINGS
2. TOP OF SLAB THICKNESS TO BE 12" U.O.N. THIS PLAN
3. BOTTOM REINFORCEMENT TO BE #5@12" E-W CONTINUOUS FOR 30' SLAB
#5@12" E-W CONTINUOUS FOR 12' SLAB
#5@12" E-W CONTINUOUS FOR 8' SLAB
4. FOR BALANCE OF NOTES SEE DRAWING S-610

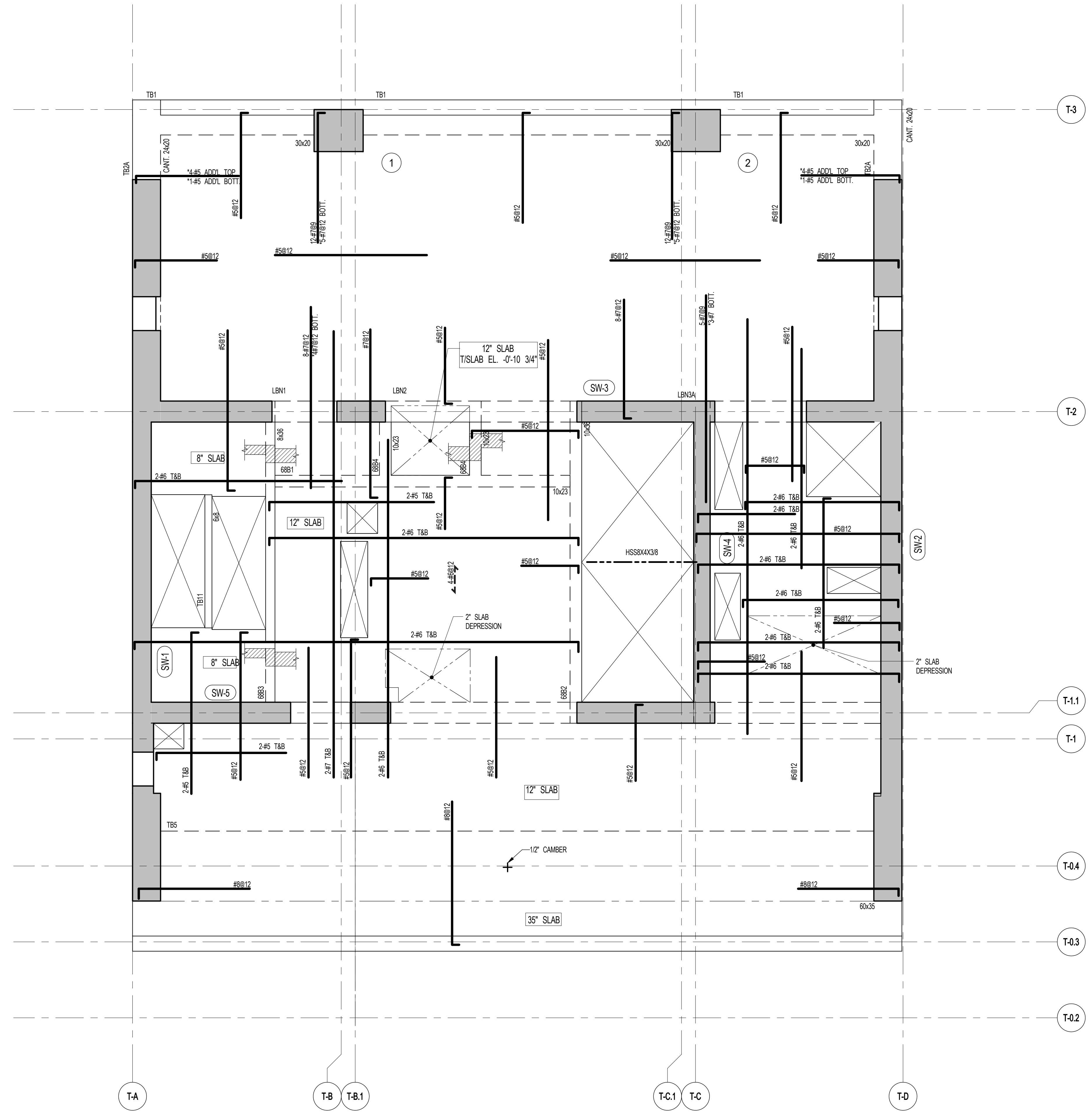
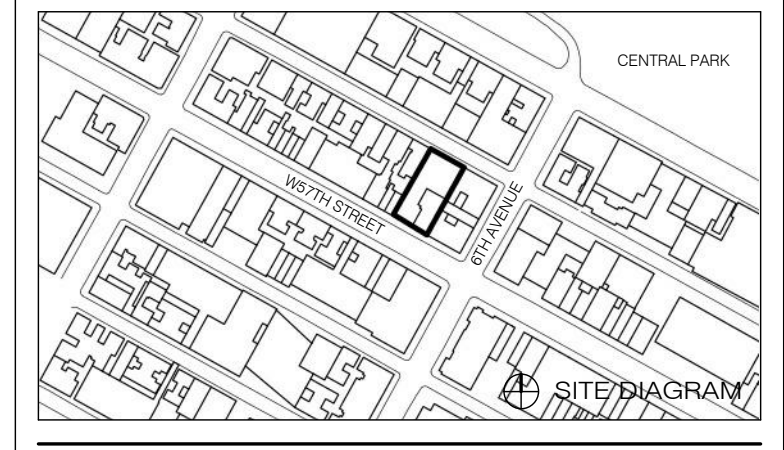
ARCHITECT SNIP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10007 TEL: 212.680.0000	STRUCTURAL ENGINEER WEP CANTOR BENKIN 220 EAST 43RD STREET NEW YORK, NY 10017 TEL: 212.647.0888	MEP ENGINEER JACOBS, BAUM & BOLLES 80 FINE STREET, 10TH FLOOR NEW YORK, NY 10008 TEL: 212.220.0000	CIVIL ENGINEER AKRF ENGINEERING, P.C. 440 PARK AVE SOUTH, 17TH FLOOR NEW YORK, NY 10004 TEL: 646.388.0000	ACoustICS LONGMAN LINDSEY 41 WEST 89TH STREET, 4TH FLOOR NEW YORK, NY 10024 TEL: 917.289.2000	INTERIORS STUDIO SCHAFFEL 300 WAREHOUSES STREET NEW YORK, NY 10003 TEL: 212.493.1000	FAÇADE BUNO HANFPOLD 100 BROADWAY NEW YORK, NY 10005 TEL: 212.248.2000	VERTICAL TRANSPORTATION VAN DEUSEN & ASSOCIATES FREDERICK STREET, SUITE 604 LONGSTON, ALABAMA TEL: 217.648.4000	RESTORATION JANI HIRSH POKORNY ASSOCIATES 34 WEST 37TH STREET, FLOOR 10A NEW YORK, NY 10018 TEL: 212.755.6400	GEOTECH MICE 225 WEST 37TH STREET, 6TH FLOOR NEW YORK, NY 10018 TEL: 917.289.0000	LIGHTING LOEBERKATHE INTERNATIONAL 100 WAREHOUSES STREET, 17TH FLOOR/DAW NEW YORK, NY 10003 TEL: 212.261.4400
--	--	---	--	--	---	---	--	--	--	--



PROPERTY MARKETS GROUP
1 EAST 17TH STREET, 2ND FLOOR
NEW YORK, NY 10003
TEL: 212.610.2000
CURRENT ISSUE



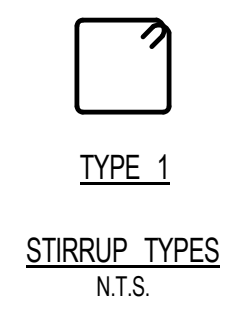
111 WEST 57TH STREET
111 WEST 57TH STREET



1 68TH FLOOR FRAMING PLAN
S-680 SCALE: 1/4" = 1'-0"

- NOTES
1. TOP OF SLAB EL. SEE ARCH. DRAWINGS.
 2. SLAB THICKNESS TO BE 12" U.O.D. THIS [] ON PLAN.
 3. BOTTOM REINFORCEMENT TO BE: #8@12" E-W CONTINUOUS FOR 30" SLAB
#8@12" E-W CONTINUOUS FOR 12" SLAB
#4@12" E-W CONTINUOUS FOR 8" SLAB
 4. FOR BALANCE OF NOTES SEE DRAWING 501E.

BEAM MARK	SIZE		REINFORCEMENT			STIRRUPS		REMARKS
	WIDTH	DEPTH	BOTTOM CONTINUOUS	TOP CONTINUOUS	TYPE	SIZE	SPACING	
6861	10	23	3-#8	2-#8	1	#4	@10	
6862	10	36	3-#8	2-#8	1	#4	@16	
6863	8	36	3-#8	3-#8	1	#4	@16	
6864	10	23	2-#7	2-#7	1	#4	@10	



1	3.27.15	DOB PAA
	5.1.14	DOB FILING SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS FOR AS LONG AS THIS PROJECT IS IN PROGRESS OR COMPLETION OF THIS PROJECT BY OTHERS.
COPYRIGHT © 2015 SNIP ARCHITECTS, P.C. ALL RIGHTS RESERVED.

NOT FOR CONSTRUCTION

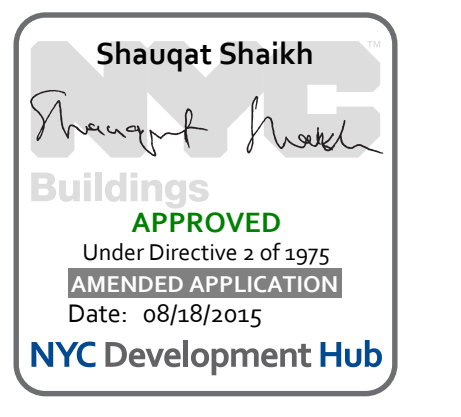
DATE	5.1.14
PROJECT NO.	13151140
DRAWN BY	CADD
CHECKED BY	CL
DOB NO.	
DRAWING NUMBER	S-680.01



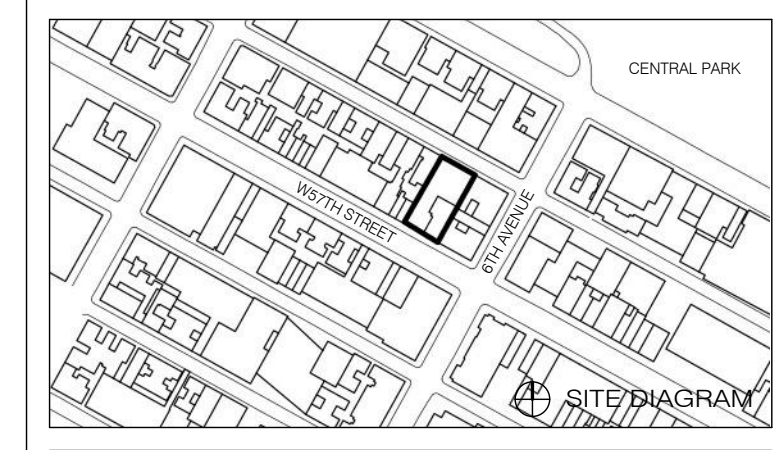
ARCHITECT	SHAP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10005 TEL: 212 869 9300	FAÇADE	BURRO WASSERFELD 100 BROADWAY NEW YORK, NY 10005 TEL: 212 254 2025
STRUCTURAL ENGINEER	YUSEF GANTOUB REPAIRWORK 228 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212 697 2886	VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 8 BROADWAY, SUITE 200 LARKSPRING, NJ 07033 TEL: 973 984 9775
MEP ENGINEER	JANOS BALAM & BOLLER 80 WING STREET, 2ND FLOOR NEW YORK, NY 10003 TEL: 212 869 9300	RESTORATION	JAN HRO FOKORNY ASSOCIATES 80 WING STREET, 2ND FLOOR NEW YORK, NY 10003 TEL: 212 228 6462
CIVIL ENGINEER	AKRIF ENGINEERING, P.C. 80 WING STREET, 2ND FLOOR NEW YORK, NY 10003 TEL: 212 228 6462	GEOTECH	LONGMAN LINDSEY 40 WEST 58TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917 228 2289
ACOUSTICS	LONGMAN LINDSEY 40 WEST 58TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917 228 2289	INTERIORS	STUDIOS JENSEN 250 WALKER STREET NEW YORK, NY 10002 TEL: 212 475 3000
			CONSERVATORIE INTERNATIONAL 100 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 252 4452



PROPERTY MARKETS GROUP
100 WEST 57TH STREET, 2ND FLOOR
NEW YORK, NY 10019
TEL: 212 869 9300
CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET

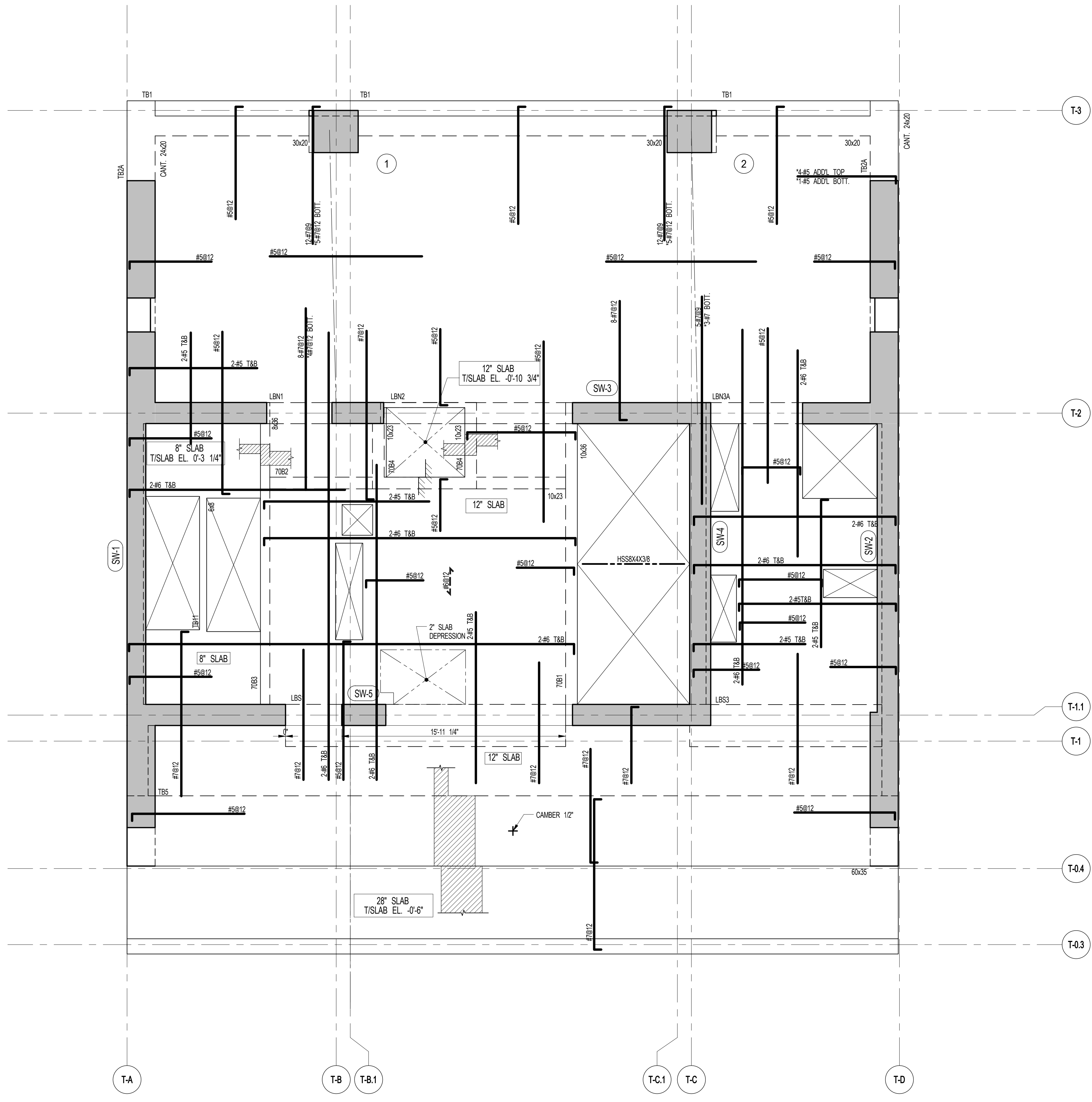


1	3/27/15	DOB PRA
NO.	DATE	REVISION
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.		

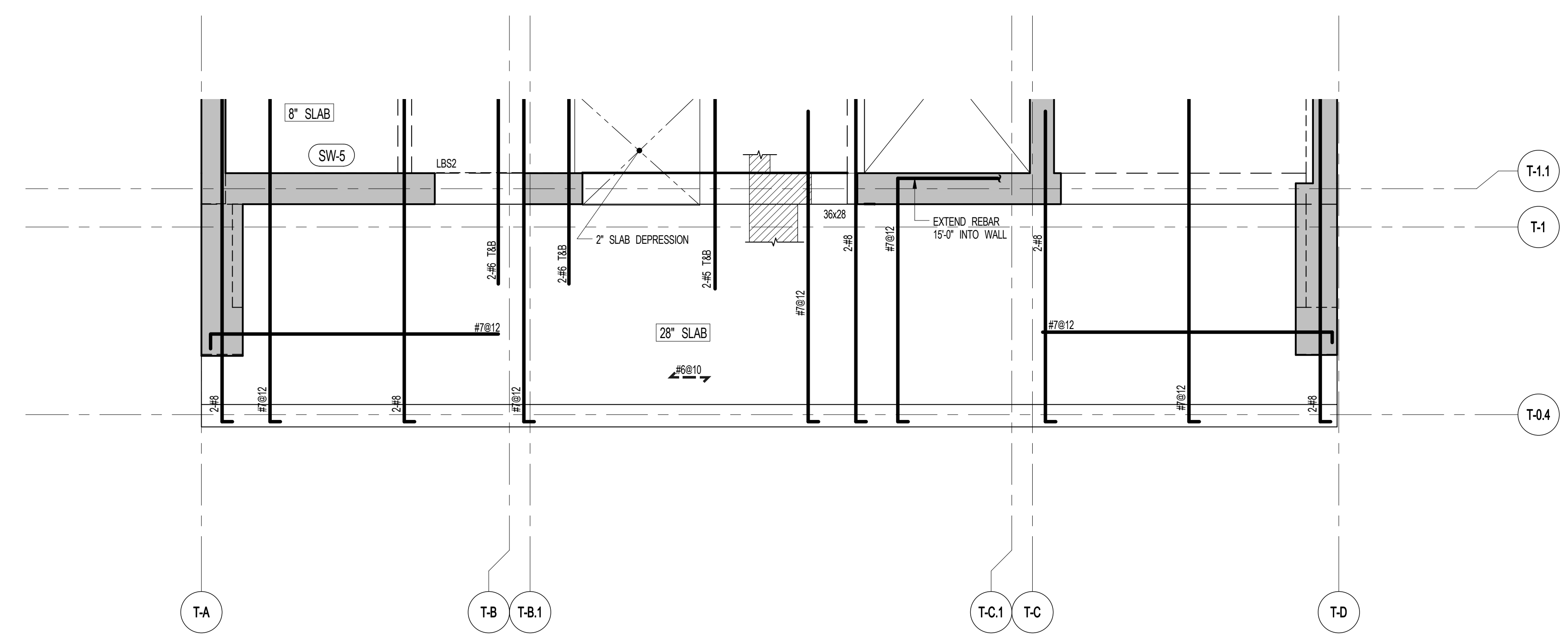
● NOT FOR CONSTRUCTION

70TH & 72ND FLOOR FRAMING PLANS

SEAL & SIGNATURE	DATE	3/27/15
	PROJECT NO.	1310140
	DRAWN BY	CADD
	CHECKED BY	CL
	DOB NO.	09175
	DRAWING NUMBER	S-700.00

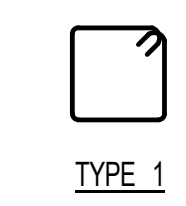


1 70TH & 72ND FLOOR FRAMING PLAN
S-700 SCALE: 1/4" = 1'-0"
NOTES:
1. TOP OF SLAB EL. SEE ARCH. DRAWINGS.
2. SLAB THICKNESS TO BE 12" UNLESS NOTED OTHERWISE ON PLAN.
3. BOTTOM REINFORCEMENT TO BE: #7@12 E-W CONTINUOUS FOR 28" SLAB
#8@12 E-W CONTINUOUS FOR 12" SLAB
#4@12 E-W CONTINUOUS FOR 8" SLAB
4. FOR BALANCE OF NOTES SEE DRAWING S-610.



2 72ND FLOOR PART FRAMING PLAN
S-700 SCALE: 1/4" = 1'-0"

BEAM MARK	SIZE		REINFORCEMENT		STIRRUPS		REMARKS
	WIDTH	DEPTH	BOTTOM CONTINUOUS	TOP CONTINUOUS	TYPE	SIZE SPACING	
70B1	10	36	3-#8	2-#8	1	#4 @16	
70B2	10	23	3-#8	2-#8	1	#4 @10	
70B3	8	36	3-#8	2-#8	1	#4 @20	
70B4	10	23	2-#7	2-#7	1	#4 @10	

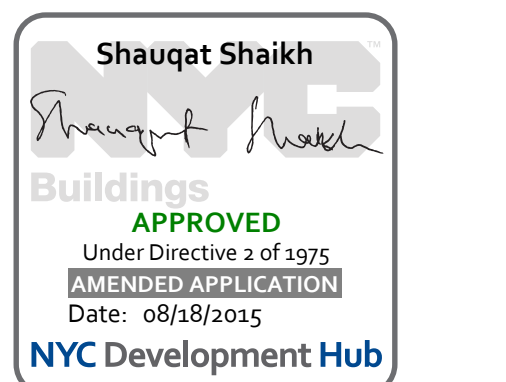


ARCHITECT	SHAP ARCHITECTS, P.C. 220 BROADWAY, 11TH FLOOR NEW YORK, NY 10005 TEL: 212 880 3000	FAÇADE	BURROUGHS WAREFIELD 100 BROADWAY NEW YORK, NY 10005 TEL: 212 254 2025
STRUCTURAL ENGINEER	TOPP CONSULTING GROUP 220 EAST 43RD STREET NEW YORK, NY 10017 TEL: 212 697 2886	VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 1 BROADWAY STREET, SUITE 204 LARKSPER, NJ 07033 TEL: 973 984 4700
MEP ENGINEER	JORDS, BALM & BOLLER 40 WINE STREET, 12TH FLOOR NEW YORK, NY 10005 TEL: 212 880 3000	RESTORATION	JAN HRO POKORNY ASSOCIATES 40 WEST 44TH STREET, 7TH FLOOR NEW YORK, NY 10018 TEL: 212 259 4462
CIVIL ENGINEER	AWR ENGINEERING, P.C. 40 WEST 44TH STREET, 7TH FLOOR NEW YORK, NY 10018 TEL: 212 259 4462	GEOTECH	MTC 300 WEST 4TH STREET, 4TH FLOOR NEW YORK, NY 10014 TEL: 917 288 4000
ACOUSTICS	LONGMAN LINDSEY 40 WEST 44TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 917 288 3380	LIGHTING	CONSERVATORIE INTERNATIONAL 100 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 255 4462
INTERIORS	STUDIO JOSEPH 30 WALKER STREET NEW YORK, NY 10002 TEL: 212 475 1300		

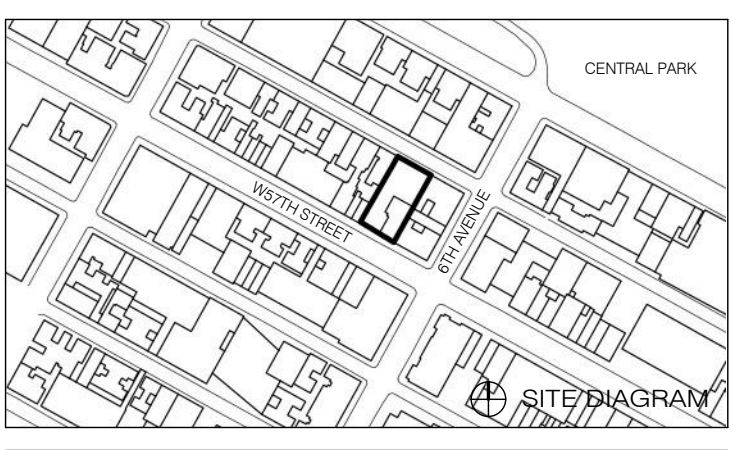


PROPERTY MARKETS GROUP
100 WEST 4TH STREET, 2ND FLOOR
NEW YORK, NY 10002
TEL: 212 880 3000

CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET



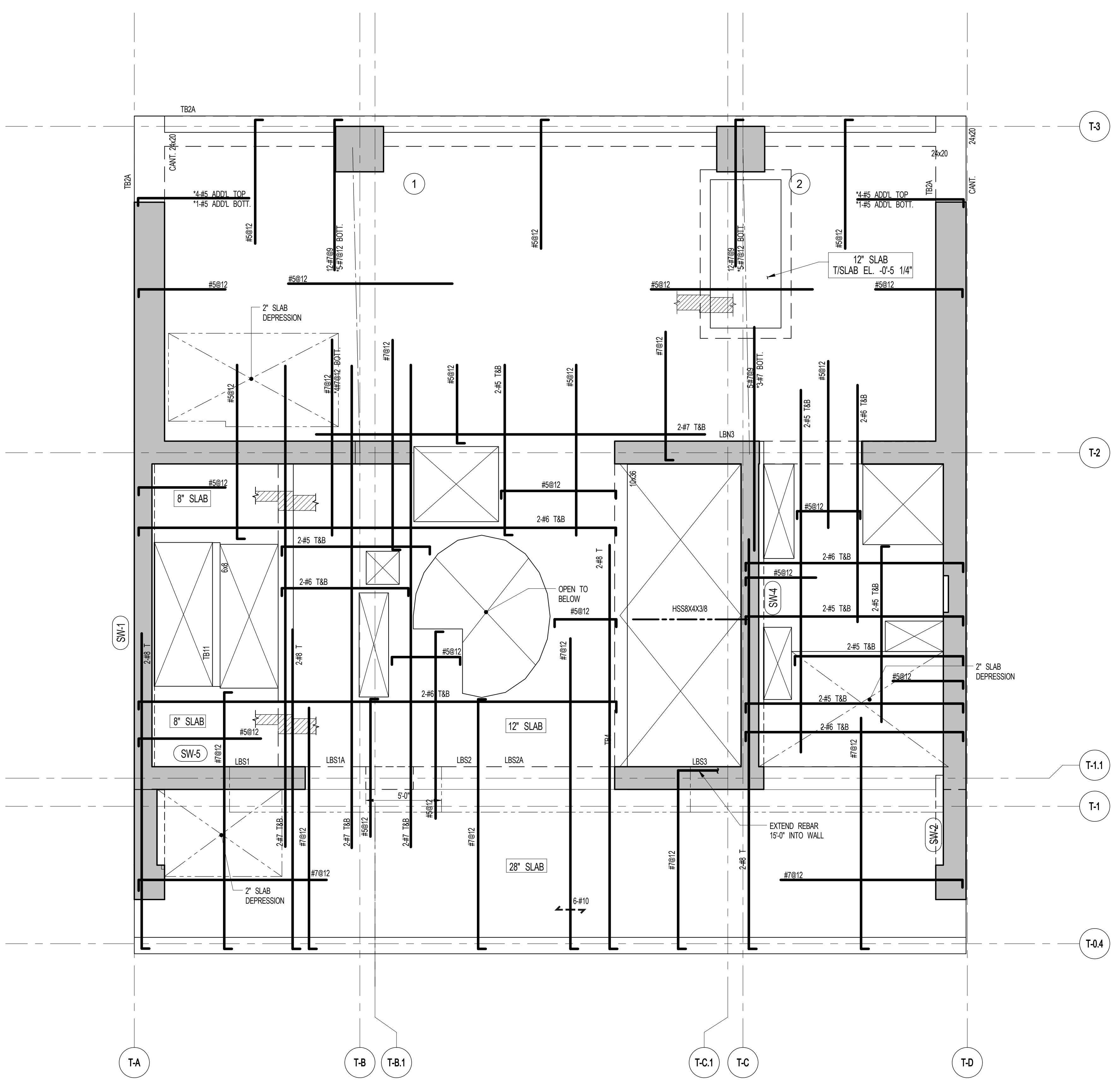
1	3/27/15	DOB PRA
NO.	DATE	REVISION

● NOT FOR CONSTRUCTION

71ST & 73RD FLOOR FRAMING PLANS

SEAL & SIGNATURE	DATE	3/27/15
PROJECT NO.	1310140	
DRAWN BY	CADD	
CHECKED BY	CL	
DOB NO.		
DRAWING NUMBER		

S-710.00



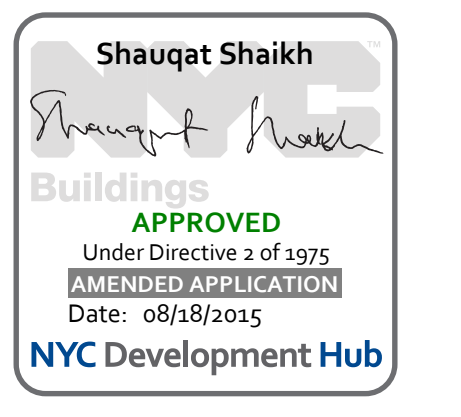
1 71ST & 73RD FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

- NOTES:
- TOP OF SLAB EL. SEE ARCH. DRAWINGS.
 - SLAB THICKNESS TO BE 7" UNLESS OTHERWISE NOTED ON PLAN.
 - BOTTOM REINFORCEMENT TO BE: #7@12 E-W, CONTINUOUS FOR 28" SLAB; #5@12 E-W, CONTINUOUS FOR 12" SLAB; #4@12 E-W, CONTINUOUS FOR 8" SLAB.
 - FOR BALANCE OF NOTES SEE DRAWING S-710.

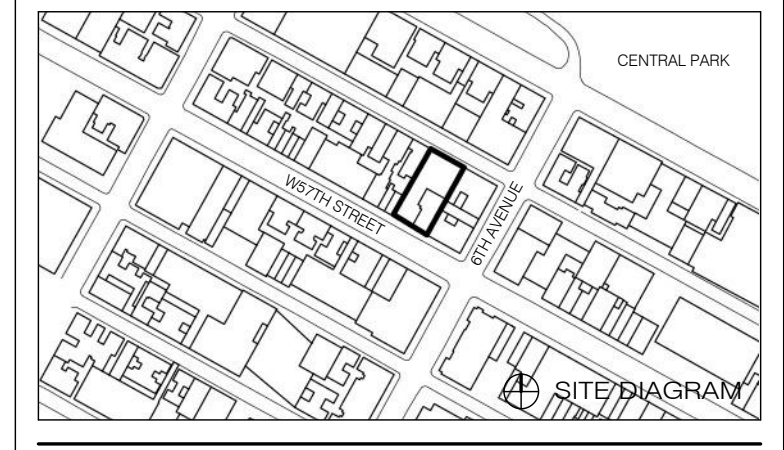
ARCHITECT	SNIP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10038 TEL: 212.699.0000
STRUCTURAL ENGINEER	WEP CANON BENKIN 200 EAST 43RD STREET NEW YORK, NY 10017 TEL: 212.647.2888
MEP ENGINEER	JARVIS, BALM & ROLLES 80 FINE STREET, 10TH FLOOR NEW YORK, NY 10038 TEL: 212.200.0000
CIVIL ENGINEER	AKRF ENGINEERING, P.C. 400 PARK AVE SOUTH, 17TH FLOOR NEW YORK, NY 10038 TEL: 800.388.0009
ACOUSTICS	LONGMAN LINDSEY 41 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212.759.2000
INTERIORS	STUDIO SCHAFFL 300 PARKER STREET NEW YORK, NY 10003 TEL: 212.451.1300
FAÇADE	BURRO HANFORD 90 BROADWAY NEW YORK, NY 10003 TEL: 212.244.2000
VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 7 FINESTREET SQUARE 604 LONGROCK, NJ 07639 TEL: 973.984.8200
RESTORATION	JAN HIRSHPOKORNY ASSOCIATES 30 WEST 57TH STREET, 6TH FLOOR NEW YORK, NY 10019 TEL: 212.759.4400
GEOTECH	MINCE 105 WEST 57TH STREET, 6TH FLOOR NEW YORK, NY 10019 TEL: 212.259.0000
LIGHTING	LOEBERBACHER INTERNATIONAL 100 PARKER STREET NEW YORK, NY 10003 TEL: 212.259.4400



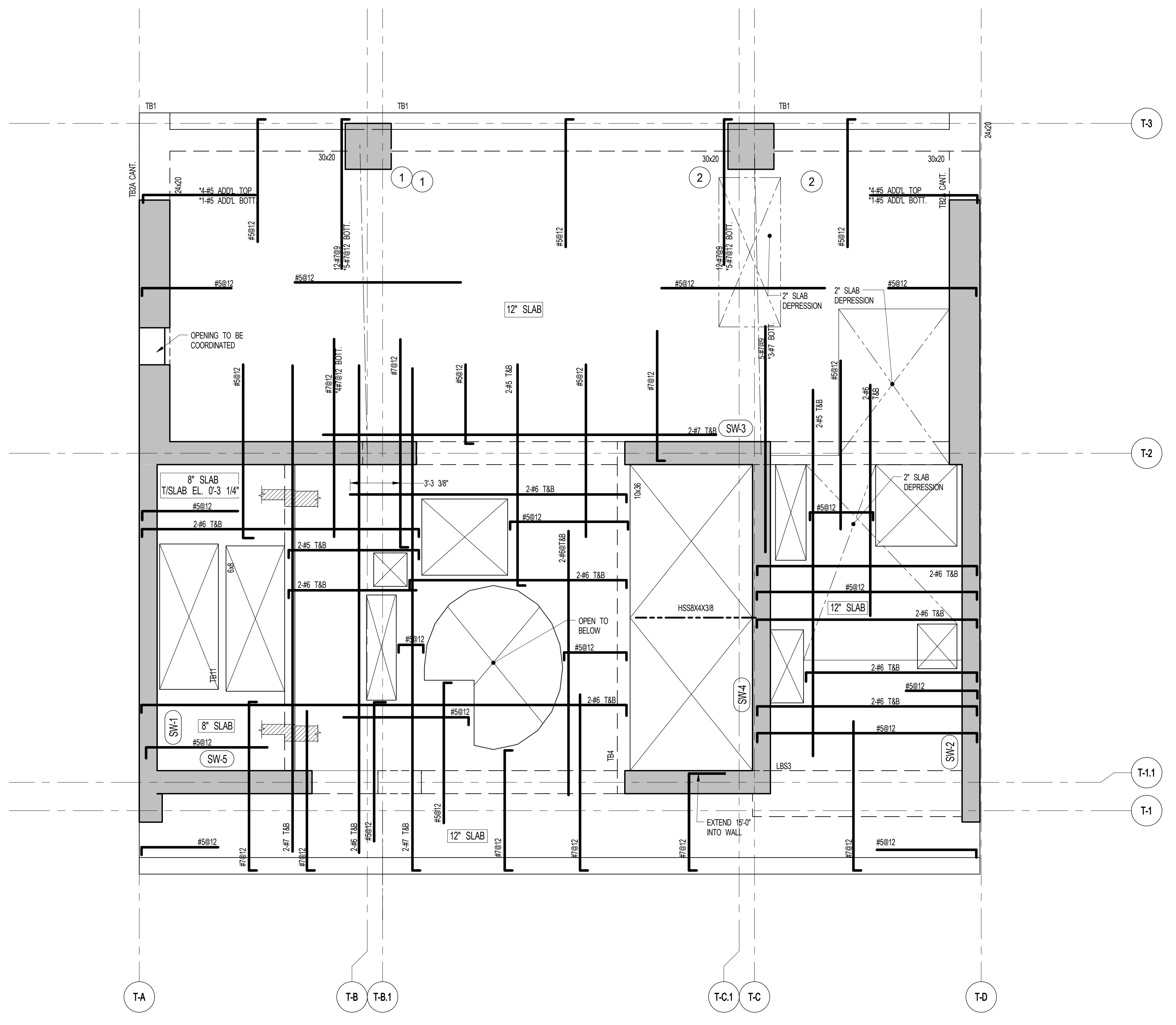
PROPERTY MARKETS GROUP
1 EAST 17TH STREET, 2ND FLOOR
NEW YORK, NY 10003
TEL: 212.610.2000
CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET



1 74TH FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"
NOTES:
1. TOP OF SLAB EL. SEE ARCH. DRAWINGS.
2. SLAB THICKNESS TO BE 12" UON, THUS E.W. CONTINUOUS FOR 2" SLAB.
3. BOTTOM REINFORCEMENT TO BE #5@12 E.W. CONTINUOUS FOR 2" SLAB.
4. FOR BALANCE OF NOTES SEE DRAWING S-740.



2 75TH FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"
NOTES:
1. TOP OF SLAB EL. SEE ARCH. DRAWINGS.
2. SLAB THICKNESS TO BE 12" UON, THUS E.W. CONTINUOUS FOR 12" SLAB.
3. BOTTOM REINFORCEMENT TO BE #5@12 E.W. CONTINUOUS FOR 12" SLAB.
4. FOR BALANCE OF NOTES SEE DRAWING S-740.

1	3.27.15	DOB PAA
	5.1.14	DOB FILING SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF JDS DEVELOPMENT GROUP.

© COPYRIGHT © 2015 SNIP ARCHITECTS, P.C. ALL RIGHTS RESERVED.

NOT FOR CONSTRUCTION

DRAWING TITLE
74TH & 75TH FLOOR FRAMING PLANS

DATE	5.1.14
PROJECT NO.	13151140
DRAWN BY	CADD
CHECKED BY	CL
DOB NO.	
DRAWING NUMBER	

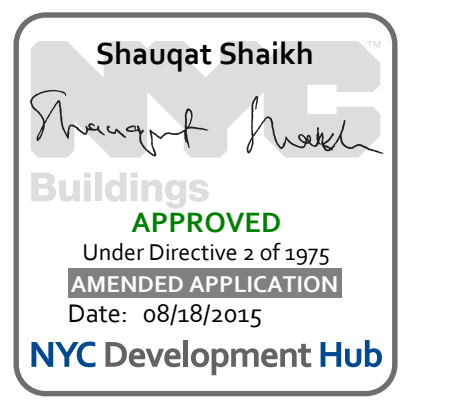
S-740.01

ARCHITECT	SHAP ARCHITECTS, P.C. 220 BROADWAY, 11TH FLOOR NEW YORK, NY 10005 TEL: 212 880 9300
STRUCTURAL ENGINEER	SHAP ARCHITECTS, P.C. 220 BROADWAY, 11TH FLOOR NEW YORK, NY 10005 TEL: 212 880 9300
MEP ENGINEER	JORDIS, BAIAM & BOLLER 30 WING STREET, 12TH FLOOR NEW YORK, NY 10003 TEL: 212 880 9300
CIVIL ENGINEER	PAIR ENGINEERING, P.C. 200 WEST 46TH STREET, 7TH FLOOR NEW YORK, NY 10018 TEL: 212 880 9300
ACOUSTICIAN	LONGMAN LINDSEY 40 WEST 58TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212 880 9300
INTERIORS	STUDIO SCENEFIELD 30 WING STREET, 12TH FLOOR NEW YORK, NY 10003 TEL: 212 880 9300
FAÇADE	BURRO HARRFIELD 100 BROADWAY NEW YORK, NY 10005 TEL: 212 880 9300
VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 100 WEST STREET, SUITE 200 LARKSPER, NJ 07033 TEL: 973 984 9700
RESTORATION	JAN HRO FOKORNY ASSOCIATES 30 WEST 58TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212 880 9300
GEOTECH	MTICE 100 WEST 58TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212 880 9300
LIGHTING	CONSERVATIVE INTERNATIONAL 100 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 880 9300

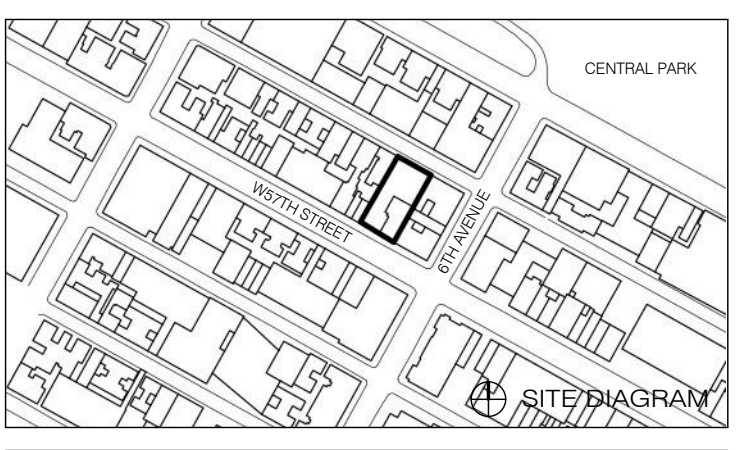


PROPERTY MARKETS GROUP
100 WEST 57TH STREET, 10TH FLOOR
NEW YORK, NY 10019
TEL: 212 880 9300

CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET



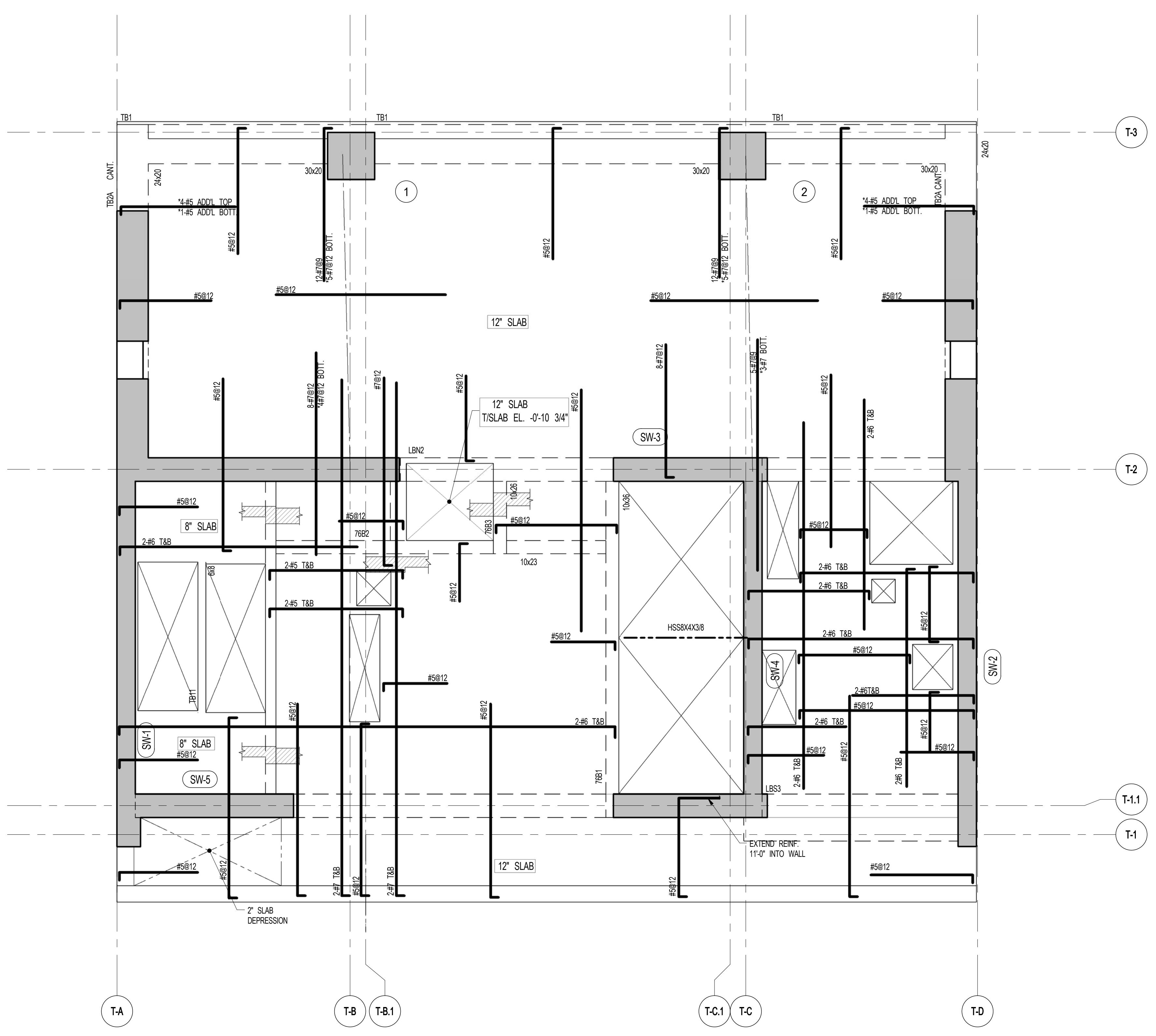
1	3.27.15	DOB PAA
	5.1.14	DOB FILING SET
NO.	DATE	REVISION
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.		

● NOT FOR CONSTRUCTION

76TH & 77TH FLOOR FRAMING PLANS

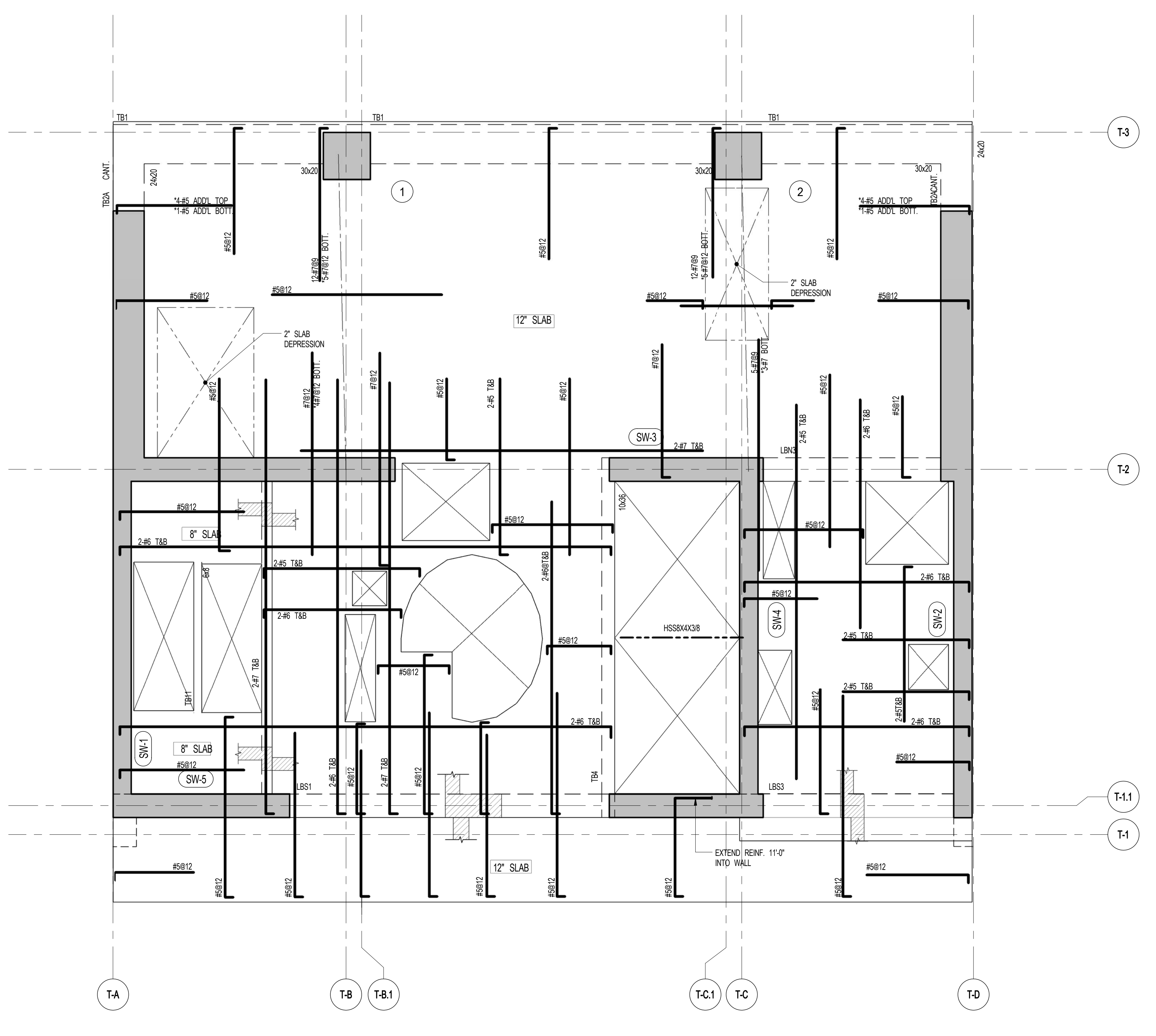
SEAL & SIGNATURE	DATE	5.1.14
	PROJECT NO.	1310140
	DRAWN BY	CADD
	CHECKED BY	CL
	DOB NO.	
	DRAWING NUMBER	

S-760.01



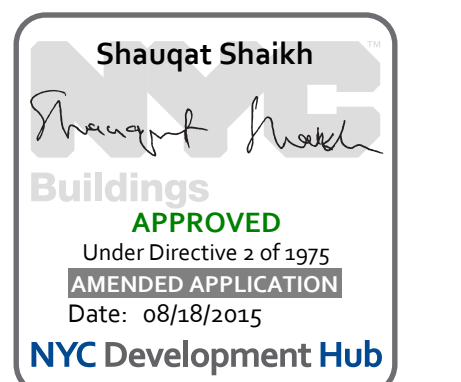
1 76TH FLOOR FRAMING PLAN
S-760 SCALE: 1/4" = 1'-0"

- NOTES:
1. TOP OF SLAB EL. SEE ARCH. DRAWINGS.
 2. SLAB THICKNESS TO BE 12" UNLESS OTHERWISE NOTED ON PLAN.
 3. BOTTOM REINFORCEMENT TO BE #5@12" E-W. CONTINUOUS FOR 12" SLAB. #4@12" E-W. CONTINUOUS FOR 8" SLAB.
 4. TOP AND BOTTOM REINFORCEMENT TO BE #8@14" E-W. CONTINUOUS FOR 8" SLAB.
- FOR BALANCE OF NOTES SEE DRAWING S-610.



2 77TH FLOOR FRAMING PLAN
S-760 SCALE: 1/4" = 1'-0"

- NOTES:
1. TOP OF SLAB EL. SEE ARCH. DRAWINGS.
 2. SLAB THICKNESS TO BE 12" UNLESS OTHERWISE NOTED ON PLAN.
 3. BOTTOM REINFORCEMENT TO BE #8@12" E-W. CONTINUOUS FOR 12" SLAB. #4@12" E-W. CONTINUOUS FOR 8" SLAB.
 4. TOP AND BOTTOM REINFORCEMENT TO BE #8@14" E-W. CONTINUOUS FOR 8" SLAB.
- FOR BALANCE OF NOTES SEE DRAWING S-610.



111 WEST 57TH STREET
111 WEST 57TH STREET



1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

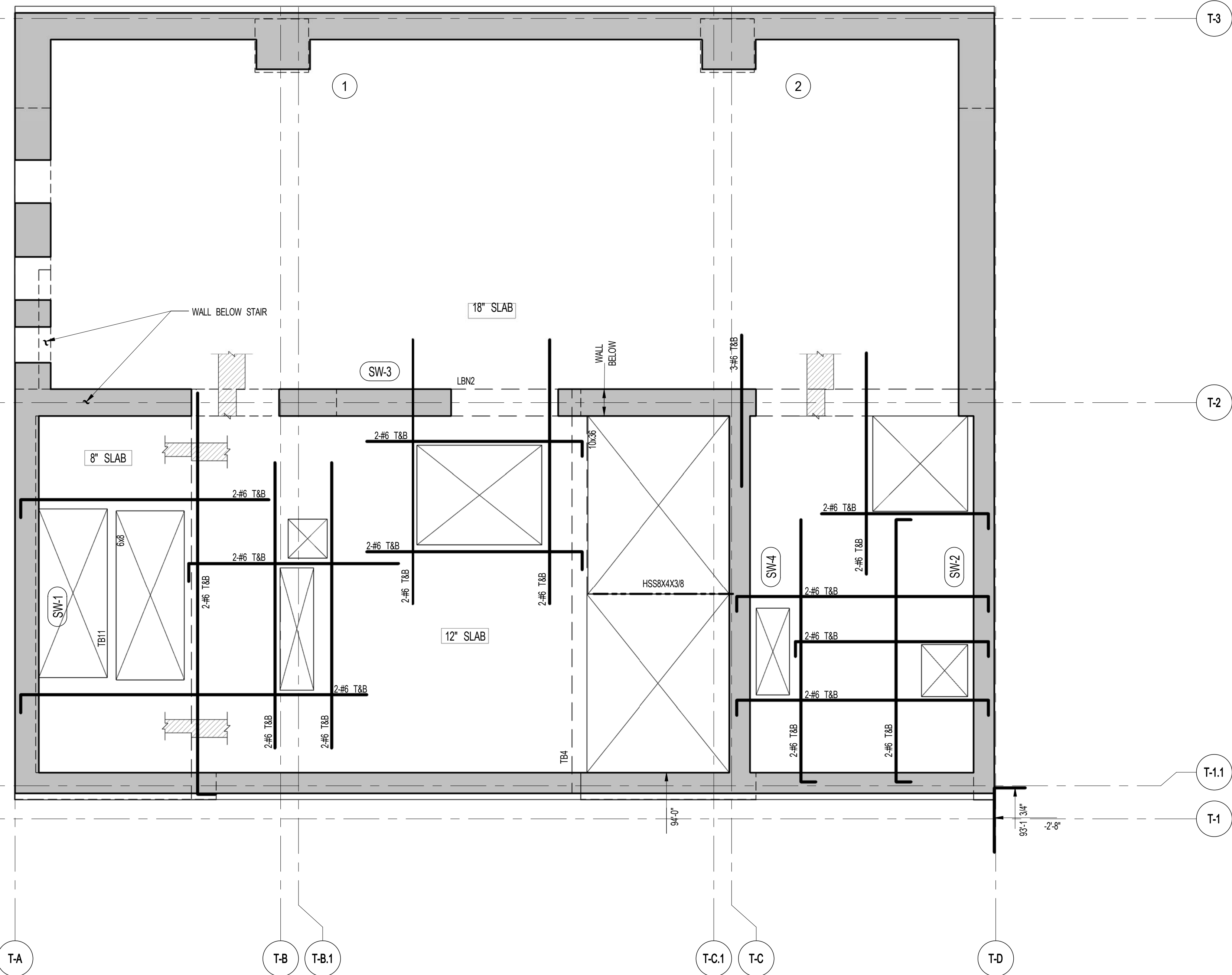
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.

NOT FOR CONSTRUCTION

78TH & 79TH FLOOR FRAMING PLANS

SEAL & SIGNATURE	DATE	5.1.14
	PROJECT NO.	1310140
	DRAWN BY	CADD
	CHECKED BY	CL
	DOB NO.	
	DRAWING NUMBER	

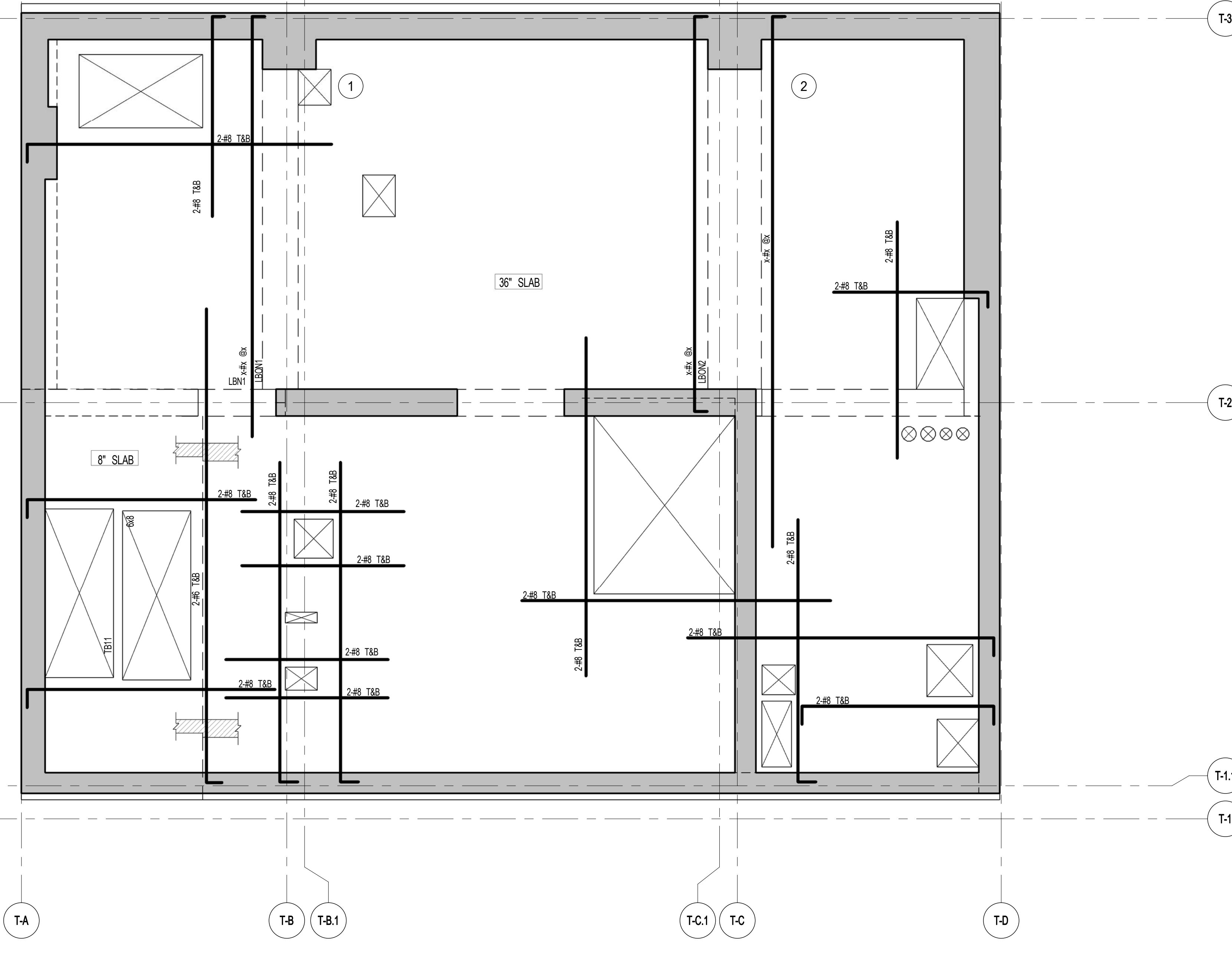
S-780.01



1 78TH FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

- NOTES:
1. TOP OF SLAB EL. SEE ARCH. DRAWINGS.
 2. SLAB THICKNESS TO BE 12" U.O.N. THIS [] ON PLAN.
 3. TOP AND BOTTOM REINFORCEMENT TO BE: #6@12 E.W. CONTINUOUS FOR 18' SLAB #5@12 E.W. CONTINUOUS FOR 12' SLAB #5@12 E.W. CONTINUOUS FOR 8' SLAB
 4. FOR BALANCE OF NOTES SEE DRAWING S-010.



2 79TH FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

- NOTES:
1. TOP OF SLAB EL. SEE ARCH. DRAWINGS.
 2. SLAB THICKNESS TO BE 30" U.O.N. THIS [] ON PLAN.
 3. TOP AND BOTTOM REINFORCEMENT TO BE: #8@12 E.W. CONTINUOUS FOR 30' SLAB #5@12 E.W. CONTINUOUS FOR 8' SLAB
 4. FOR BALANCE OF NOTES SEE DRAWING S-010.

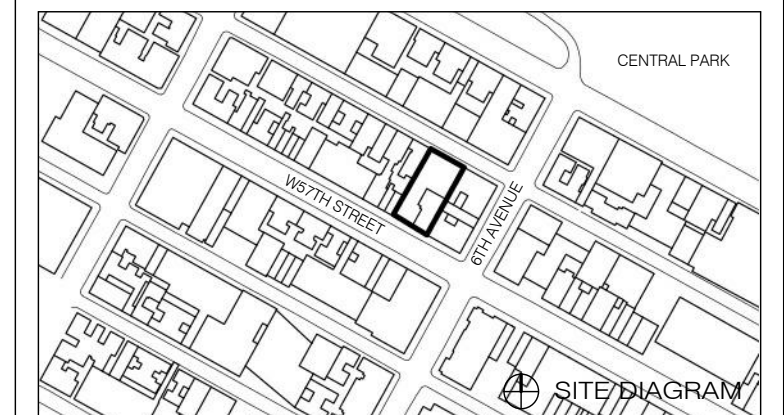
ARCHITECT	SRMP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10038 TEL: 212.466.0000	STRUCTURAL ENGINEER	WSP CANFOR BENKIN 200 EAST 43RD STREET NEW YORK, NY 10017 TEL: 212.462.4666	MEP ENGINEER	JARVIS, BAUM & ROLLES 80 FINE STREET, 10TH FLOOR NEW YORK, NY 10038 TEL: 212.253.8800	CIVIL ENGINEER	ANRF ENGINEERING, P.C. 400 PARK AVE SOUTH, 7TH FLOOR NEW YORK, NY 10014 TEL: 800.388.0028	ACOUSTICS	LONGMAN LINDSEY 41 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 812.289.2000	INTERIORS	STUDIO SCHFIELD 300 MADISON STREET NEW YORK, NY 10017 TEL: 212.451.1000	FAÇADE	BURRO HANFORD 100 BROADWAY NEW YORK, NY 10003 TEL: 212.246.2000	VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 7 FINESTREET, SUITE 604 LONGROCK, AUSTRALIA TEL: 02 9278 4000	RESTORATION	JAN HIRSHKOPFFNY ASSOCIATES 30 WEST 57TH STREET, FLOOR 10A NEW YORK, NY 10019 TEL: 212.755.4465	GEOTECH	SPICE 105 WEST 57TH STREET, 6TH FLOOR NEW YORK, NY 10019 TEL: 812.289.0000	LIGHTING	LOGGEMATHER INTERNATIONAL 100 MADISON STREET NEW YORK, NY 10017 TEL: 212.255.4465
-----------	--	---------------------	--	--------------	--	----------------	--	-----------	--	-----------	--	--------	--	-------------------------	--	-------------	--	---------	---	----------	--



PROPERTY MARKETS GROUP
1 EAST 17TH STREET, 2ND FLOOR
NEW YORK, NY 10003
TEL: 212.610.2000
CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET



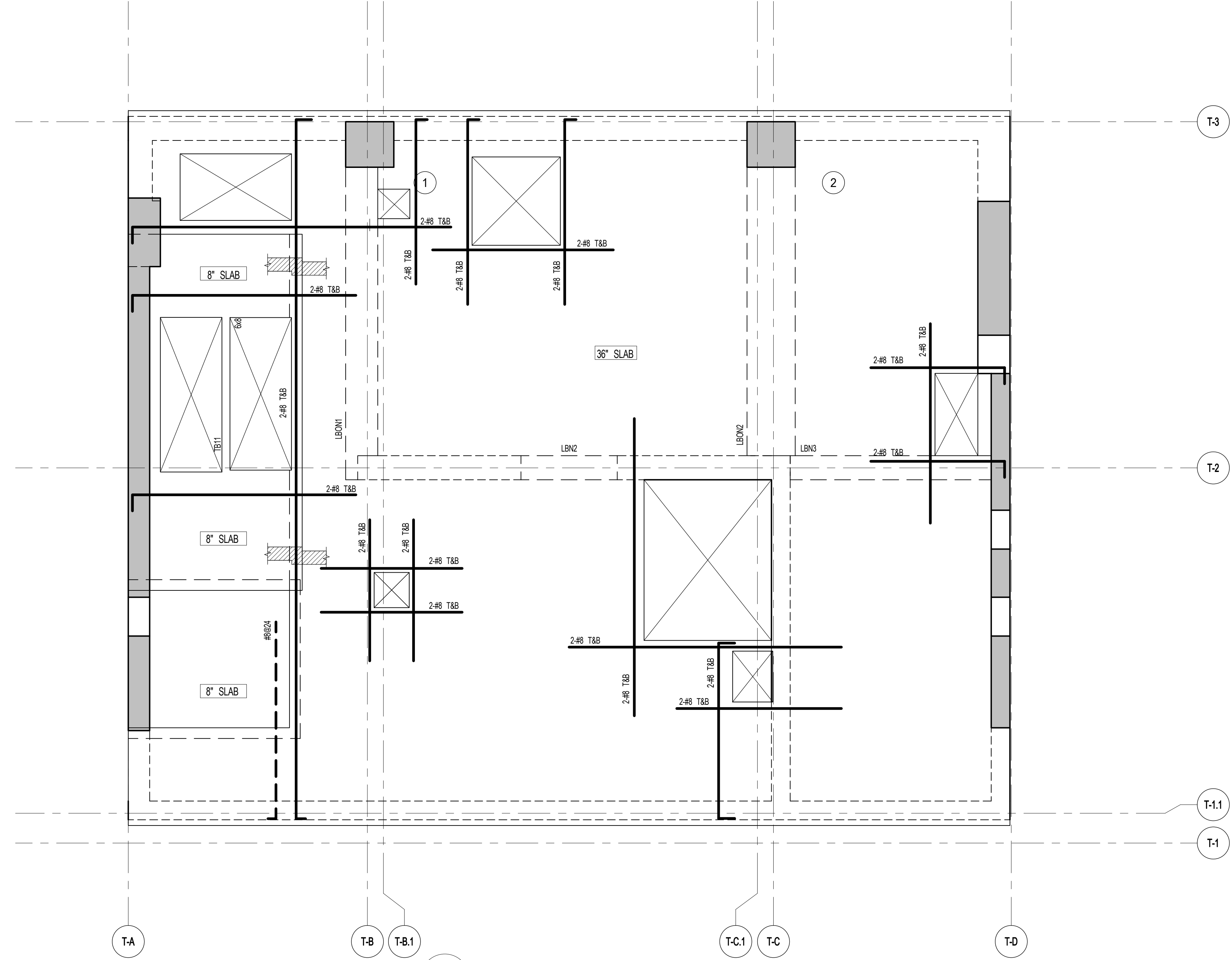
1	3.27.15	DOB PAA
	8.1.14	DOB FILING SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT OR ENGINEER. COPYRIGHT © 2015 SRMP ARCHITECTS, P.C. ALL RIGHTS RESERVED.

● NOT FOR CONSTRUCTION

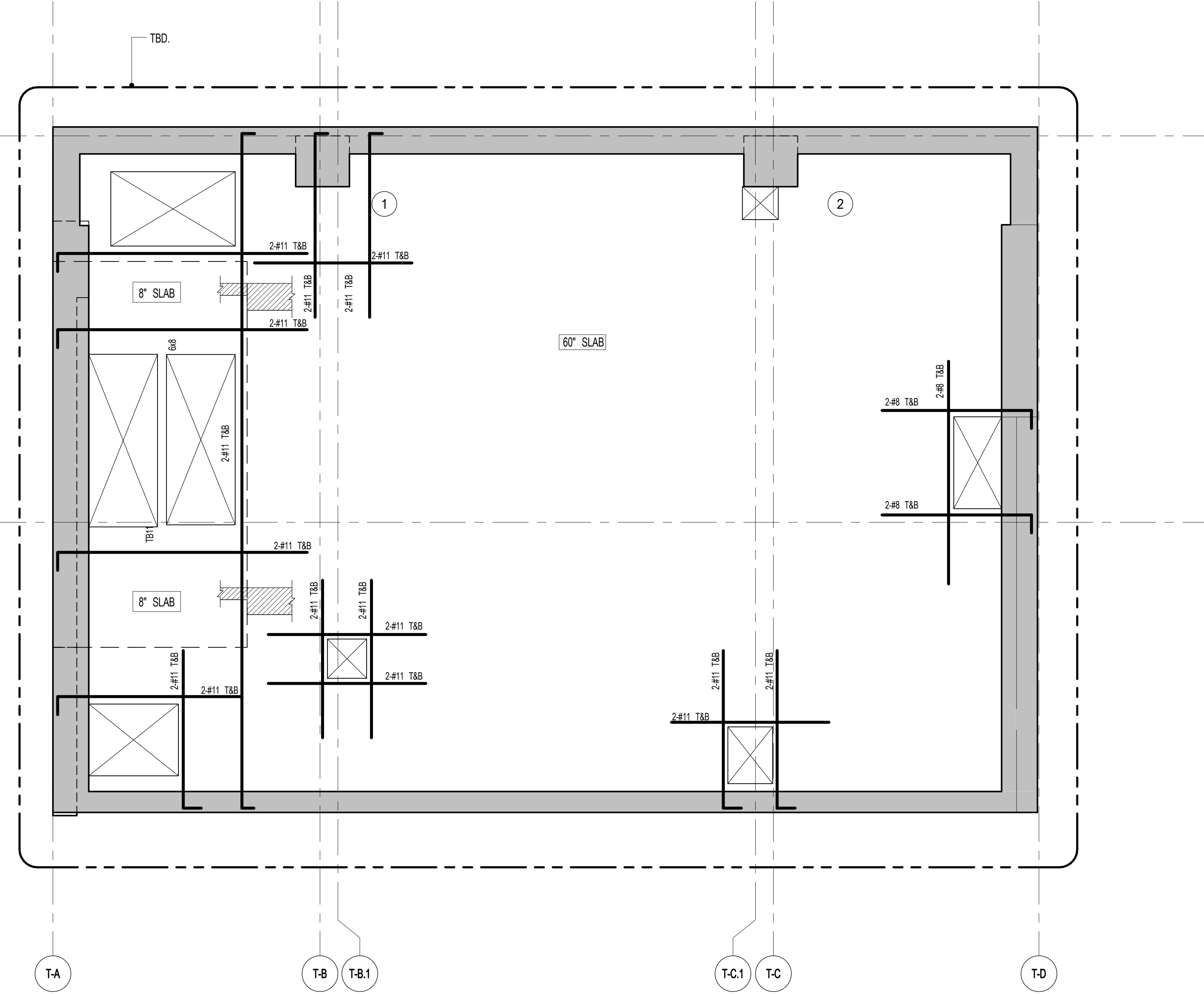
DRAWING TITLE
80TH-83RD FLOOR FRAMING PLANS

SEAL & SIGNATURE: [Signature] DATE: 8.1.14
PROJECT NO.: 1315140
DRAWN BY: CADDO
CHECKED BY: CL
DOB NO.: 80759
DRAWING NUMBER: S-800.01



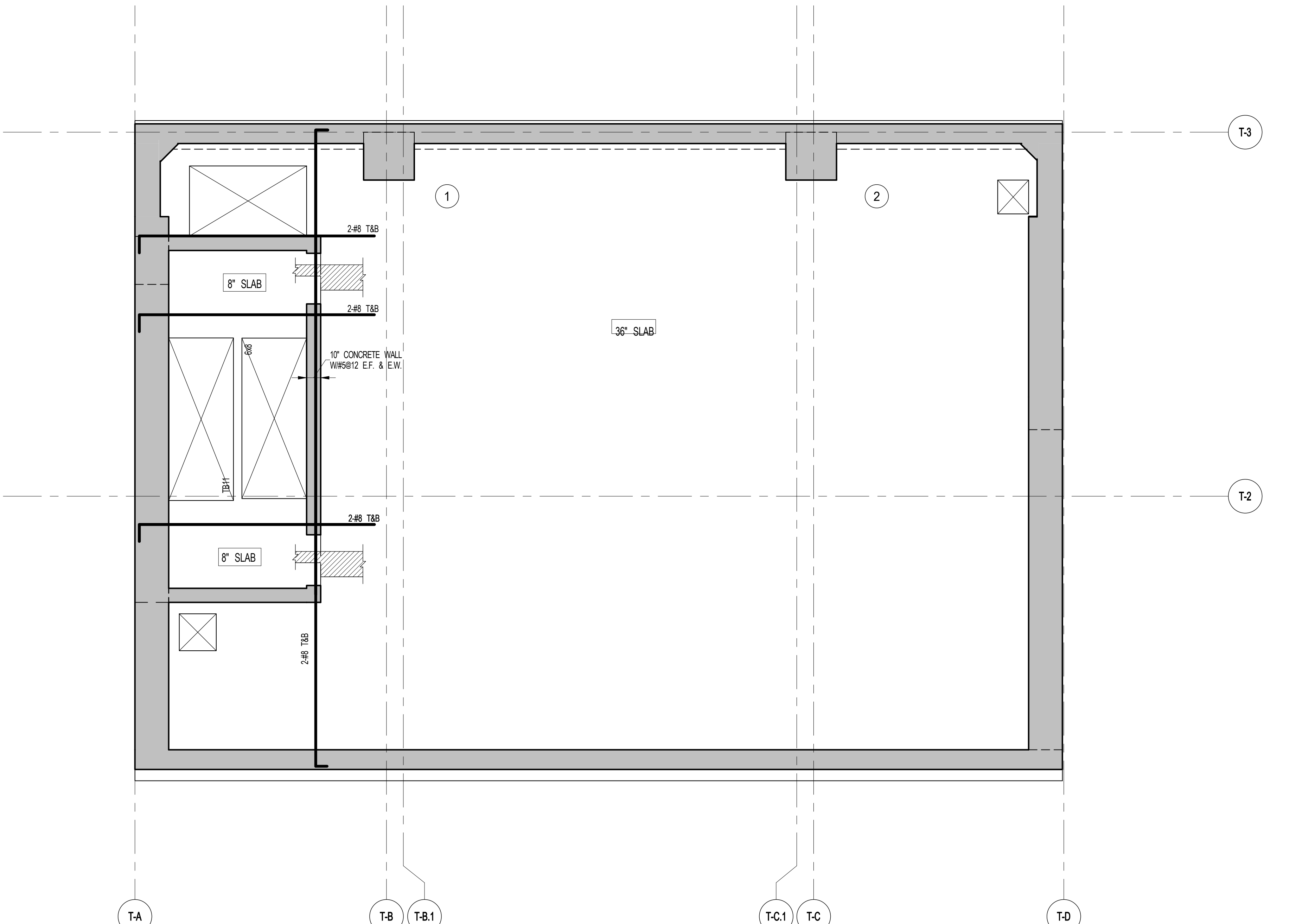
1 80TH FLOOR FRAMING PLAN
S-800 SCALE: 1/4" = 1'-0"

- NOTES:
1. TOP OF SLAB EL. SEE ARCH. DRAWINGS.
2. SLAB THICKNESS TO BE 3" U.O.N. THIS [] ON PLAN.
3. TOP AND BOTTOM REINFORCEMENT TO BE: #8@12' E.W. CONTINUOUS FOR 3" SLAB
#8@12' E.W. CONTINUOUS FOR 8" SLAB
4. FOR BALANCE OF NOTES SEE DRAWING S-010.



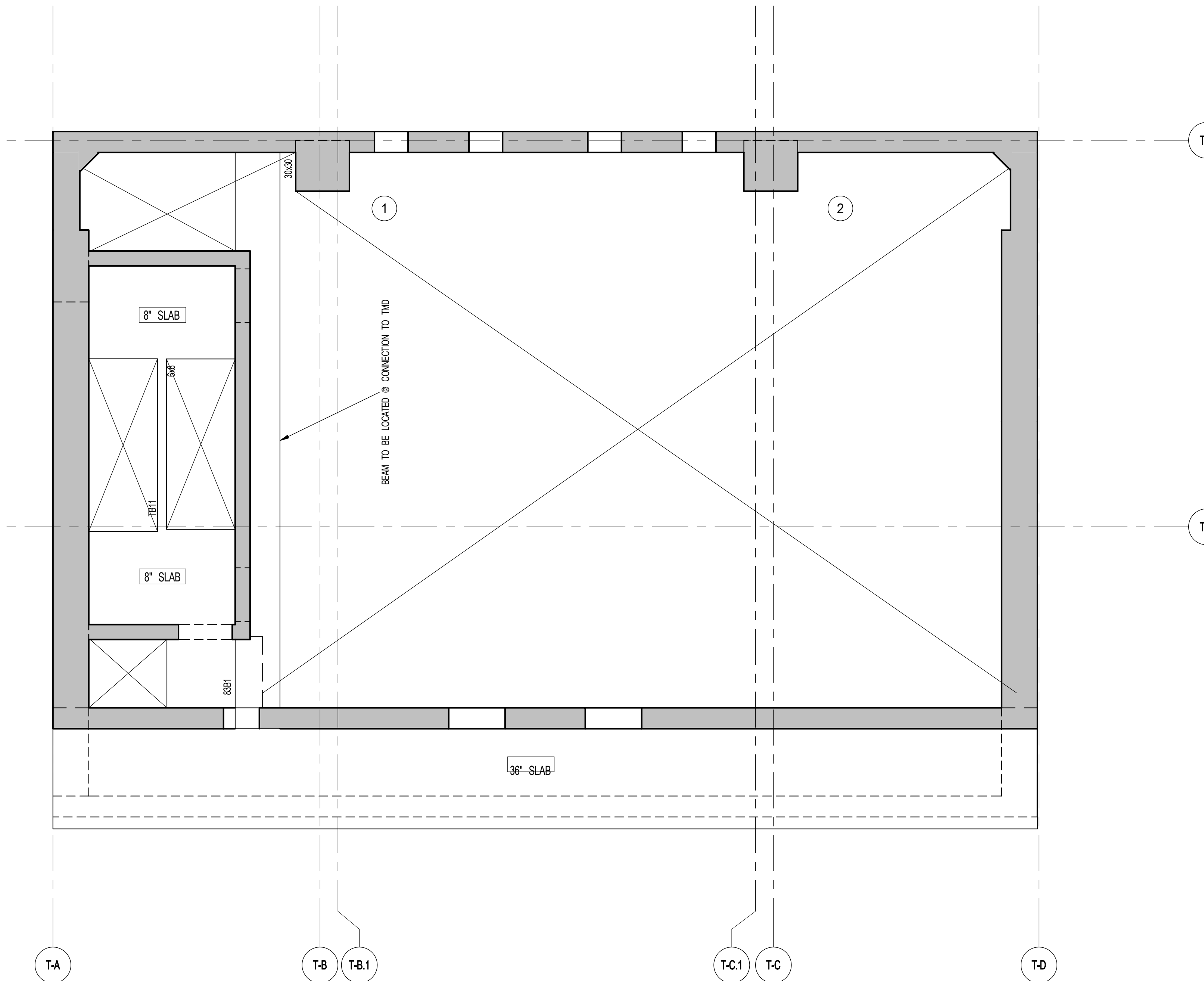
2 81ST FLOOR FRAMING PLAN
S-800 SCALE: 1/4" = 1'-0"

- NOTES:
1. TOP OF SLAB EL. SEE ARCH. DRAWINGS.
2. SLAB THICKNESS TO BE 6" U.O.N. THIS [] ON PLAN.
3. TOP AND BOTTOM REINFORCEMENT TO BE: #11@12' E.W. CONTINUOUS FOR 6" SLAB
#8@12' E.W. CONTINUOUS FOR 8" SLAB
4. FOR BALANCE OF NOTES SEE DRAWING S-010.



3 82ND FLOOR FRAMING PLAN
S-800 SCALE: 1/4" = 1'-0"

- NOTES:
1. TOP OF SLAB EL. SEE ARCH. DRAWINGS.
2. SLAB THICKNESS TO BE 3" U.O.N. THIS [] ON PLAN.
3. TOP AND BOTTOM REINFORCEMENT TO BE: #8@12' E.W. CONTINUOUS FOR 3" SLAB
#8@12' E.W. CONTINUOUS FOR 8" SLAB
4. FOR BALANCE OF NOTES SEE DRAWING S-010.



4 83RD FLOOR FRAMING PLAN
S-800 SCALE: 1/4" = 1'-0"

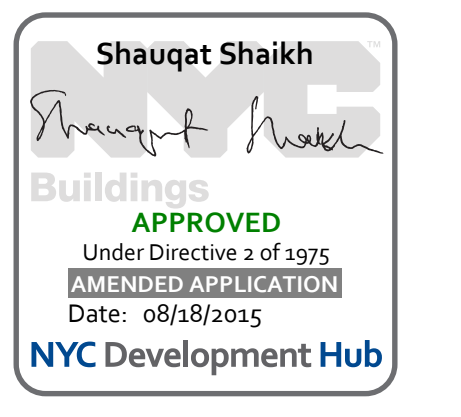
- NOTES:
1. TOP OF SLAB EL. SEE ARCH. DRAWINGS.
2. SLAB THICKNESS TO BE 6" U.O.N. THIS [] ON PLAN.
3. TOP AND BOTTOM REINFORCEMENT TO BE: #8@12' E.W. CONTINUOUS FOR 6" SLAB
#8@12' E.W. CONTINUOUS FOR 3" SLAB
4. FOR BALANCE OF NOTES SEE DRAWING S-010.

83RD FLOOR BEAM SCHEDULE									
BEAM MARK	SIZE	WIDTH	DEPTH	REINFORCEMENT		STIRRUPS		REMARKS	TYPE 1
				BOTTOM CONTINUOUS	TOP CONTINUOUS	TYPE	SIZE SPACING		
83B1	30	30	24	2-#11	2-#11	1	#4 @10	8-#10 EACH FACE	

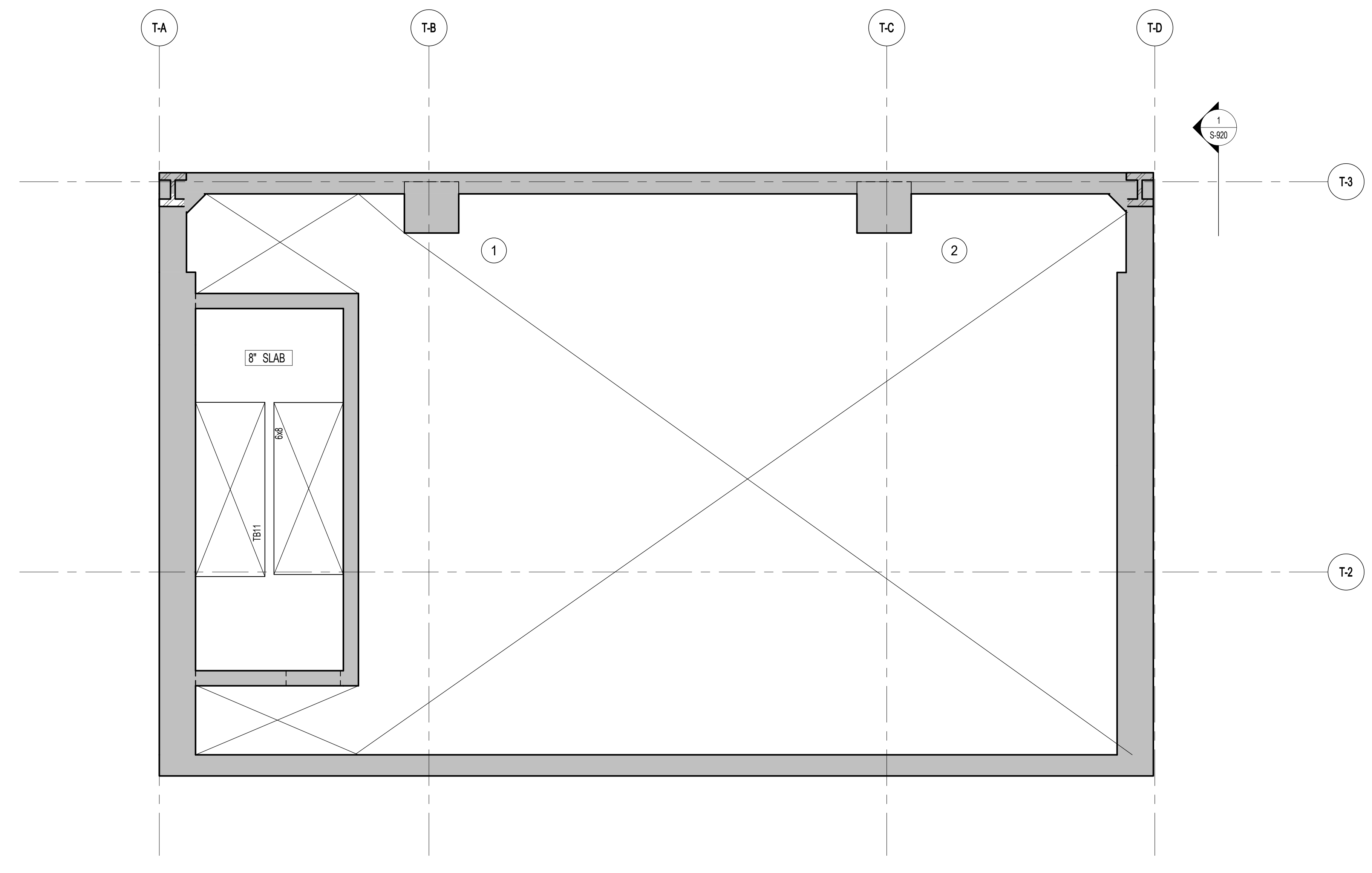
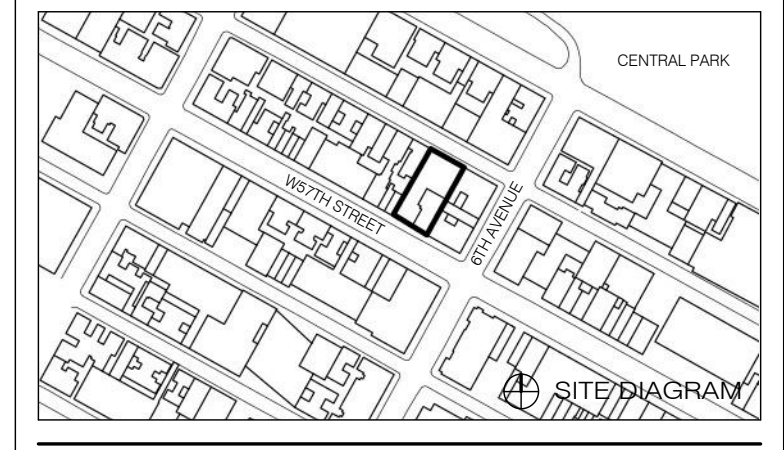
ARCHITECT SNIP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10038 P: 212.686.0000 M: 212.686.0000	STRUCTURAL ENGINEER WEP GANTON BENJIK 220 EAST 43RD STREET NEW YORK, NY 10017 P: 212.687.0888 M: 212.268.2525	MEP ENGINEER JARDS, BALM & BOLLES 80 FINE STREET, 10TH FLOOR NEW YORK, NY 10038 P: 212.683.0000 M: 212.683.0000	CIVIL ENGINEER ANR ENGINEERING, P.C. 400 PARK AVE SOUTH, 17TH FLOOR NEW YORK, NY 10038 P: 800.388.0000 M: 212.751.6462	ACoustICS LONGMAN ANDREY 41 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 P: 212.759.2000 M: 212.759.2000	INTERIORS STUDIO SCHAFF 300 MARSHFIELD STREET NEW YORK, NY 10002 P: 212.493.1000 M: 212.493.1000	FAÇADE BUNO HANFOLD 90 BROADWAY NEW YORK, NY 10003 P: 212.268.2525 M: 212.268.2525	VERTICAL TRANSPORTATION VAN DEUSEN & ASSOCIATES 170 WEST STREET, SUITE 604 LONGROCK, NJ 07030 P: 212.683.0000 M: 212.683.0000	RESTORATION JANI HRD POKORNY ASSOCIATES 30 WEST 57TH STREET, 6TH FLOOR NEW YORK, NY 10019 P: 212.751.6462 M: 212.751.6462	GEO TECH NICE 225 WEST 57TH STREET, 6TH FLOOR NEW YORK, NY 10019-0006 P: 212.268.0000 M: 212.268.0000	LIGHTING LOBERMAN INTERNATIONAL 100 MARSHFIELD STREET, 7TH FLOOR EAST NEW YORK, NY 10012 P: 212.268.4462 M: 212.268.4462
--	--	--	---	---	---	---	--	--	--	---



PROPERTY MARKETS GROUP
5 EAST 17TH STREET, 2ND FLOOR
NEW YORK, NY 10003
P: 212.610.2000
M: 212.610.2000
CURRENT ISSUE

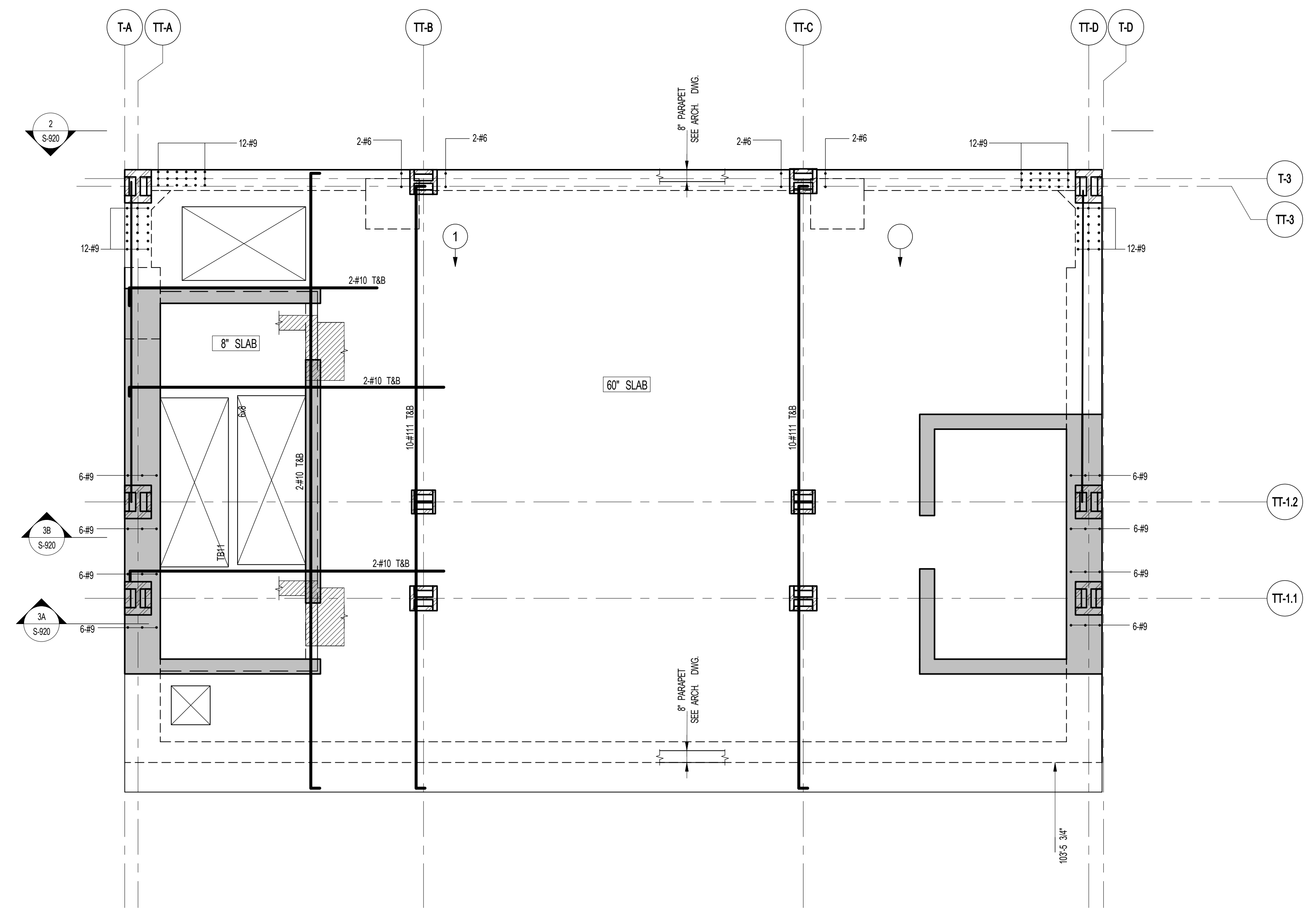


111 WEST 57TH STREET
111 WEST 57TH STREET



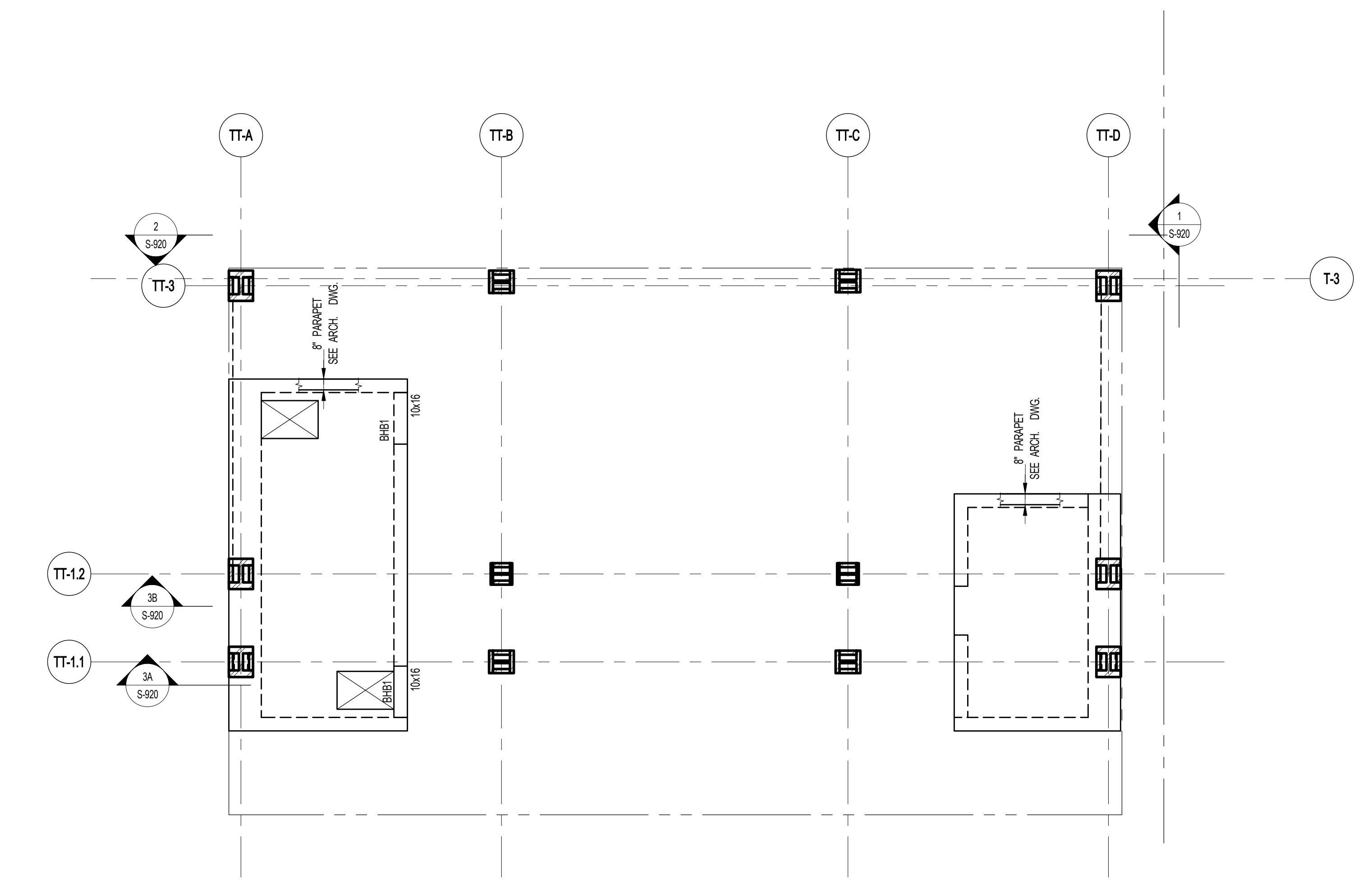
1 84TH FLOOR FRAMING PLAN
S-840 SCALE: 1/4" = 1'-0"

- NOTES:
1. TOP OF SLAB EL. SEE ARCH. DRAWINGS.
2. SLAB THICKNESS TO BE 8" U.O.N. THIS [] ON PLAN.
3. TOP AND BOTTOM REINFORCEMENT TO BE #5@12" E.W. CONTINUOUS FOR 8" SLAB.
4. FOR BALANCE OF NOTES SEE DRAWING S-010.



2 85TH FLOOR FRAMING PLAN
S-840 SCALE: 1/4" = 1'-0"

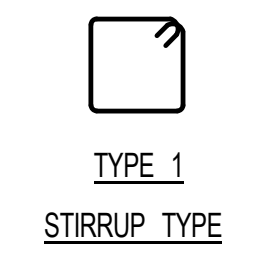
- NOTES:
1. TOP OF SLAB EL. SEE ARCH. DRAWINGS.
2. SLAB THICKNESS TO BE 6" U.O.N. THIS [] ON PLAN.
3. TOP AND BOTTOM REINFORCEMENT TO BE #5@12" E.W. CONTINUOUS FOR 6" SLAB.
4. FOR BALANCE OF NOTES SEE DRAWING S-010.



3 BULKHEAD ROOF FRAMING PLAN
S-840 SCALE: 3/16" = 1'-0"

- NOTES:
1. TOP OF SLAB EL. SEE ARCH. DRAWINGS.
2. SLAB THICKNESS TO BE 8" U.O.N. THIS [] ON PLAN.
3. TOP AND BOTTOM REINFORCEMENT TO BE #5@12" E.W. CONTINUOUS FOR 8" SLAB.
4. FOR BALANCE OF NOTES SEE DRAWING S-010.

BULKHEAD FLOOR BEAM SCHEDULE							
BEAM MARK	SIZE		REINFORCEMENT		STIRRUPS		REMARKS
	WIDTH	DEPTH	BOTTOM CONTINUOUS	TOP CONTINUOUS	TYPE	SIZE SPACING	
BH1	10	16	2-#8	2-#8	1	#4 @6	



1	3.27.15	DOB PAA
	5.1.14	DOB FILING SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF SNIP ARCHITECTS, P.C. ALL RIGHTS RESERVED.

NOT FOR CONSTRUCTION

84TH & 85TH FLOOR FRAMING PLANS

DATE: 5.1.14
PROJECT NO: 1315140
DRAWN BY: CADD
CHECKED BY: CL
DRAWING NUMBER: S-840.01





PROPERTY MARKETS GROUP
1345 WEST 42ND STREET, 10TH FLOOR
NEW YORK, NY 10018
TEL: 212.869.8000
CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET

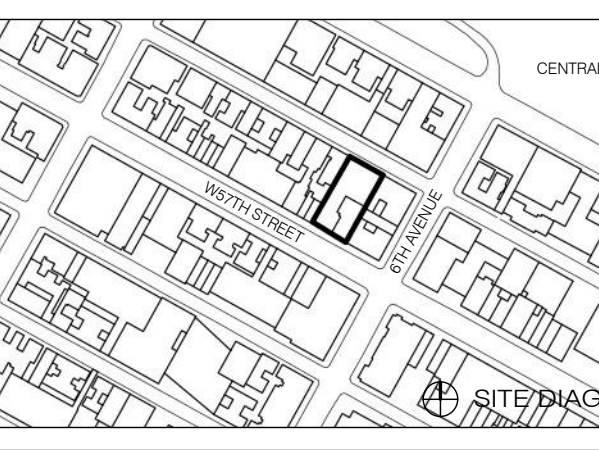
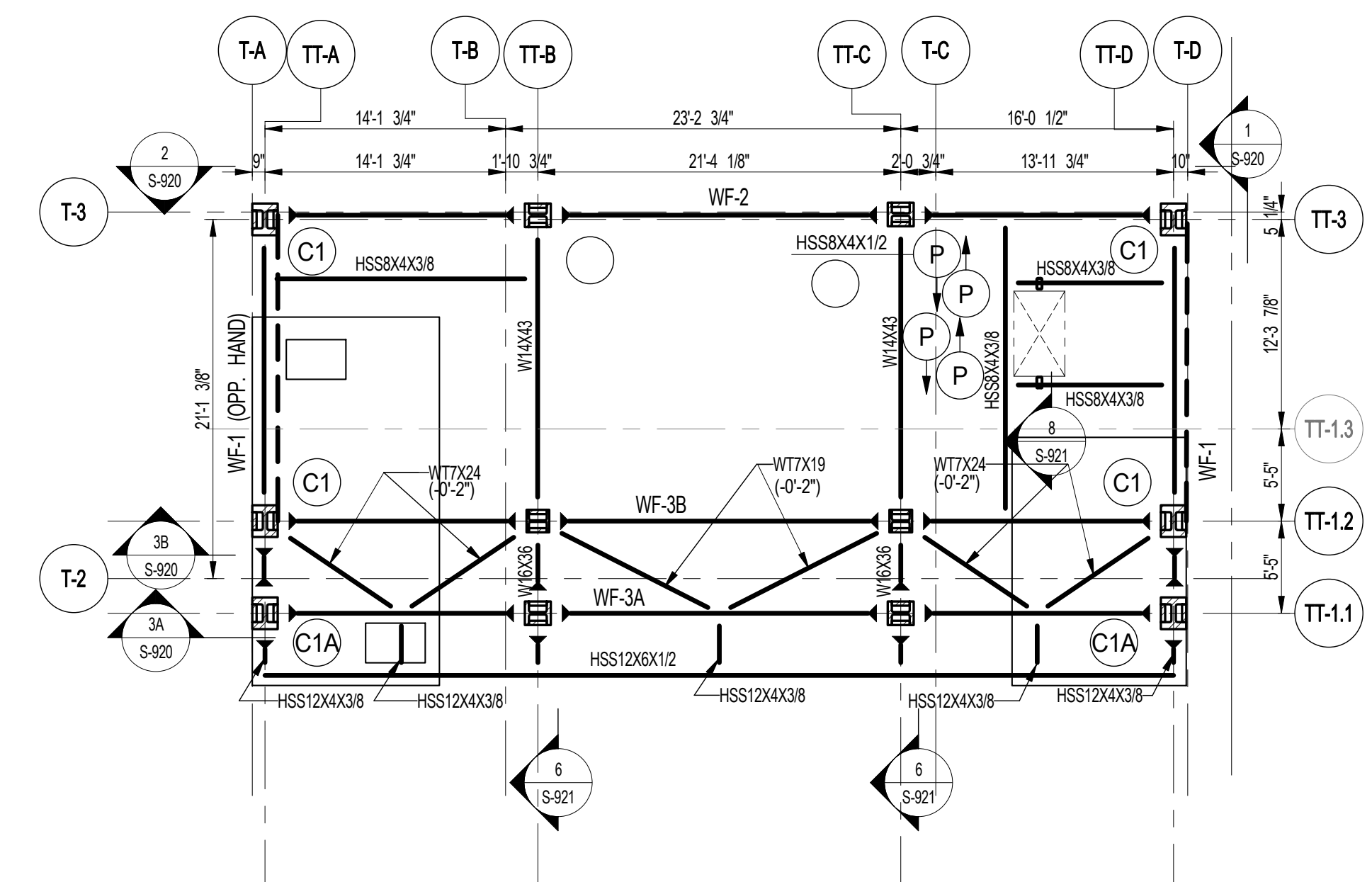


Table with 3 columns: NO., DATE, REVISION. Row 1: 1, 3/27/15, DOB PRA

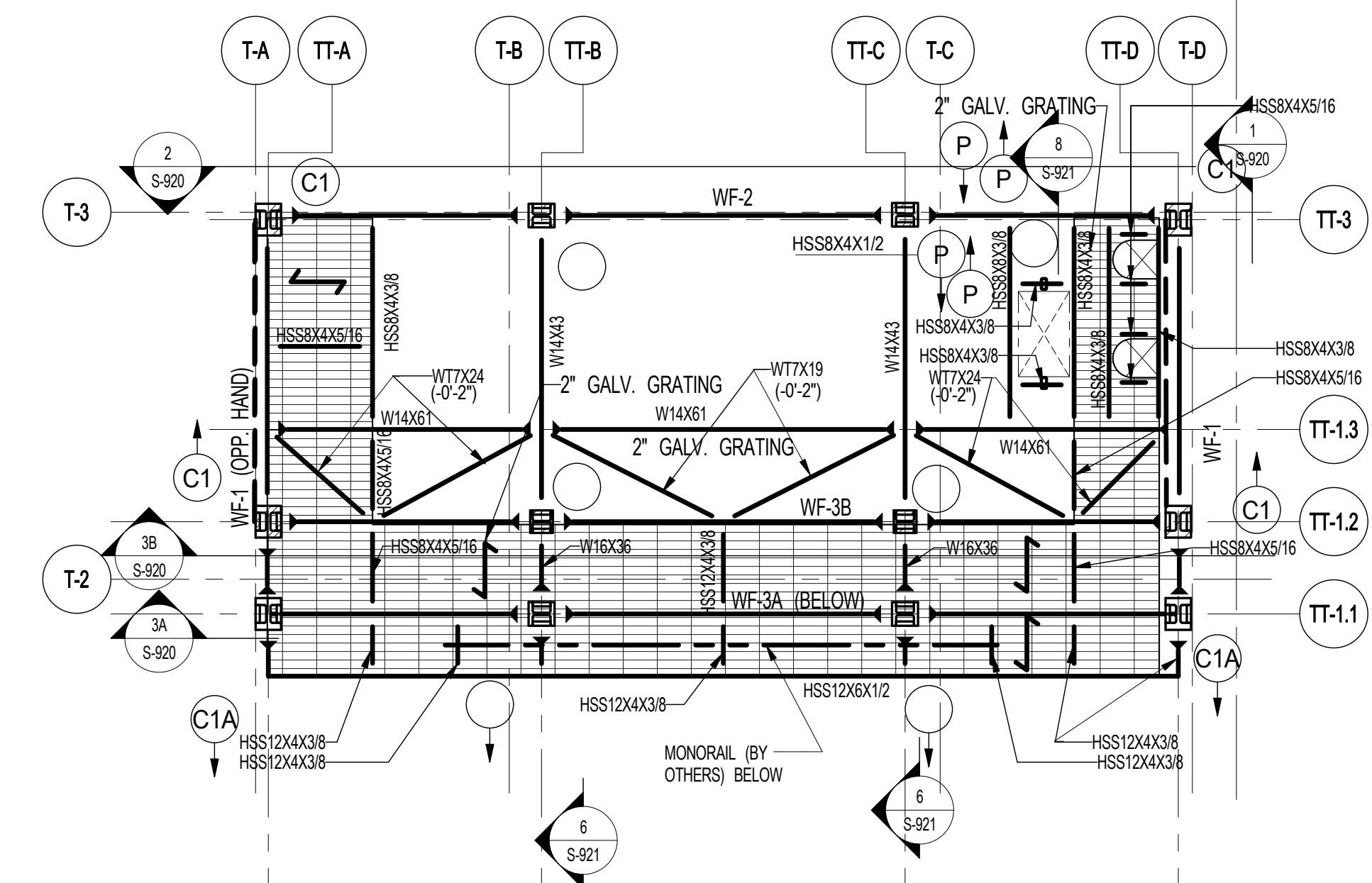
NOT FOR CONSTRUCTION

BULKHEAD LEVELS FRAMING PLANS

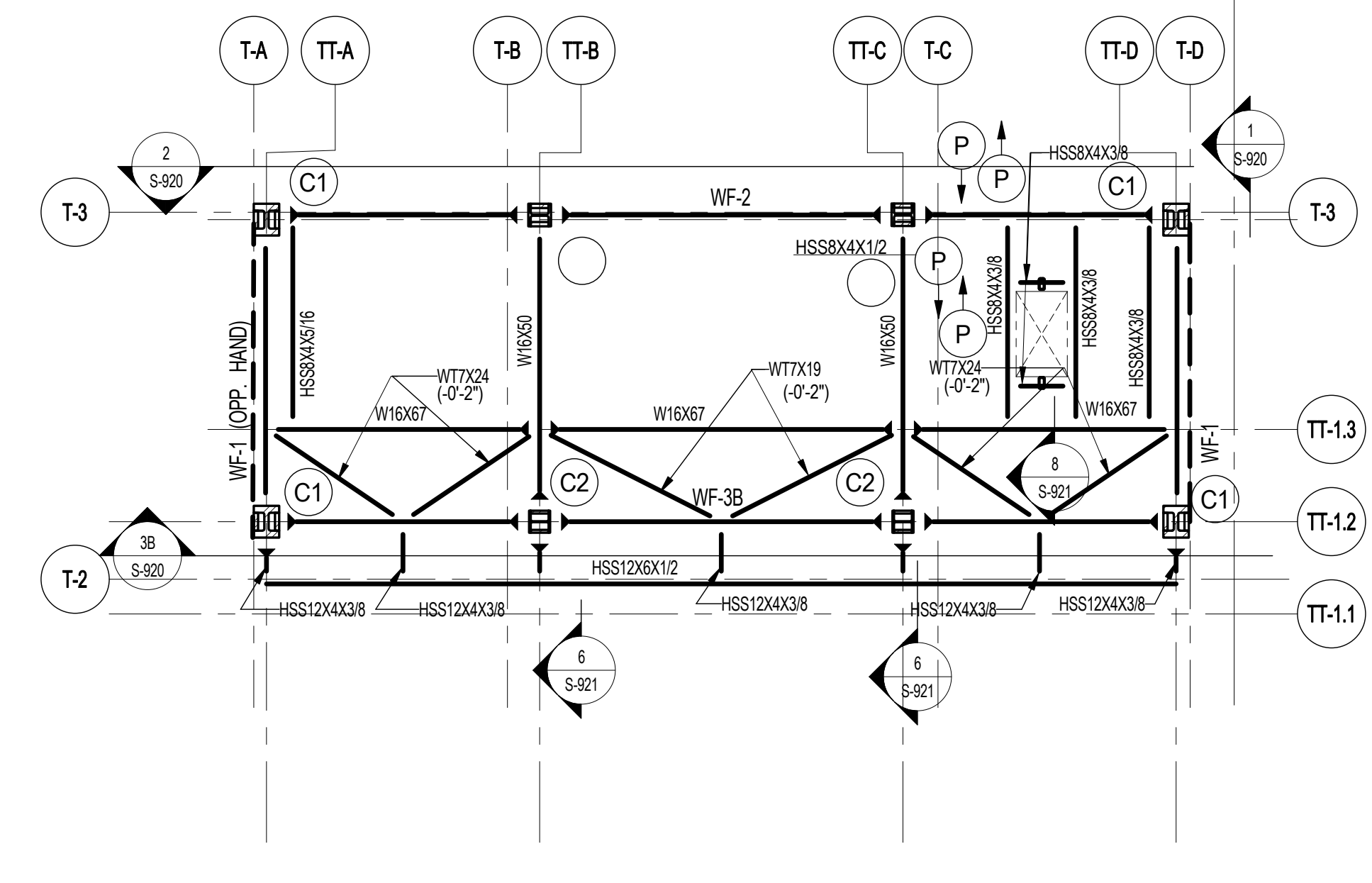
SEAL & SIGNATURE: [Signature] DATE: 3/27/15
PROJECT NO.: 1310140
DRAWN BY: CAD/D
CHECKED BY: CL
DOB NO.: 0915
DRAWING NUMBER: S-860.00



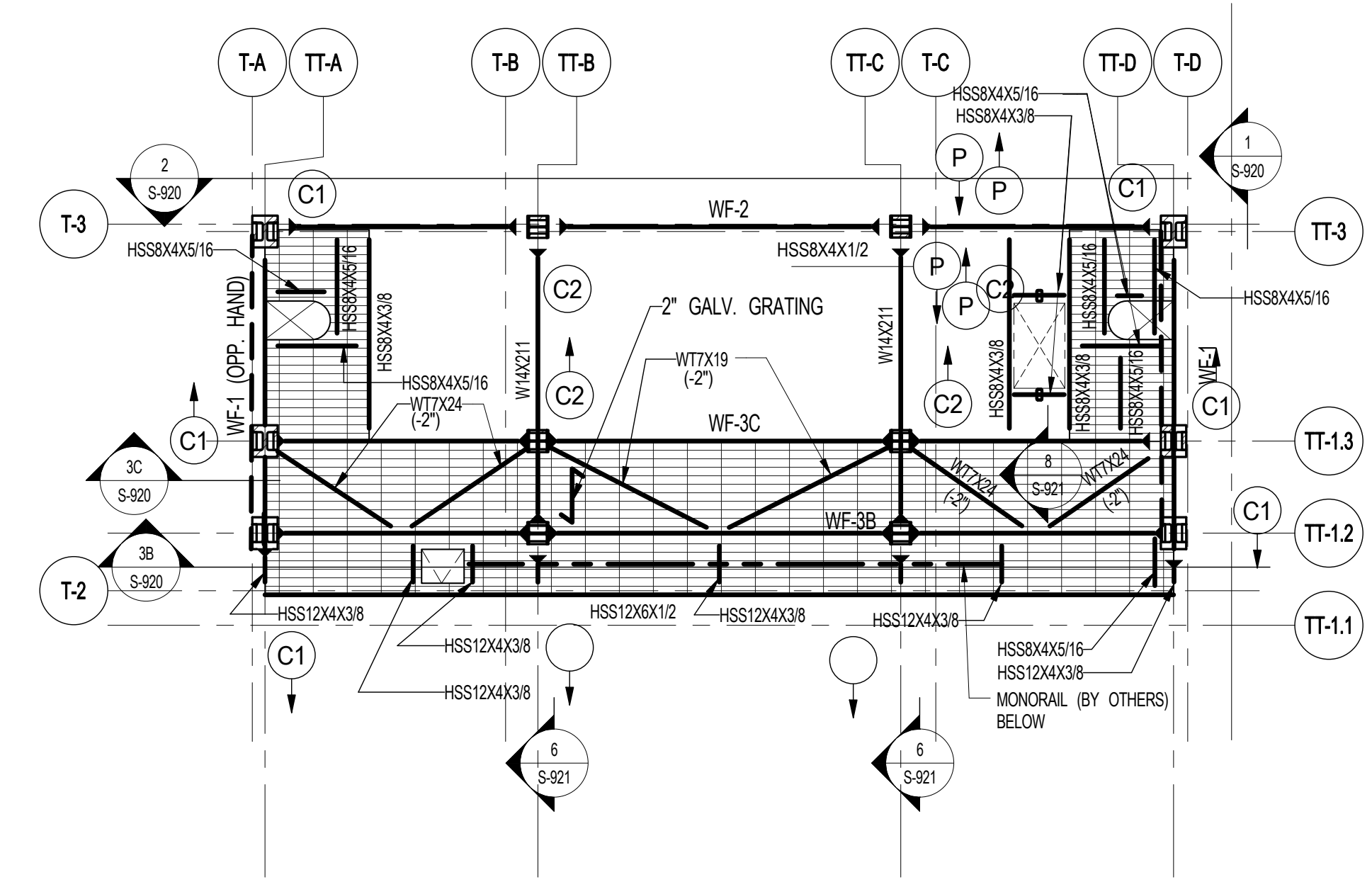
1 BULKHEAD LEVEL 0.5 FRAMING PLAN
SCALE: 1/8" = 1'-0"
T/ST. EL.: 1272'-10" U.O.N.



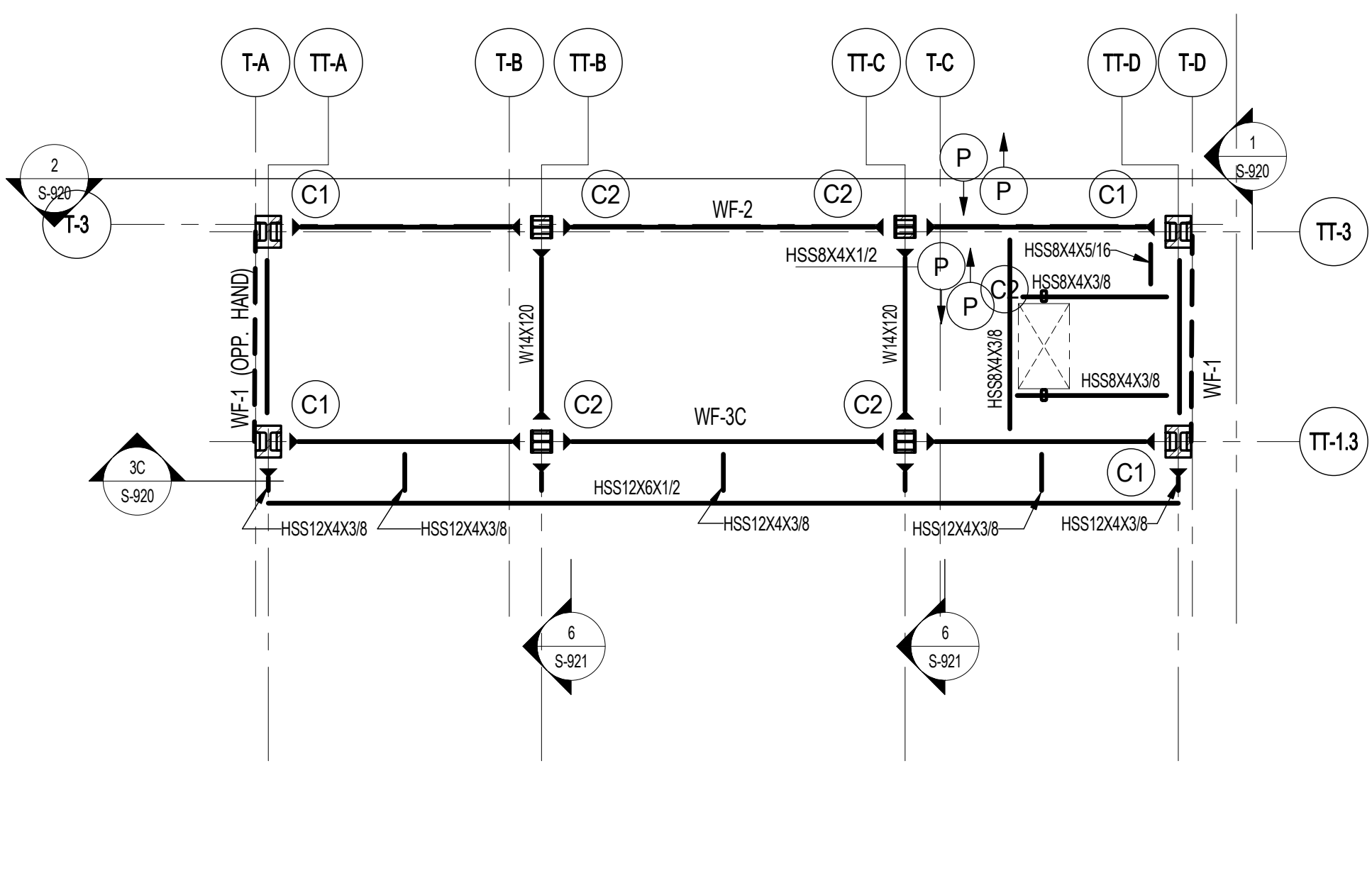
2 BULKHEAD LEVEL 1 FRAMING PLAN
SCALE: 1/8" = 1'-0"
T/ST. EL.: 1288'-4" U.O.N.



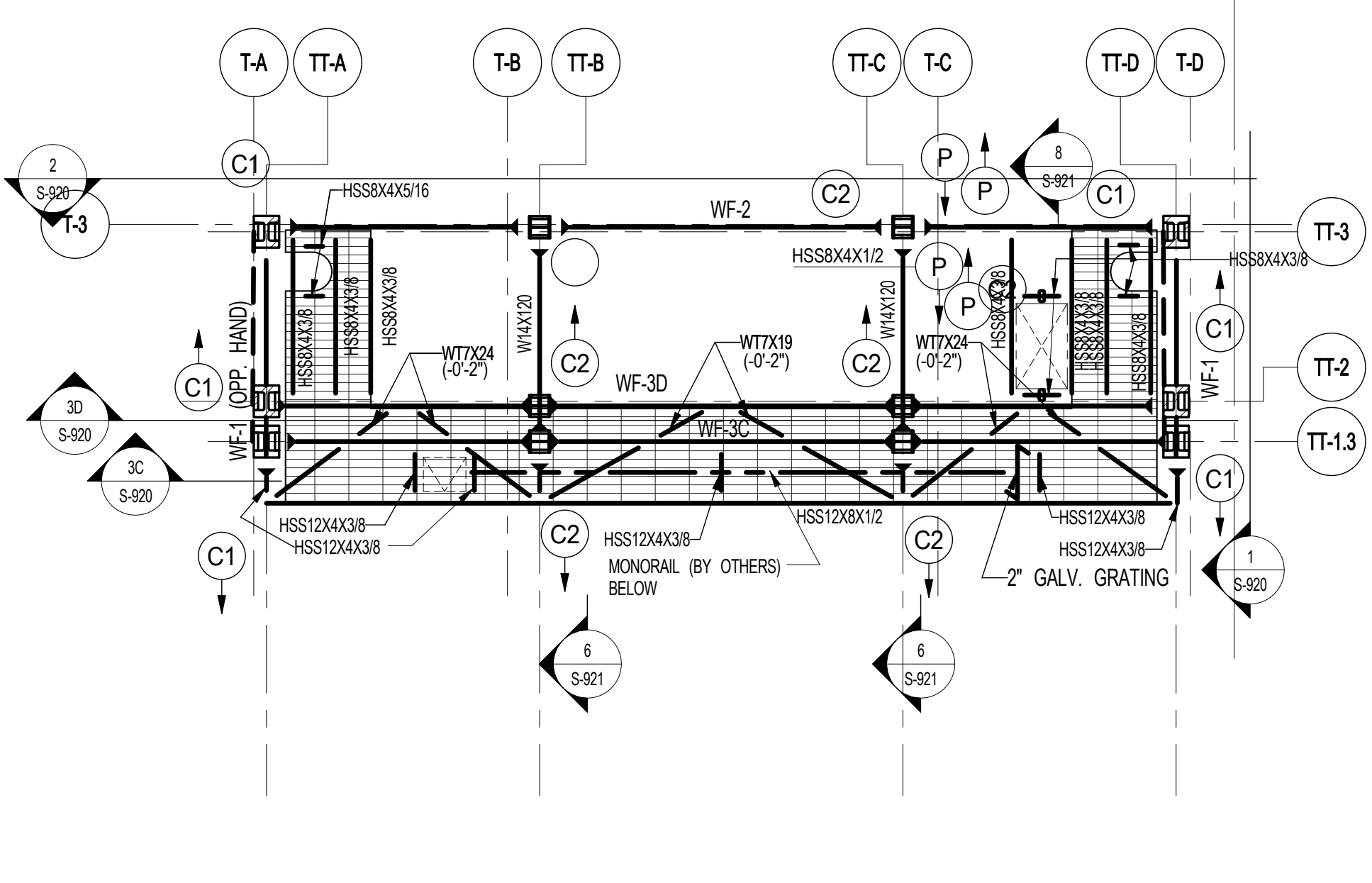
3 BULKHEAD LEVEL 1.5 FRAMING PLAN
SCALE: 1/8" = 1'-0"
T/ST. EL.: 1306'-0 1/2" U.O.N.



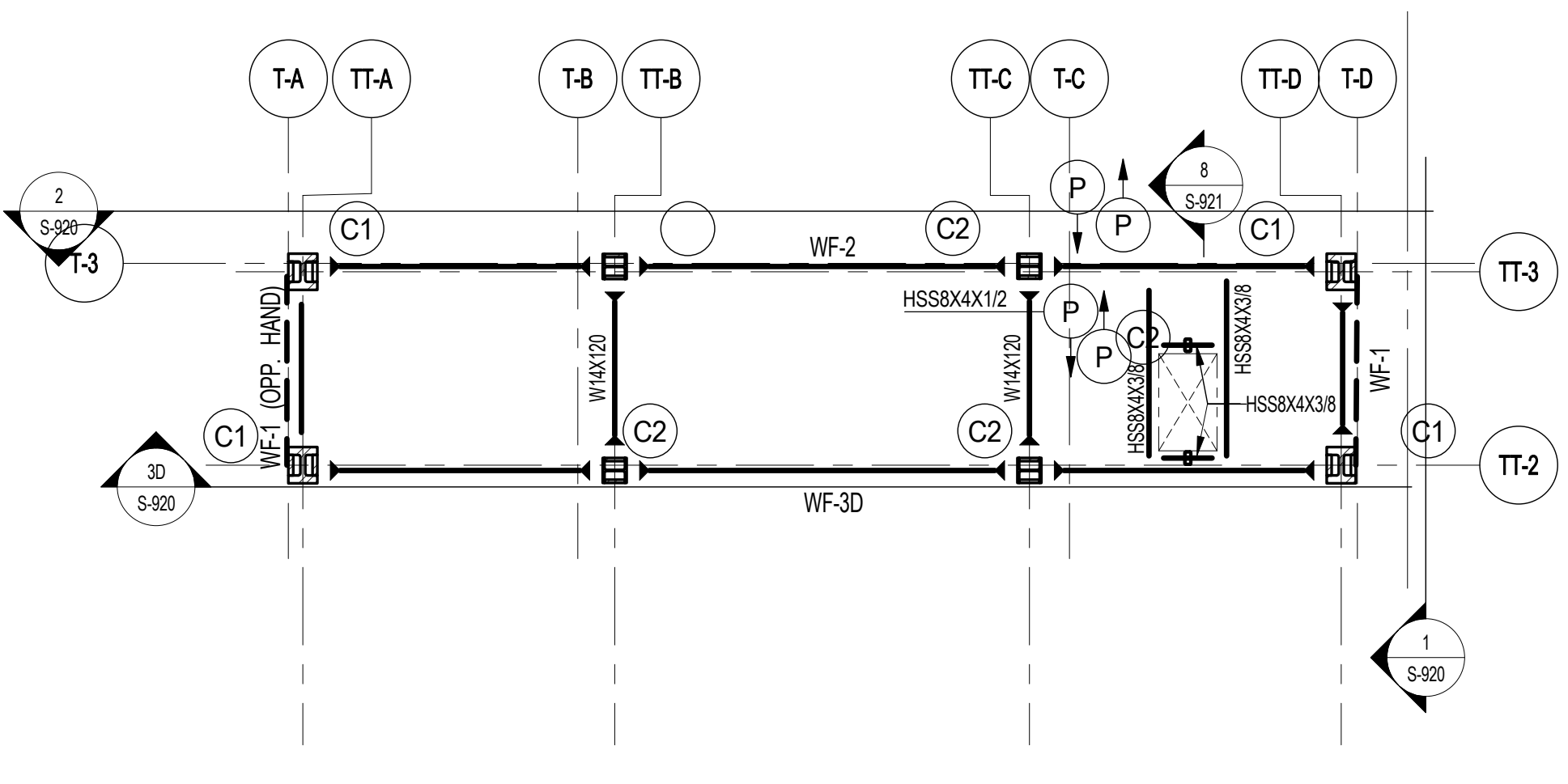
4 BULKHEAD LEVEL 2 FRAMING PLAN
SCALE: 1/8" = 1'-0"
T/ST. EL.: 1323'-9 1/4" U.O.N.



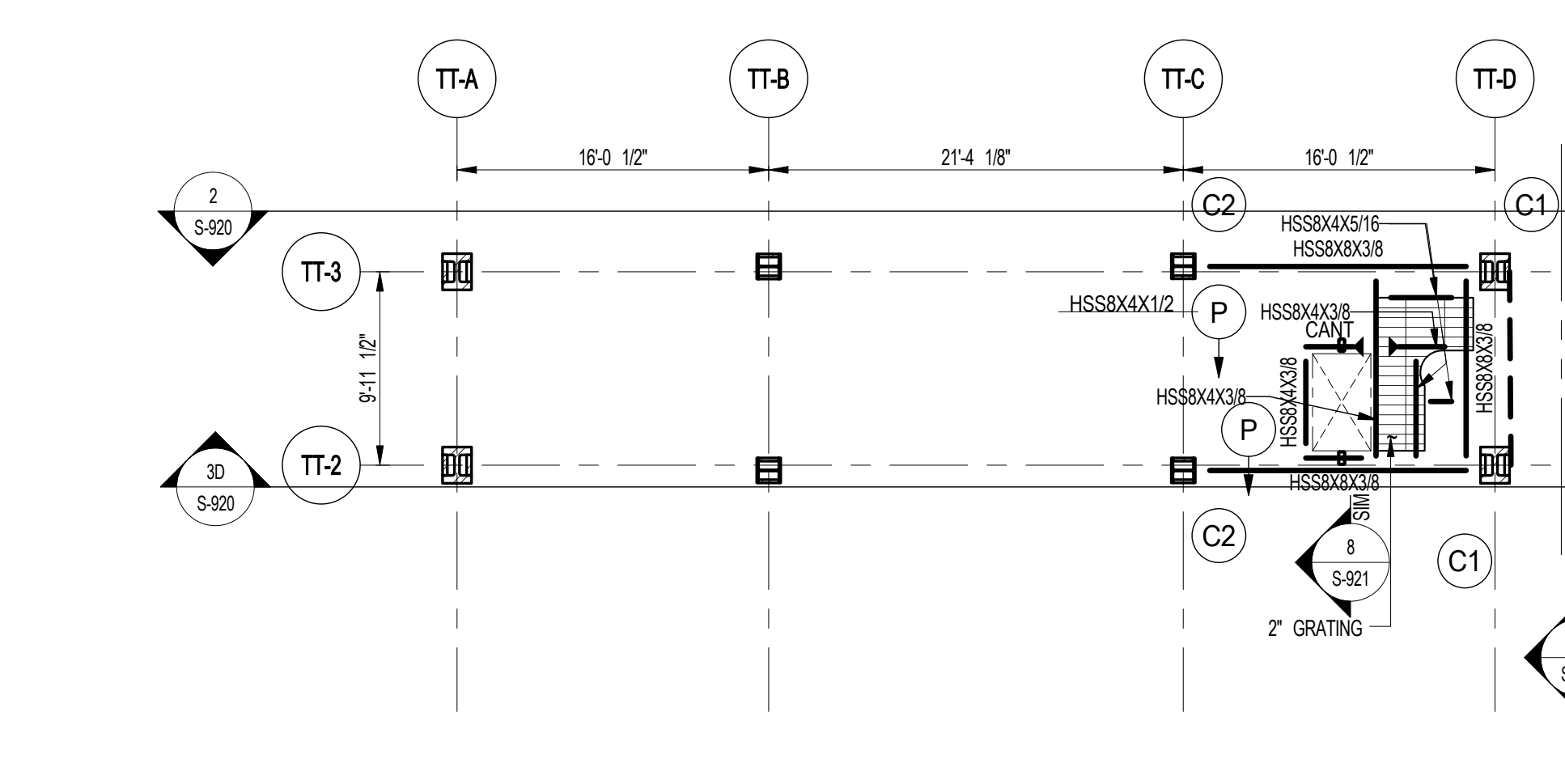
5 BULKHEAD LEVEL 2.5 FRAMING PLAN
SCALE: 1/8" = 1'-0"
T/ST. EL.: 1343'-8 1/4" U.O.N.



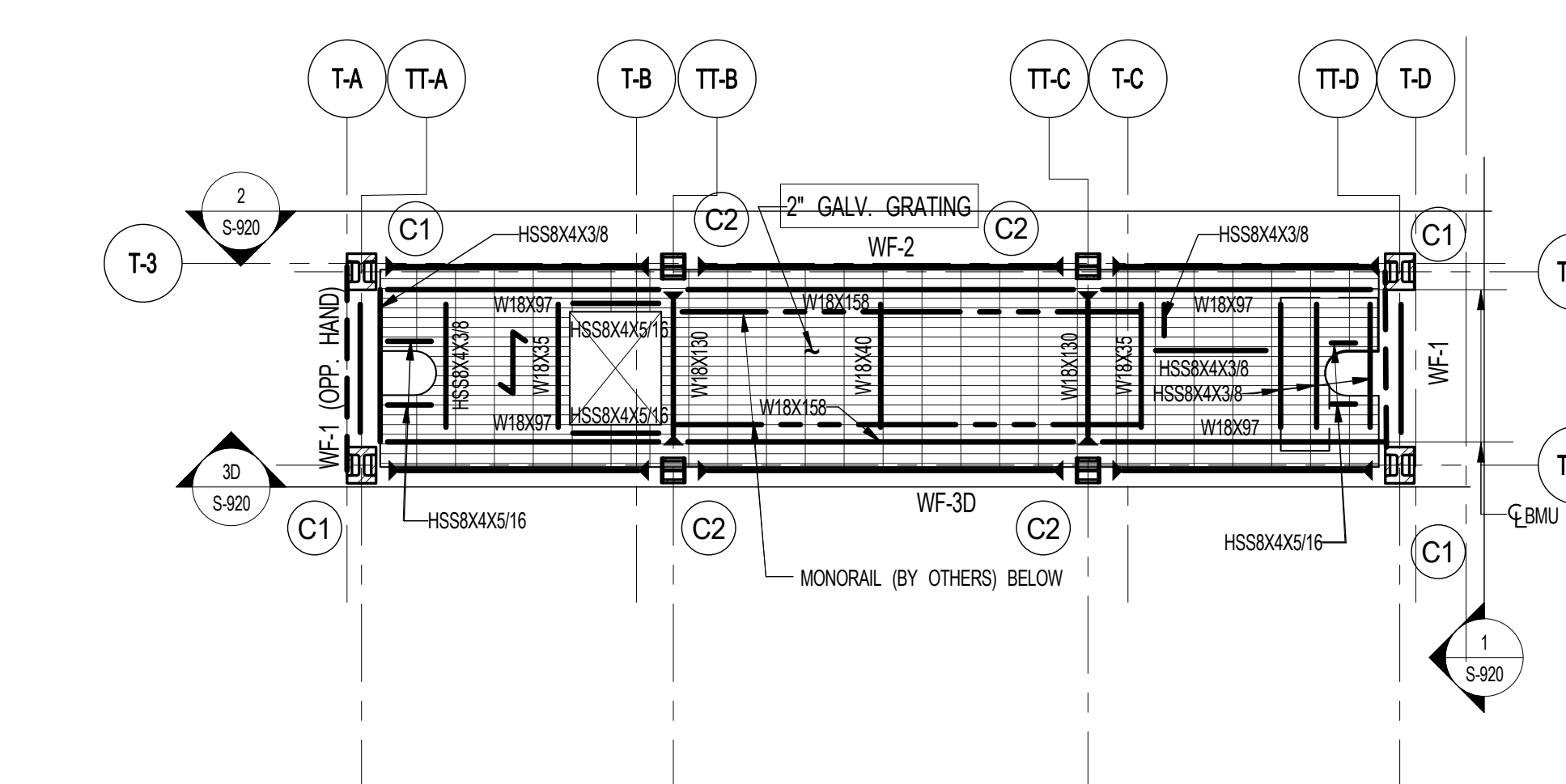
6 BULKHEAD LEVEL 3 FRAMING PLAN
SCALE: 1/8" = 1'-0"
T/ST. EL.: 1363'-7 1/2" U.O.N.



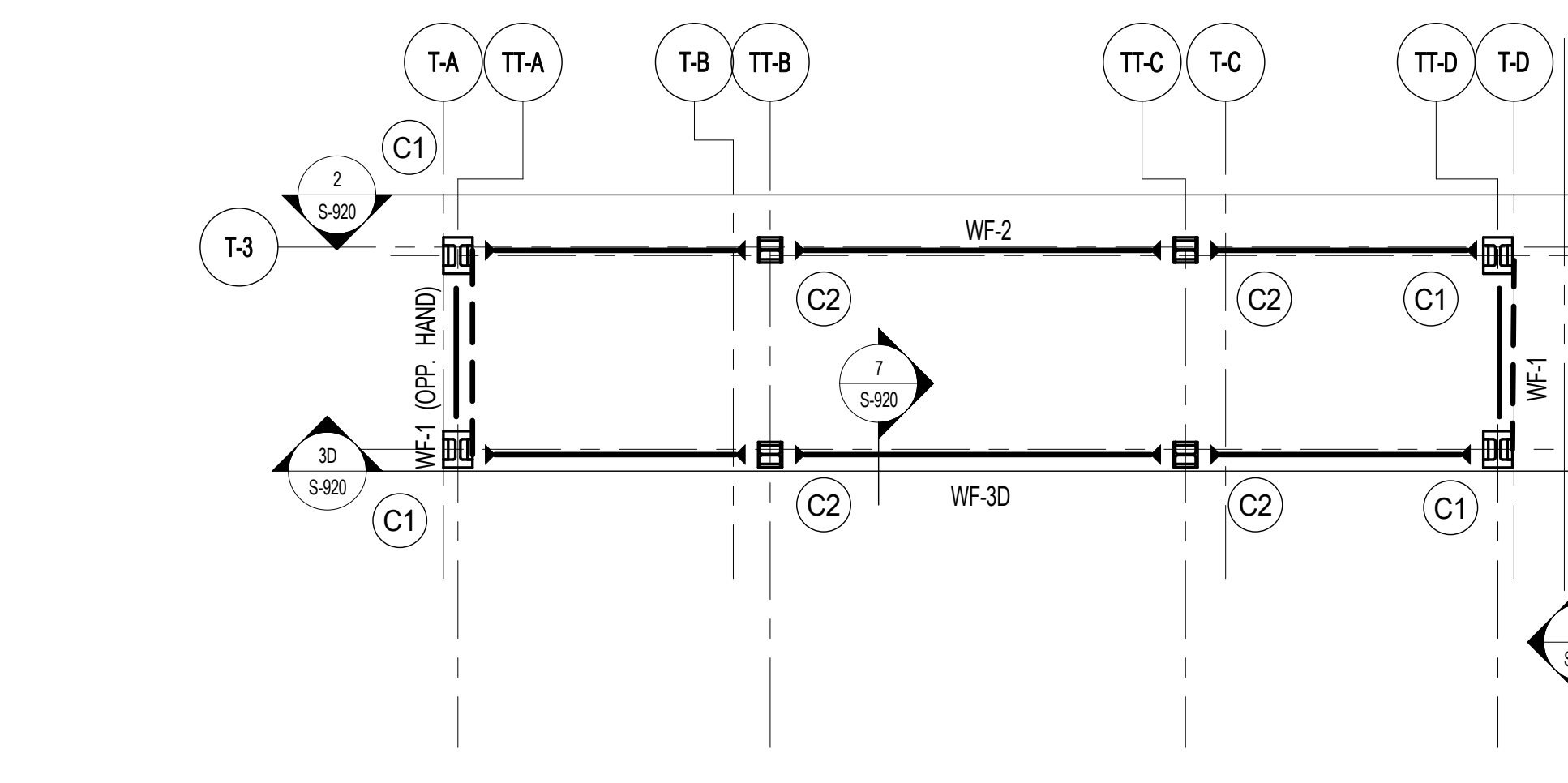
7 BULKHEAD LEVEL 3.5 FRAMING PLAN
SCALE: 1/8" = 1'-0"
T/ST. EL.: 1383'-6 1/2" U.O.N.



8 SERVICE PLATFORM PLAN
SCALE: 1/8" = 1'-0"
T/ST. EL.: 1398'-7 3/4" U.O.N.



9 BULKHEAD LEVEL 4 FRAMING PLAN
SCALE: 1/8" = 1'-0"
T/ST. EL.: 1403'-5 3/4" U.O.N.
NOTE: DESIGN W/8 BEAM CONNECTIONS FOR R=10K (SERVICE)



10 TOP OF STRUCTURE FRAMING PLAN
SCALE: 1/8" = 1'-0"
T/ST. EL.: 1423'-4 3/4" U.O.N.

- NOTES: 1. ALL STEEL TO RECEIVE EXTERIOR TYPE PAINT OR TO BE GALVANIZED AS AN ALTERNATE. SEE SPECIFICATION 0510 CHAPTER 26 FOR FIRST 20 FEET HEIGHT OF TOWER STEEL TOP. 2. HORIZONTAL BRACING CONNECTIONS TO BE DESIGNED FOR 150K SERVICE AXIAL LOAD AT W/10A AND 25K SERVICE LOAD AT W/10B. ALL BOLTS TO BE GALVANIZED AND HAVE BOLT HEADS AT TOP. 3. FOR DETAILS SEE DRAWINGS S-800, S-821 & S-822. 4. ALL WELDS TO BE CONTINUOUS. 5. ALL GRATING TO BE REMOVABLE.

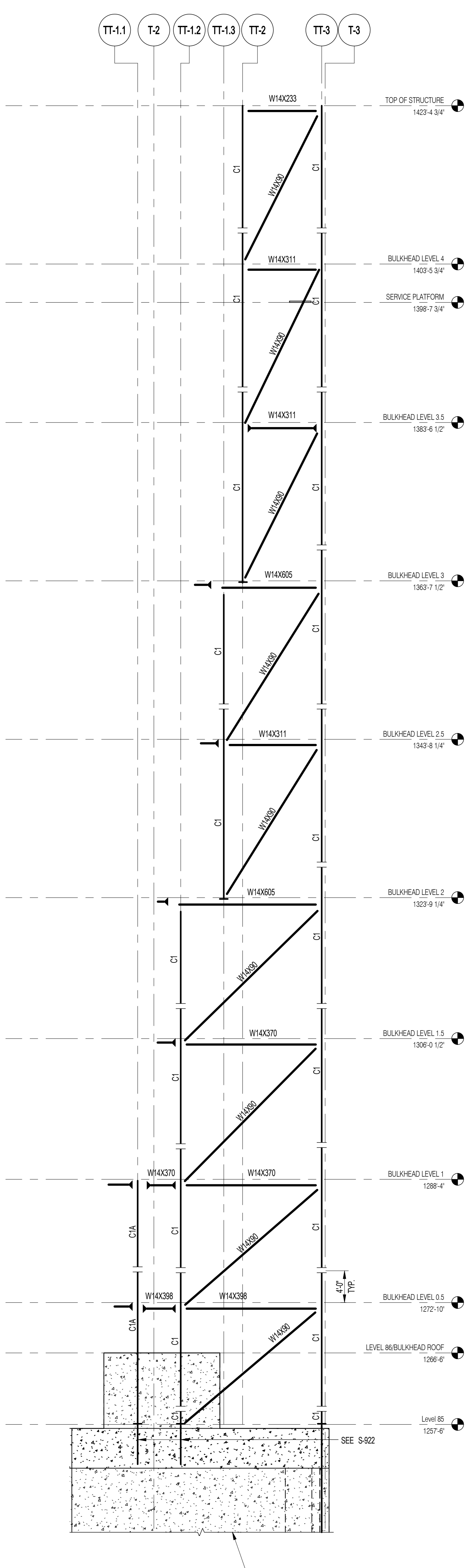
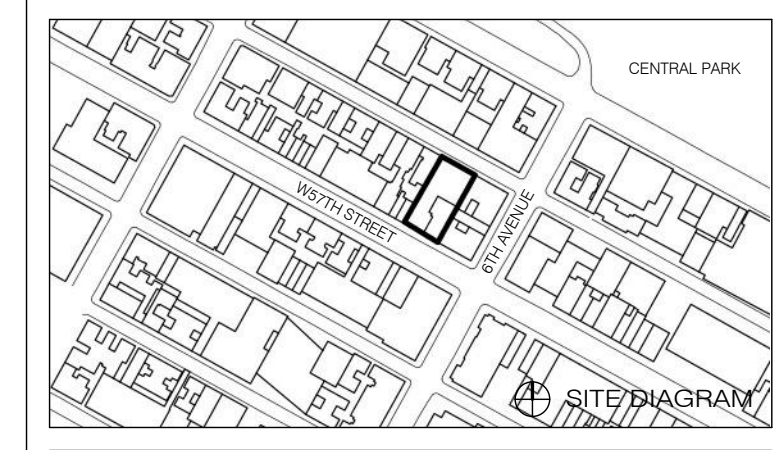
ARCHITECT SHP ARCHITECTS, P.C. 200 BROADWAY, 11TH FLOOR NEW YORK, NY 10004 TEL: 212.869.9000	STRUCTURAL ENGINEER TOPIC CIVIL/ARCHITECTURE 200 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212.869.9000	MEP ENGINEER JORDIS, BAIAM & BOLLER 60 W. 17TH STREET, 12TH FLOOR NEW YORK, NY 10011 TEL: 212.869.9000	CIVIL ENGINEER AWR ENGINEERING, P.C. 400 WEST 46TH STREET, 7TH FLOOR NEW YORK, NY 10018 TEL: 212.869.9000	ACoustics LONGMAN LINDSEY 40 WEST 46TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 212.869.9000	INTERIORS STUDIO SCENEFIELD 300 W. 42ND STREET NEW YORK, NY 10018 TEL: 212.869.9000	FAÇADE BURROUGHS WERFIELD 100 BROADWAY, 11TH FLOOR NEW YORK, NY 10004 TEL: 212.245.3600	VERTICAL TRANSPORTATION VAN DEUSEN & ASSOCIATES 50 WEST STREET, SUITE 200 LARKSPER, NJ 07033 TEL: 201.988.8700	RESTORATION JAN HRO POKORNY ASSOCIATES 40 WEST 46TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 212.869.9000	GEOTECH MTC 300 WEST 46TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 212.869.9000	LIGHTING CONSERVATION INTERNATIONAL 100 W. 42ND STREET, 7TH FLOOR EAST NEW YORK, NY 10018 TEL: 212.251.4453
--	--	--	---	---	---	---	--	--	--	---



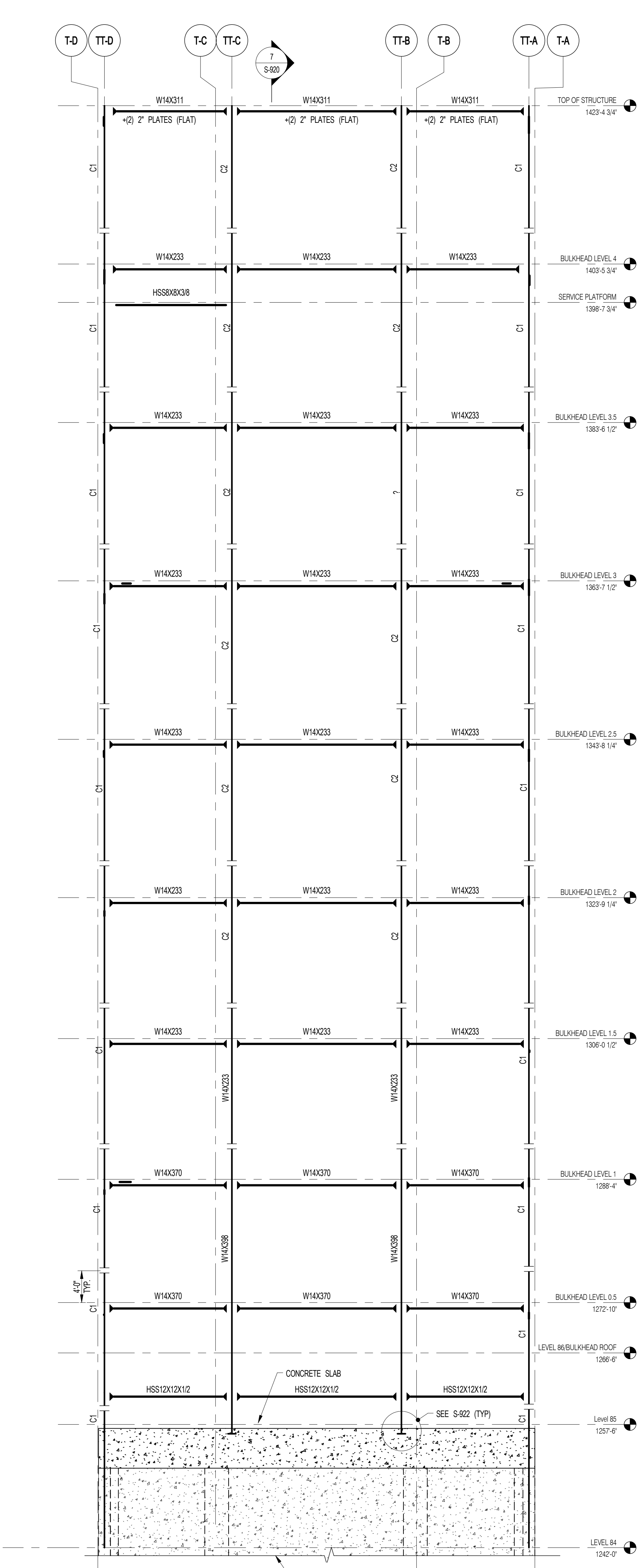
PROPERTY MARKETS GROUP
100 WEST 47TH STREET, 2ND FLOOR
NEW YORK, NY 10018
TEL: 212.869.9000
CURRENT ISSUE



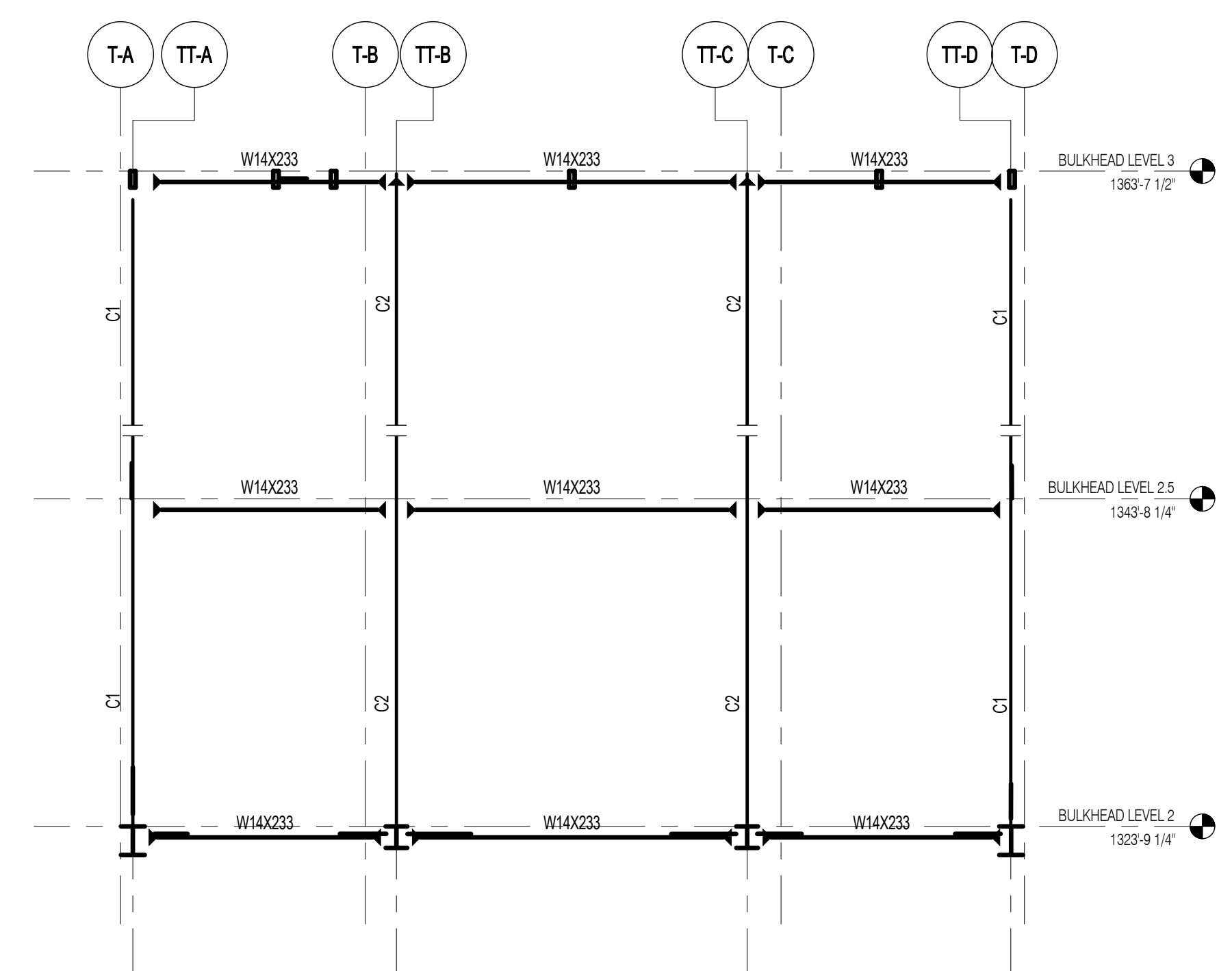
111 WEST 57TH STREET
111 WEST 57TH STREET



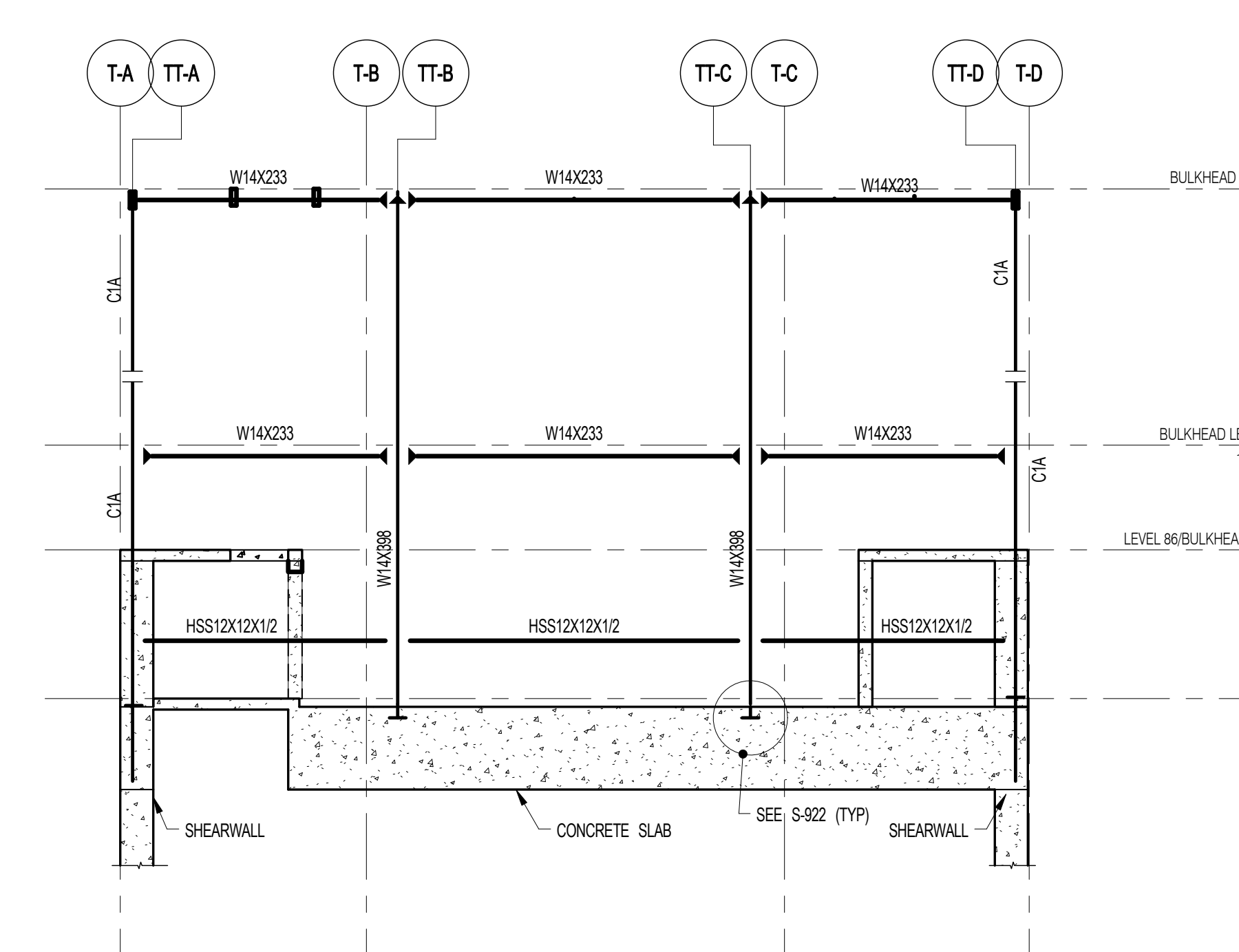
1 EAST AND WEST ELEVATION (WF-1)
S-920 SCALE: 1/8" = 1'-0"



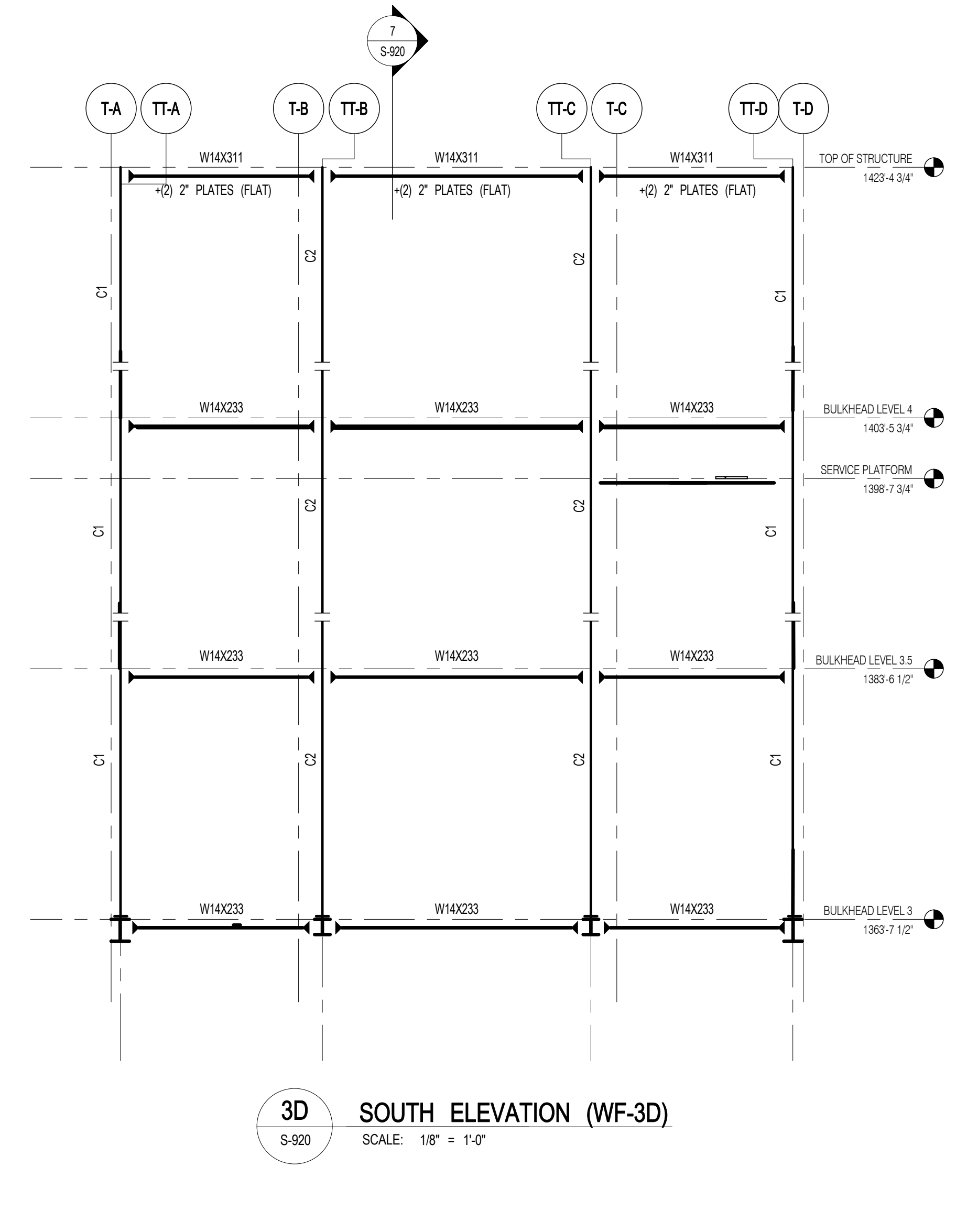
2 NORTH ELEVATION (WF-2)
S-920 SCALE: 1/8" = 1'-0"



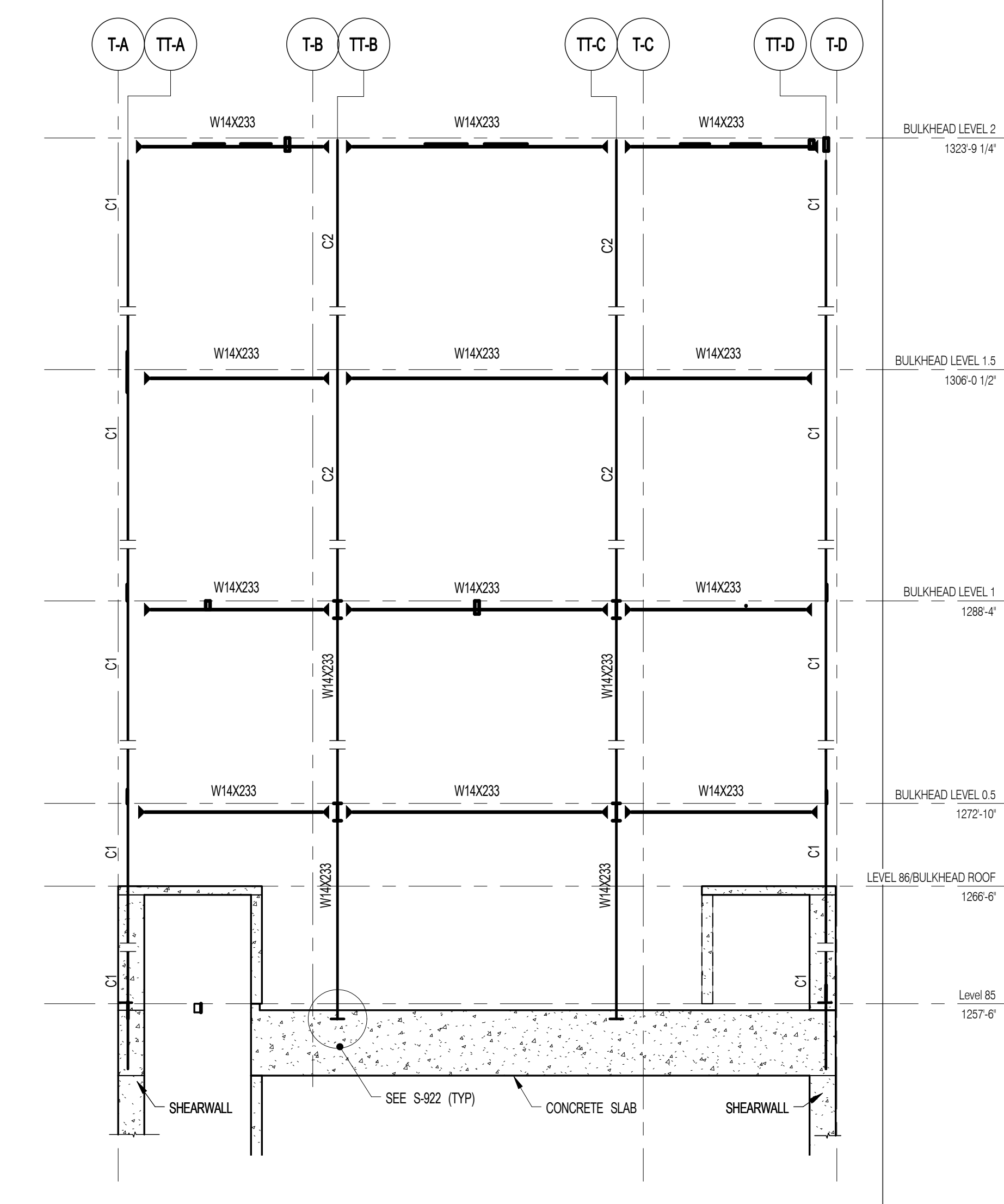
3C SOUTH ELEVATION (WF-3C)
S-920 SCALE: 1/8" = 1'-0"



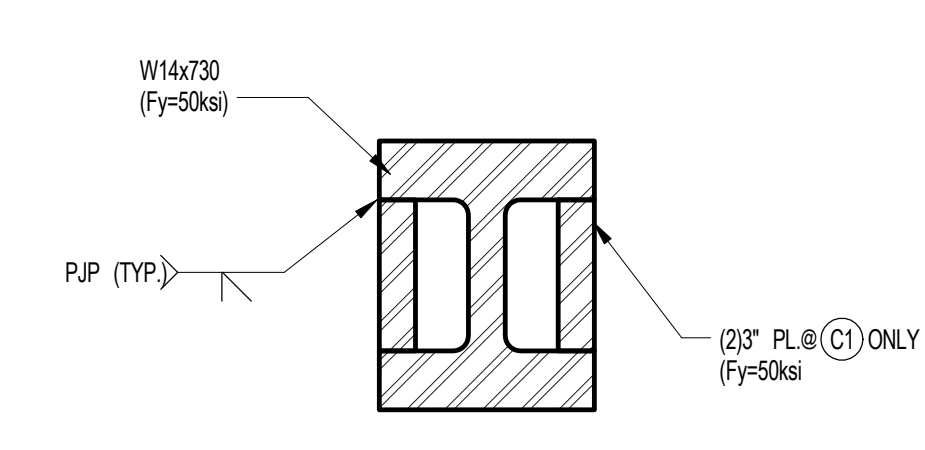
3A SOUTH ELEVATION (WF-3A)
S-920 SCALE: 1/8" = 1'-0"



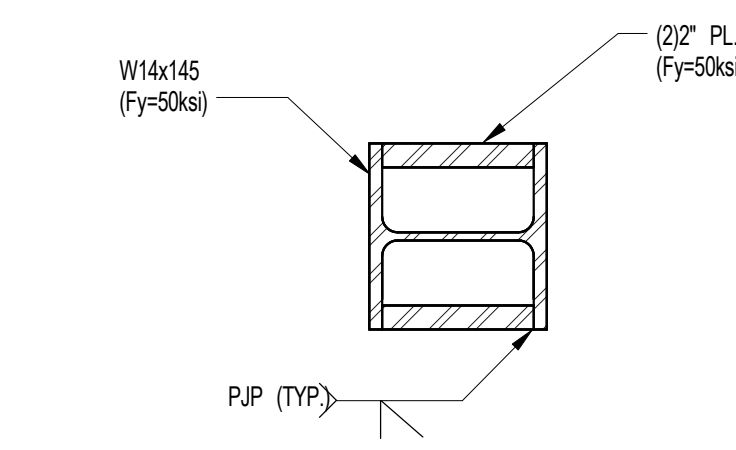
3D SOUTH ELEVATION (WF-3D)
S-920 SCALE: 1/8" = 1'-0"



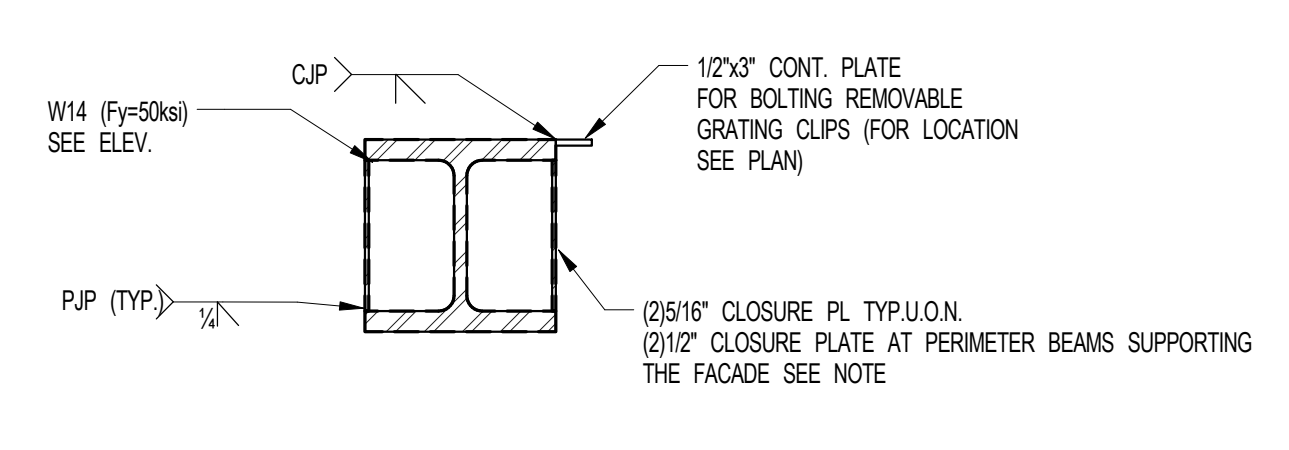
3B SOUTH ELEVATION (WF-3B)
S-920 SCALE: 1/8" = 1'-0"



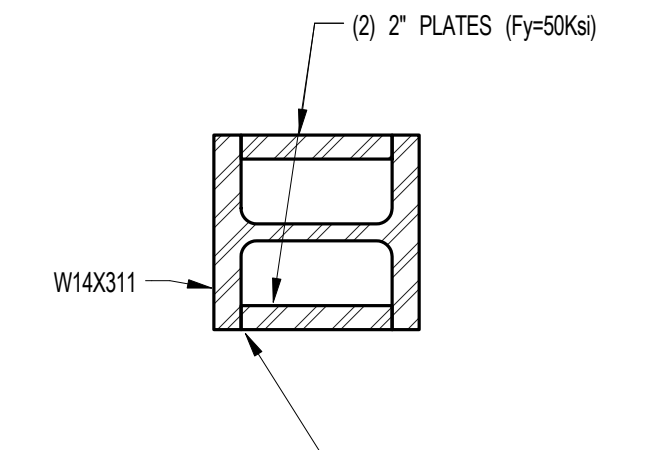
4 BUILT UP COLUMN C1, C1A
S-920 SCALE: 3/4" = 1'-0"



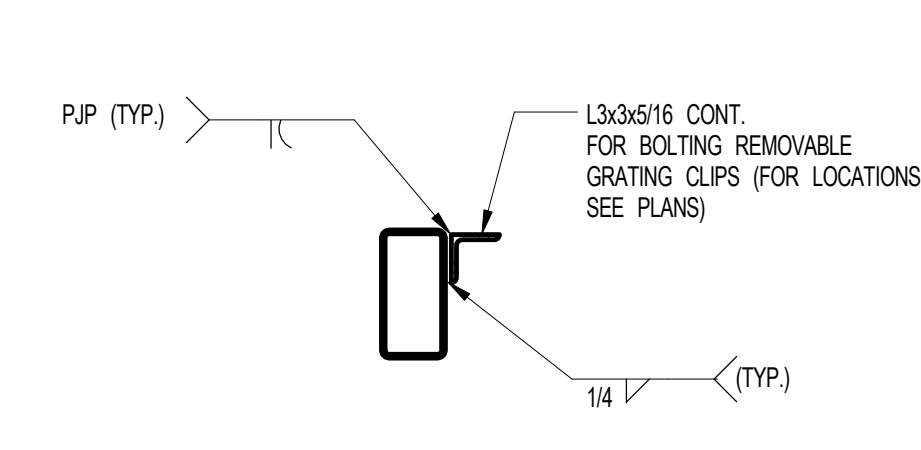
5 BUILT UP COLUMN C2
S-920 SCALE: 3/4" = 1'-0"



6 TYPICAL BEAMS AND COLUMNS (U.O.N.)
S-920 SCALE: 3/4" = 1'-0"



7 SECTION
S-920 SCALE: 3/4" = 1'-0"



8 SECTION
S-920 SCALE: 1" = 1'-0"

NOTES:
1. FOR NOTES SEE DRAWING S-800.
2. FOR DETAILS SEE DRAWING S-921 & S-922.

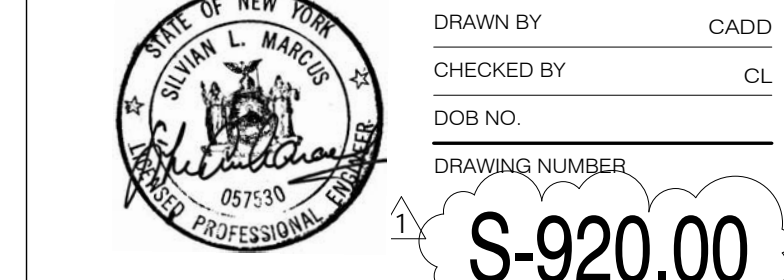
1	3/27/15	DOB PRA
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHP ARCHITECTS P.C. ALL RIGHTS RESERVED.

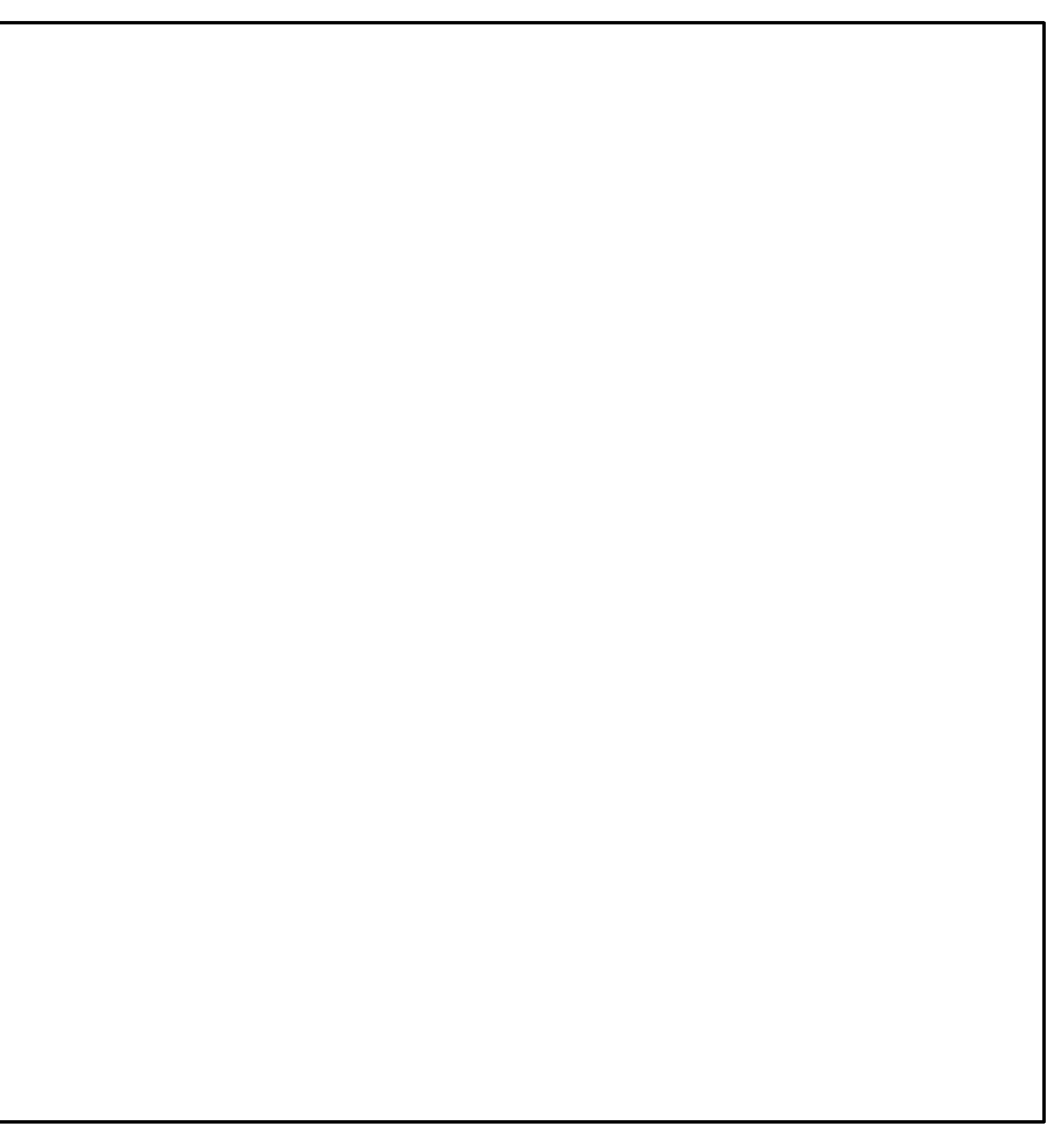
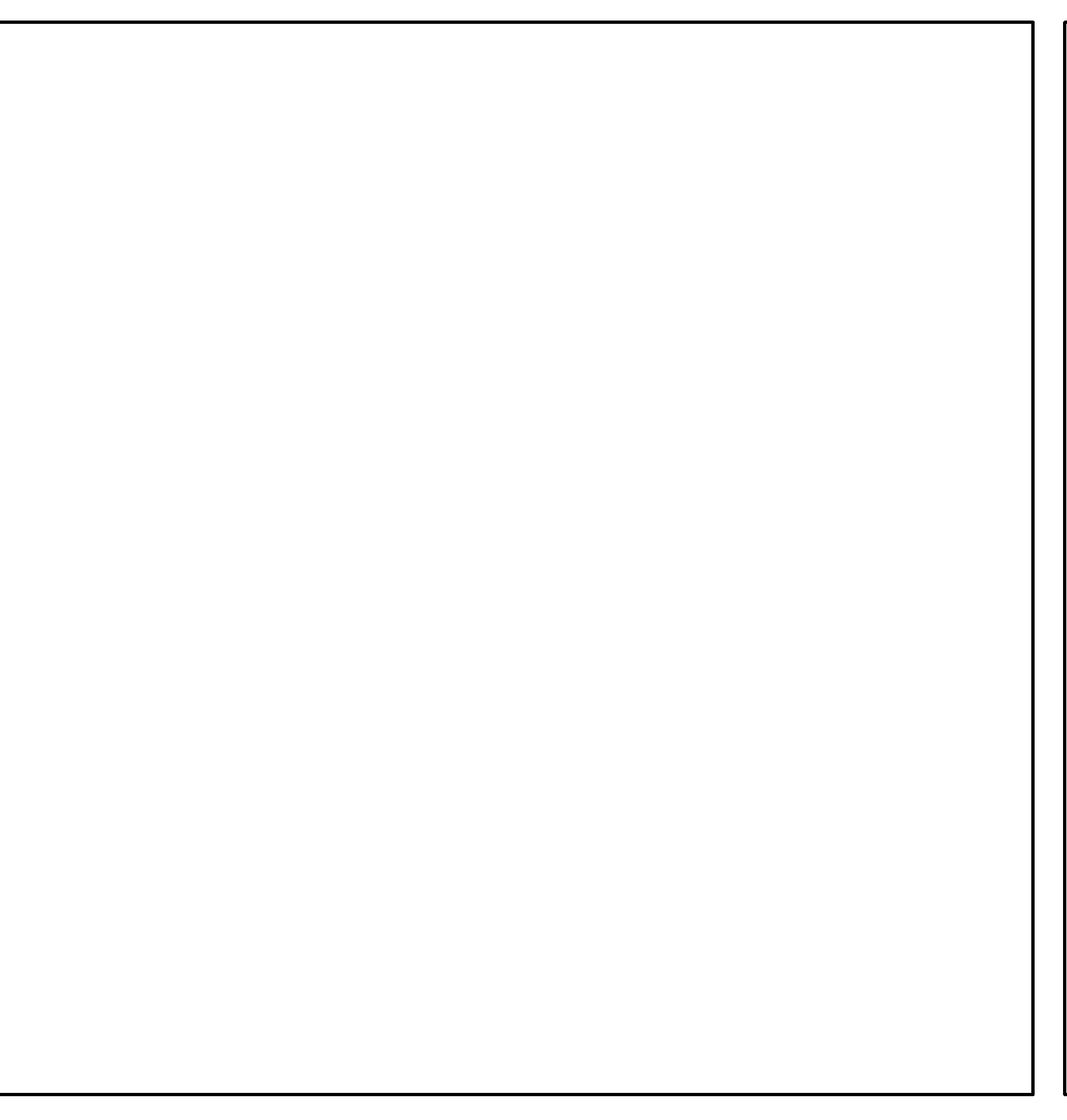
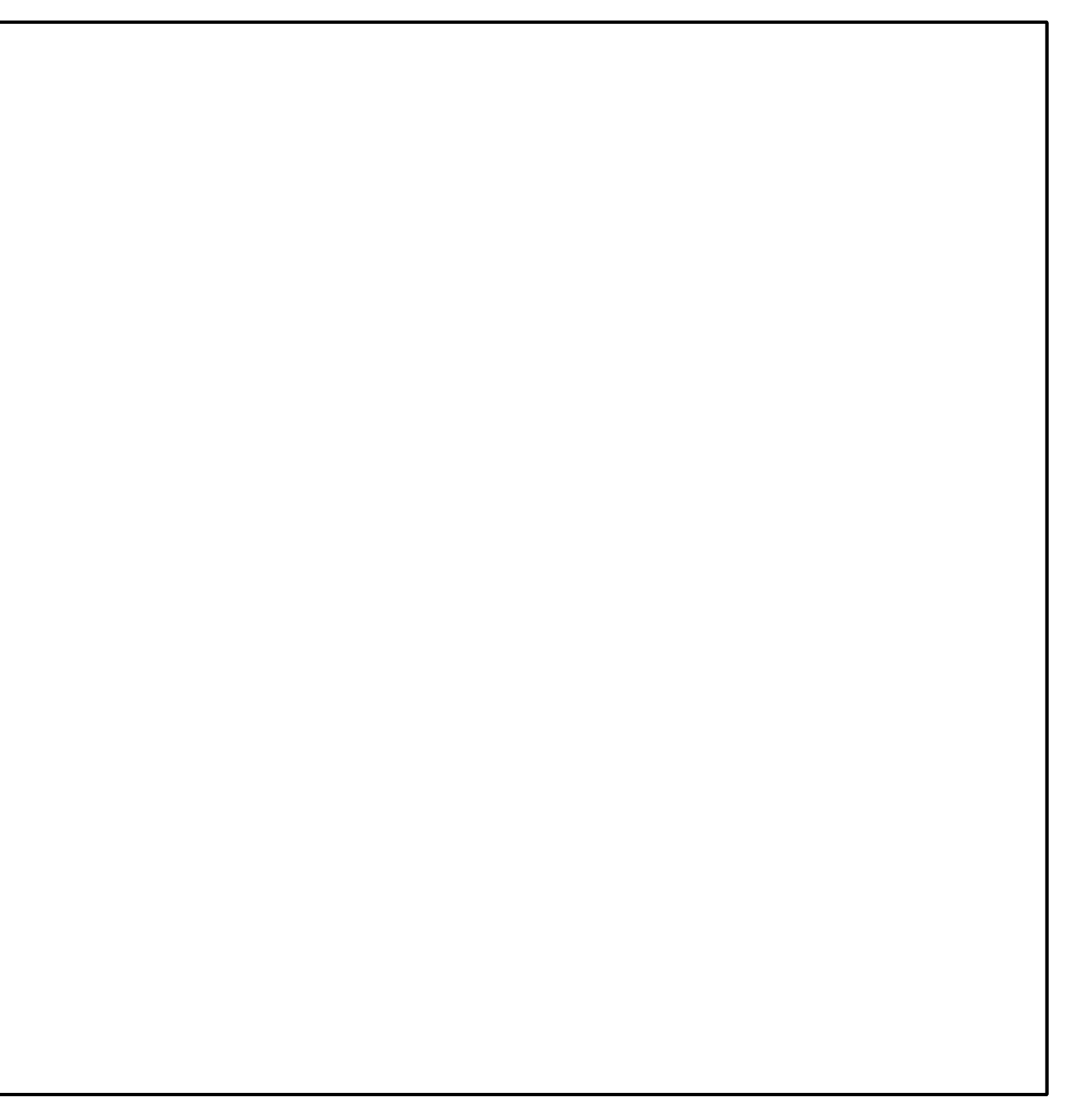
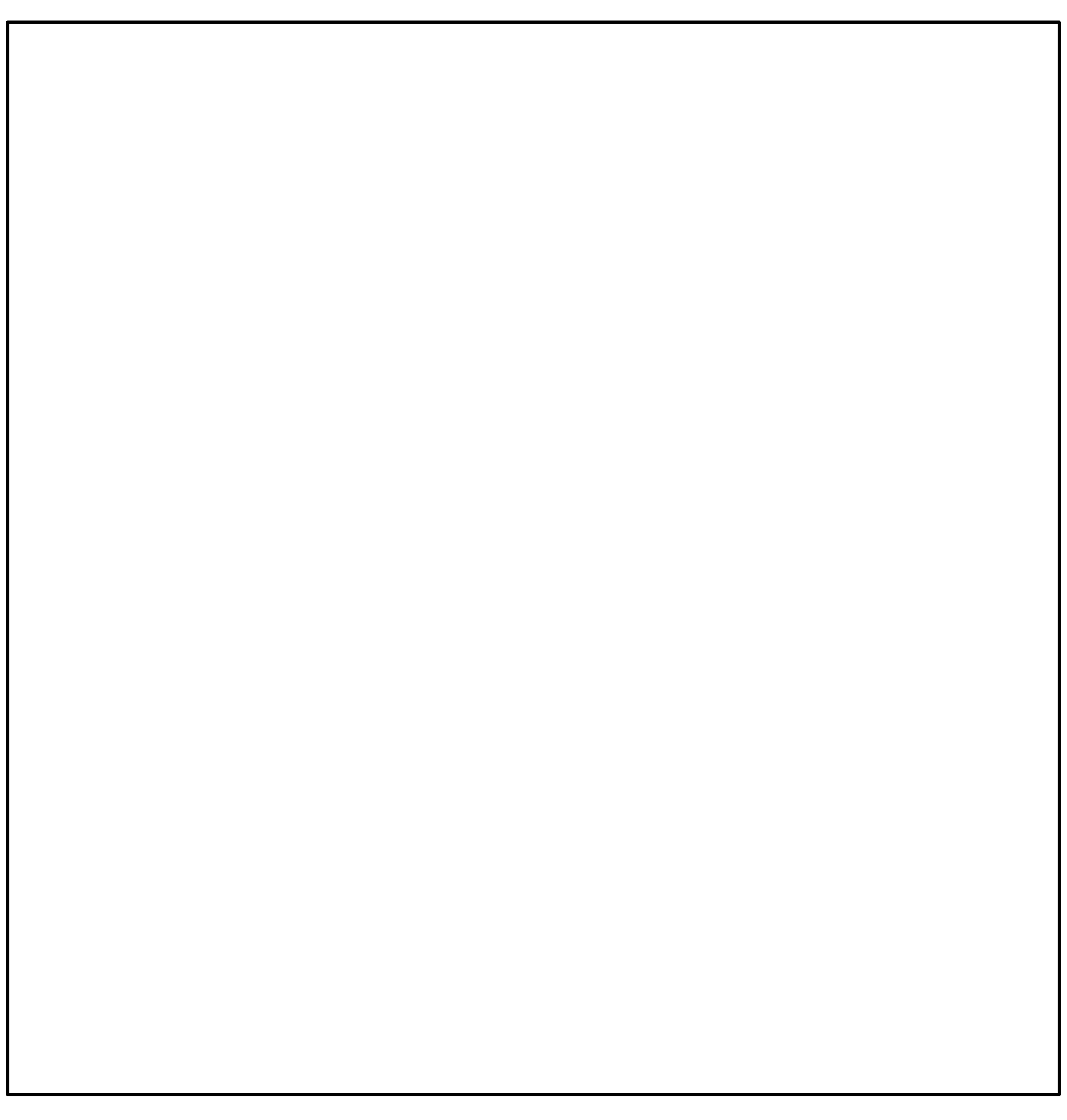
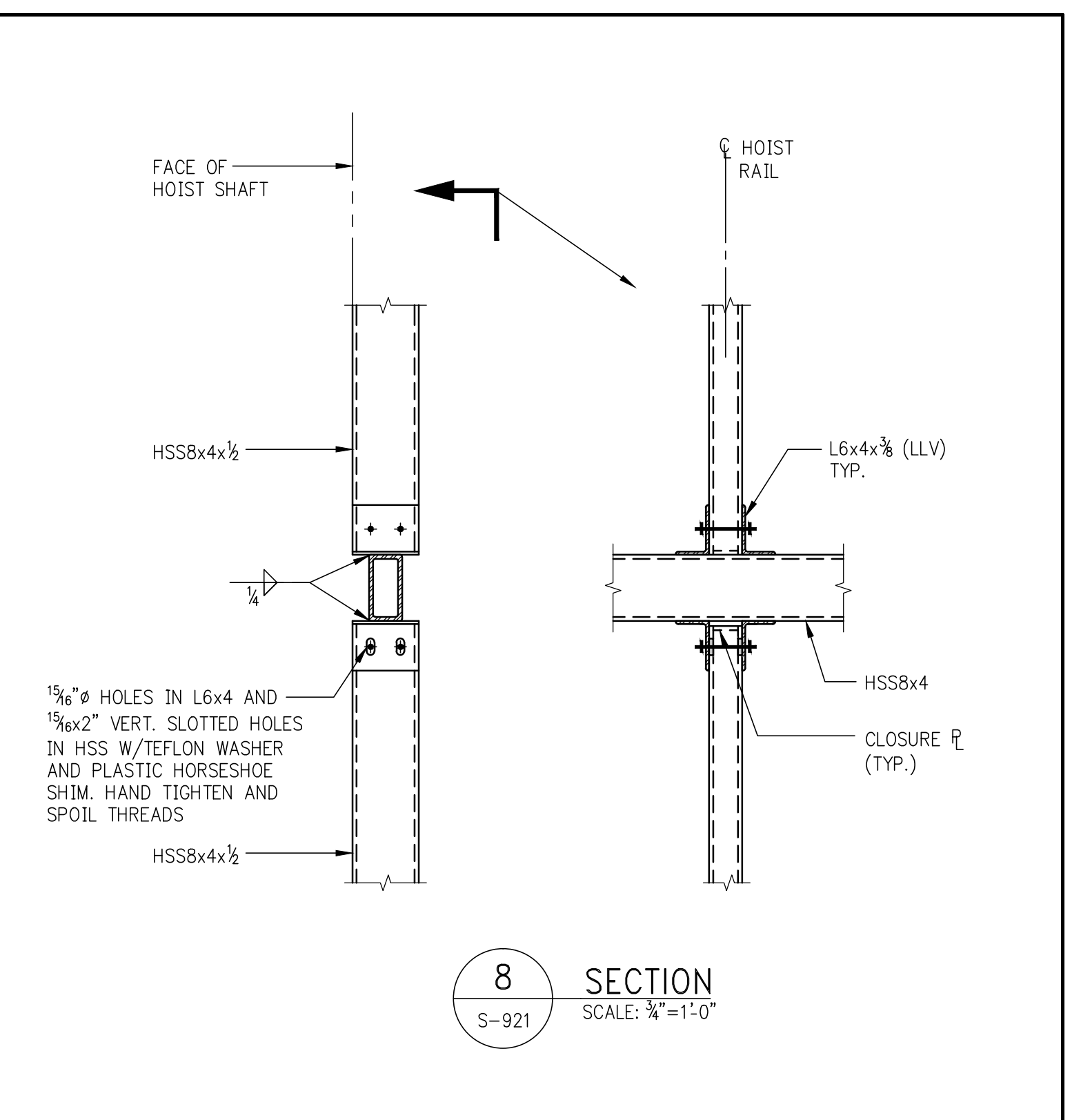
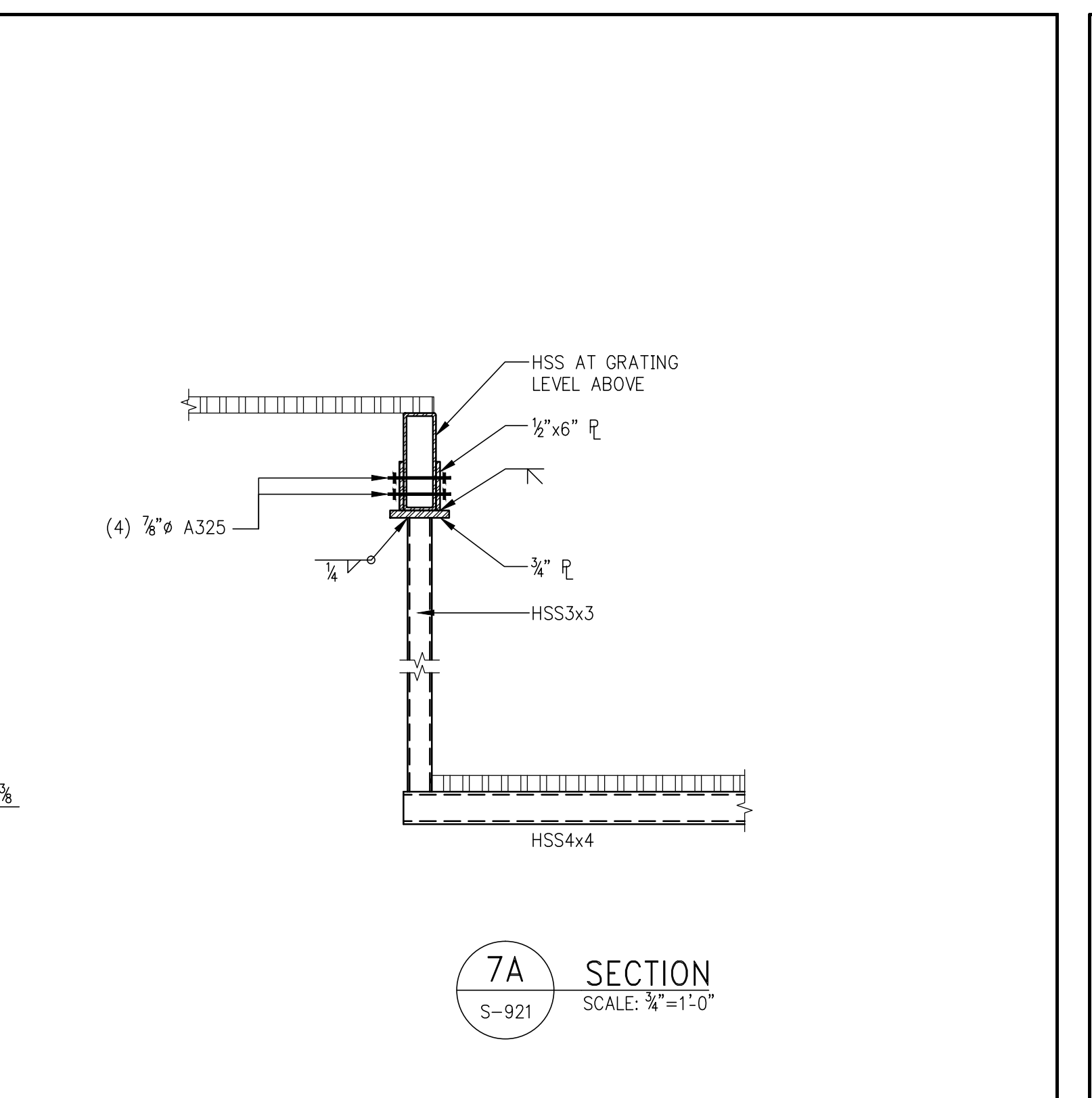
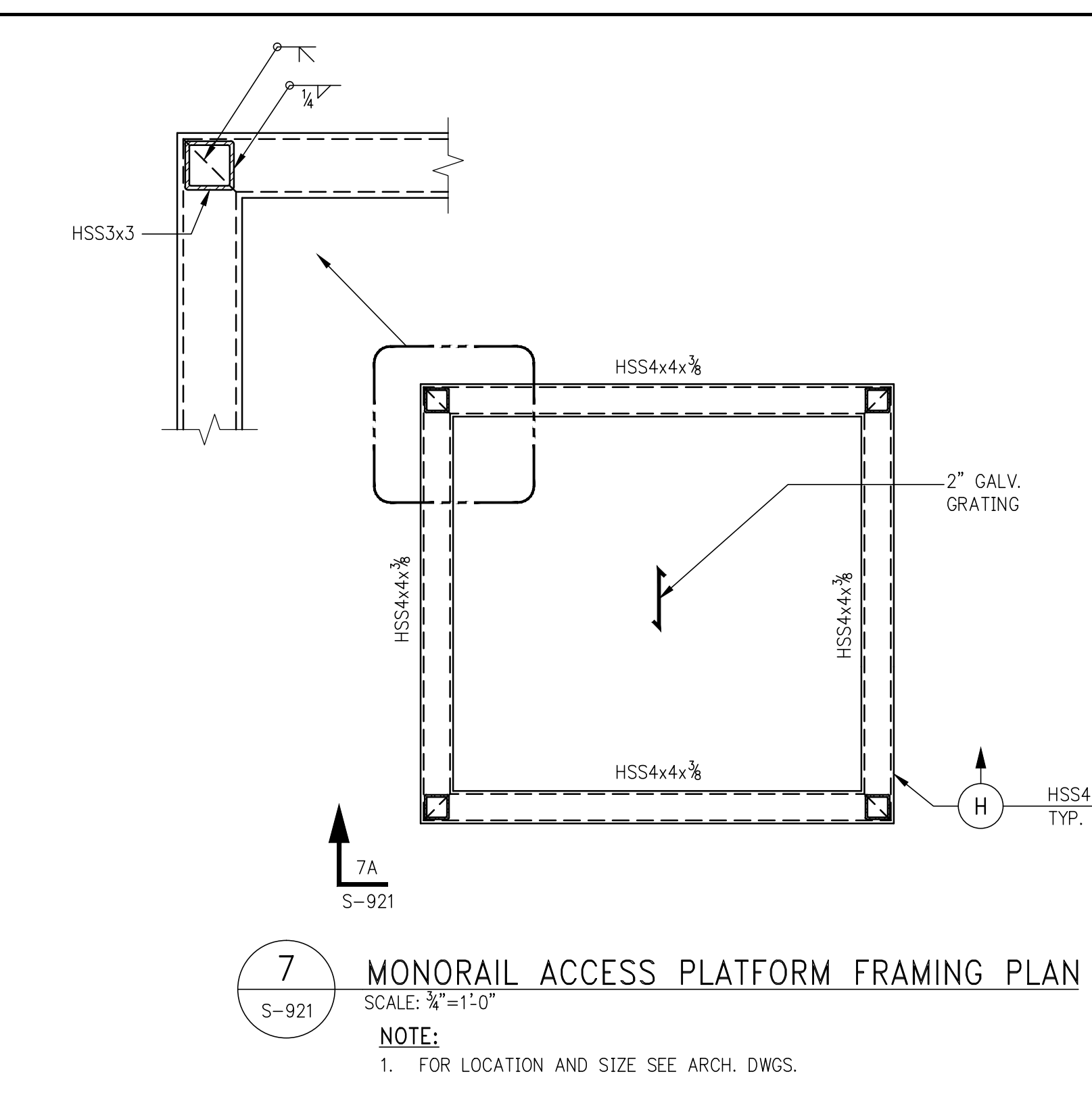
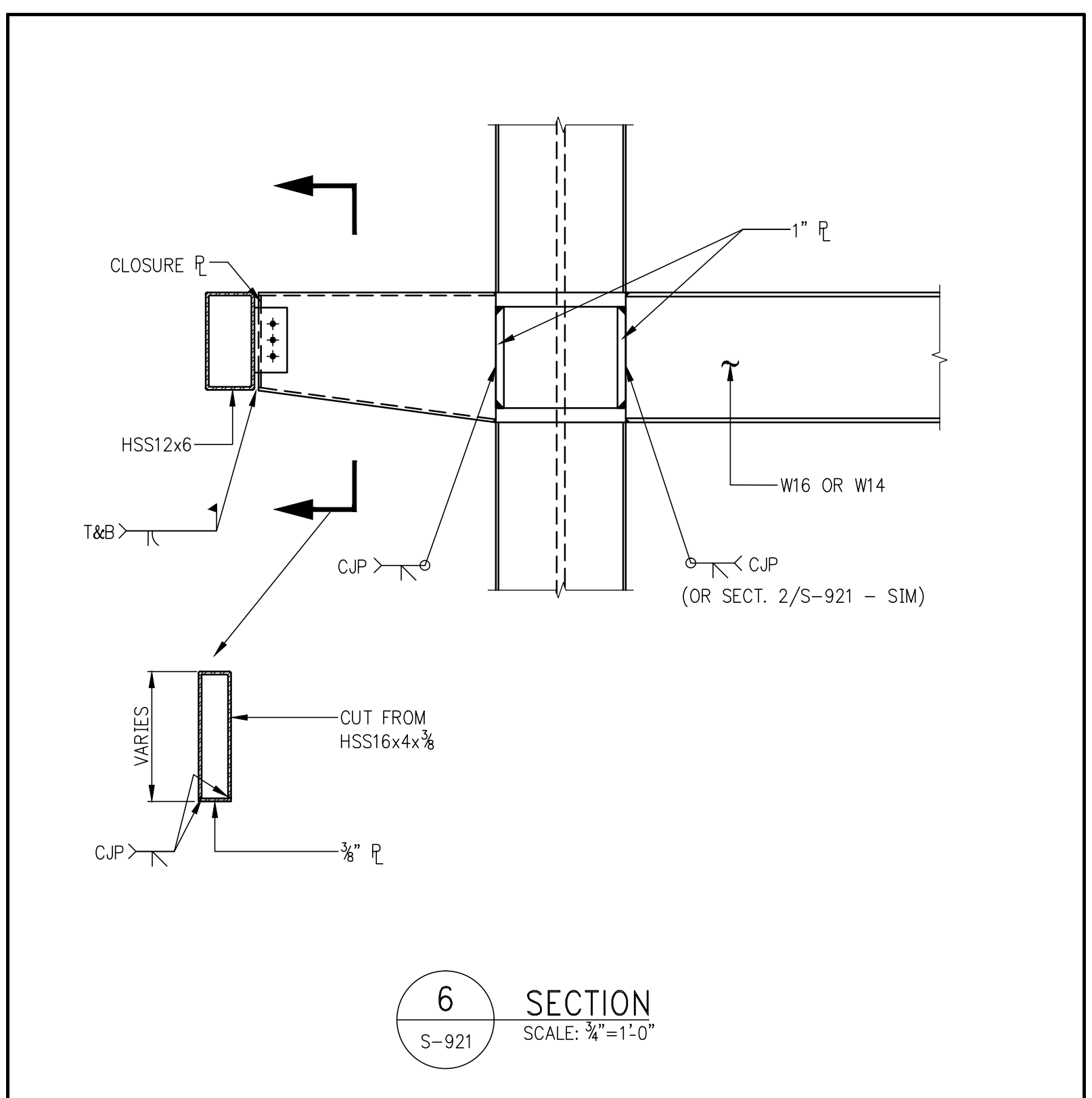
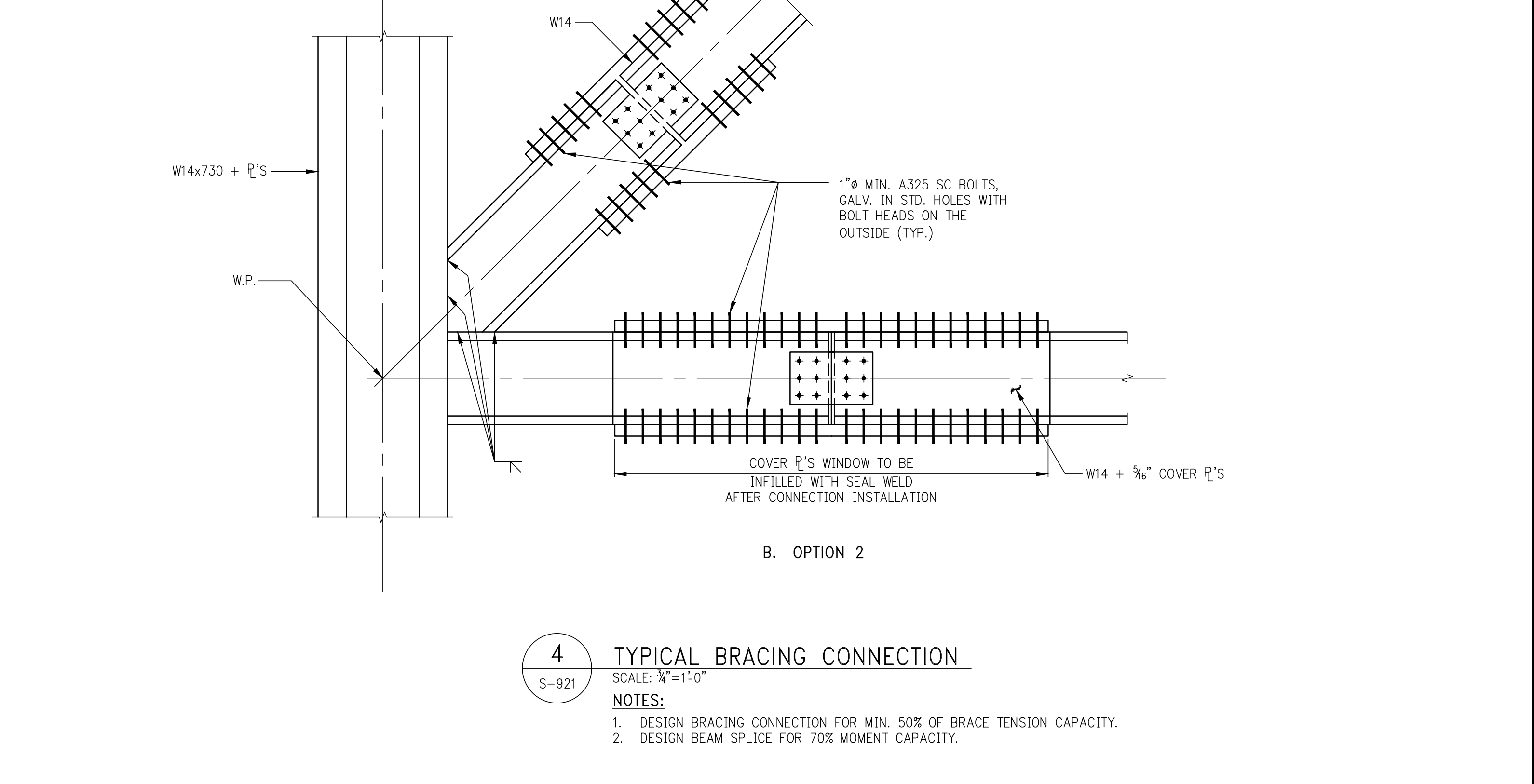
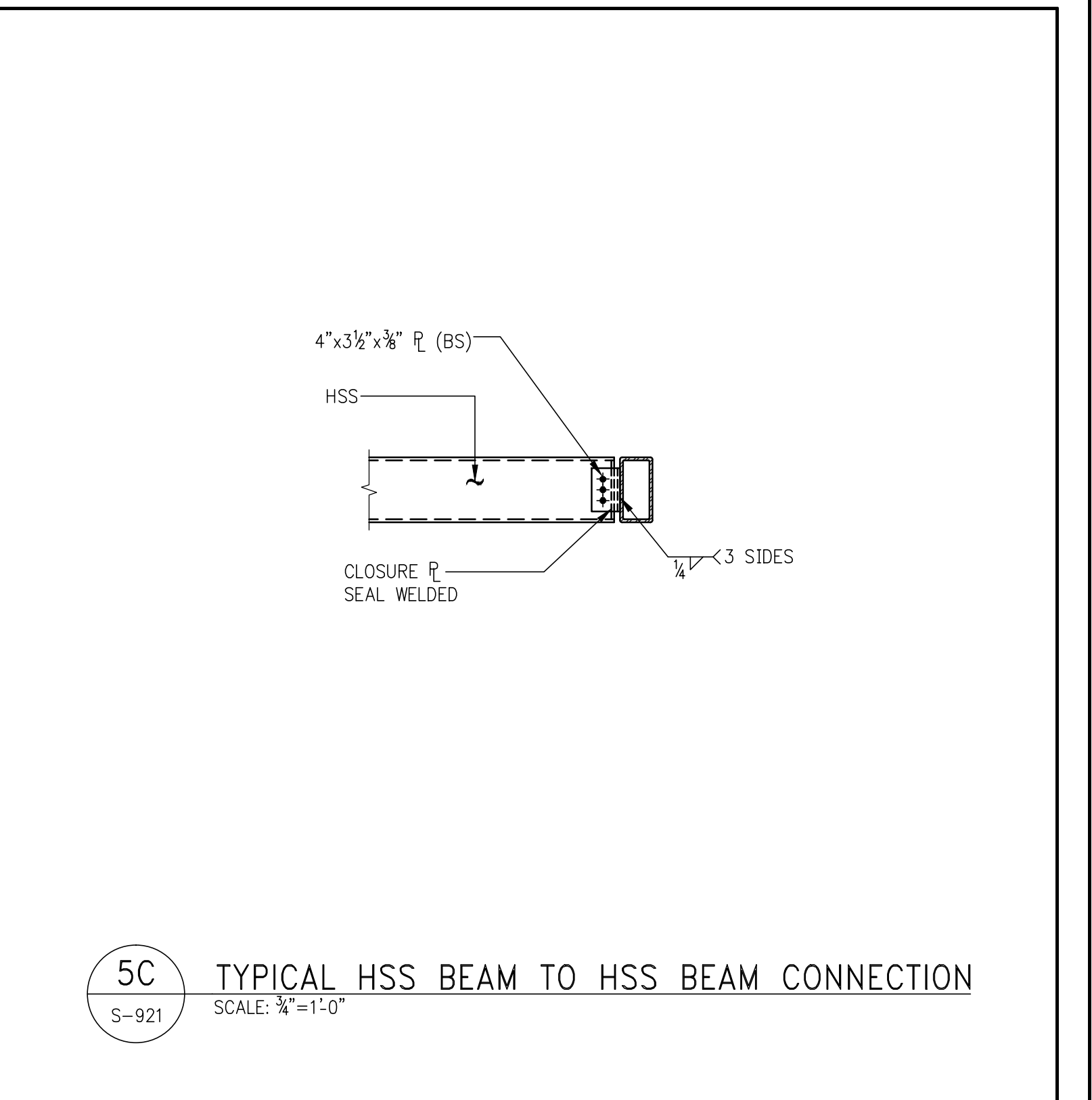
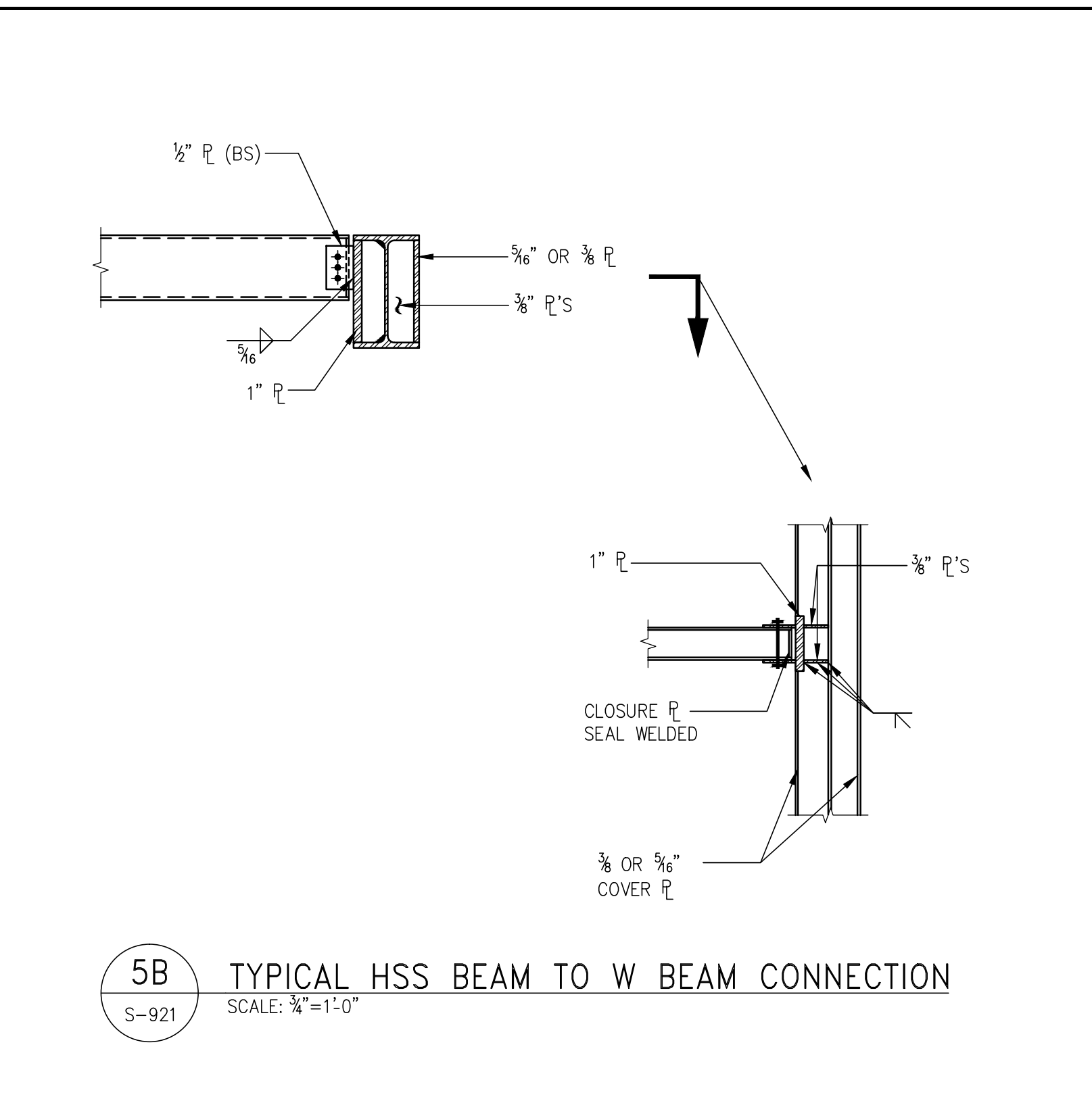
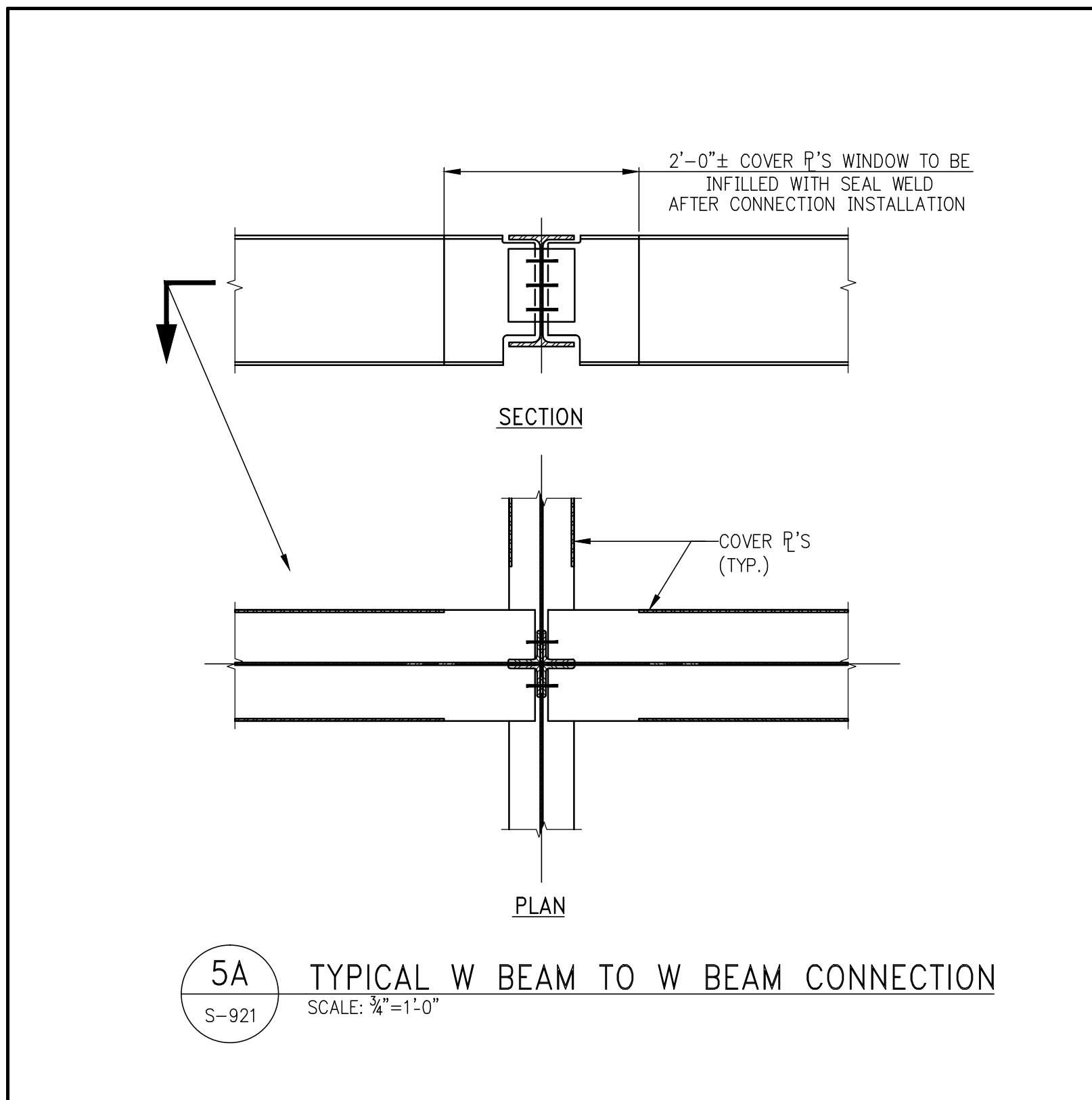
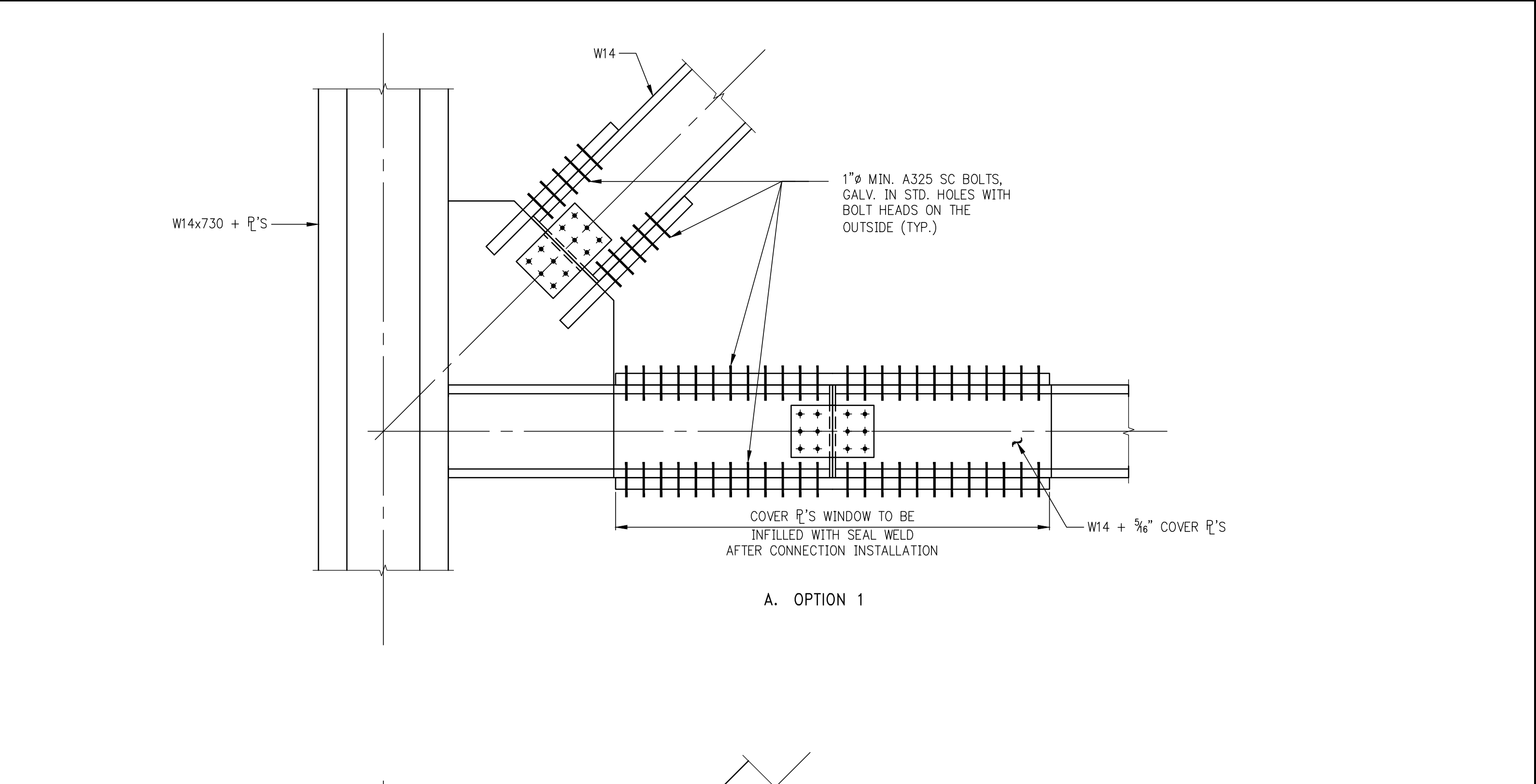
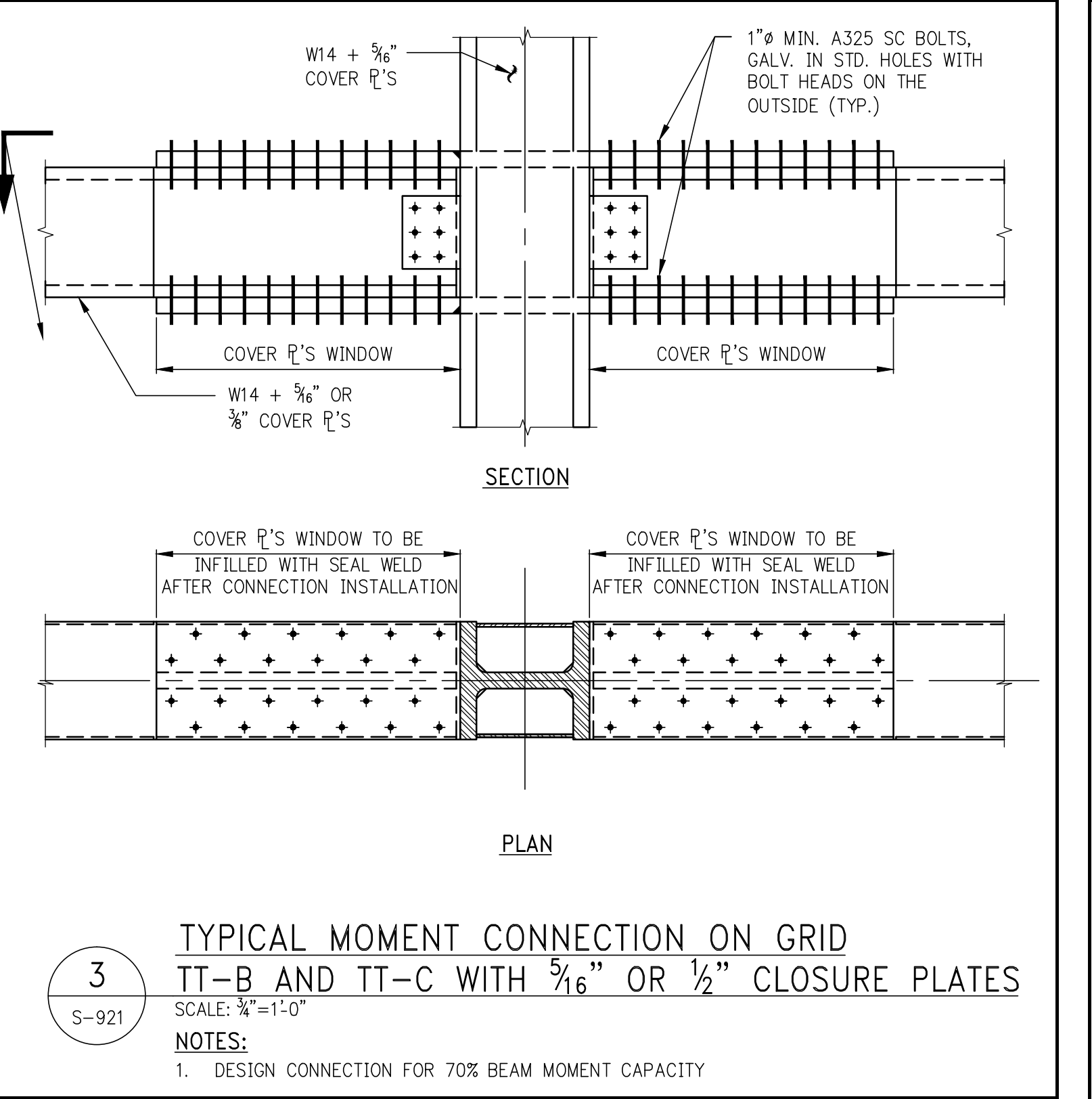
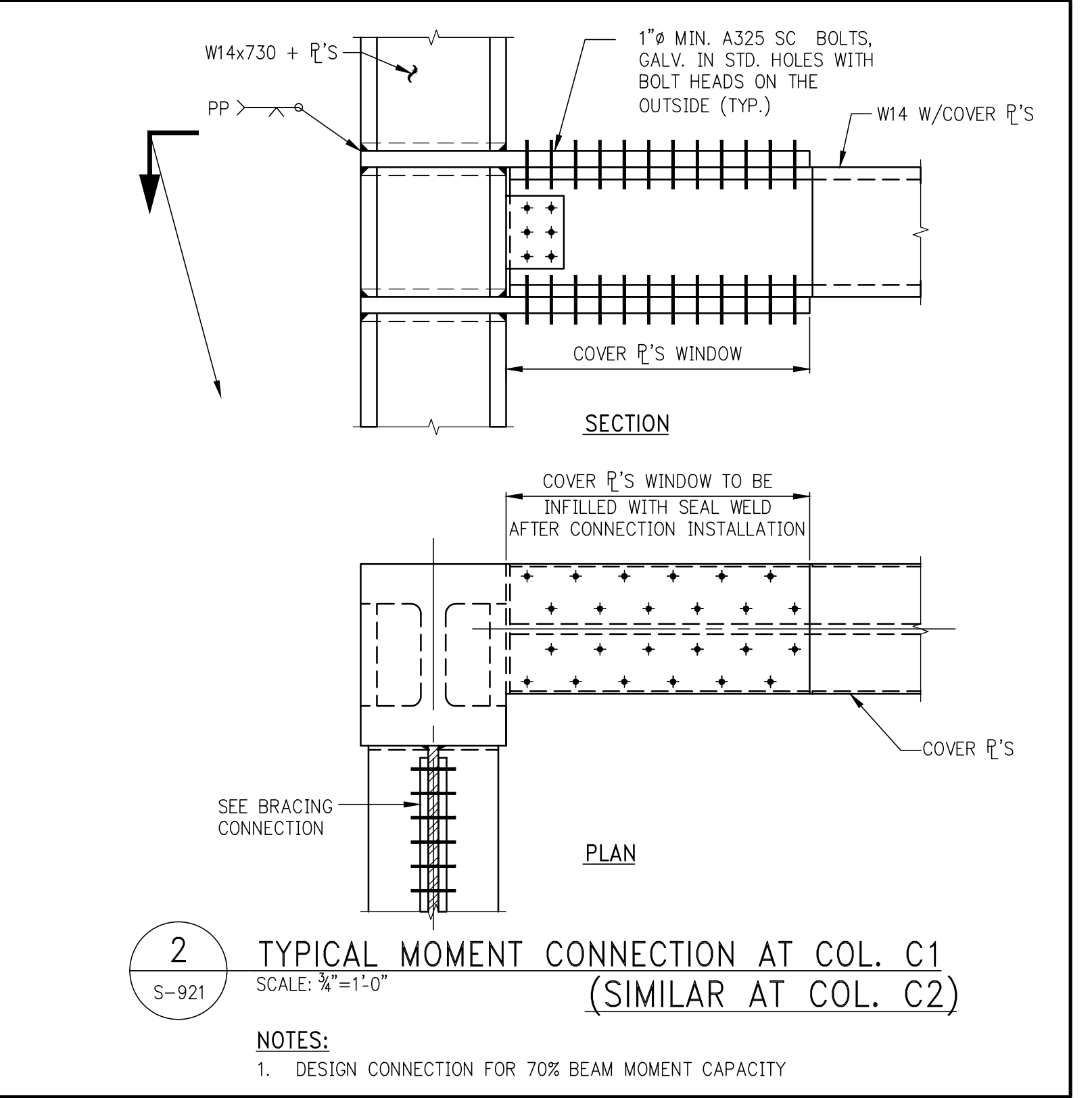
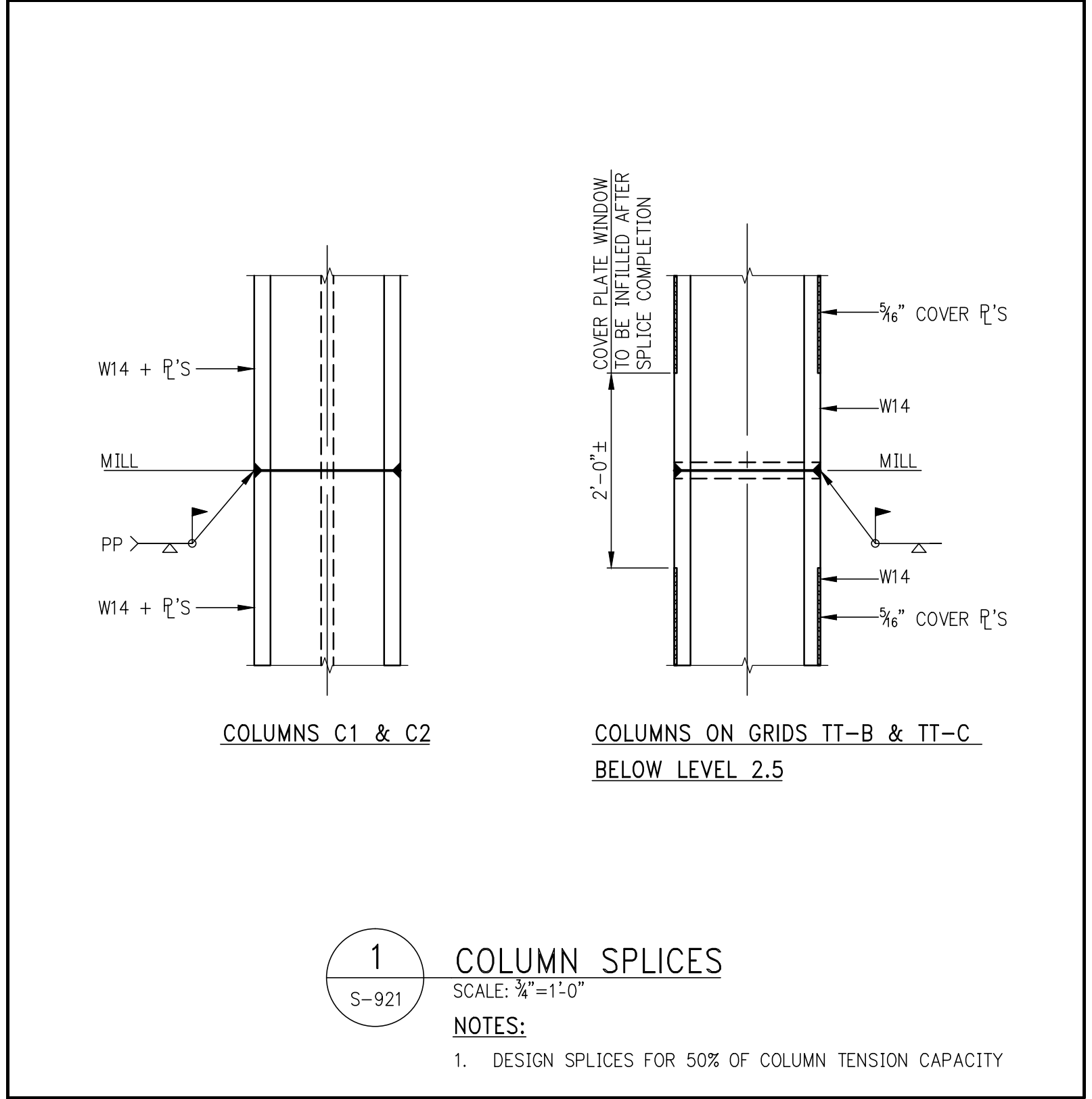
NOT FOR CONSTRUCTION

DRAWING TITLE
TOP OF BUILDING ELEVATIONS

SEAL & SIGNATURE DATE: 3/27/15
PROJECT NO.: 1310140
DRAWN BY: CADDD
CHECKED BY: CL
DATE: 03/15/15
DRAWING NUMBER: S-920.00



S-920.00



JDS DEVELOPMENT GROUP
111 WEST 57TH STREET, 11TH FLOOR
NEW YORK, NY 10019
TEL: 646.235.3600

sh p

ARCHITECT: SHP ARCHITECTS, P.C.
235 BROADWAY, 11TH FLOOR
NEW YORK, NY 10006
TEL: 212.686.0000

STRUCTURAL ENGINEER: SHP ENGINEERS, P.C.
235 BROADWAY, 11TH FLOOR
NEW YORK, NY 10006
TEL: 212.686.0000

MEP ENGINEER: JAMES B. BARNETT & ASSOCIATES
100 W. 42ND STREET, 10TH FLOOR
NEW YORK, NY 10018
TEL: 212.686.0000

CIVIL ENGINEER: AMF ENGINEERING, P.C.
400 PARK AVE SOUTH, 17TH FLOOR
NEW YORK, NY 10014
TEL: 402.282.9200

ACoustICS: LONDMAN INCORPORATED
40 WEST 38TH STREET, 4TH FLOOR
NEW YORK, NY 10018
TEL: 917.209.8392

INTERIORS: STUDIO SOURCE
300 WALKER STREET
NEW YORK, NY 10003
TEL: 212.675.1000

FAÇADE: BUREAU VERMOREL
100 BROADWAY
NEW YORK, NY 10005
TEL: 212.241.9222

VERTICAL TRANSPORTATION: VAN DEUSEN & ASSOCIATES
5 DEWEY STREET, SUITE 504
LABRECQUE, NJ 07039
TEL: 973.266.6520

RESTORATION: JAN HED POKORNY ASSOCIATES
30 WEST 37TH STREET, FLOOR 12A
NEW YORK, NY 10018
TEL: 212.263.4442

GEO TECH: MRCE
225 WEST 24TH STREET, 6TH FLOOR
NEW YORK, NY 10001
TEL: 917.289.8900

LIGHTING: COOPERATIVE INTERNATIONAL
100 WALKER STREET, 7TH FLOOR EAST
NEW YORK, NY 10003
TEL: 212.251.4453

PROPERTY MARKETS GROUP
5 EAST 17TH STREET, 2ND FLOOR
NEW YORK, NY 10003
TEL: 212.619.2000

CURRENT ISSUE: **DOB PAA**

Shauqat Shaikh
Buildings & Water
APPROVED
Under Directive 2 of 1995
DATE: 08/28/2015
NYC Development Hub

111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019

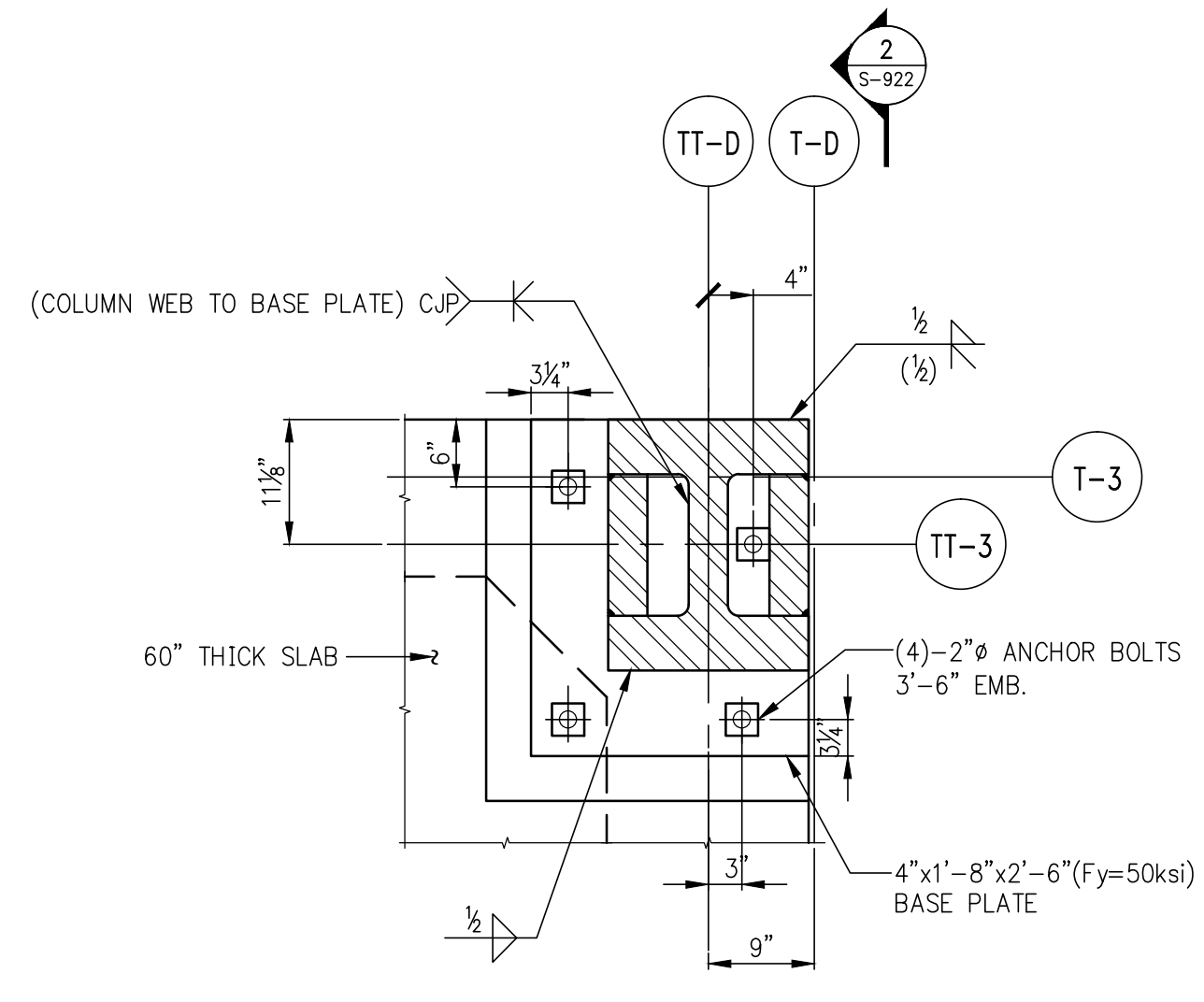
NO. DATE REVISION
1 3/27/15 DOB PAA

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF SHP ARCHITECTS, P.C. ALL RIGHTS RESERVED.
COPYRIGHT © 2015 SHP ARCHITECTS P.C. ALL RIGHTS RESERVED.

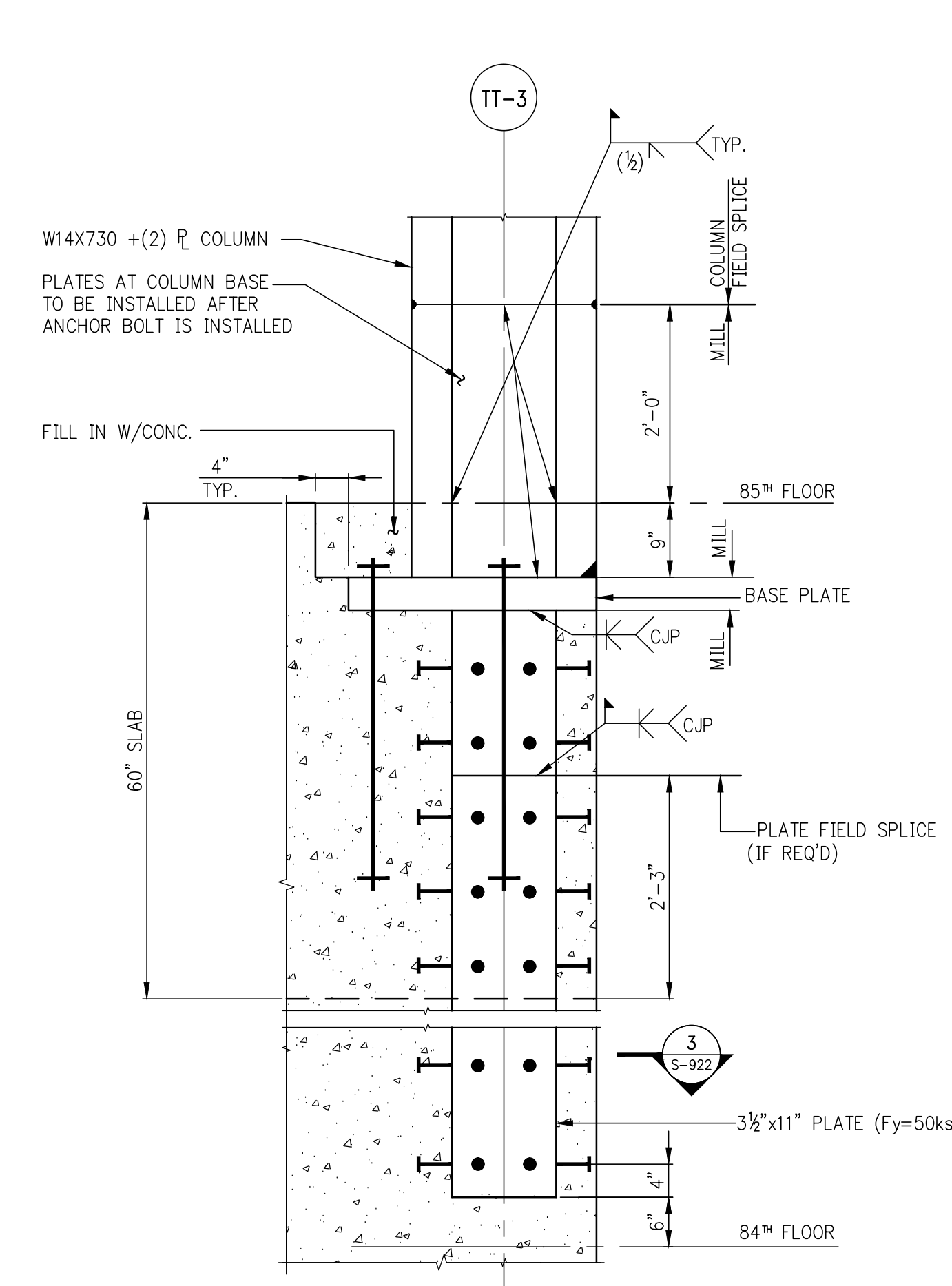
NOT FOR CONSTRUCTION

DRAWING TITLE: **TOP OF BUILDING DETAILS 1**

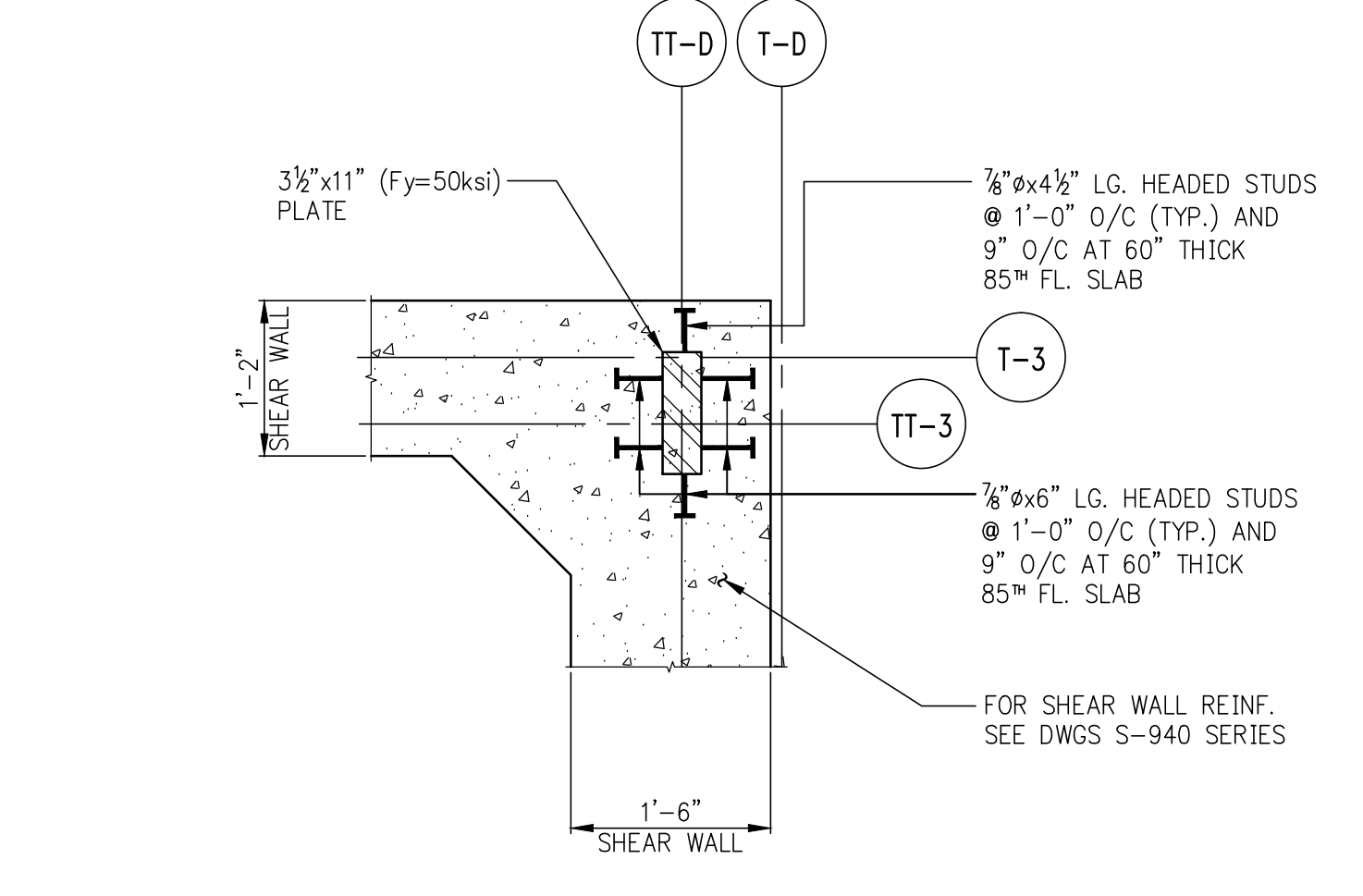
SEAL & SIGNATURE: DATE: 07/16/15
PROJECT NO.: 1310140
DRAWN BY: CAD
CHECKED BY: CL
DOB NO.: 121330060
DRAWING NUMBER: S-921.01
SHEET XX OF XX



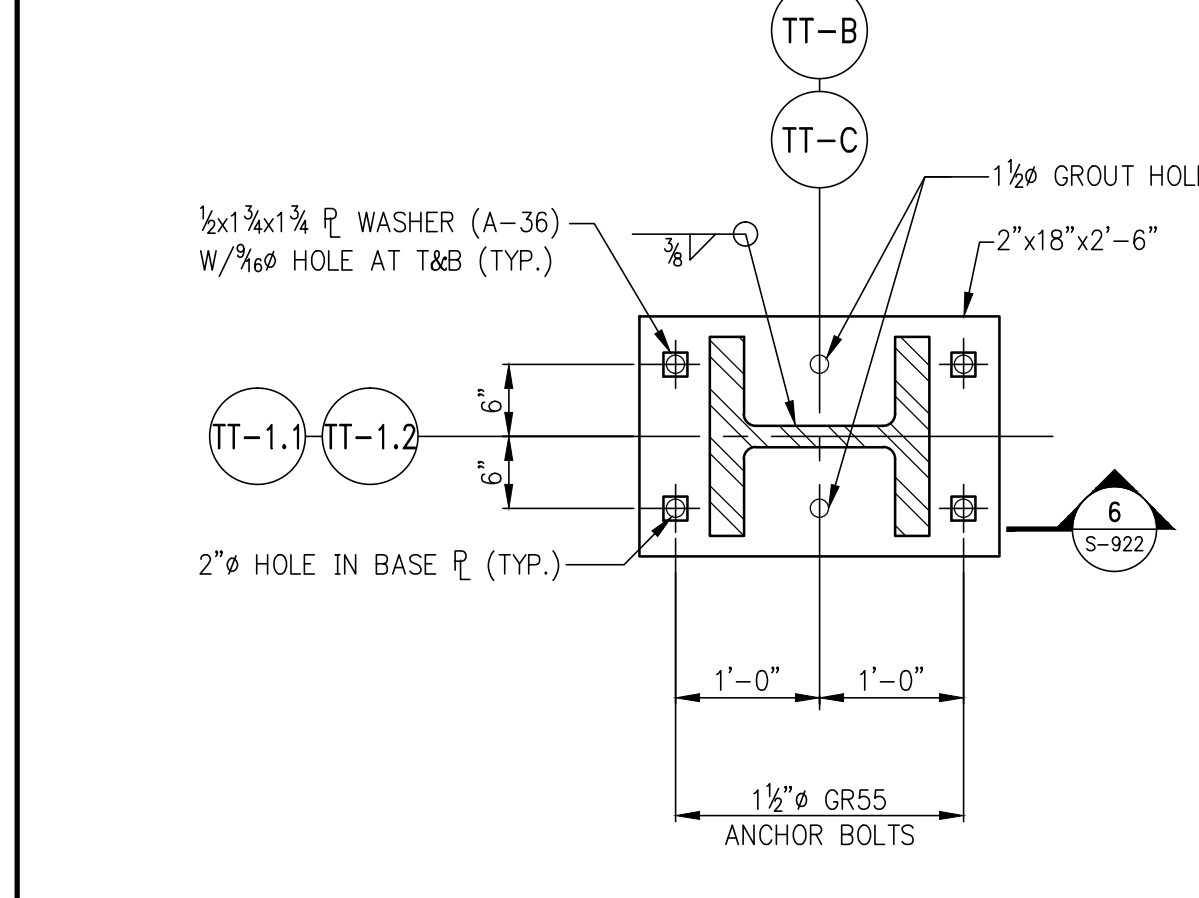
1 DETAIL
S-922 SCALE: 3/4"=1'-0"



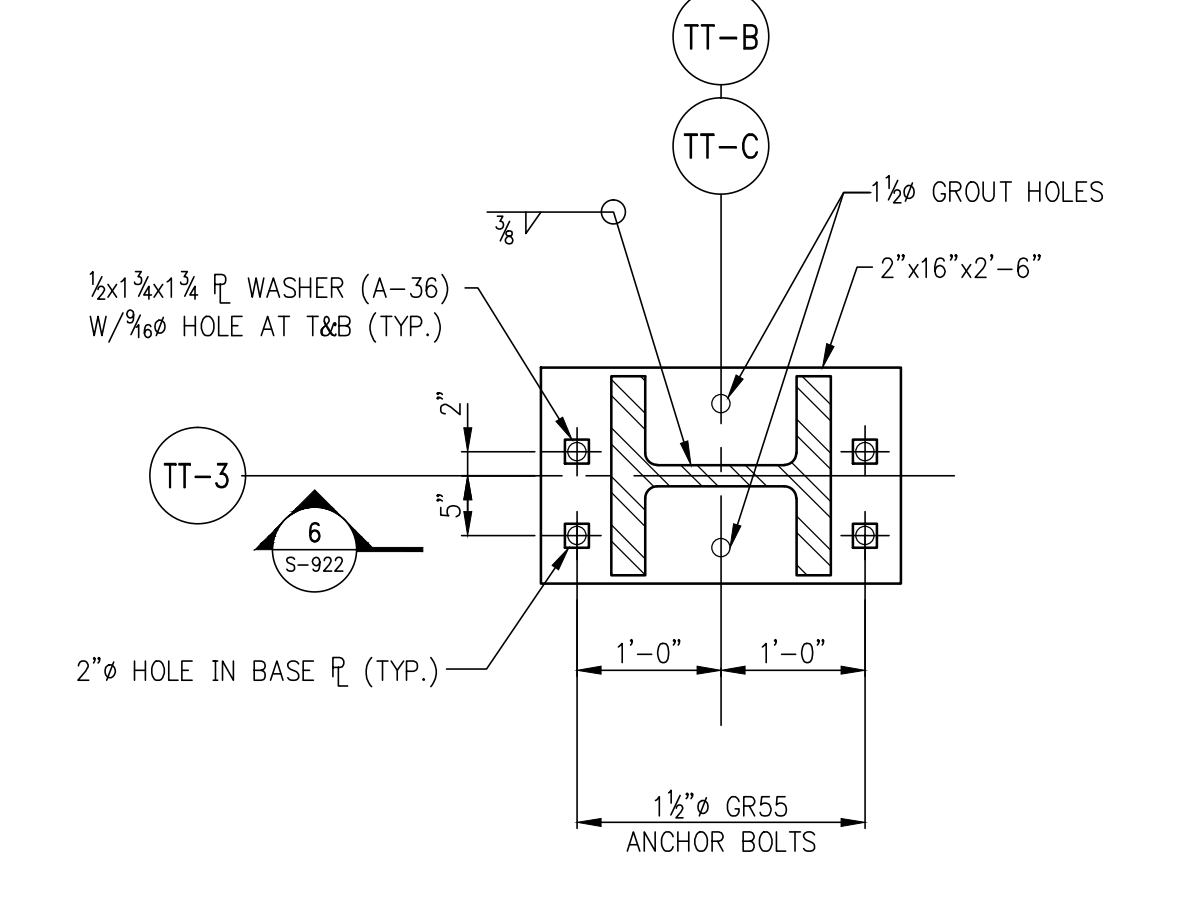
2 SECTION
S-922 SCALE: 3/4"=1'-0"



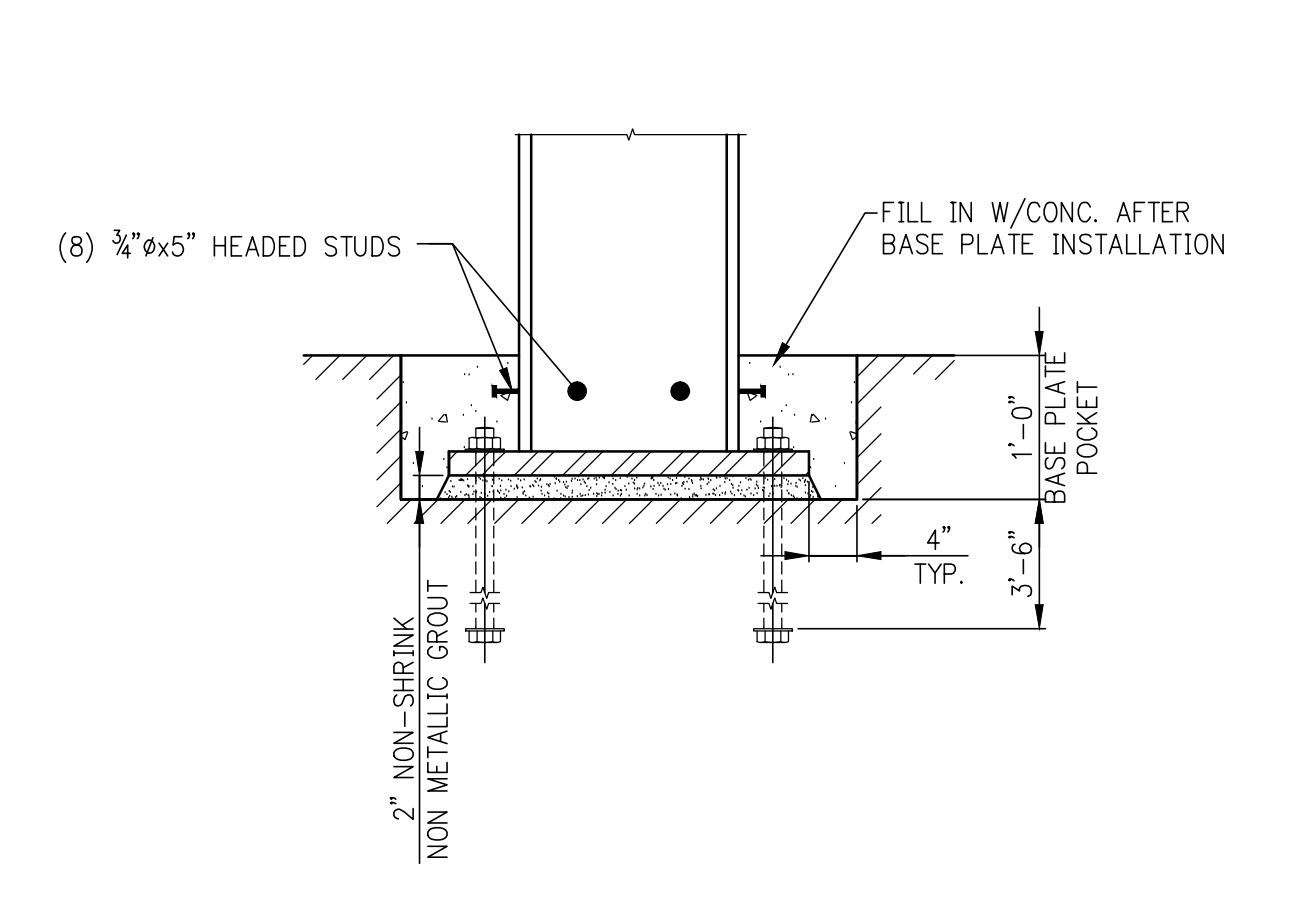
3 SECTION
S-922 SCALE: 3/4"=1'-0"



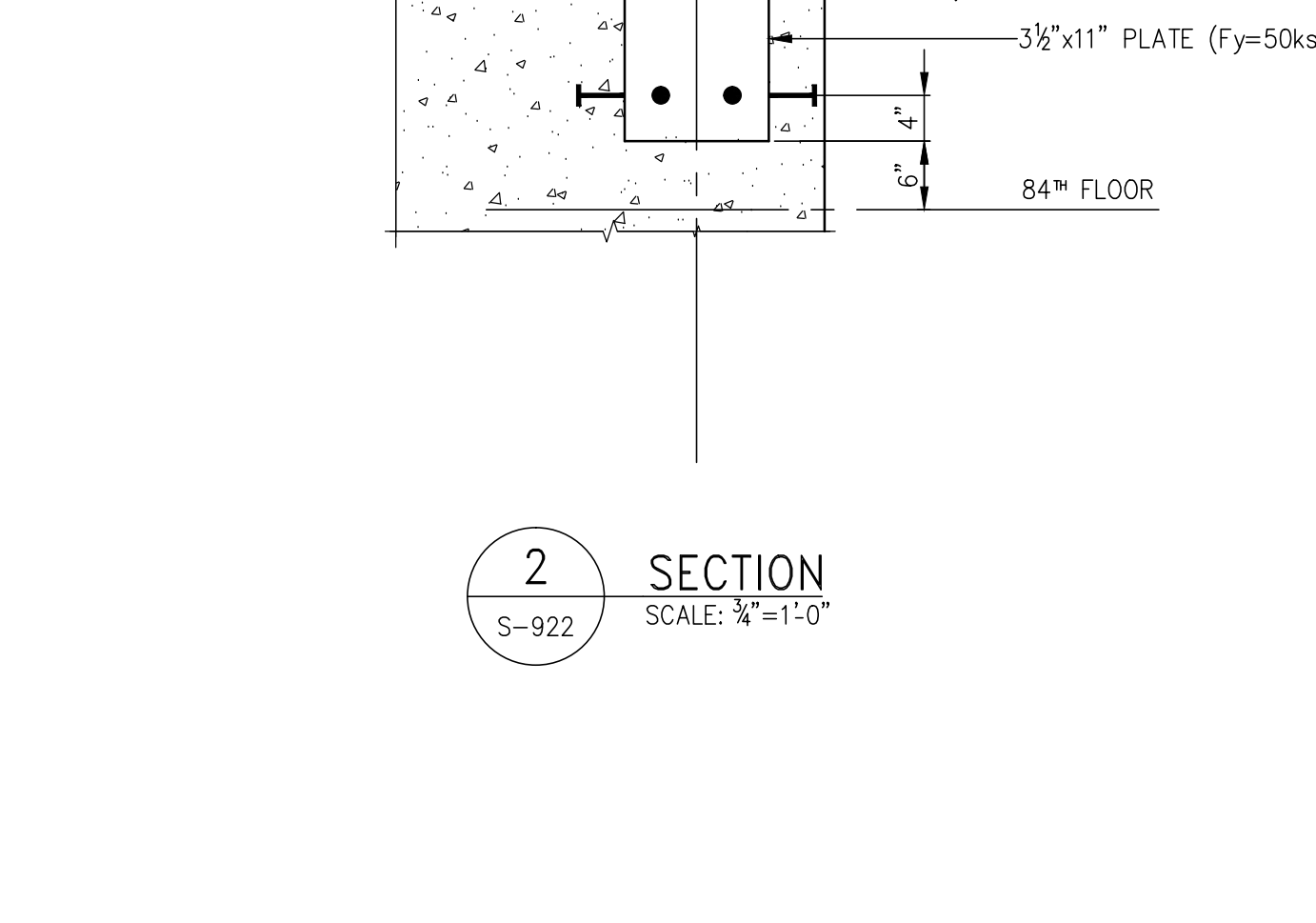
4 DETAIL
S-922 SCALE: 3/4"=1'-0"



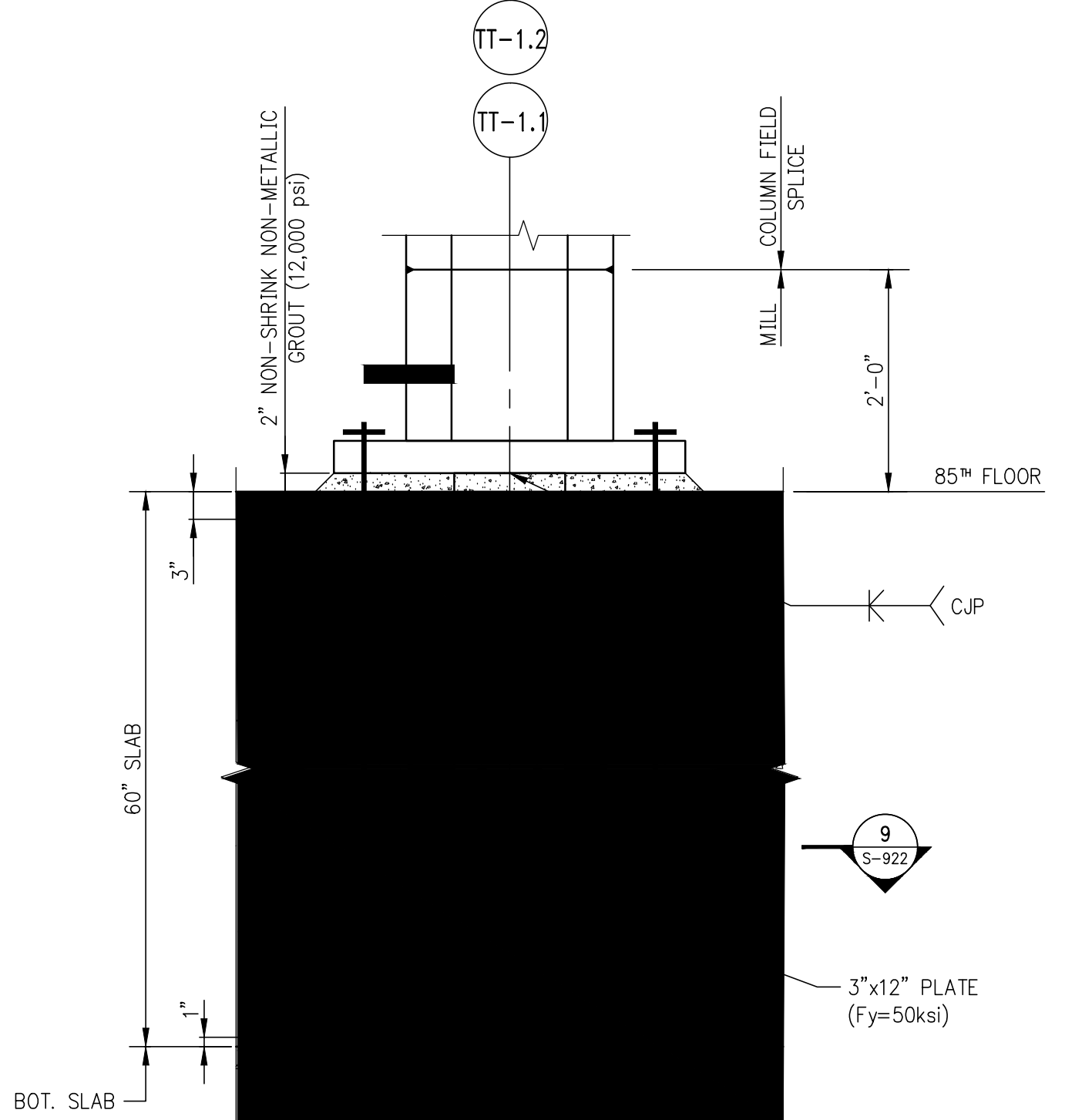
5 DETAIL
S-922 SCALE: 3/4"=1'-0"



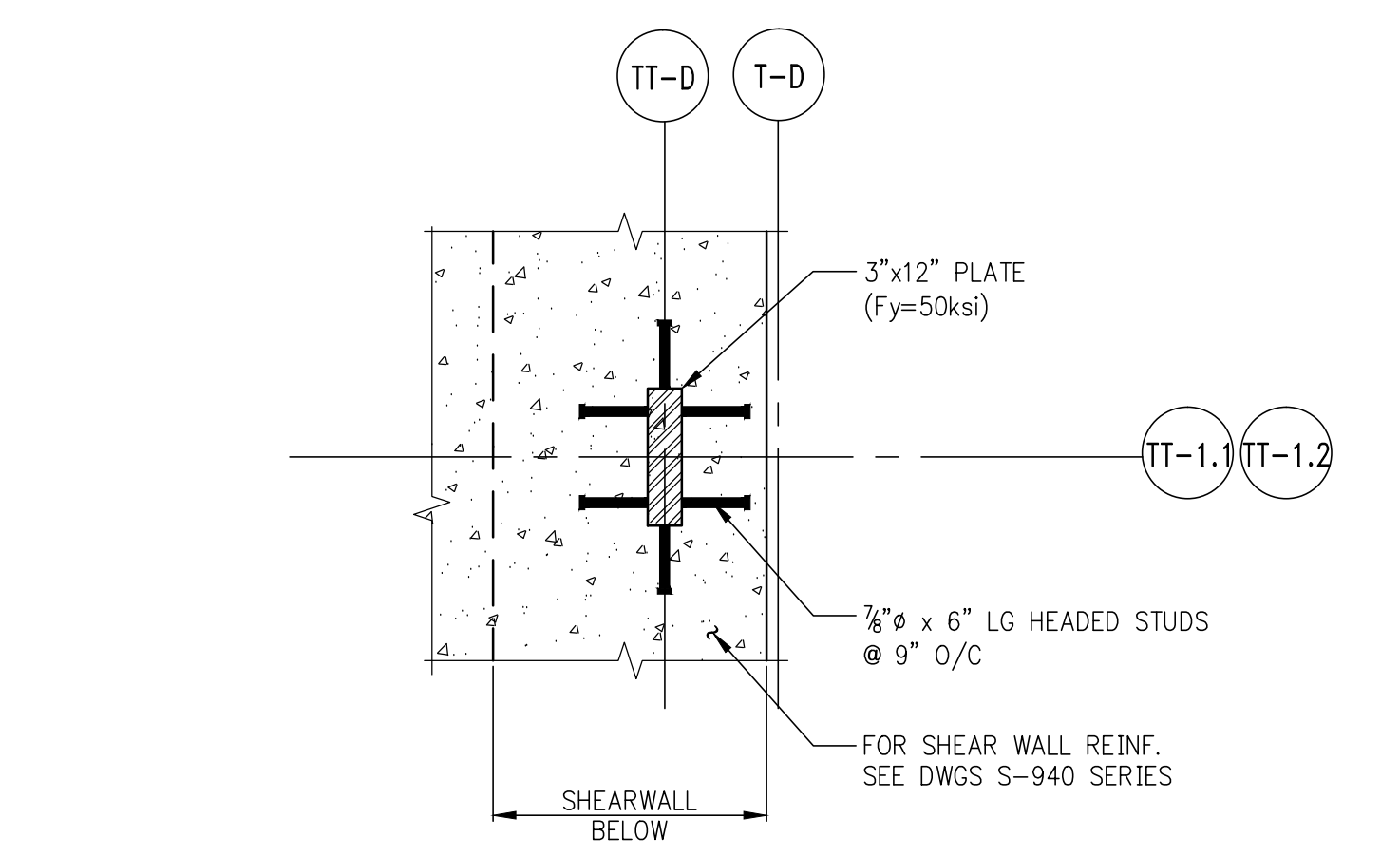
6 SECTION
S-922 SCALE: 3/4"=1'-0"



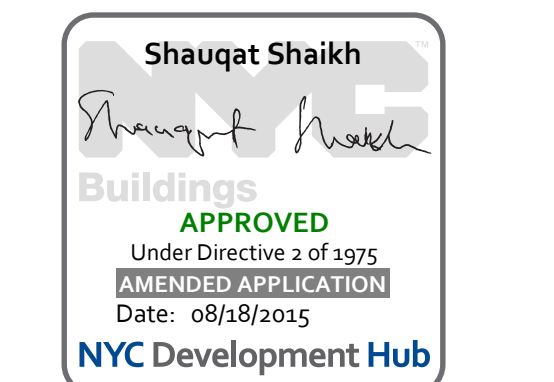
7 DETAIL
S-922 SCALE: 3/4"=1'-0"



8 SECTION
S-922 SCALE: 3/4"=1'-0"



9 DETAIL
S-922 SCALE: 3/4"=1'-0"



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019

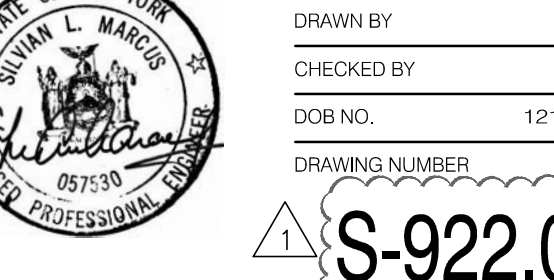


NO.	DATE	REVISION
1	3.27.15	DOB PAA

● NOT FOR CONSTRUCTION

DRAWING TITLE
TOP OF BUILDING DETAILS 2

DATE: 07/16/15
PROJECT NO.: 1310140
DRAWN BY: CAD
CHECKED BY: CL
DOB NO.: 121330060
DRAWING NUMBER: 2019

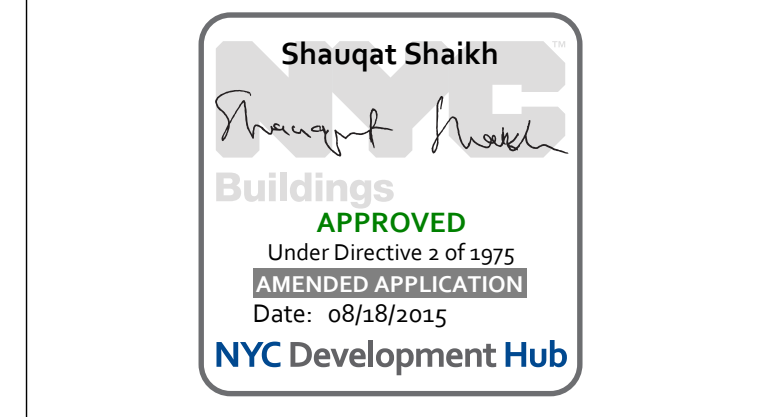


ARCHITECT	SHAP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10005 TEL: 212 869 9300	FAÇADE	SHAPIRO HARRFIELD 100 WEST 47TH STREET NEW YORK, NY 10018 TEL: 212 254 2025
STRUCTURAL ENGINEER	YUSEF GANTON BERKOW 228 EAST 43RD STREET NEW YORK, NY 10017 TEL: 212 697 5886	VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 8 BROADWAY, SUITE 200 LARKSPRING, NJ 07033 TEL: 973 268 4700
MEP ENGINEER	JARVIS, BAIAM & BOLLER 80 WEST STREET, 12TH FLOOR NEW YORK, NY 10006 TEL: 212 693 6000	RESTORATION	JAN HROD POKORNY ASSOCIATES 80 WEST 47TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 212 259 4462
CIVIL ENGINEER	AWR ENGINEERING, P.C. 40 FIFTH AVE, 20TH FLOOR NEW YORK, NY 10018 TEL: 800 288 8828	GEOTECH	MTICE 200 WEST 47TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 917 288 4900
ACOUSTICIAN	LONGMAN LINDSEY 40 WEST 47TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 917 288 2880	LIGHTING	CONSERVATORIE INTERNATIONAL 100 WEST 47TH STREET, 7TH FLOOR EAST NEW YORK, NY 10018 TEL: 212 255 4462
INTERIORS	STUDIO SCENEFIELD 80 LAURETTE STREET NEW YORK, NY 10011 TEL: 212 475 1300		



PROPERTY MARKETS GROUP
100 WEST 47TH STREET, 2ND FLOOR
NEW YORK, NY 10018
TEL: 212 869 9300

CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET



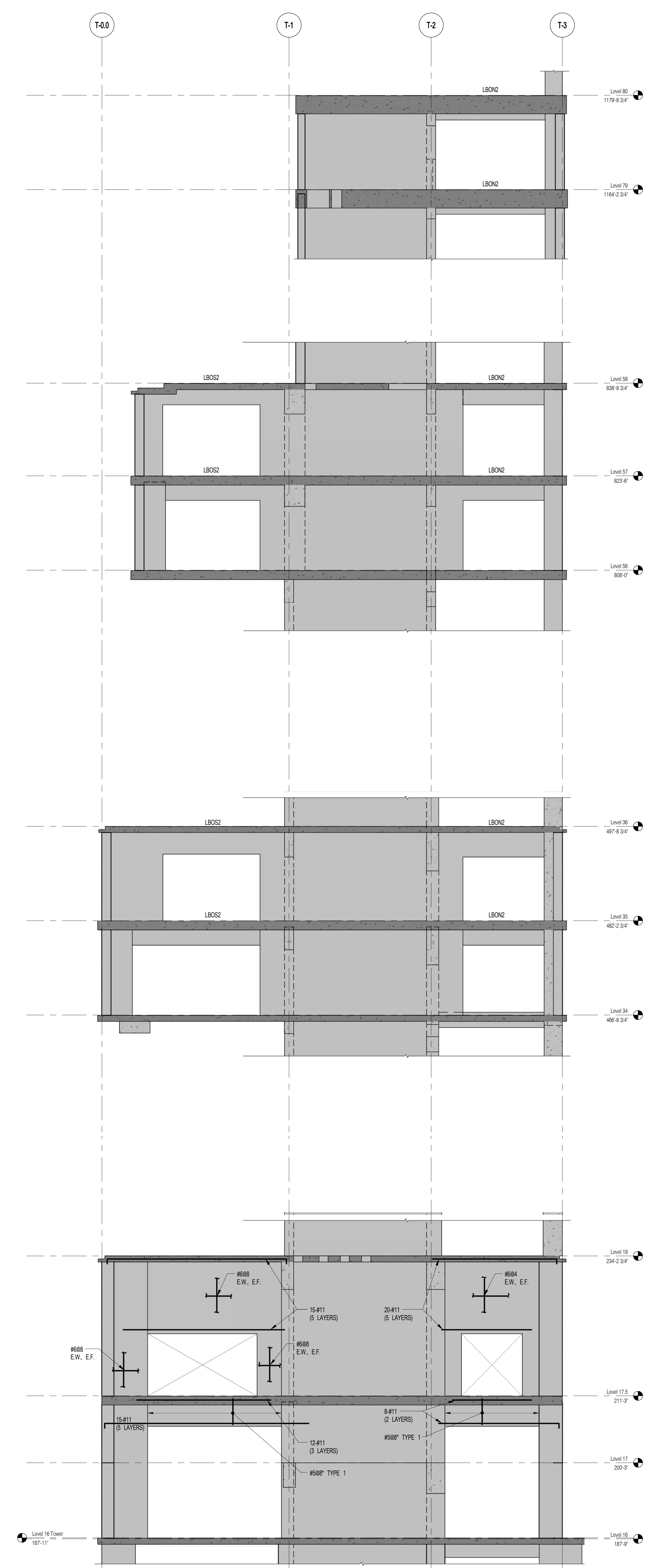
1	3/27/15	DOB PRA
NO.	DATE	REVISION
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.		

NOT FOR CONSTRUCTION

DRAWING TITLE

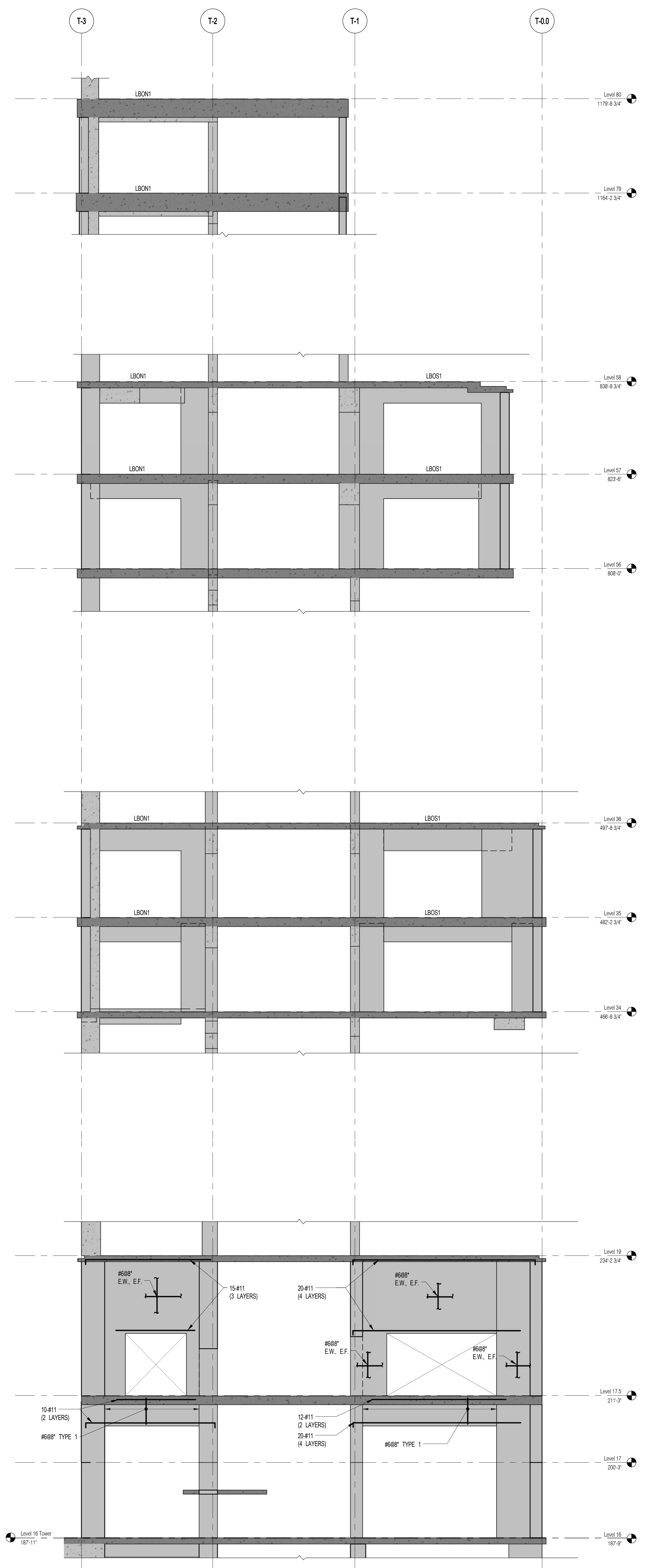
OUTRIGGER WALLS ELEVATIONS

SEAL & SIGNATURE	DATE	3/27/15
PROJECT NO.	1310140	
DRAWN BY	CADD	
CHECKED BY	CL	
DOB NO.	0915	
DRAWING NUMBER	S-925.00	

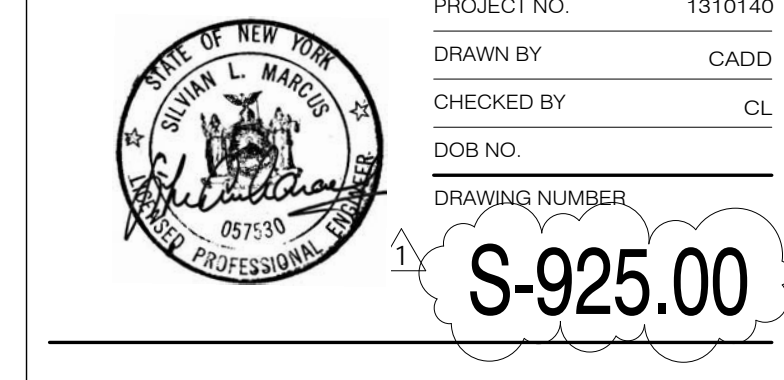


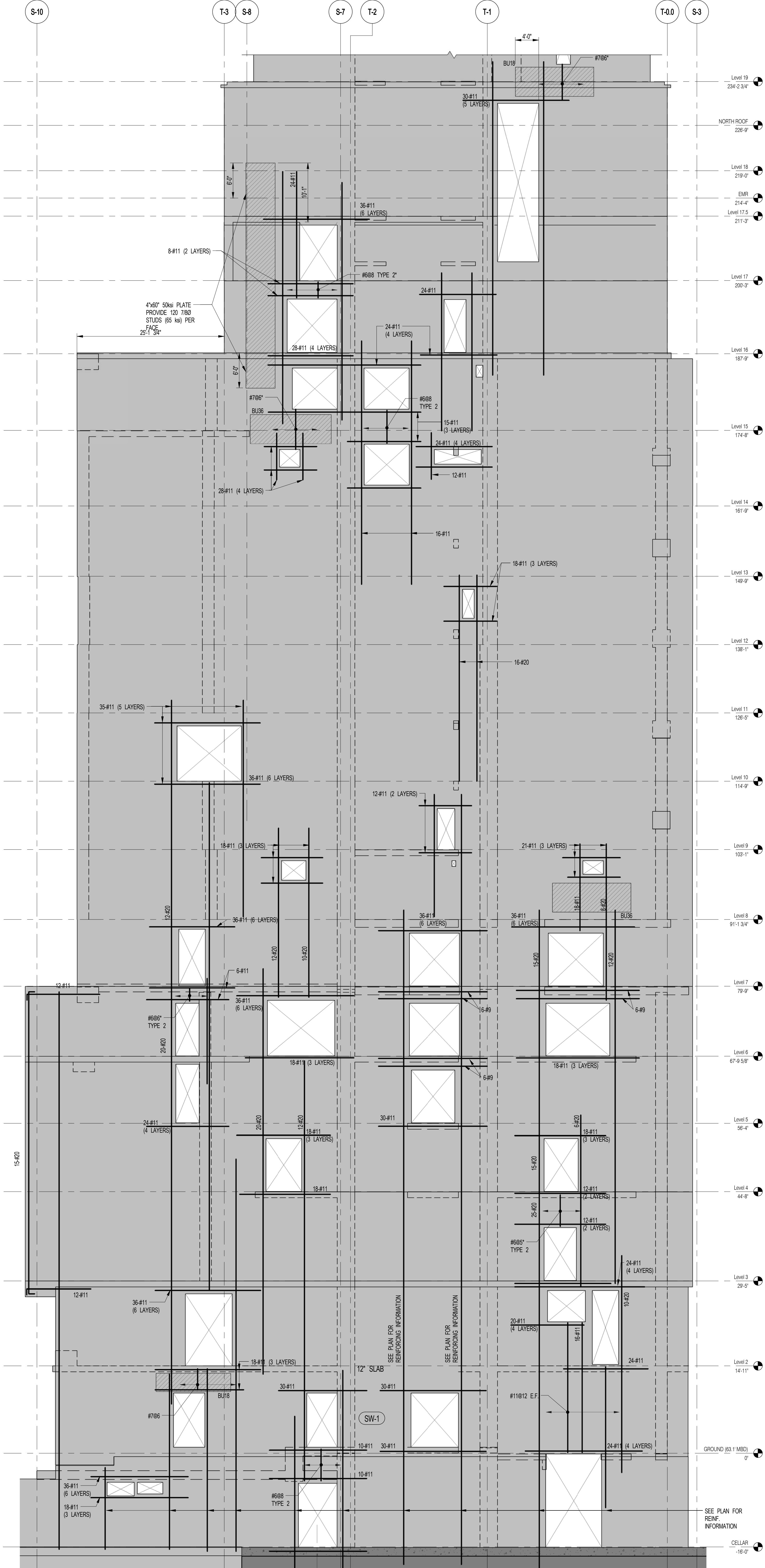
1 OUTRIGGER EAST WALL ELEVATION
SCALE: 1/8" = 1'-0"

NOTES:
1. ALL REINFORCEMENT SHOWN IN ELEVATION IS IN ADDITION TO REINFORCEMENT SHOWN ON S-940 SERIES DRAWINGS.
2. DISCONTINUES REINFORCEMENT TO REPLACE REINFORCEMENT SHOWN ON S-940 SERIES DRAWINGS.
3. FOR TYPICAL DETAILS SEE S-949.

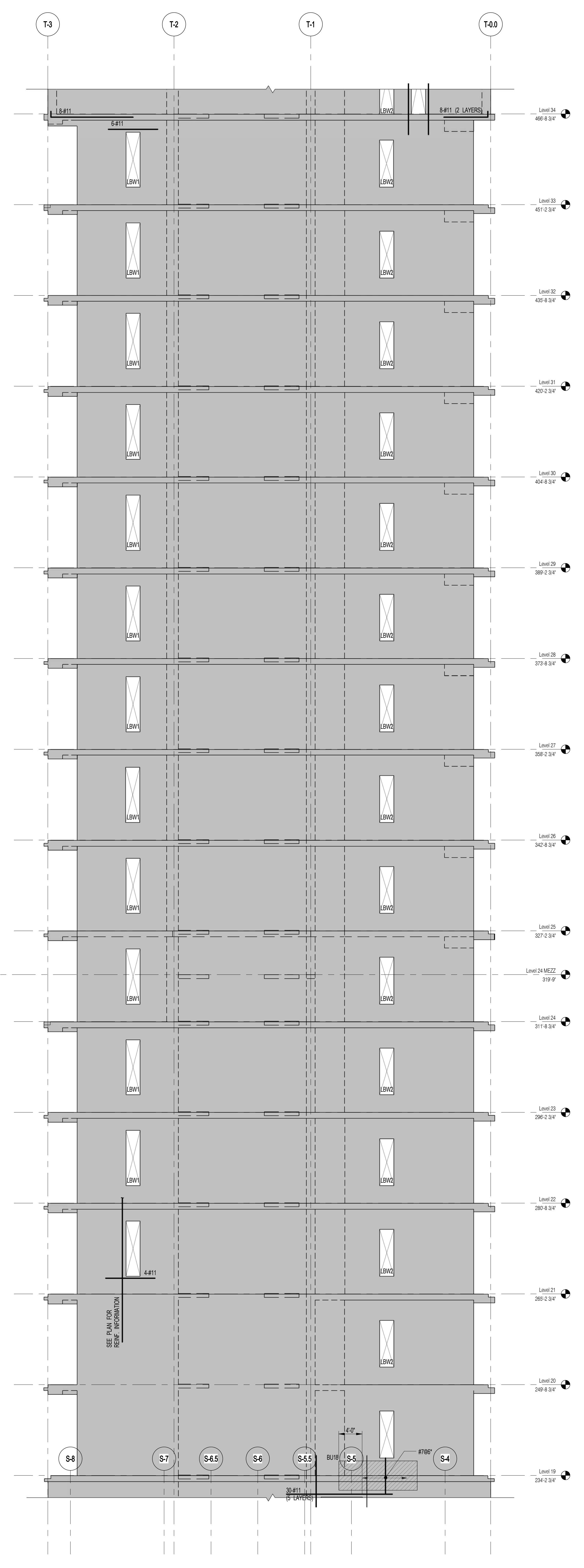


2 OUTRIGGER WEST WALL ELEVATION
SCALE: 1/8" = 1'-0"

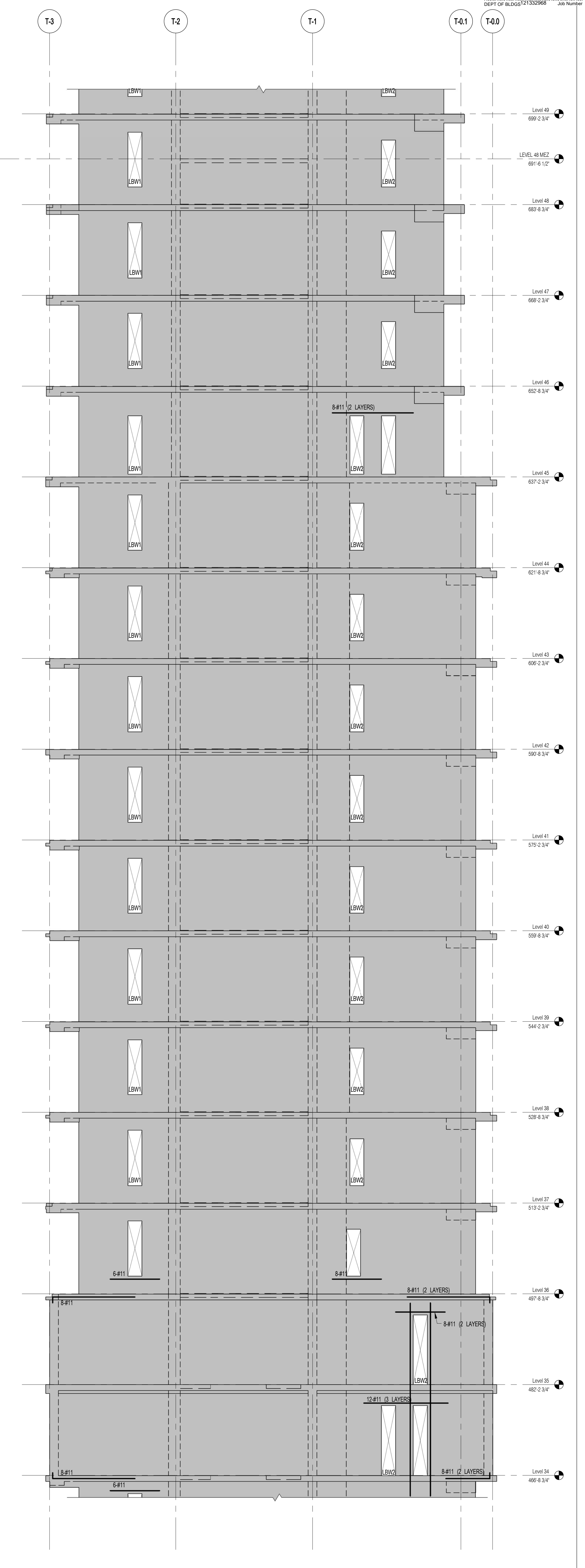




1 WEST SHEARWALL EL. ALONG GL S-E
S-500 SCALE: 1/8" = 1'-0"



2 WEST SHEARWALL EL. ALONG GL T-A
S-500 SCALE: 1/8" = 1'-0"



3 WEST SHEARWALL EL. ALONG GL T-A
S-500 SCALE: 1/8" = 1'-0"

NOTES:
1. ALL REINFORCEMENT SHOWN IN ELEVATION IS IN ADDITION TO REINFORCEMENT SHOWN ON S-90 SERIES DRAWINGS.
2. * DESIGNATES REINFORCEMENT TO REPLACE REINFORCEMENT SHOWN ON S-90 SERIES DRAWINGS.
3. FOR TYPICAL DETAILS SEE S-90

JDS DEVELOPMENT GROUP
134 WEST 57TH STREET, 8TH FLOOR
NEW YORK, NY 10019
TEL: 212.693.2000

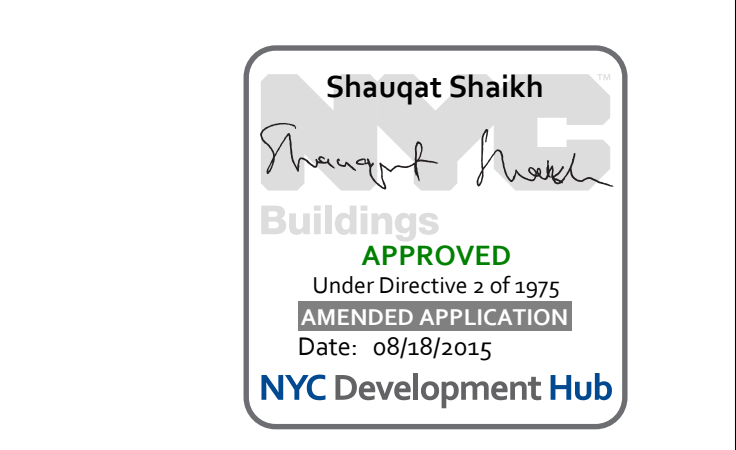


ARCHITECT	SHIP ARCHITECTS, P.C.	230 BROADWAY, 11TH FLOOR NEW YORK, NY 10007 TEL: 212.693.2000
STRUCTURAL ENGINEER	WSP CANCER BENKIN	230 WEST 45TH STREET NEW YORK, NY 10018 TEL: 212.693.2000
MEP ENGINEER	JARVIS, BALM & ROLLES	80 WEST STREET, 10TH FLOOR NEW YORK, NY 10006 TEL: 212.693.2000
CIVIL ENGINEER	AKRF ENGINEERING, P.C.	440 PARK AVE SOUTH, 7TH FLOOR NEW YORK, NY 10018 TEL: 212.693.2000
ACOUSTICS	LONGMAN LINDSEY	41 WEST 84TH STREET, 4TH FLOOR NEW YORK, NY 10024 TEL: 212.693.2000
INTERIORS	STUDIO SCHFIELD	300 WASHINGTON STREET NEW YORK, NY 10013 TEL: 212.693.2000
FAÇADE	BURD HANFORD	100 BROADWAY NEW YORK, NY 10005 TEL: 212.693.2000
VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES	175 WEST STREET, 5TH FLOOR NEW YORK, NY 10011 TEL: 212.693.2000
RESTORATION	JAN HIRSHKOPFF & ASSOCIATES	30 WEST 37TH STREET, 10TH FLOOR NEW YORK, NY 10018 TEL: 212.693.2000
GEO TECH	EMPCO	325 WEST 59TH STREET, 6TH FLOOR NEW YORK, NY 10019 TEL: 212.693.2000
LIGHTING	LOEBERPATRICE INTERNATIONAL	100 WASHINGTON STREET, 7TH FLOOR NEW YORK, NY 10013 TEL: 212.693.2000

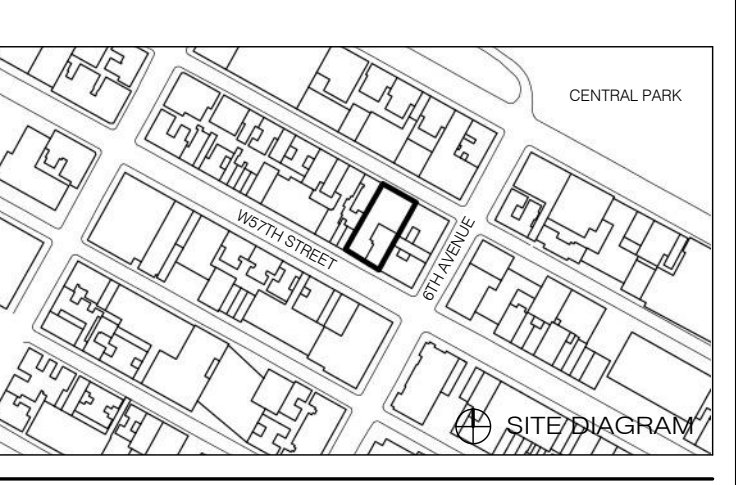


PROPERTY MARKETS GROUP
1 EAST 17TH STREET, 2ND FLOOR
NEW YORK, NY 10003
TEL: 212.693.2000

CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET



1	3/27/15	DOB PAA
	5/1/14	DOB FILING SET
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE ENGINEER OR ARCHITECT. ALL RIGHTS RESERVED.

NOT FOR CONSTRUCTION

DRAWING TITLE
WEST SHEARWALL ELEVATIONS 1

DESIGNER'S SIGNATURE	DATE	5/1/14
PROJECT NO.	1310140	
DRAWN BY	CADD	
CHECKED BY	CL	
DOB NO.		
DRAWING NUMBER		

S-930.01

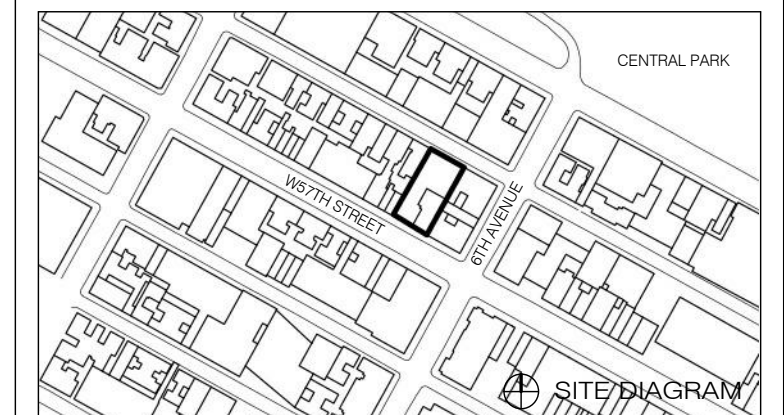
ARCHITECT		STRUCTURAL ENGINEER		MEP ENGINEER		CIVIL ENGINEER		ACOUSTICS		INTERIORS	
SNIP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10038 TEL: 212 680 0000		WSP CANCTOR BENJUK 220 EAST 43RD STREET NEW YORK, NY 10017 TEL: 212 647 0888		JARDS, BALM & ROLLES 80 FINE STREET, 10TH FLOOR NEW YORK, NY 10038 TEL: 212 200 0000		AVRF ENGINEERING, P.C. 400 PARK AVE SOUTH, 7TH FLOOR NEW YORK, NY 10014 TEL: 800 388 0000		LONGMAN LINDSEY 41 WEST 84TH STREET, 4TH FLOOR NEW YORK, NY 10024 TEL: 817 200 2000		STUDIO SCHAFFEL 300 PARKER STREET NEW YORK, NY 10003 TEL: 212 431 1000	
BURD HANFORD 90 BROADWAY NEW YORK, NY 10003 TEL: 212 264 2000		VAN DEUSEN & ASSOCIATES 170 WEST STREET, SUITE 604 UNIONDALE, NY 11553 TEL: 516 484 0000		JAN HRD POKORNY ASSOCIATES 30 WEST 37TH STREET, FLOOR 10A NEW YORK, NY 10018 TEL: 212 751 4400		GEO TECH 100 WEST 40TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 811 230 0000		LOEBERFATHER INTERNATIONAL 100 BROADWAY, 7TH FLOOR NEW YORK, NY 10002 TEL: 212 264 4400			



PROPERTY MARKETS GROUP 6 EAST 17TH STREET, 2ND FLOOR NEW YORK, NY 10003 TEL: 212 610 2000	
CURRENT ISSUE	



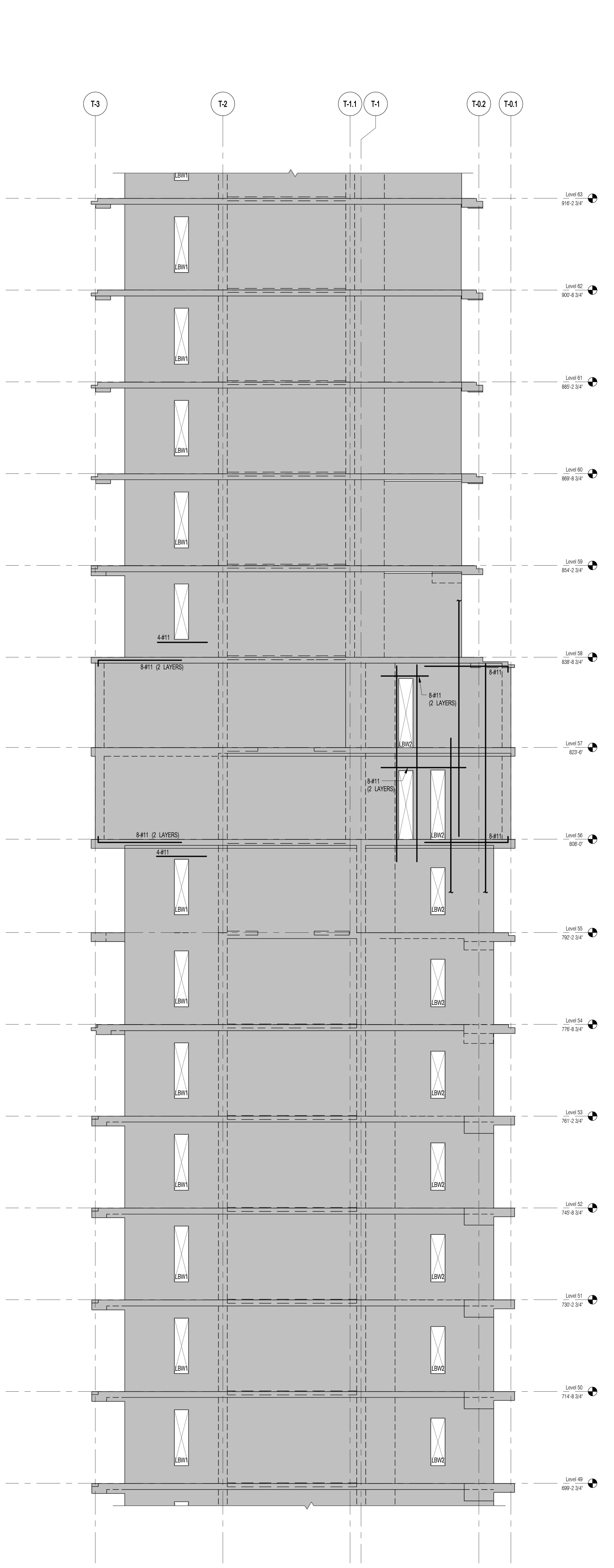
111 WEST 57TH STREET
111 WEST 57TH STREET



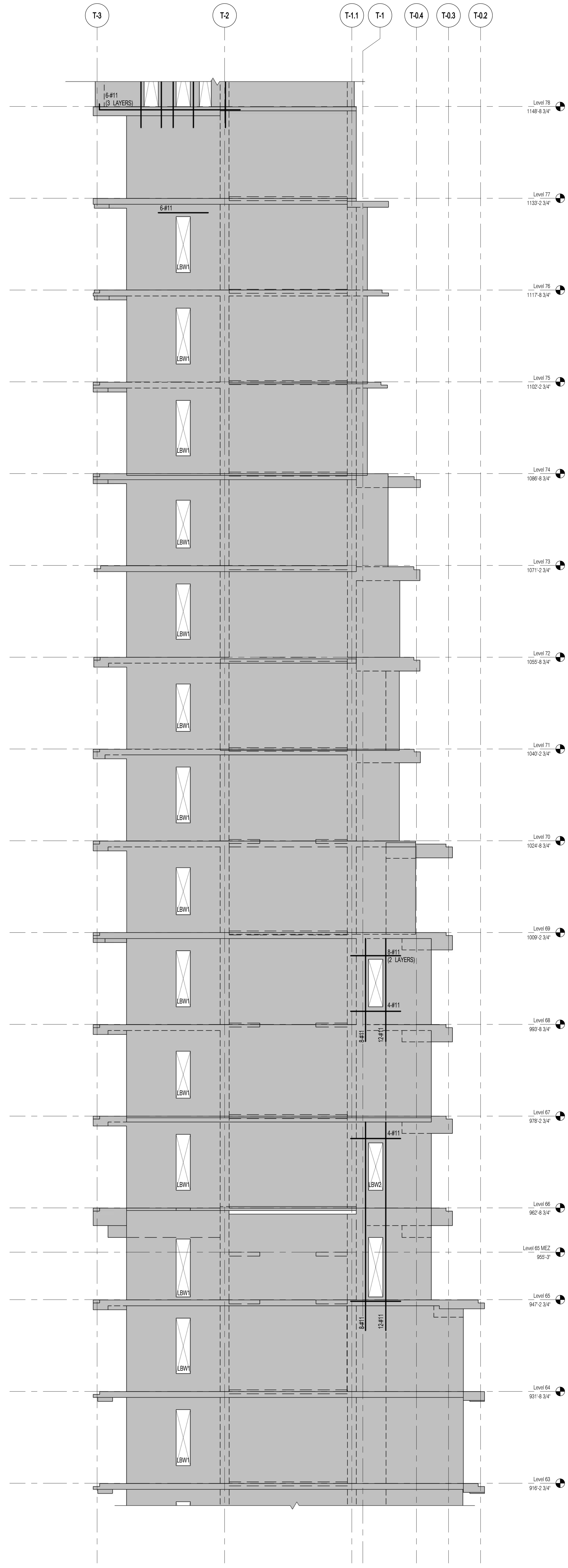
1	3/27/15	DOB PAA
	5/1/14	DOB FILING SET
NO.	DATE	REVISION

WEST SHEARWALL ELEVATIONS 2

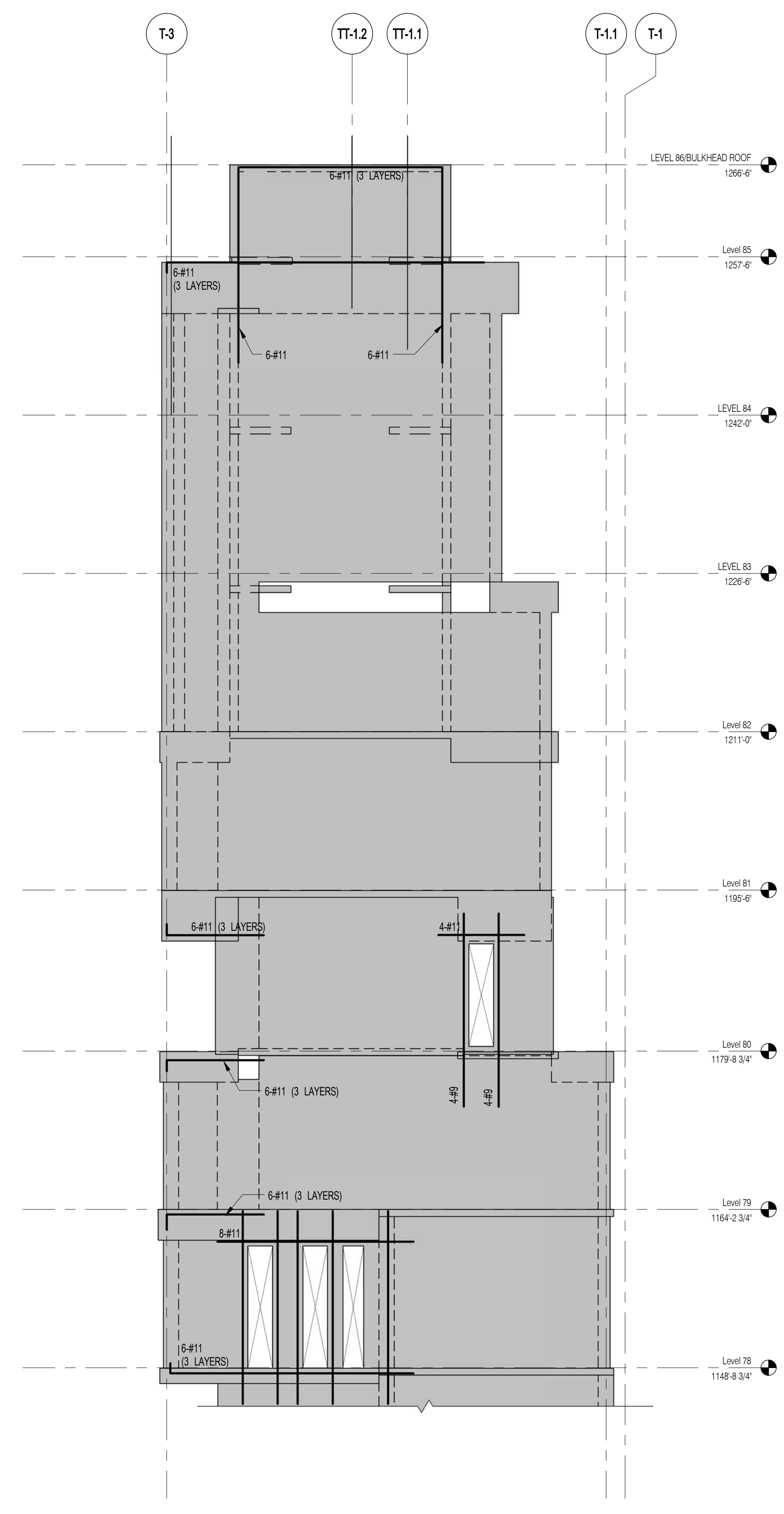
DATE	5/1/14
PROJECT NO.	1315140
DRAWN BY	CADD
CHECKED BY	CL
DOB NO.	
DRAWING NUMBER	S-931.01



1 WEST SHEARWALL EL. ALONG GL T-A
S-931 SCALE: 1/8" = 1'-0"

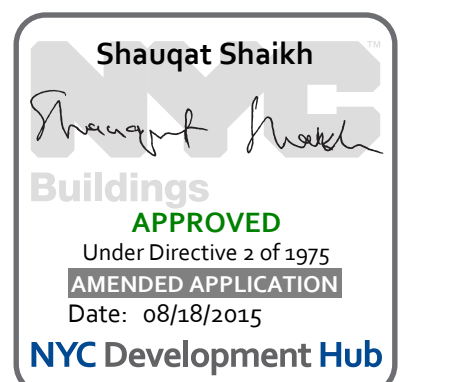


2 WEST SHEARWALL EL. ALONG GL T-A
S-931 SCALE: 1/8" = 1'-0"

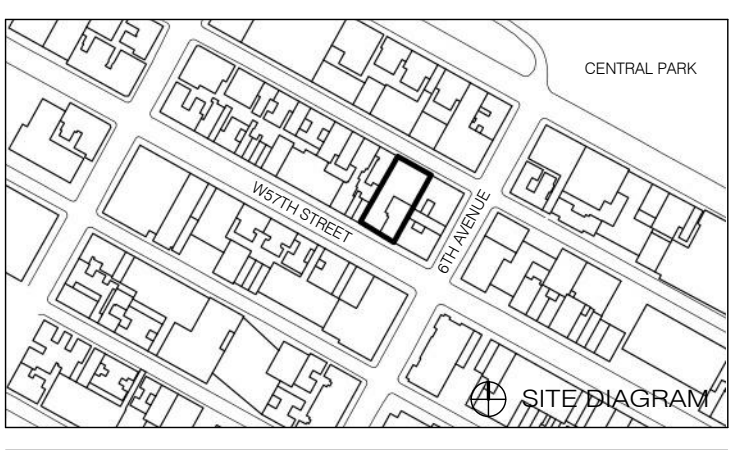


3 WEST SHEARWALL EL. ALONG GL T-A
S-931 SCALE: 1/8" = 1'-0"

NOTES
1. ALL REINFORCEMENT SHOWN IN ELEVATION IS IN ADDITION TO REINFORCEMENT SHOWN ON S-940 SERIES DRAWINGS.
2. * DESIGNATES REINFORCEMENT TO REPLACE REINFORCEMENT SHOWN ON S-940 SERIES DRAWINGS.
3. FOR TYPICAL DETAILS SEE S-940



111 WEST 57TH STREET
111 WEST 57TH STREET



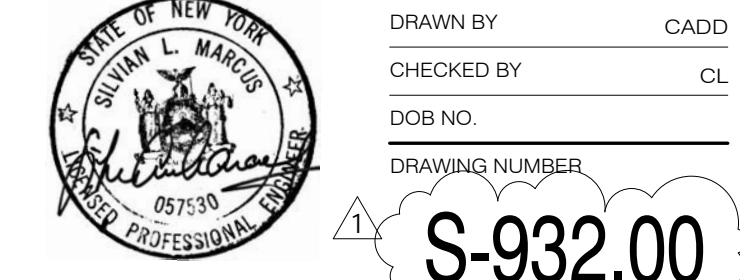
NO.	DATE	REVISION
1	3/27/15	DOB PAA

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.

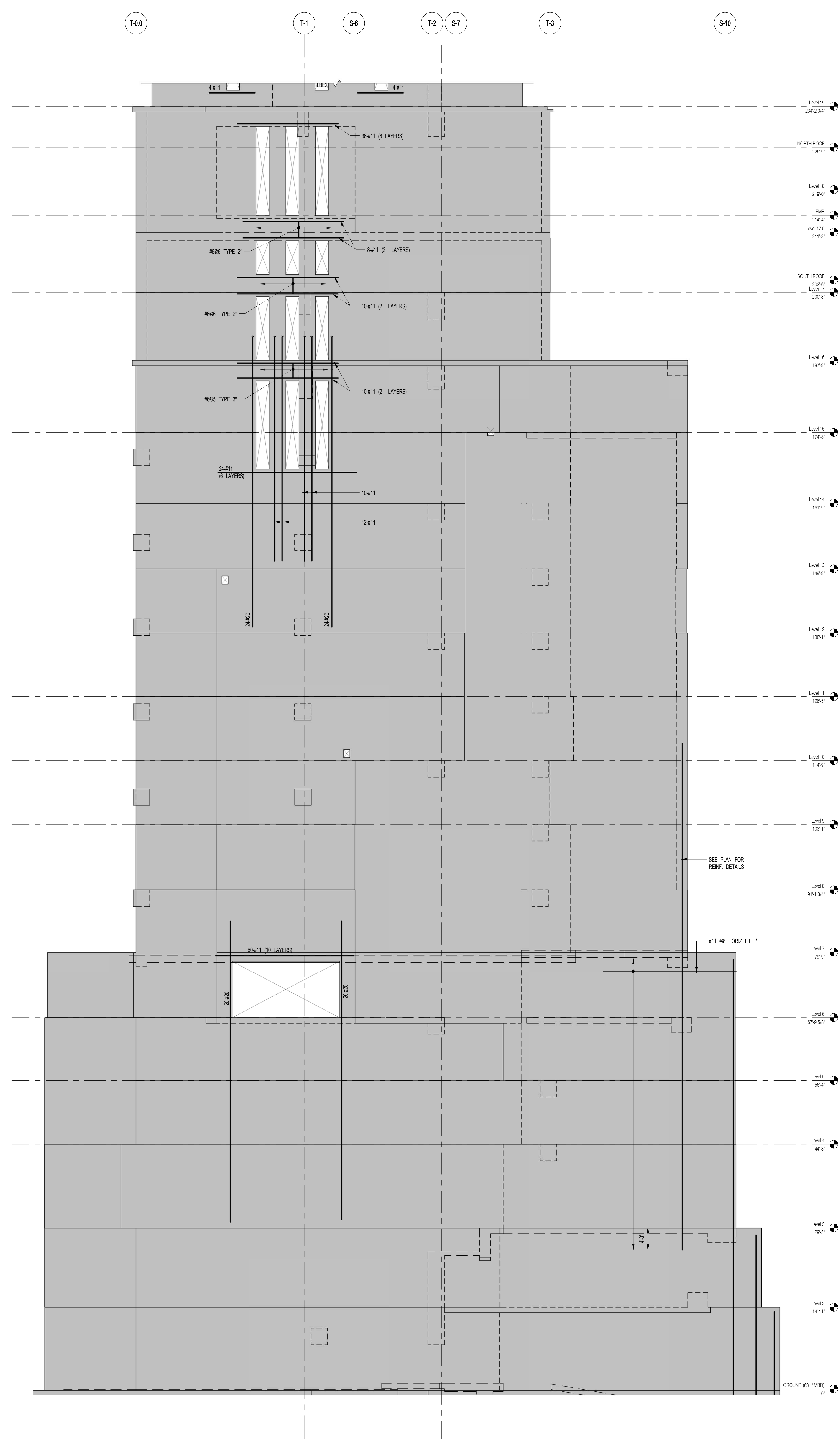
● NOT FOR CONSTRUCTION

EAST SHEARWALL ELEVATIONS
3

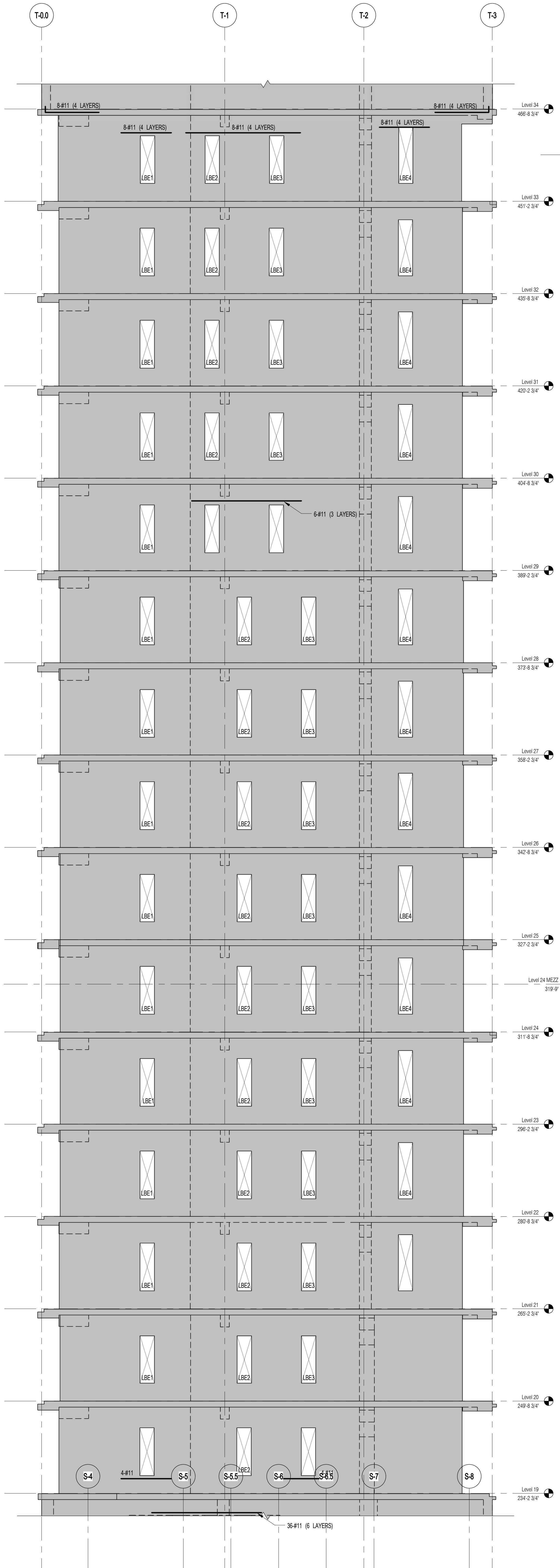
SEAL & SIGNATURE	DATE
PROJECT NO. 1310140	3/27/15
DRAWN BY	CADD
CHECKED BY	CL
DOB NO.	
DRAWING NUMBER	



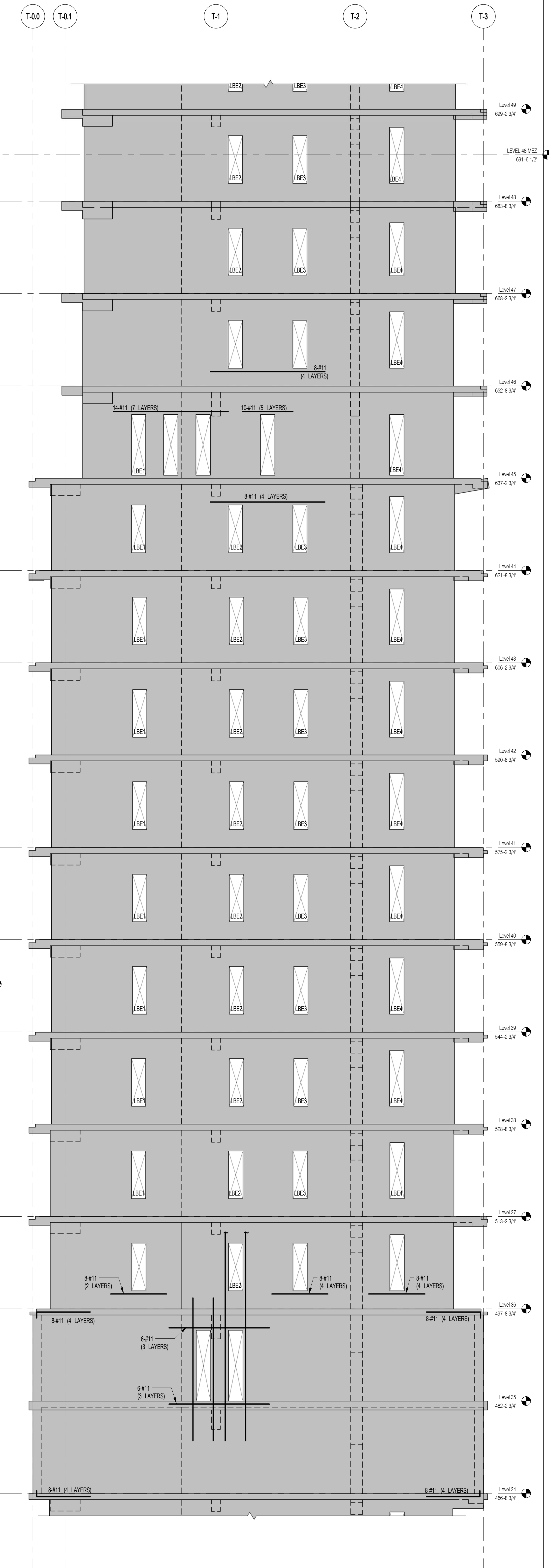
S-932.00



1 EAST SHEARWALL EL. ALONG GL S-H
SCALE: 1/8" = 1'-0"



2 EAST SHEARWALL EL. ALONG GL T-D
SCALE: 1/8" = 1'-0"



3 EAST SHEARWALL EL. ALONG GL T-D
SCALE: 1/8" = 1'-0"

NOTES:
1. ALL REINFORCEMENT SHOWN IN ELEVATION IS IN ADDITION TO REINFORCEMENT SHOWN ON S-940 SERIES DRAWINGS.
2. DESIGNATED REINFORCEMENT TO REPLACE REINFORCEMENT SHOWN ON S-940 SERIES DRAWINGS.
3. FOR TYPICAL DETAILS SEE S-948.



111 WEST 57TH STREET
111 WEST 57TH STREET



Table with 3 columns: NO., DATE, REVISION. Row 1: 1, 3/27/15, DOB PAA.

NOT FOR CONSTRUCTION

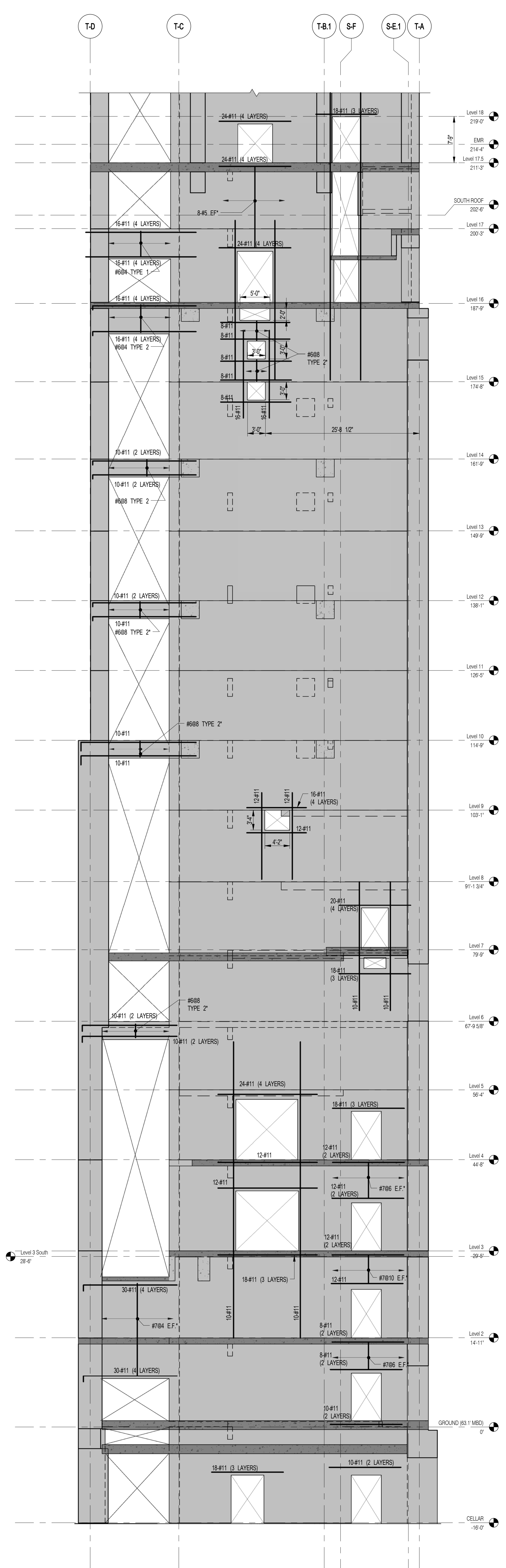
NORTH SHEARWALL ELEVATIONS 5

Table with 2 columns: SEAL & SIGNATURE, DATE. Row 1: [Signature], 3/27/15.

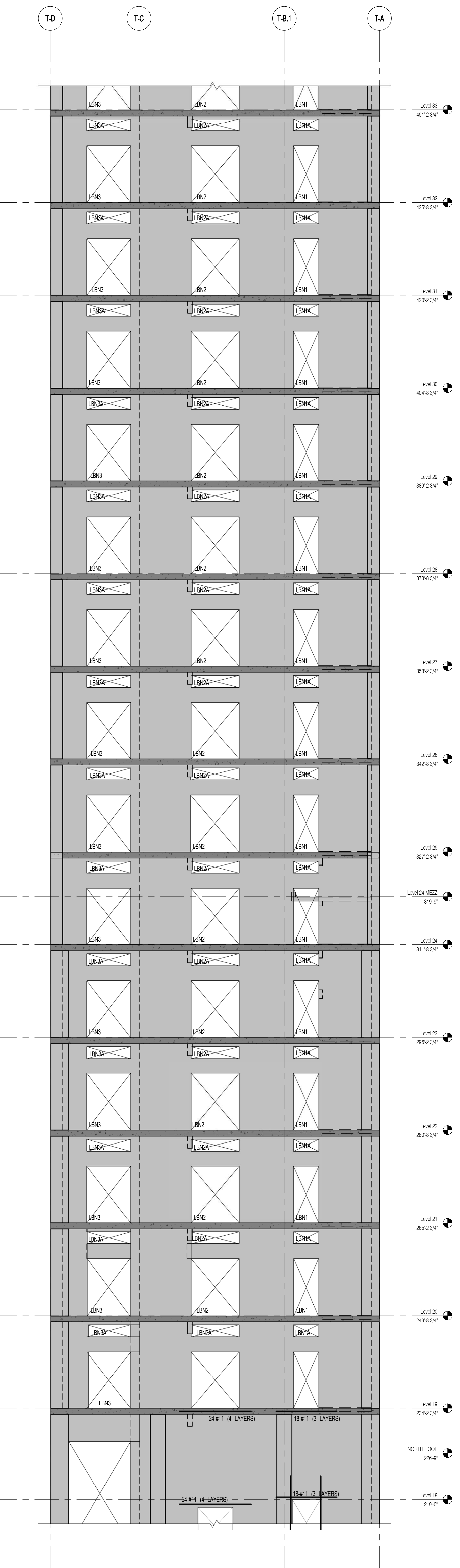
Table with 2 columns: PROJECT NO., DRAWN BY, CHECKED BY, DATE. Row 1: 1310140, [Name], [Name], 03/27/15.



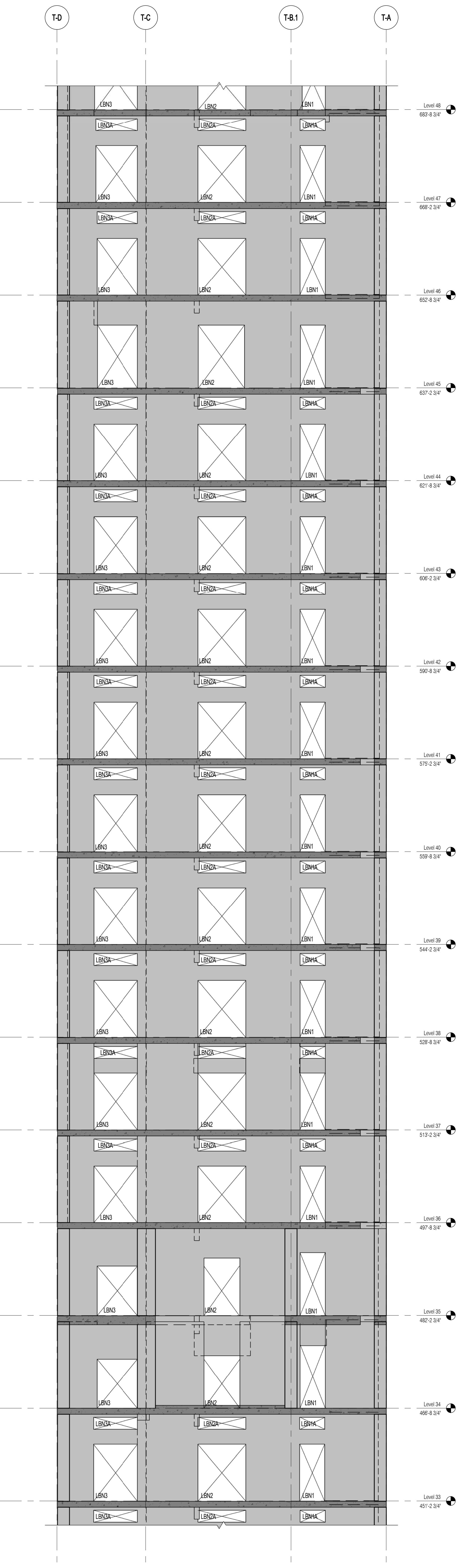
S-934.00



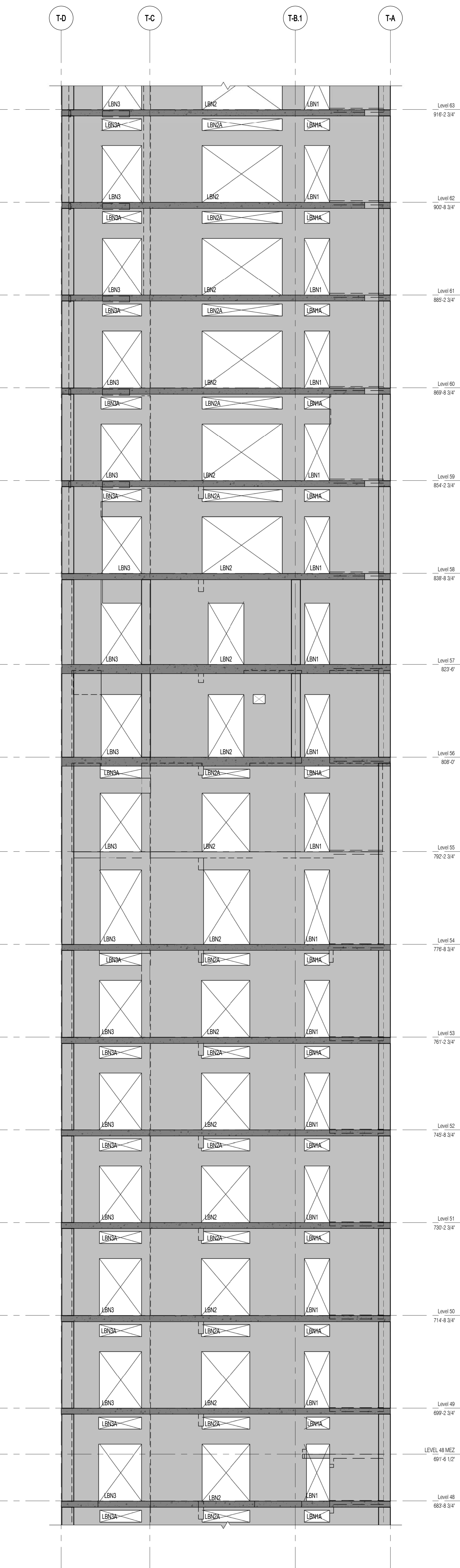
1 NORTH SHEARWALL EL. ALONG GL S-7
S-934 SCALE: 1/8" = 1'-0"



2 NORTH SHEARWALL EL. ALONG GL T-2
S-934 SCALE: 1/8" = 1'-0"

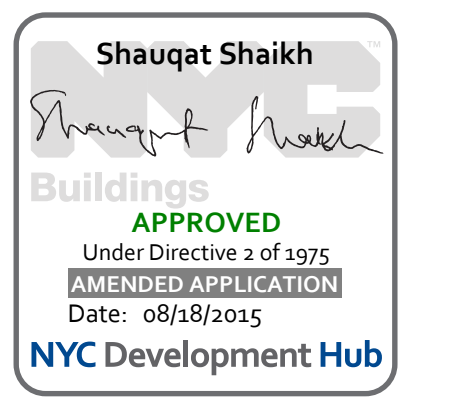


3 NORTH SHEARWALL EL. ALONG GL T-2
S-934 SCALE: 1/8" = 1'-0"

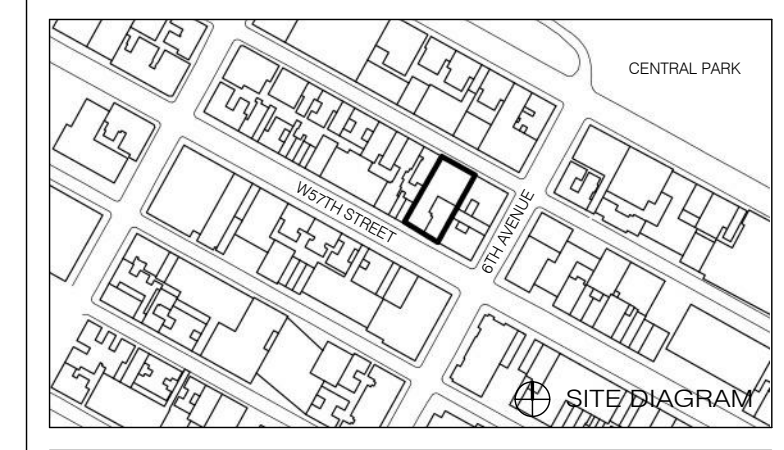


4 NORTH SHEARWALL EL. ALONG GL T-2
S-934 SCALE: 1/8" = 1'-0"

NOTES:
1. ALL REINFORCEMENT SHOWN IN ELEVATION IS IN ADDITION TO REINFORCEMENT SHOWN ON S-940 SERIES DRAWINGS.
2. * DESIGNATES REINFORCEMENT TO REPLACE REINFORCEMENT SHOWN ON S-940 SERIES DRAWINGS.
3. FOR TYPICAL DETAILS SEE S-940.



111 WEST 57TH STREET
111 WEST 57TH STREET



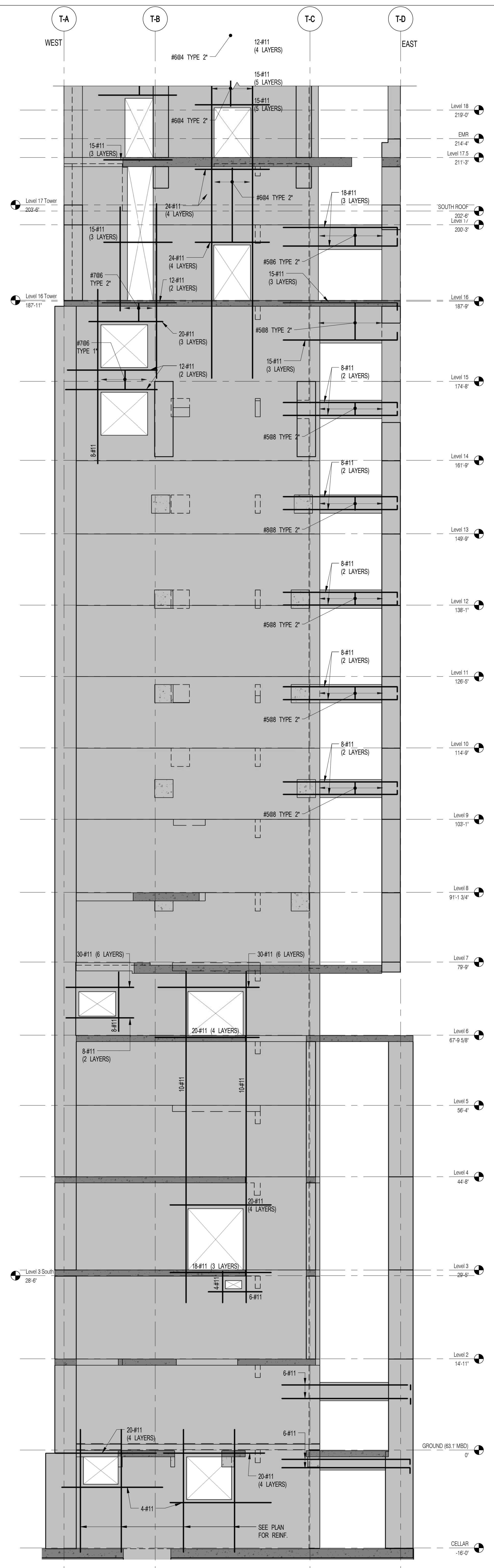
NO.	DATE	REVISION
1	3/27/15	DCB P&A

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SH&P ARCHITECTS P.C. ALL RIGHTS RESERVED.

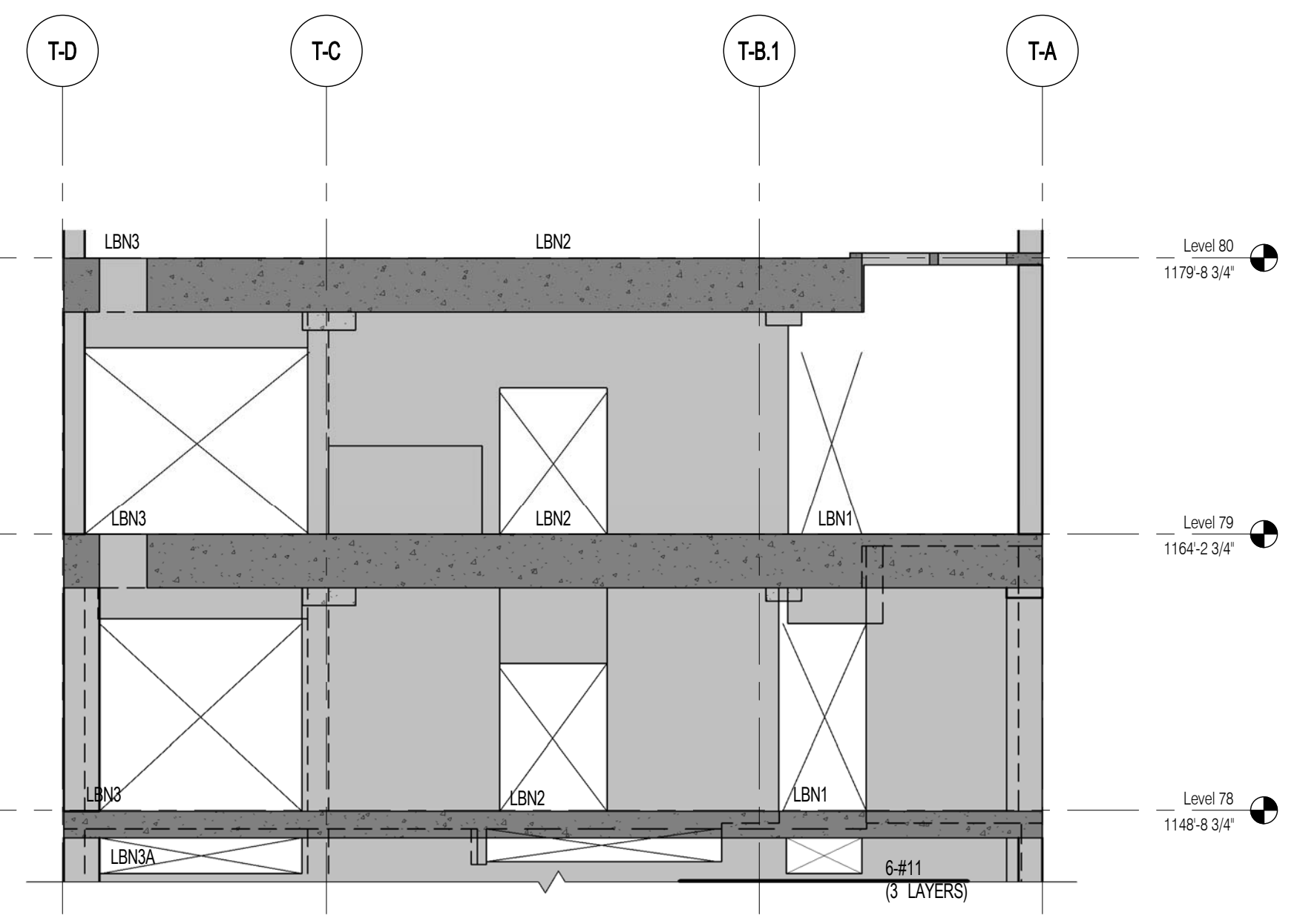
● NOT FOR CONSTRUCTION

SOUTH SHEARWALL ELEVATIONS 6

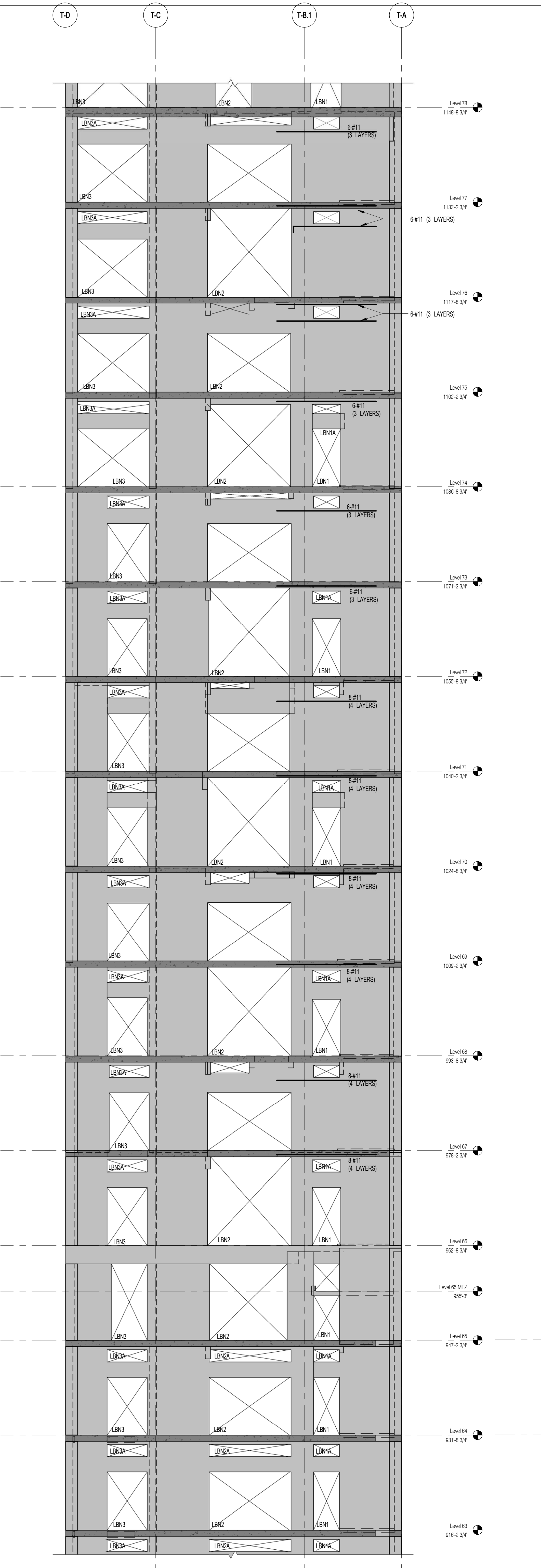
SEAL & SIGNATURE	DATE	3/27/15
PROJECT NO.	1310140	
DRAWN BY	CADD	
CHECKED BY	CL	
DCB NO.	09157	
DRAWING NUMBER	S-935.00	



3 SOUTH SHEARWALL EL. ALONG GL S-5.5
S-935 SCALE: 1/8" = 1'-0"

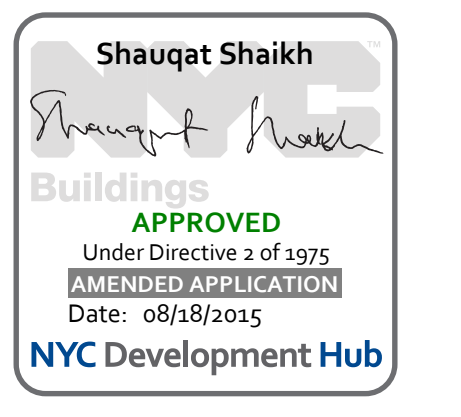


2 NORTH SHEARWALL EL. ALONG GL T-2
S-935 SCALE: 1/8" = 1'-0"

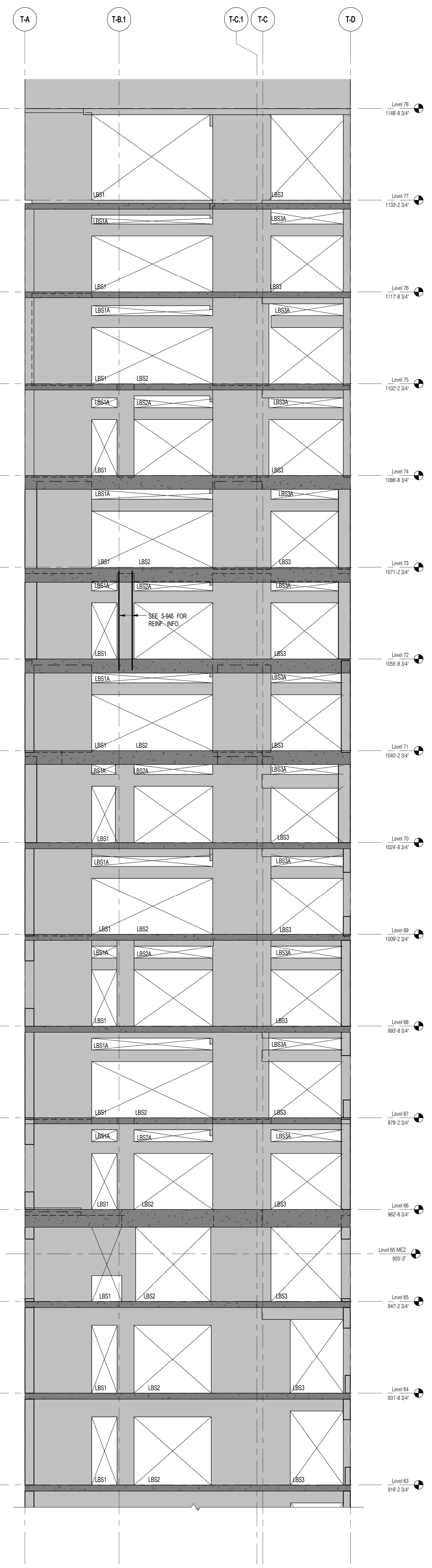
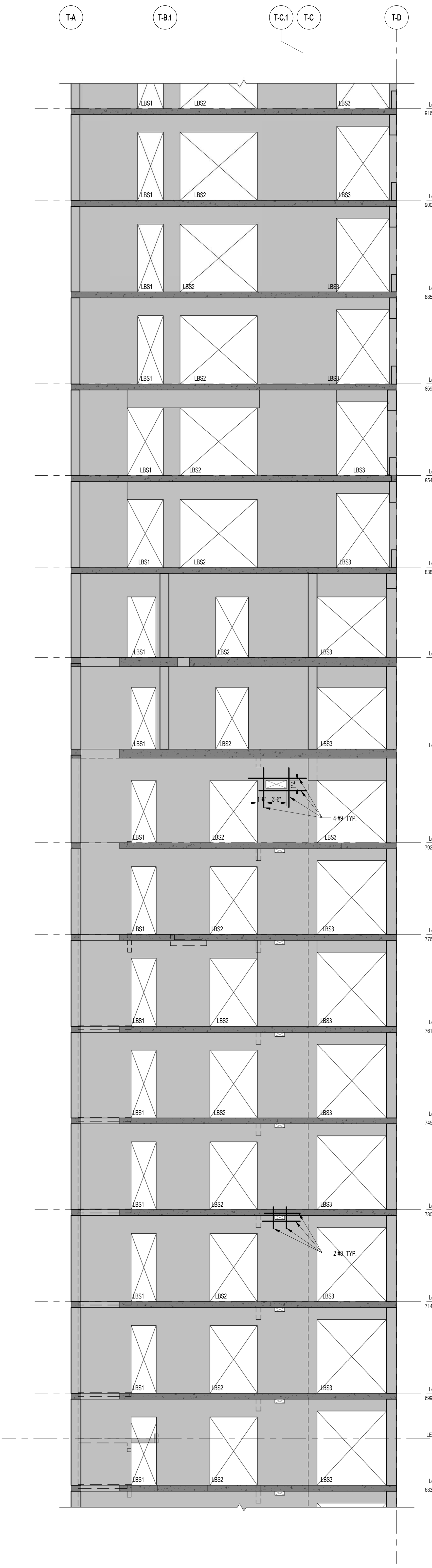
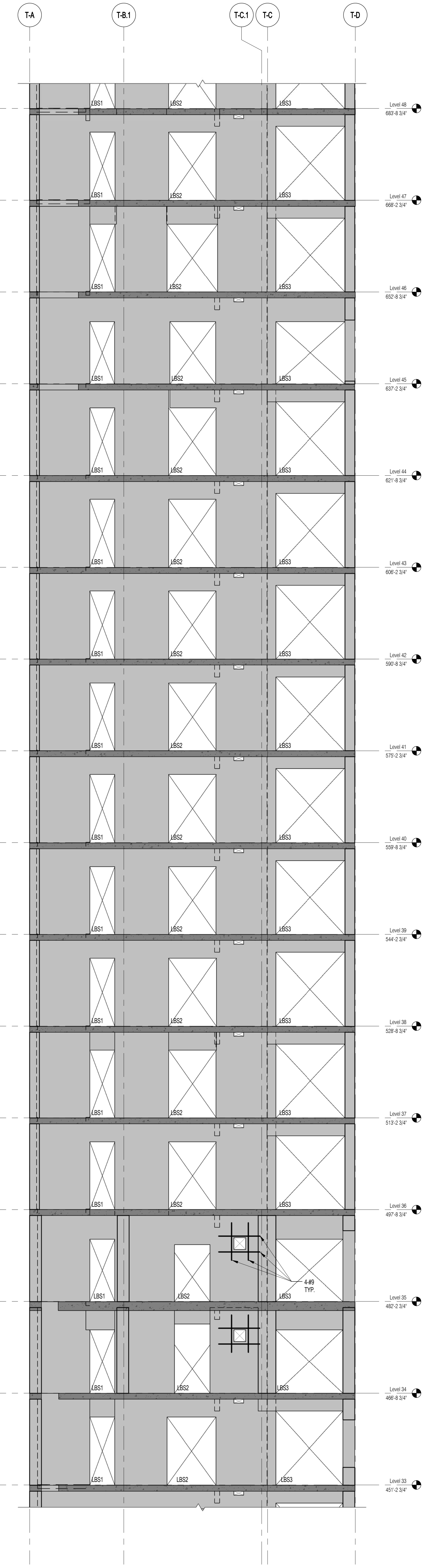
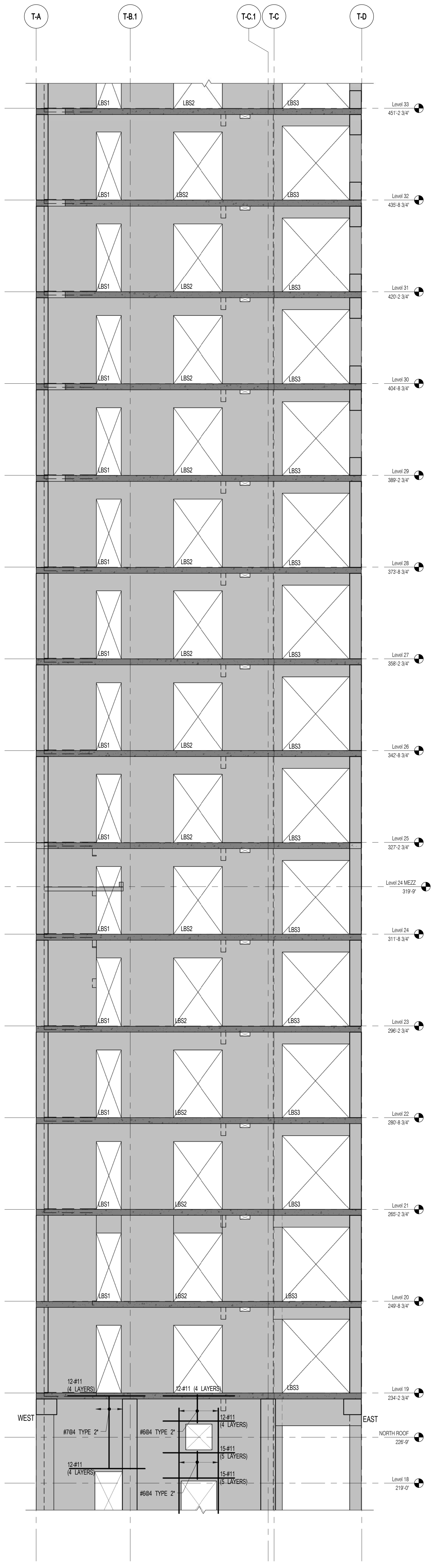
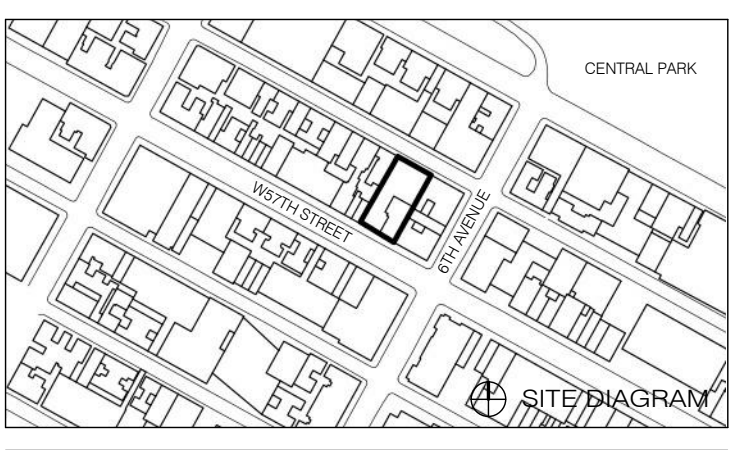


1 NORTH SHEARWALL EL. ALONG GL T-2
S-935 SCALE: 1/8" = 1'-0"

NOTES
1. ALL REINFORCEMENT SHOWN IN ELEVATION IS IN ADDITION TO REINFORCEMENT SHOWN ON S940 SERIES DRAWINGS.
2. * DESIGNATES REINFORCEMENT TO REPLACE REINFORCEMENT SHOWN ON S940 SERIES DRAWINGS.
3. FOR TYPICAL DETAILS SEE S-940.



111 WEST 57TH STREET
111 WEST 57TH STREET



1 SOUTH SHEARWALL EL. ALONG GL T-1
S-936 SCALE: 1/8" = 1'-0"

2 SOUTH SHEARWALL EL. ALONG GL T-1
S-936 SCALE: 1/8" = 1'-0"

3 SOUTH SHEARWALL EL. ALONG GL T-1
S-936 SCALE: 1/8" = 1'-0"

4 SOUTH SHEARWALL EL. ALONG GL T-1
S-936 SCALE: 1/8" = 1'-0"

NOTES:
1. ALL REINFORCEMENT SHOWN IN ELEVATION IS IN ADDITION TO REINFORCEMENT SHOWN ON S-940 SERIES DRAWINGS.
2. * DESIGNATES REINFORCEMENT TO REPLACE REINFORCEMENT SHOWN ON S-940 SERIES DRAWINGS.
3. FOR TYPICAL DETAILS SEE S-940.

NO.	DATE	REVISION
1	3/27/15	DOB PAA

SOUTH SHEARWALL ELEVATIONS 7

SEAL & SIGNATURE DATE 3/27/15
PROJECT NO. 1310140
DRAWN BY CADD
CHECKED BY CL
DOB NO.
DRAWING NUMBER 8520485378
S-936.00

ARCHITECT	SHAP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10005 NY 212 689 9300	FAÇADE	SHAP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10005 NY 212 689 9300
STRUCTURAL ENGINEER	YUSEF GANTON BERBERK 230 EAST 43RD STREET NEW YORK, NY 10017 NY 212 697 2886	MEP ENGINEER	JANIS BALK & BOLLER 80 WING STREET, 12TH FLOOR LAWRENCE, NJ 07044 NJ 908 989 9300
MEP ENGINEER	JANIS BALK & BOLLER 80 WING STREET, 12TH FLOOR LAWRENCE, NJ 07044 NJ 908 989 9300	VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 100 WEST STREET, SUITE 204 LAWRENCE, NJ 07044 NJ 908 989 9300
CIVIL ENGINEER	ANIR ENGINEERING, P.C. 40 FIFTH AVE, 20TH FLOOR NEW YORK, NY 10018 NY 212 269 8828	RESTORATION	JAN HIRSH FOKORNY ASSOCIATES 40 WEST 57TH STREET, 11TH FLOOR, 10A NEW YORK, NY 10019 NY 212 269 8828
ACOUSTICIAN	LONGMAN LINDSEY 40 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 NY 917 268 8900	GEOTECH	MTICE 205 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 NY 917 268 8900
INTERIORS	STUDIO JENSEN 30 WALKER STREET NEW YORK, NY 10013 NY 212 475 1300	LIGHTING	CONSERVATORIE INTERNATIONAL 105 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10013 NY 212 255 4463



PROPERTY MARKETS GROUP
100 WEST 57TH STREET, 10TH FLOOR
NEW YORK, NY 10019
NY 212 699 9900
CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET



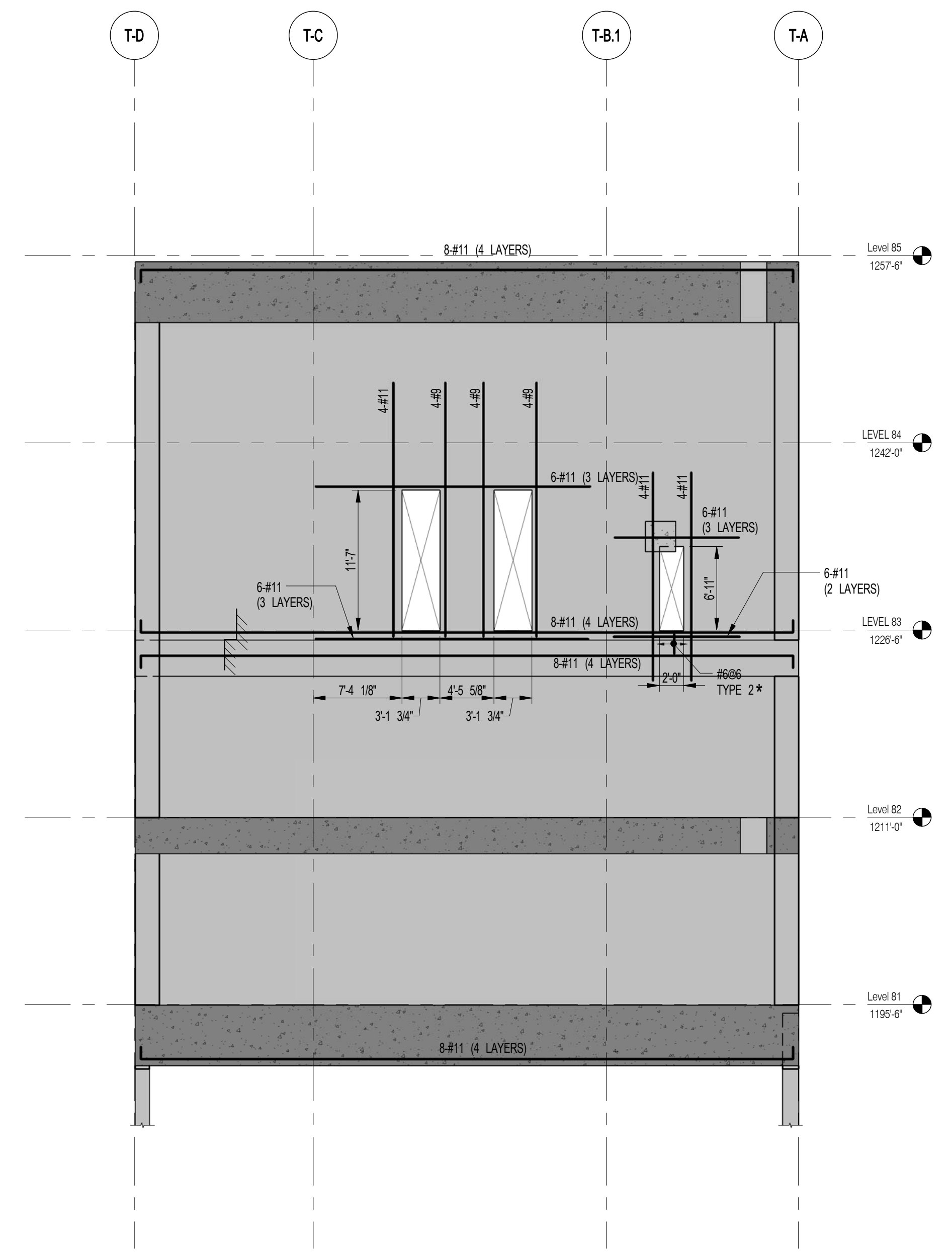
1	3/27/15	DOB PRA
NO.	DATE	REVISION

● NOT FOR CONSTRUCTION

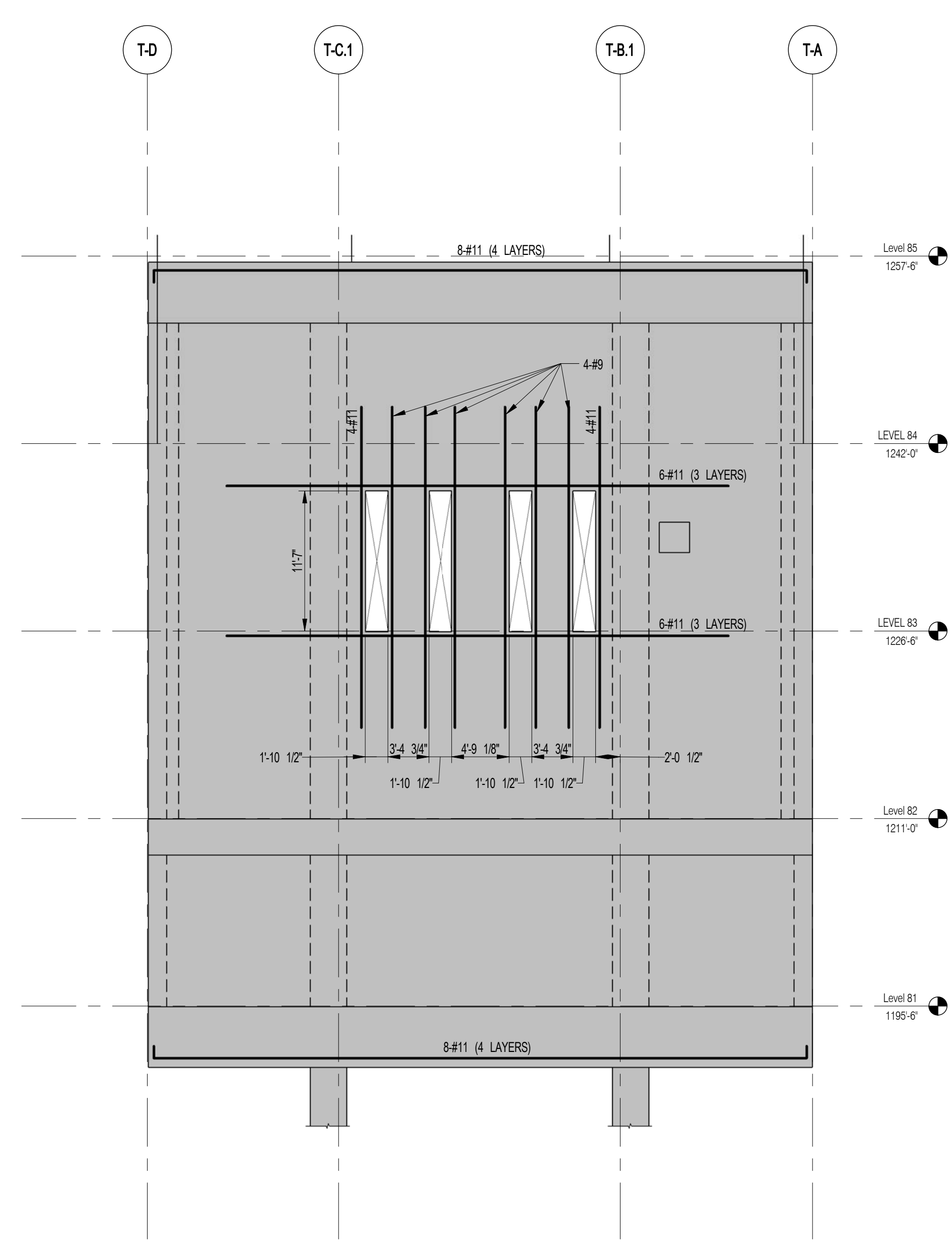
DRAWING TITLE

SHEARWALL ELEVATIONS 8

SEAL & SIGNATURE	DATE	3/27/15
	PROJECT NO.	1310140
	DRAWN BY	CADD
	CHECKED BY	CL
	DOB NO.	
	DRAWING NUMBER	S-937.00



1 SOUTH OUTRIGGER EL. ALONG GL T-1.1
SCALE: 1/8" = 1'-0"



2 NORTH OUTRIGGER EL. ALONG GL T-1.1
SCALE: 1/8" = 1'-0"

- NOTES**
- ALL REINFORCEMENT SHOWN IN ELEVATION IS IN ADDITION TO REINFORCEMENT SHOWN ON S-940 SERIES DRAWINGS.
 - * DESIGNATES REINFORCEMENT TO REPLACE REINFORCEMENT SHOWN ON S-940 SERIES DRAWINGS.
 - FOR TYPICAL DETAILS SEE S-940.

LINKBEAM LABEL	FLOOR	SIZE (IN.)	TOP REINF. (CONT.)	BOTT. REINF. (CONT.)	STIRRUP			LONGITUDINAL SKIN REINF.	REMARKS	EMBEDDED STEEL SECTION
					SIZE	TYPE	SPACING			
LBN1	79	18 X 60	6 # 11	####	# 6	1	6"O/C	#4@ 8@ E. F.	2 Layers	
	78	18 X 18	4 # 11	####	# 6	1	7"O/C			
	74	18 X 18	3 # 11	####	# 6	2	7"O/C			
	72	18 X 18	4 # 11	####	# 6	2	7"O/C			
	70	18 X 18	3 # 11	####	# 6	2	7"O/C			
	68	18 X 18	3 # 11	####	# 6	2	7"O/C			
	66	18 X 36	3 # 11	####	# 4	1	6"O/C			
	65	18 X 18	4 # 11	####	# 5	1	5"O/C			
	64	18 X 18	4 # 11	####	# 5	1	5"O/C			
	63	18 X 18	4 # 11	####	# 4	2	6"O/C			
	62 - 61	18 X 18	4 # 11	####	# 5	1	3"O/C			
	60	18 X 18	6 # 11	####	# 5	1	3"O/C			
	59	18 X 18	6 # 11	####	# 5	1	3"O/C		2 Layers	
	58	18 X 60	8 # 11	####	# 5	2	6"O/C	#4@ 8@ E. F.	2 Layers	
	57	18 X 60	8 # 11	####	# 5	2	4"O/C	#4@ 8@ E. F.	2 Layers	
	56	18 X 18	4 # 11	####	# 6	2	3"O/C			
	55	18 X 36	6 # 11	####	# 5	2	4"O/C			
	54	18 X 18	4 # 11	####	# 6	2	3"O/C			
	53 - 52	18 X 18	4 # 11	####	# 5	1	5"O/C			
	51 - 48	18 X 18	4 # 11	####	# 5	1	3"O/C			
	47	18 X 18	4 # 11	####	# 5	1	5"O/C			
	46	18 X 60	8 # 11	####	# 5	1	5"O/C	#4@ 8@ E. F.	2 Layers	
	45	24 X 18	6 # 11	####	# 6	2	7"O/C			
	44 - 40	24 X 18	6 # 11	####	# 5	1	4"O/C	#4@ 8@ E. F.		
	39	24 X 18	6 # 11	####	# 6	1	5"O/C			
	38 - 37	24 X 18	6 # 11	####	# 5	1	4"O/C			
	36	24 X 60	12 # 11	####	# 6	2	4"O/C		2 Layers	
	35	24 X 60	4 # 11	####	# 4	1	6"O/C			BUILT UP SECTION BU28
	34	24 X 18	6 # 11	####	# 4	1	5"O/C			
	33	24 X 18	6 # 11	####	# 5	1	4"O/C			
	32 - 31	24 X 18	8 # 10	####	# 6	1	3"O/C			
	30	24 X 18	8 # 10	####	# 6	1	3"O/C	#5@ 8@ E. F.		
	29	24 X 18	8 # 10	####	# 6	1	3"O/C			
	28	24 X 18	8 # 10	####	# 6	2	3"O/C			
	27 - 23	24 X 18	8 # 10	####	# 6	1	3"O/C			
	22	24 X 18	8 # 10	####	# 6	2	3"O/C			
	21	30 X 18	8 # 10	####	# 6	1	3"O/C			
	20	30 X 18	8 # 10	####	# 5	1	4"O/C			
LBN1A	75	18 X 30	4 # 11	####	# 6	2	10" O/C			
	73	18 X 30	3 # 11	####	# 6	1	10" O/C		2 Layers	
	71	18 X 30	3 # 11	####	# 6	1	10" O/C		2 Layers	
	69	18 X 30	3 # 11	####	# 6	1	10" O/C		2 Layers	
	67	18 X 30	6 # 11	####	# 6	1	10" O/C		2 Layers	
	65 - 64	18 X 30	6 # 11	####	# 6	1	5"O/C		2 Layers	
	63	18 X 30	6 # 11	####	# 6	1	5"O/C		2 Layers	
	62 - 61	18 X 30	8 # 11	####	# 6	1	4"O/C		2 Layers	
	60 - 59	18 X 30	6 # 11	####	# 6	1	4"O/C		2 Layers	
	56	18 X 30	6 # 11	####	# 5	2	5"O/C			
	54 - 53	18 X 30	4 # 11	####	# 4	1	9"O/C			BUILT UP SECTION BU32
	52	18 X 30	4 # 11	####	# 4	1	9"O/C			
	51 - 48	18 X 30	4 # 11	####	# 4	1	9"O/C			BUILT UP SECTION BU32
	47	18 X 30	8 # 11	####	# 6	2	6"O/C		2 Layers	
	45 - 43	24 X 30	8 # 11	####	# 6	2	5"O/C		2 Layers	
	42	24 X 30	4 # 11	####	# 4	1	9"O/C			BUILT UP SECTION BU28
	41 - 40	24 X 30	4 # 11	####	# 4	1	9"O/C			BUILT UP SECTION BU28
	39	24 X 30	4 # 11	####	# 4	1	9"O/C			BUILT UP SECTION BU28
	38	24 X 30	8 # 11	####	# 6	2	4"O/C		2 Layers	
	37	24 X 30	8 # 11	####	# 6	1	4"O/C		2 Layers	
	34	24 X 30	8 # 11	####	# 6	2	5"O/C		2 Layers	
	33 - 29	24 X 30	4 # 11	####	# 4	1	9"O/C			BUILT UP SECTION BU29
	28 - 22	24 X 30	4 # 11	####	# 4	1	9"O/C			BUILT UP SECTION BU28
	21	30 X 30	10 # 11	####	# 6	2	4"O/C		2 Layers	
	20	30 X 30	10 # 11	####	# 6	2	6"O/C		2 Layers	

LINKBEAM LABEL	FLOOR	SIZE (IN.)	TOP REINF. (CONT.)	BOTT. REINF. (CONT.)	STIRRUP			LONGITUDINAL SKIN REINF.	REMARKS	EMBEDDED STEEL SECTION
					SIZE	TYPE	SPACING			
LBN2	80	18 X 87	8 # 11	####	# 4	1	6"O/C		2 Layers	
	79	18 X 87	12 # 11	####	# 5	1	4"O/C	#5@ 8@ E. F.	3 Layers	
	78	18 X 38	8 # 11	####	# 4	1	4"O/C	#5@ 8@ E. F.	2 Layers	
	76	18 X 38/71	2 # 11	####	# 6	1	5"O/C	#4@ 8@ E. F.	3 Layers	
	75	18X24	6 # 11	####	# 4	1	4"O/C		2 Layers	
	74	18 X 48	8 # 11	####	# 4	1	6"O/C	#4@ 8@ E. F.	2 Layers	BUILT UP SECTION BU39
	72	18 X 48/71	8 # 11	####	# 4	1	6"O/C	#4@ 8@ E. F.	2 Layers	BUILT UP SECTION BU39
	70	18 X 38/71	6 # 11	####	# 6	1	4"O/C	#4@ 8@ E. F.	4 Layers	
	68	18 X 38/71	6 # 11	####	# 6	2	7"O/C	#4@ 8@ E. F.	4 Layers	
	66	18X 36	16 # 11	####	# 6	2	7"O/C		4 Layers	
	65	18 X 18	6 # 11	####	# 4	1	5"O/C		2 Layers	
	64 - 63	18 X 18	6 # 11	####	# 4	1	5"O/C		2 Layers	
	62 - 59	18 X 18	6 # 11	####	# 4	1	6"O/C		2 Layers	
	58	18 X 60	6 # 11	####	# 4	1	6"O/C		2 Layers	BUILT UP SECTION BU30
	57	18 X 60	6 # 11	####	# 4	1	6"O/C		2 Layers	BUILT UP SECTION BU30
	56	18 X 18	6 # 11	####	# 5	1	3"O/C		2 Layers	
	55	18 X 36	4 # 11	####	# 4	1	10" O/C			BUILT UP SECTION BU6
	54 - 52	18 X 18	6 # 11	####	# 4	1	3"O/C		2 Layers	
	51 - 49	18 X 18	6 # 11	####	# 5	1	4"O/C		2 Layers	
	48	18 X 18	6 # 11	####	# 5	1	5"O/C		2 Layers	
	47	18 X 18	6 # 11	####	# 4	1	3"O/C		2 Layers	
	46	18 X 60	6 # 11	####	# 4	1	6"O/C		2 Layers	BUILT UP SECTION BU30
	45	24 X 18	8 # 11	####	# 5	1	4"O/C		2 Layers	
	44	24X 18	8 # 11	####	# 5	1	4"O/C	#4@ 8@ E. F.	2 Layers	
	43 - 39	24 X 18	8 # 11	####	# 5	1	4"O/C		2 Layers	
	38	24 X 18	6 # 11	####	# 5	1	4"O/C			
	37	24 X 18	8 # 11	####	# 5	1	4"O/C		2 Layers	
	36	24 X 71	14 # 11	####	# 5	2	4"O/C		3 Layers	
	35	24 X 80	14 # 11	####	# 5	2	5"O/C		3 Layers	
	34	24 X 18	8 # 11	####	# 5	1	4"O/C		2 Layers	
	33	24 X 18	8 # 11	####	# 5	1	5"O/C			
	32	24 X 18	8 # 11	####	# 5	1	4"O/C		2 Layers	
	31	24 X 18	8 # 11	####	# 5	1	3"O/C		2 Layers	
	30	24 X 18	10 # 11	####	# 6	2	3"O/C	#5@ 8@ E. F.	2 Layers	
	29 - 27	24 X 18	8 # 11	####	# 6	1	3"O/C		2 Layers	
	26 - 24	24 X 18	8 # 11	####	# 6	1	3"O/C		2 Layers	
	23	24 X 18	8 # 11	####	# 6	1	3"O/C		2 Layers	
	22	24 X 18	8 # 11	####	# 6	1	3"O/C		2 Layers	
	21	30 X 18	8 # 11	####	# 6	1	5"O/C		2 Layers	
	20	30 X 18	6 # 11	####	# 4	1	4"O/C			
LBN2A	65 - 63	18 X 30	12 # 11	####	# 5	1	4"O/C		3 Layers	
	62	18 X 30	12 # 11	####	# 5	1	5"O/C		3 Layers	
	61	18 X 30	10 # 11	####	# 5	1	6"O/C		2 Layers	
	60	18 X 30	8 # 11	####	# 4	1	5"O/C		2 Layers	
	59	18 X 30	8 # 11	####	# 4	1	5"O/C		2 Layers	
	56	18 X 30	4 # 11	####	# 4	1	8"O/C			BUILT UP SECTION BU10
	54 - 48	18 X 30	4 # 11	####	# 4	1	8"O/C			BUILT UP SECTION BU10
	47	18 X 30	10 # 11	####	# 5	2	5"O/C			
	45	24 X 30	14 # 11	####	# 6	3	4"O/C		2 Layers	
	44 - 37	24 X 30	14 # 11	####	# 6	2	5"O/C		2 Layers	
	34 - 33	24 X 30	12 # 11	####	# 6	2	5"O/C		2 Layers	
	29 - 30	24 X 30	6 # 11	6 # 11	# 4	1	8"O/C			BUILT UP SECTION BU11
	28 - 22	24 X 30	6 # 11	6 # 11	# 4	1	6"O/C			BUILT UP SECTION BU11
	21	30 X 30	14 # 11	####	# 6	2	5"O/C		2 Layers	
	20	30 X 30	12 # 11	####	# 5	2	6"O/C		2 Layers	
LBN3	80	18 X 60	8 # 11	####	# 4	1	5"O/C	#4@ 6@ E. F.	2 Layers	
	79	18 X 57	8 # 11	####	# 4	1	4"O/C	#4@ 6@ E. F.	2 Layers	
	78	18 X 18	4 # 11	####	# 4	1	6"O/C			
	77	18 X 18	4 # 11	####	# 6	2	6"O/C			
	76	18 X 18	4 # 11	####	# 6	2	6"O/C	#4@ 8@ E. F.		
	75	18 X 18	4 # 11	####	# 6	2	6"O/C			
	74 - 72	18 X 18	8 # 11	####	# 6	2	3"O/C		2 Layers	

LINKBEAM LABEL	FLOOR	SIZE (IN.)	TOP REINF. (CONT.)	BOTT. REINF. (CONT.)	STIRRUP			LONGITUDINAL SKIN REINF.	REMARKS	EMBEDDED STEEL SECTION
					SIZE	TYPE	SPACING			
LBN3	71	18 X 18	8 # 11	####	# 6	1	3"O/C		2 Layers	
	70 - 67	18 X 18	8 # 11	####	# 5	1	3"O/C		2 Layers	
	66	18 X 36	4 # 11	####	# 4	1	10" O/C			BUILT UP SECTION BU1
	65	18 X 18	8 # 11	####	# 5	1	3"O/C		2 Layers	
	64	18 X 18	8 # 11	####	# 5	2	3"O/C		2 Layers	
	63	18 X 18	8 # 11	####	# 5	2	3"O/C		2 Layers	
	62 - 60	18 X 18	8 # 11	####	# 5	1	3"O/C		2 Layers	
	59	18 X 18	8 # 11	####	# 5	1	3"O/C		2 Layers	
	58 - 57	18 X 60	8 # 11	####	# 4	1	6"O/C		2 Layers	BUILT UP SECTION BU2
	56	18 X 18	8 # 11	####	# 5	1	3"O/C		2 Layers	
	55	18 X 36	4 # 11	####	# 4	1	10" O/C			BUILT UP SECTION BU6
	54	18 X 18	8 # 11	####	# 5	1	3"O/C		2 Layers	
	53	18 X 18	8 # 11	####	# 6	1	3"O/C		2 Layers	
	52	18 X 18	8 # 11	####	# 6	2	3"O/C		2 Layers	
	51 - 47	18 X 18	8 # 11	####	# 5	1	3"O/C		2 Layers	
	46	18 X 60	10 # 11	####	# 5	1	6"O/C		2 Layers	BUILT UP SECTION BU3
	45 - 38	24 X 18	10 # 11	####	# 6	1	3"O/C			

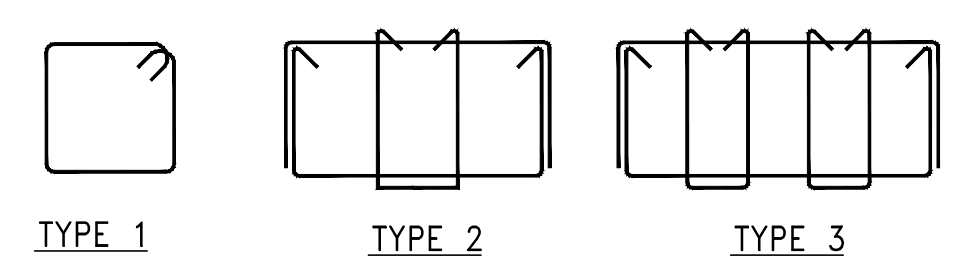
LINK BEAM SCHEDULE table with columns: LINKBE AM LABEL, FLOOR, SIZE, TOP REINF., BOTT. REINF., STIRRUP, LONGITUDINAL SKIN REINF., REMARKS, EMBEDDED STEEL SECTION. Includes rows for LBS1, LBS1A, LBS2, LBS2A, LBS3, LBS3A, LBSA.

LINK BEAM SCHEDULE table with columns: LINKBE AM LABEL, FLOOR, SIZE, TOP REINF., BOTT. REINF., STIRRUP, LONGITUDINAL SKIN REINF., REMARKS, EMBEDDED STEEL SECTION. Includes rows for LBS3, LBS3A, LBW1, LBW2.

LINK BEAM SCHEDULE table with columns: LINKBE AM LABEL, FLOOR, SIZE, TOP REINF., BOTT. REINF., STIRRUP, LONGITUDINAL SKIN REINF., REMARKS, EMBEDDED STEEL SECTION. Includes rows for LBW2, LBW1, LBW2, LB2.

LINK BEAM SCHEDULE table with columns: LINKBE AM LABEL, FLOOR, SIZE, TOP REINF., BOTT. REINF., STIRRUP, LONGITUDINAL SKIN REINF., REMARKS, EMBEDDED STEEL SECTION. Includes rows for LBE3, LBE4, LBOS1, LBON1, LBOS2, LBON2.

ALL T&B BARS SHALL BE 1 LAYER U.O.N. LINK BEAM CONCRETE STRENGTH SHALL MATCH SHEARWALL CONCRETE STRENGTH SEE DETAILS ON S-949.



STIRRUP TYPES N.T.S.

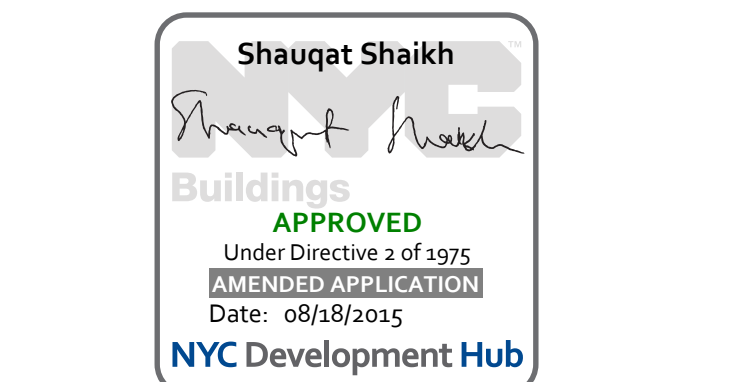
JDS DEVELOPMENT GROUP logo and 'sh p' logo.

ARCHITECT: SHP ARCHITECTS, P.C. 235 BROADWAY, 17TH FLOOR, NEW YORK, NY 10038. STRUCTURAL ENGINEER: JEFFREY B. BOKER, 235 BROADWAY, 17TH FLOOR, NEW YORK, NY 10038.

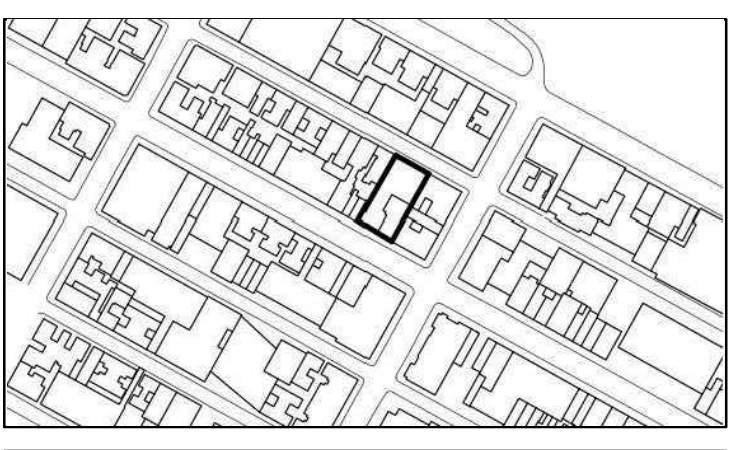


PROPERTY MARKETS GROUP, 6 EAST 17TH STREET, 14TH FLOOR, NEW YORK, NY 10030.

CURRENT ISSUE: DOB PAA



111 WEST 57TH STREET, NEW YORK, NY 10019.



Revision table with columns: NO., DATE, REVISION.

NOT FOR CONSTRUCTION

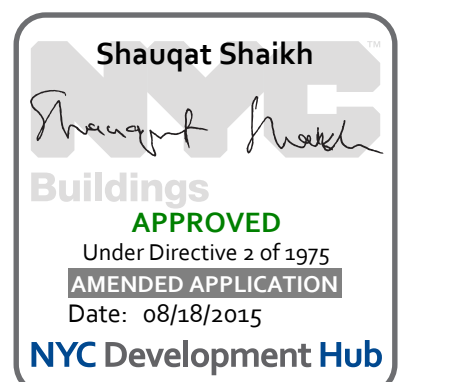
LINK BEAM SCHEDULE 2

Professional seal and signature area for the Structural Engineer, Jeffrey B. Boker, dated 07/16/15.

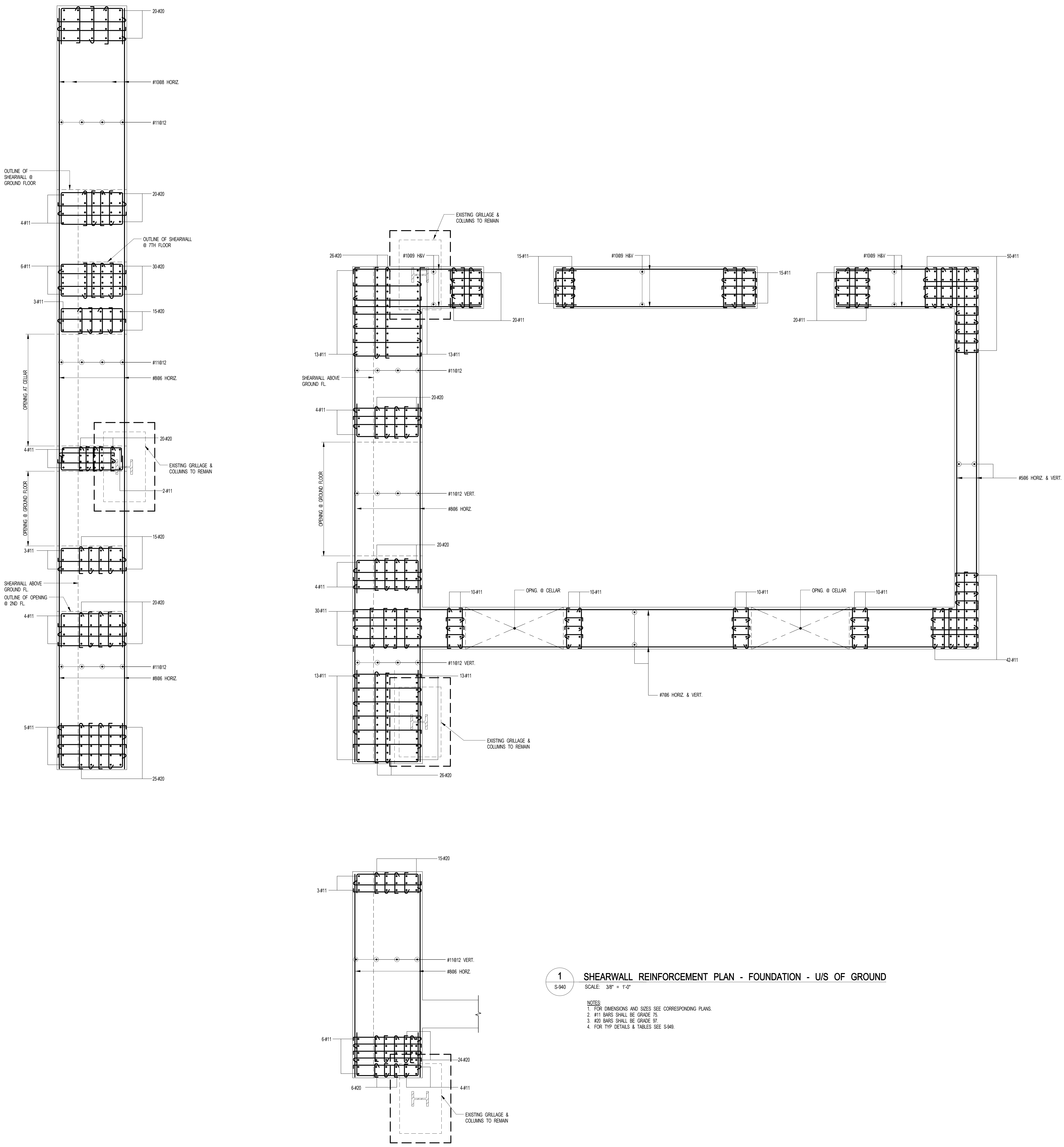
ARCHITECT SNAP ARCHITECTS, P.C. 228 BROADWAY, 11TH FLOOR NEW YORK, NY 10038 TEL: 212.686.9000	STRUCTURAL ENGINEER WEP GAYTOR BEMK 228 EAST 45TH STREET NEW YORK, NY 10017 TEL: 212.686.9888	MEP ENGINEER JAPCO, BALM & ROLLES 40 FINE STREET, 5TH FLOOR NEW YORK, NY 10002 TEL: 212.686.0888	CIVIL ENGINEER ARFF ENGINEERING, P.C. 440 PARK AVE, 500TH, 7TH FLOOR NEW YORK, NY 10016 TEL: 646.386.8600	ACoustICS LOWMAN LINDSEY 42 WEST 34TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 917.226.3382	INTERIORS STUDIO SORFELD 86 LAUREATE STREET NEW YORK, NY 10003 TEL: 212.493.1983	FACADE BLIND HAMPOLD 200 BROADWAY NEW YORK, NY 10008 TEL: 212.686.2555	VERTICAL TRANSPORTATION VAN DELSEN & ASSOCIATES 2 NASSAU STREET, 30TH FLR LONGTON, NY 10374 TEL: 212.686.8000	RESTORATION JAN HRO POKORNY ASSOCIATES 50 WEST 37TH STREET, 12A NEW YORK, NY 10018 TEL: 212.758.1482	GEOTECH DIBICE 220 WEST 34TH STREET, 4TH FLOOR NEW YORK, NY 10001 TEL: 212.333.8800	LIGHTING LOBELEVATORE INTERNATIONAL 20 WASHINGTON STREET, 17TH FLOOR NEW YORK, NY 10011 TEL: 212.249.4483
--	--	---	--	---	---	---	--	---	--	--



PROPERTY MARKETS GROUP
156 EAST 17TH STREET, 2ND FLOOR
NEW YORK, NY 10003
TEL: 212.475.3800
CURRENT ISSUE



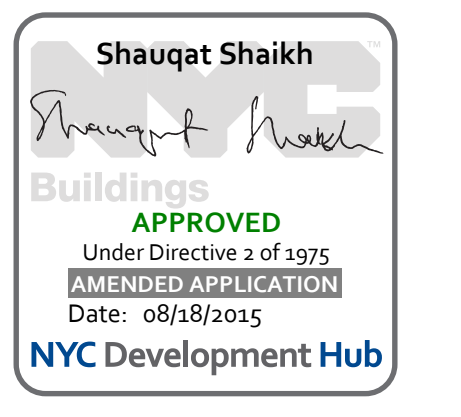
111 WEST 57TH STREET
111 WEST 57TH STREET



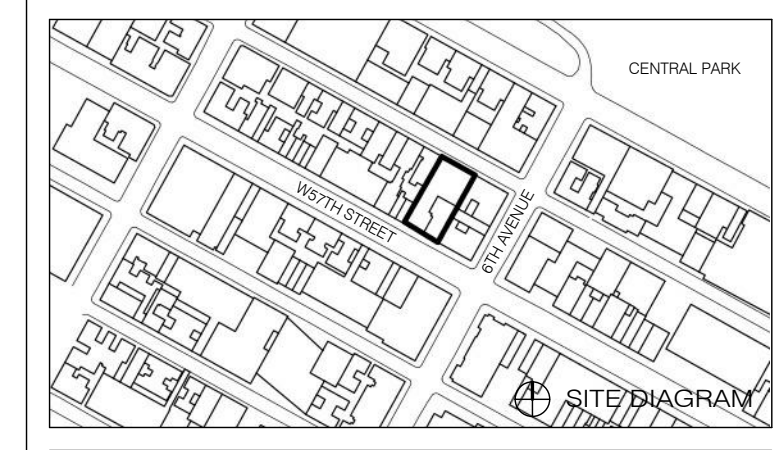
ARCHITECT	SHAP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10005 TEL: 212 869 9300
STRUCTURAL ENGINEER	YUSEF GANTON BERKOW 228 EAST 43RD STREET NEW YORK, NY 10017 TEL: 212 697 5886
MEP ENGINEER	JANOSI, BALAM & BOLLER 80 WINE STREET, 12TH FLOOR NEW YORK, NY 10038 TEL: 212 693 8333
CIVIL ENGINEER	AWRIF ENGINEERING, P.C. 60 FIFTH AVE, 20TH FLOOR NEW YORK, NY 10018 TEL: 212 279 8828
ACOUSTICIAN	LONGMANN LINDSEY 40 WEST 58TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917 238 2389
INTERIORS	STUDIO JENSEN 30 WALKER STREET NEW YORK, NY 10002 TEL: 212 475 3300
FAÇADE	BURROUGHS WERFIELD 100 BROADWAY NEW YORK, NY 10005 TEL: 212 254 2025
VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 100 WEST STREET, SUITE 201 LARKSPER, NJ 07033 TEL: 973 984 8700
RESTORATION	JAN HROD FOKORNY ASSOCIATES 80 WEST 57TH STREET, 1 FLOOR, 10A NEW YORK, NY 10019 TEL: 212 238 6462
GEOTECH	GEOTECH 205 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917 238 4900
LIGHTING	CONSERVATIVE INTERNATIONAL 100 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 255 4463



PROPERTY MARKETS GROUP
134 EAST 17TH STREET, 2ND FLOOR
NEW YORK, NY 10003
TEL: 212 693 9300
CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET

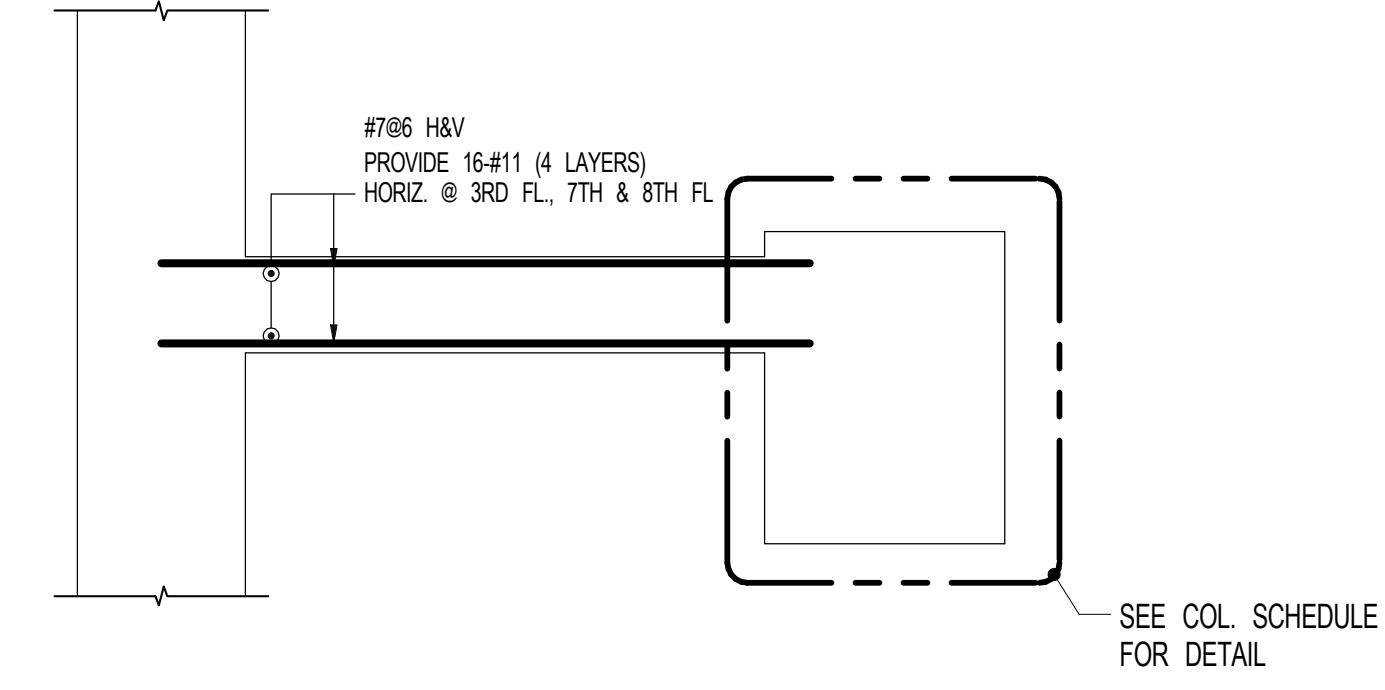
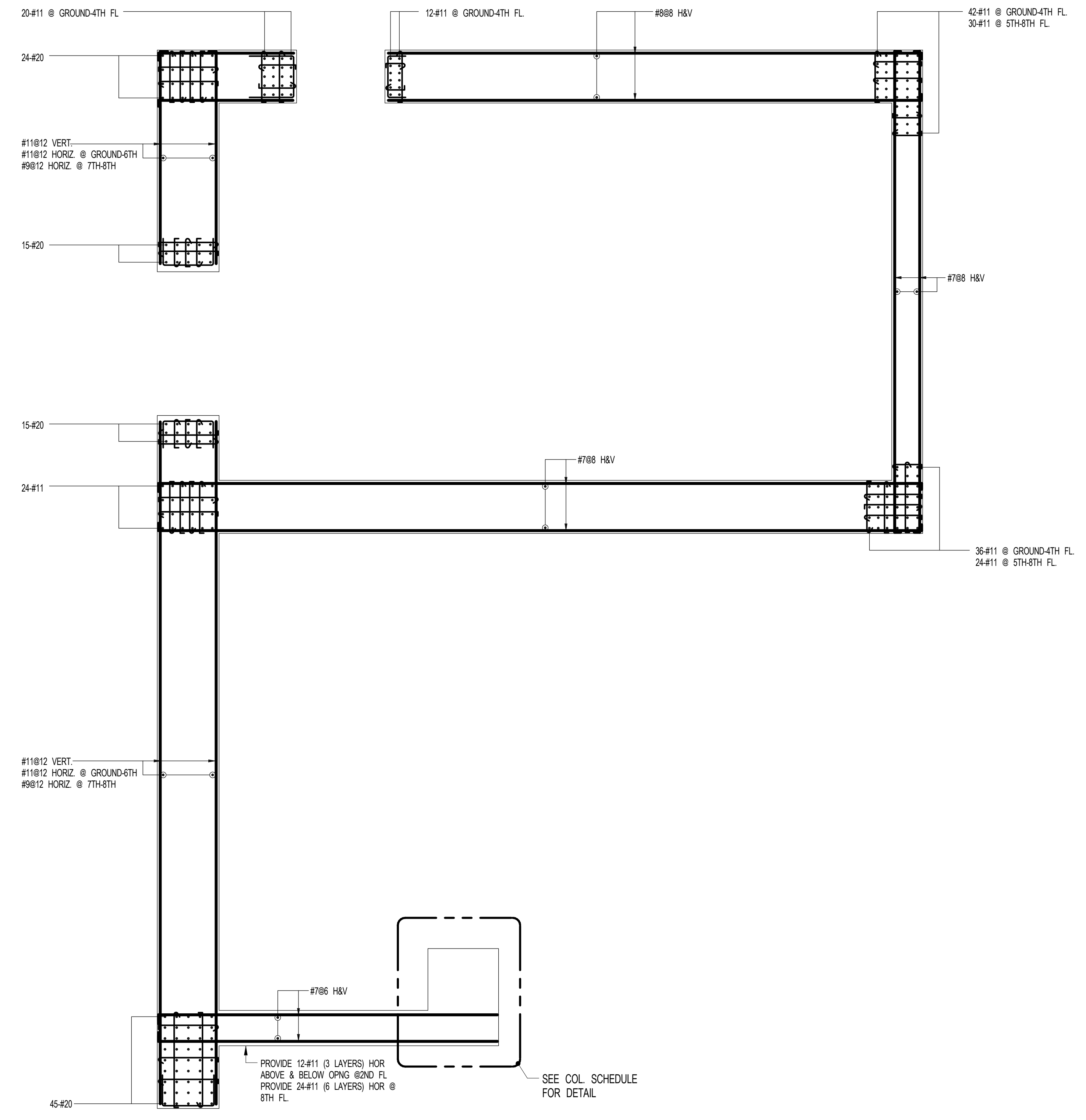
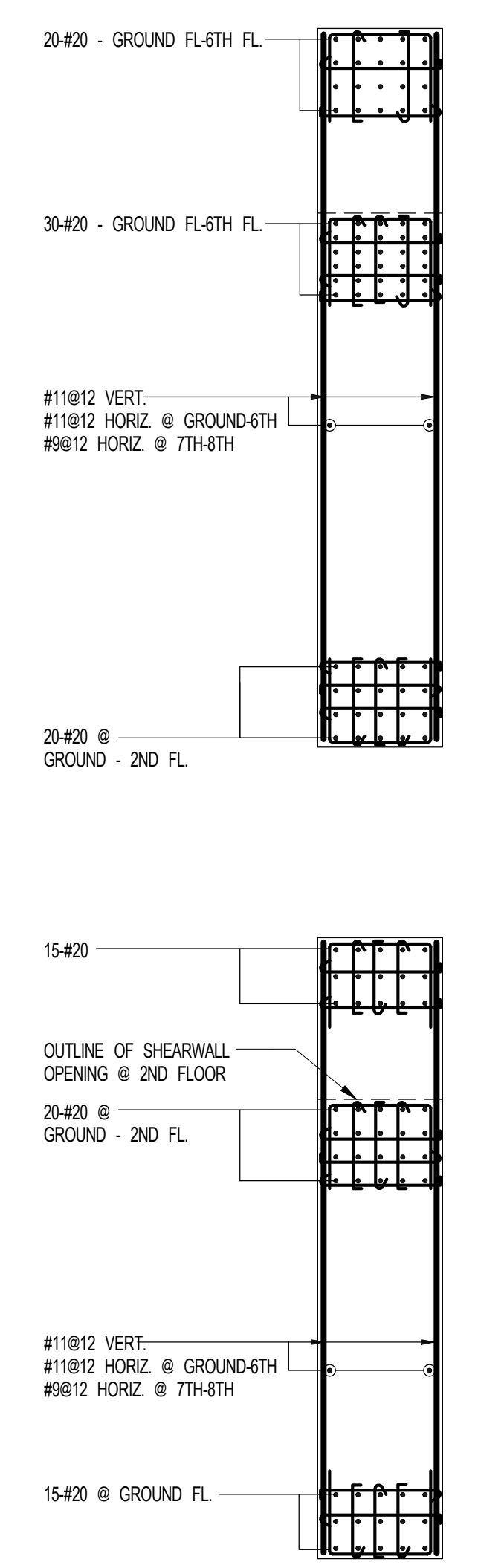
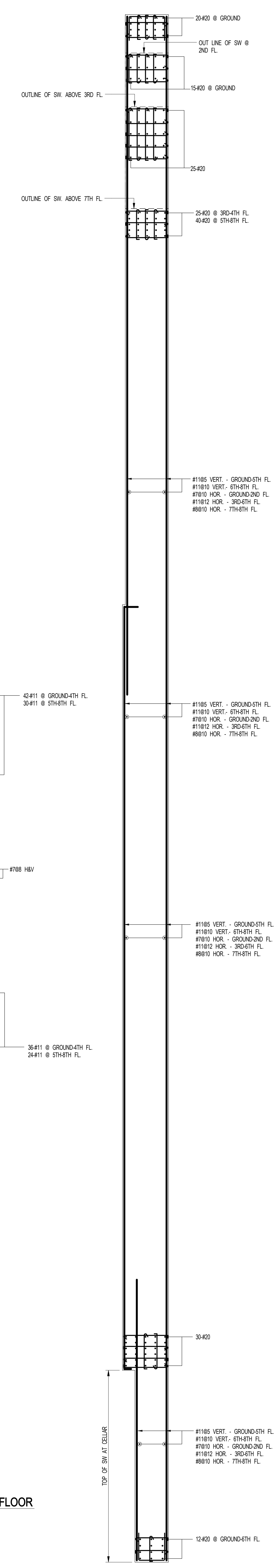


1	3/27/15	DOB PAA
NO.	DATE	REVISION

● NOT FOR CONSTRUCTION

DRAWING TITLE
SHEARWALL REINFORCEMENT PLAN - GROUND TO U/S OF 9TH FLOOR

SEAL & SIGNATURE	DATE	3/27/15
	PROJECT NO.	1310140
	DRAWN BY	CADD
	CHECKED BY	CL
	DOB NO.	
	DRAWING NUMBER	S-941.00



2 SHEARWALL REINFORCEMENT PART PLAN - 3RD FLOOR
S-941 SCALE: 1/4" = 1'-0"

1 SHEARWALL REINFORCEMENT PLAN - GROUND - U/S OF 9TH FLOOR
S-941 SCALE: 1/4" = 1'-0"

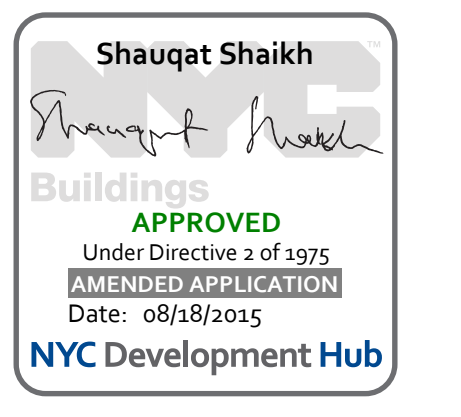
- NOTES
1. FOR DIMENSIONS AND SEES SEE CORRESPONDING PLANS
 2. #11 BARS SHALL BE GRADE 75
 3. #20 BARS SHALL BE GRADE 87
 4. FOR TOP DETAILS & TABLES SEE S-940

ARCHITECT	SHAP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10007 NY 212 669 9300
STRUCTURAL ENGINEER	YUSUF GHAFFAR BISHARA 230 EAST 43RD STREET NEW YORK, NY 10017 NY 212 697 5866
MEP ENGINEER	JORDIS, BALAM & BOLLER 80 WINE STREET, 12TH FLOOR NEW YORK, NY 10013 NY 212 693 8333
CIVIL ENGINEER	AKRF ENGINEERING, P.C. 40 FIFTH AVE, 20TH FLOOR NEW YORK, NY 10018 NY 800 288 2628
ACOUSTICIAN	LONGMANN LINDSEY 4 WEST 40TH STREET, 4TH FLOOR NEW YORK, NY 10018 NY 917 238 2389
INTERIORS	STUDIOS JOSEPH FIELD 30 WALKER STREET NEW YORK, NY 10002 NY 212 475 1300
FAÇADE	BURROUGHS WERFIELD 100 SPADAWAY NEW YORK, NY 10013 NY 212 254 2025
VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 8 BROADWAY STREET, SUITE 204 LARKSPRING, NJ 07033 NY 973 964 8725
RESTORATION	JAN HIND FOKORNY ASSOCIATES 40 WEST 27TH STREET, 1 FLOOR, 2A NEW YORK, NY 10013 NY 212 239 4462
GEOTECH	MIRCE 205 WEST 47TH STREET, 4TH FLOOR NEW YORK, NY 10036 NY 917 238 4900
LIGHTING	CONSERVATORIE INTERNATIONAL 105 WALKER STREET, 7TH FLOOR, EAST NEW YORK, NY 10002 NY 212 252 4463

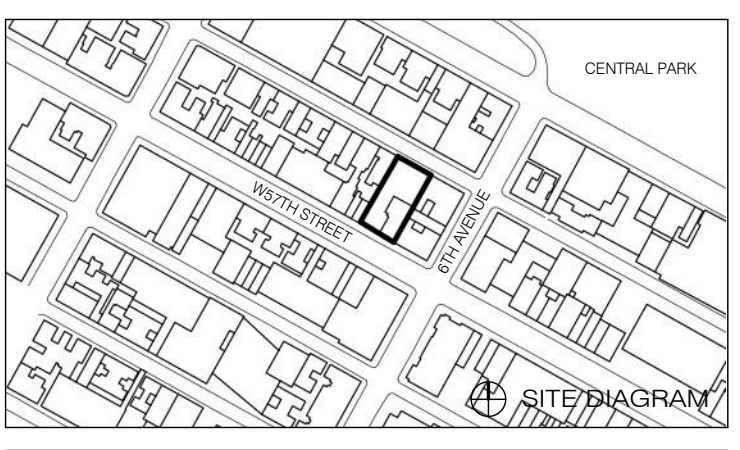


PROPERTY MARKETS GROUP
 13427 174 STREET, 2ND FLOOR
 NEW YORK, NY 10030
 NY 212 693 9300

CURRENT ISSUE



111 WEST 57TH STREET
 111 WEST 57TH STREET



1	3/27/15	DOB PIA
NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.

● NOT FOR CONSTRUCTION

DRAWING TITLE

SHEARWALL REINFORCEMENT PLAN - 9TH - U/S OF 16TH FLOOR

SEAL & SIGNATURE DATE 3/27/15

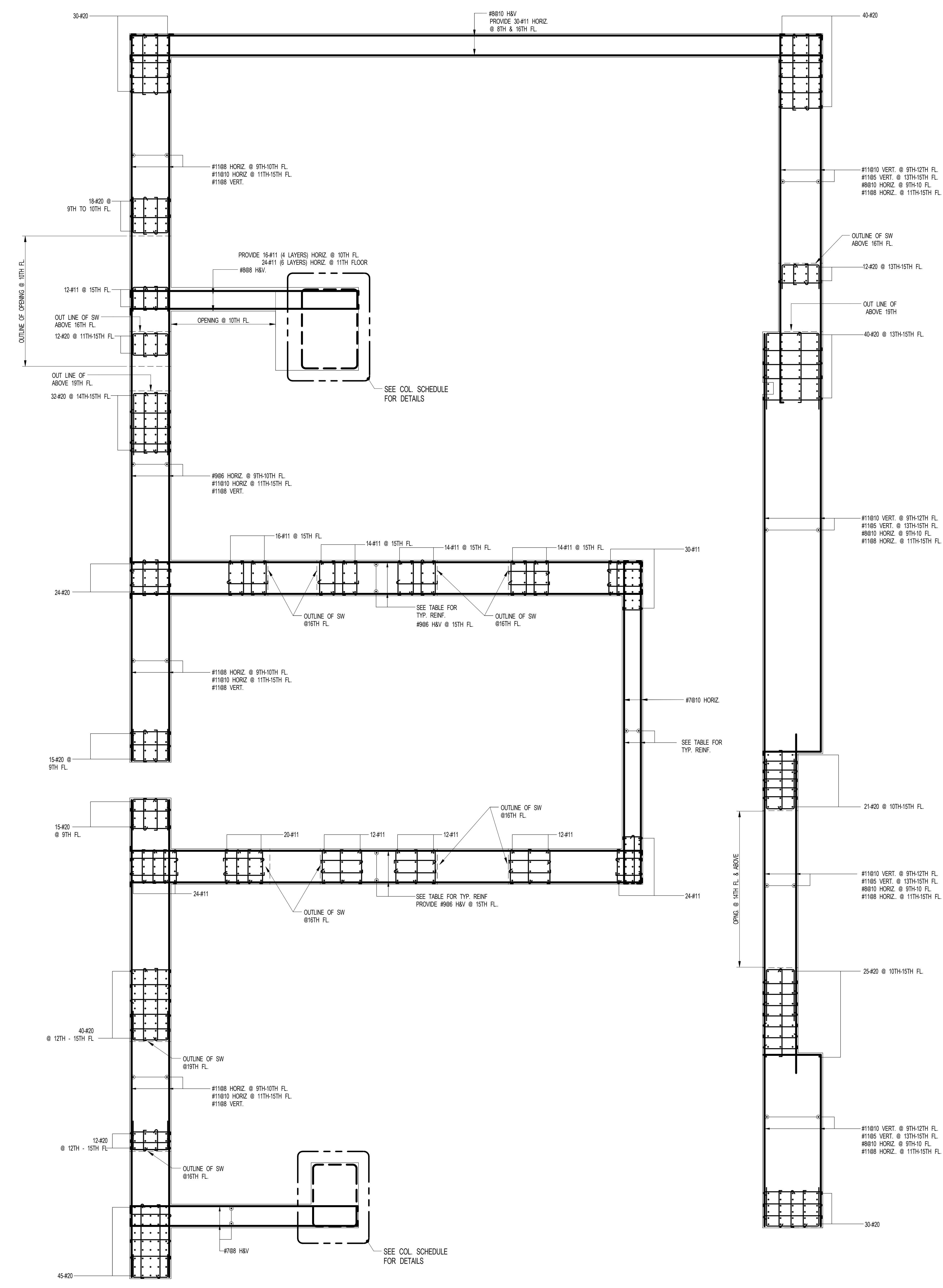
PROJECT NO. 1310140

DRAWN BY CADD

CHECKED BY CL

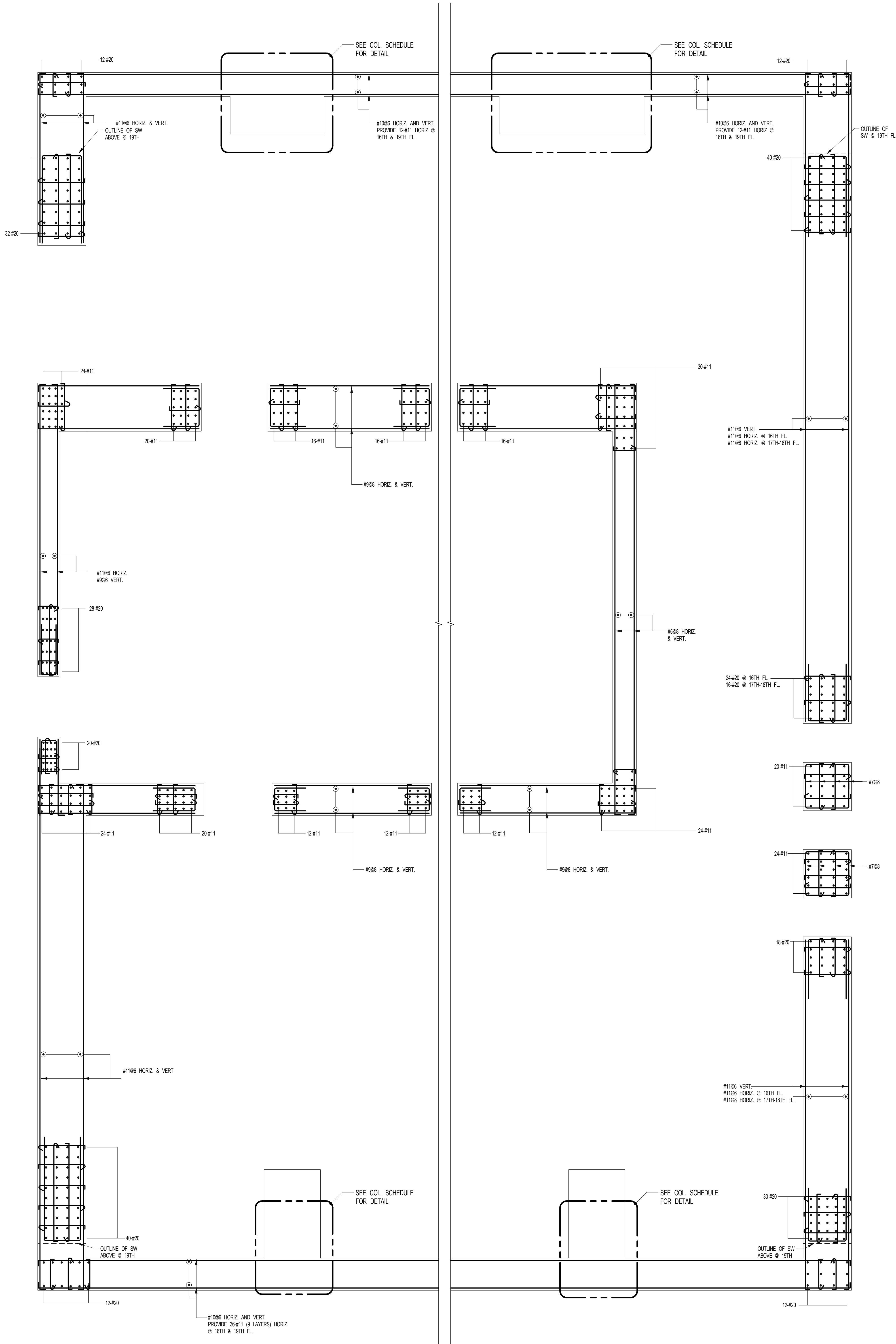
DOB NO. 0975

DRAWING NUMBER S-942.00

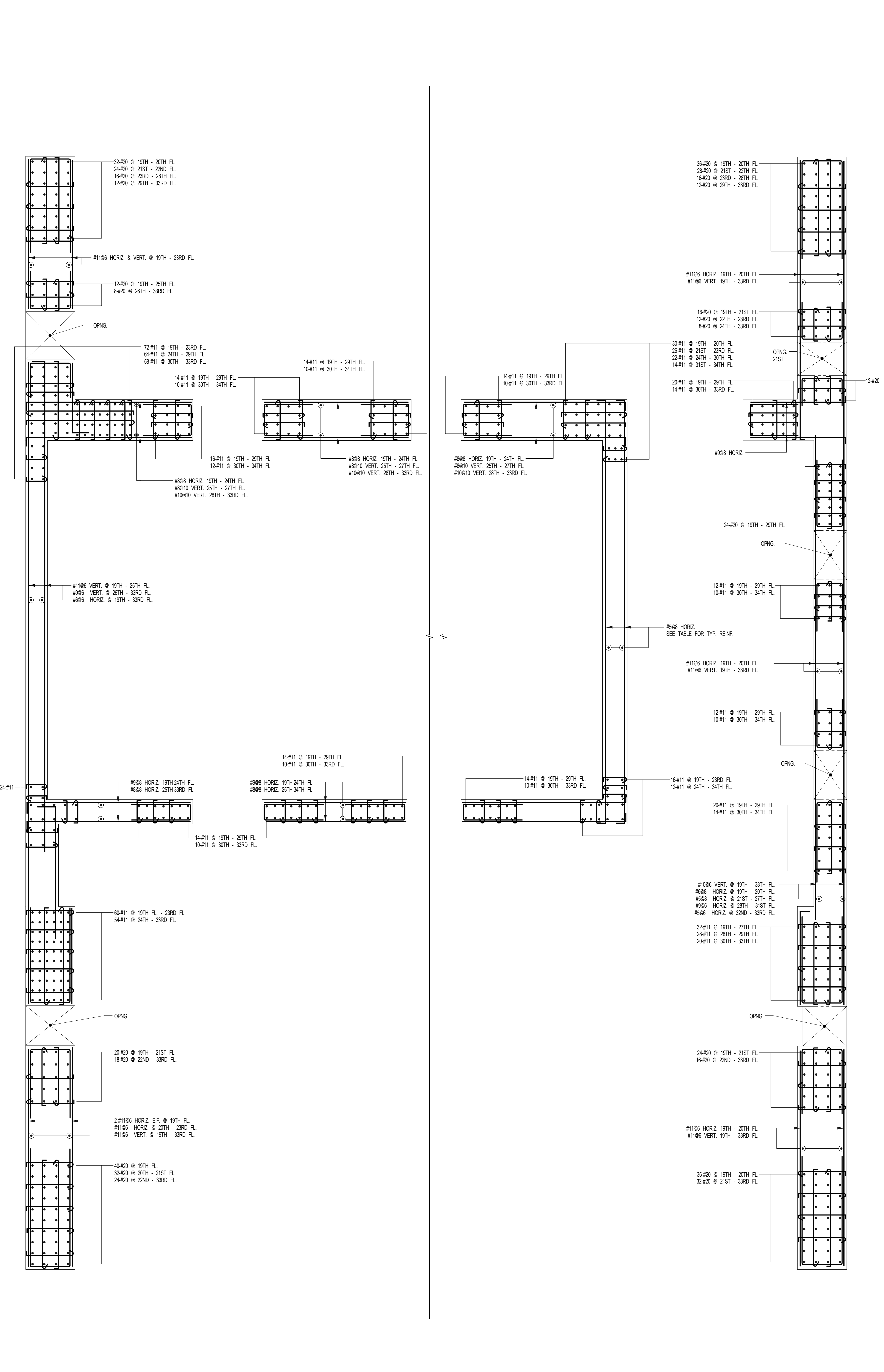


1 SHEARWALL REINFORCEMENT PLAN - 9TH - U/S OF 16TH FLOOR
 S-942 SCALE: 1/4" = 1'-0"

- NOTES
- FOR DIMENSIONS AND SIZES SEE CORRESPONDING PLANS.
 - #11 BARS SHALL BE GRADE 75.
 - #402 BARS SHALL BE GRADE 67.
 - FOR TYP DETAILS & TABLES SEE S-940.



1 SHEARWALL REINFORCEMENT PLAN - 16TH - U/S OF 19TH FLOOR
SCALE: 3/8" = 1'-0"



2 SHEARWALL REINFORCEMENT PLAN - 19TH - U/S OF 34TH FLOOR
SCALE: 3/8" = 1'-0"

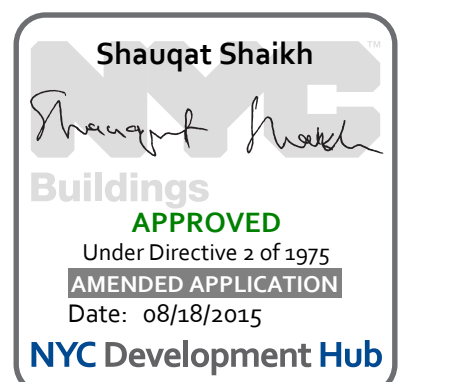
NOTES:
1. FOR DIMENSIONS AND SIZES SEE CORRESPONDING PLANS.
2. #11 BARS SHALL BE GRADE #1.
3. #20 BARS SHALL BE GRADE #7.
4. FOR TYP DETAILS & TABLES SEE S-943.

ARCHITECT	SHAP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10038 TEL: 212 693 9300	FACADE	SHOENBERG 100 WEST 57TH STREET NEW YORK, NY 10019 TEL: 212 254 2025
STRUCTURAL ENGINEER	YONG CHAN CHAN ENGINEERING 228 EAST 43RD STREET NEW YORK, NY 10017 TEL: 212 697 5886	MEP ENGINEER	JORDIS, BALAM & BOLLER 85 WING STREET, 2ND FLOOR NEW YORK, NY 10003 TEL: 212 693 8333
MEP ENGINEER	JORDIS, BALAM & BOLLER 85 WING STREET, 2ND FLOOR NEW YORK, NY 10003 TEL: 212 693 8333	CIVIL ENGINEER	AWR ENGINEERING, P.C. 80 WEST 40TH STREET, 7TH FLOOR NEW YORK, NY 10018 TEL: 646 288 2628
ACQUISITION	LONGMAN LINDSEY 41 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917 238 2339	INTERIORS	STUDIO SCENFIELD 30 WALKER STREET NEW YORK, NY 10002 TEL: 212 475 3300
GEOTECH	GEOTECH 305 WEST 47TH STREET, 4TH FLOOR NEW YORK, NY 10036 TEL: 917 238 4900	RESTORATION	VAN DEUSEN & ASSOCIATES 100 WEST STREET, SUITE 200 LAWRENCE, NJ 07044 TEL: 973 948 8700
RESTORATION	JAN HRO FOKORNY ASSOCIATES 80 WEST 40TH STREET, 7TH FLOOR NEW YORK, NY 10018 TEL: 212 234 6462	LIGHTING	CONSERVATION INTERNATIONAL 100 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 255 4463

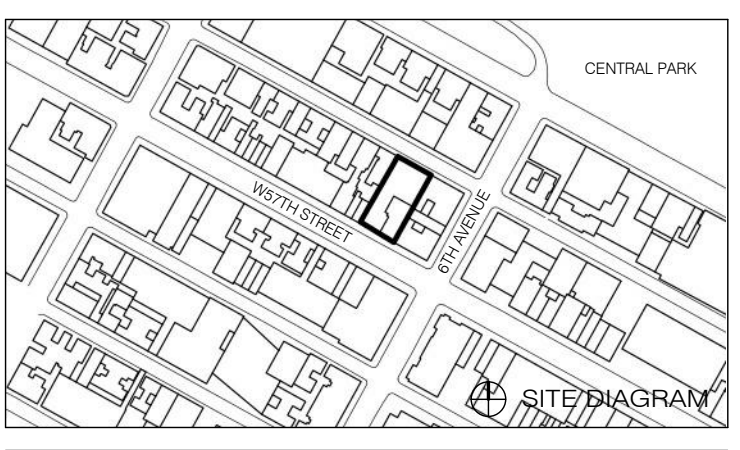


PROPERTY MARKETS GROUP
134 EAST 17TH STREET, 2ND FLOOR
NEW YORK, NY 10003
TEL: 212 693 9300

CURRENT ISSUE



111 WEST 57TH STREET
111 WEST 57TH STREET



1	3.27.15	DOB PIA
NO.	DATE	REVISION

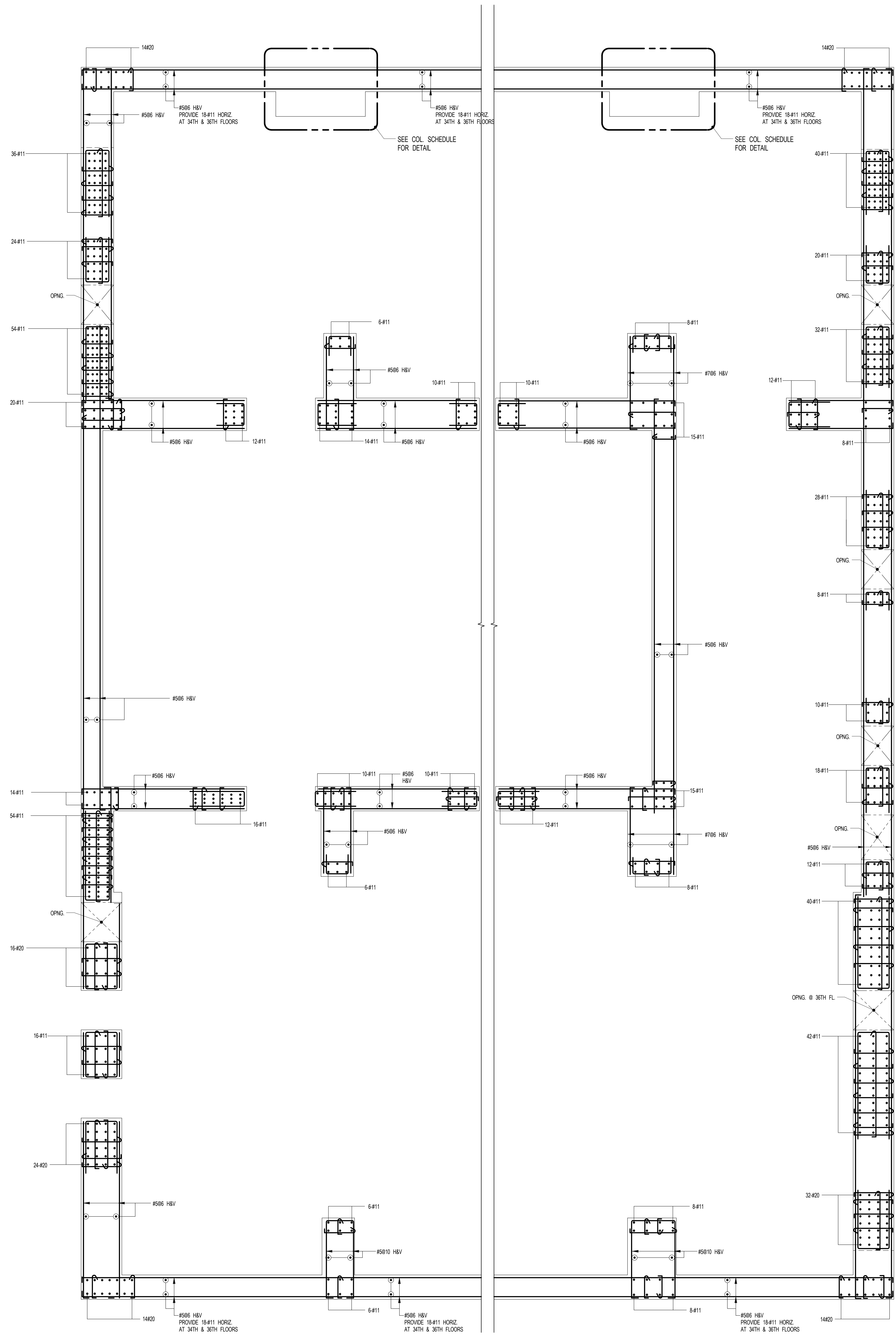
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.

NOT FOR CONSTRUCTION

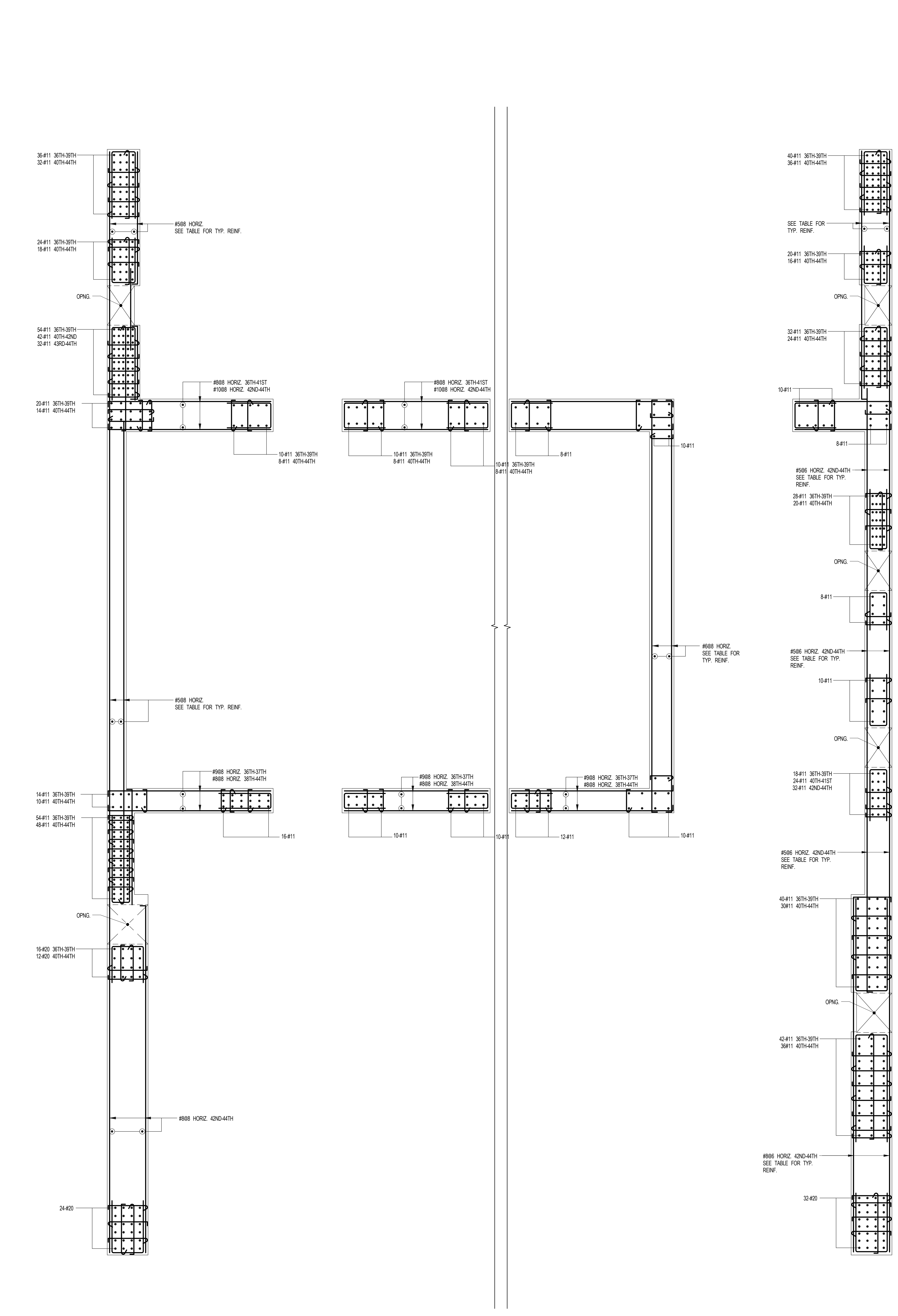
DRAWING TITLE
SHEARWALL REINFORCEMENT PLAN - 34TH - U/S OF 36TH FLOOR

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	1310140	
DRAWN BY	CADD	
CHECKED BY	CL	
DOB NO.	0975	
DRAWING NUMBER	S-944.00	

NOTES:
1. FOR DIMENSIONS AND SIZES SEE CORRESPONDING PLANS.
2. #11 BARS SHALL BE GRADE #3.
3. #20 BARS SHALL BE GRADE #5.
4. FOR TYP DETAILS & TABLES SEE S-948.



1 SHEARWALL REINFORCEMENT PLAN - 34TH - U/S OF 36TH FLOOR
SCALE: 3/8" = 1'-0"



2 SHEARWALL REINFORCEMENT PLAN - 36TH - U/S OF 45TH FLOOR
SCALE: 3/8" = 1'-0"

150524700-S-944

JDS DEVELOPMENT GROUP
104 WEST 42ND STREET, 4TH FLOOR
NEW YORK, NY 10018
TEL: 646.633.9333

ARCHITECT
SNAP ARCHITECTS, P.C.
225 BROADWAY, 11TH FLOOR
NEW YORK, NY 10005
TEL: 212.688.9000

STRUCTURAL ENGINEER
WFP GAYTOR BENTLEY
225 EAST 42ND STREET
NEW YORK, NY 10017
TEL: 212.681.8888

MEP ENGINEER
JARCOS BALMA & ROLLER
40 FINE STREET, 5TH FLOOR
NEW YORK, NY 10005
TEL: 212.688.0388

CIVIL ENGINEER
AKRF ENGINEERING, P.C.
440 PARK AVE, 500TH, 7TH FLOOR
NEW YORK, NY 10022
TEL: 646.388.9800

ACoustICS
LOWMAN ENGINEERING
42 WEST 20TH STREET, 6TH FLOOR
NEW YORK, NY 10011
TEL: 917.228.3382

INTERIORS
STUDIO SOKHELD
800 LAURENCE STREET
NEW YORK, NY 10002
TEL: 212.423.1383

FAÇADE
BLURO HAMPFORD
200 BROADWAY
NEW YORK, NY 10006
TEL: 212.688.2555

VERTICAL TRANSPORTATION
VAN DELSEN & ASSOCIATES
2 NASSAU STREET, 20TH FLR
LONGFORD, NY 11760
TEL: 608.888.8888

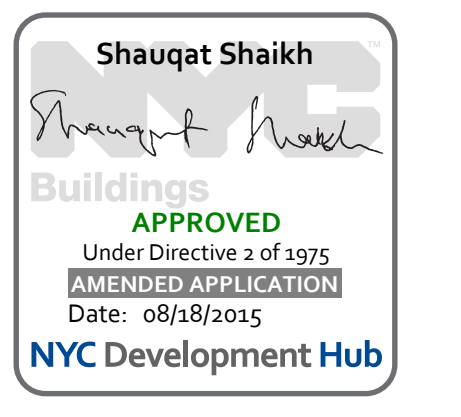
RESTORATION
JAN HROD POKORNY ASSOCIATES
30 WEST 37TH STREET, FLOOR 12A
NEW YORK, NY 10018
TEL: 212.758.1482

GEOTECH
SIRICE
220 WEST 34TH STREET, 6TH FLOOR
NEW YORK, NY 10001
TEL: 811.333.3333

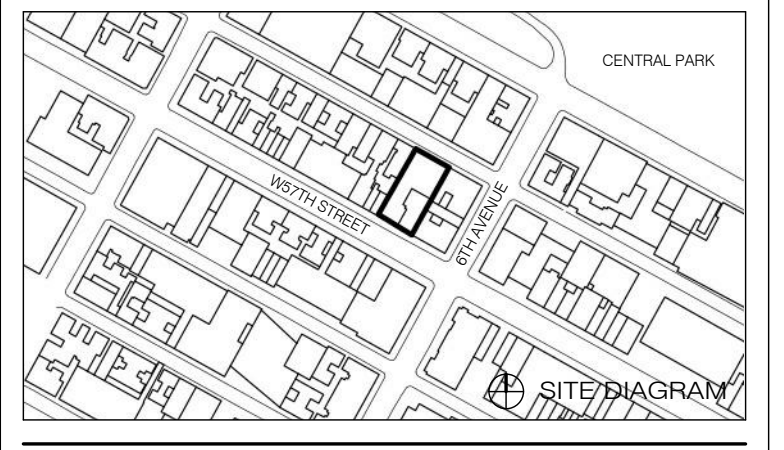
LIGHTING
LOBEORATORY INTERNATIONAL
200 WASHINGTON STREET, 27TH FLOOR EAST
NEW YORK, NY 10011
TEL: 212.224.4443



PROPERTY MARKETS GROUP
150 EAST 17TH STREET, 2ND FLOOR
NEW YORK, NY 10003
TEL: 212.673.2800



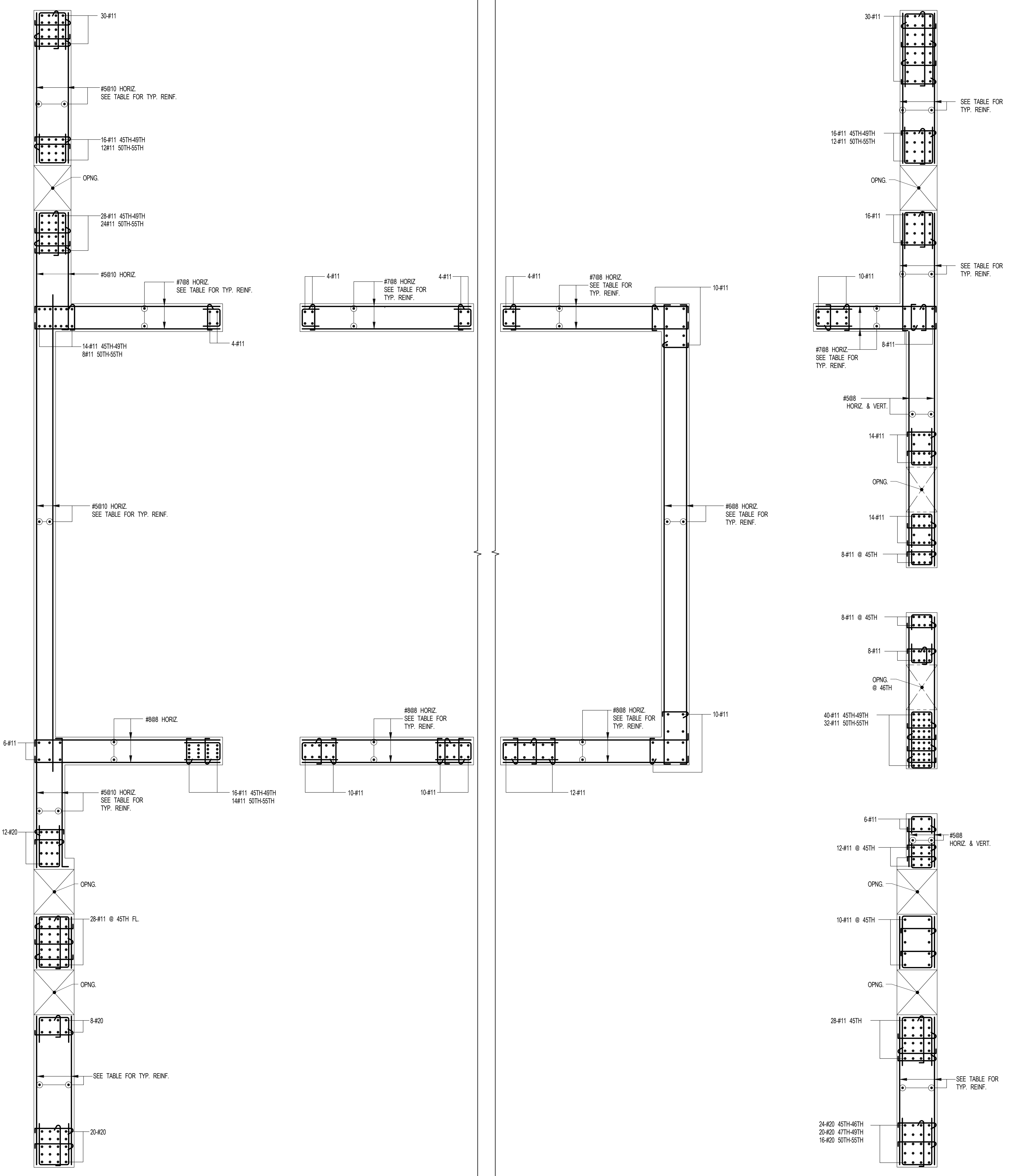
111 WEST 57TH STREET
111 WEST 57TH STREET



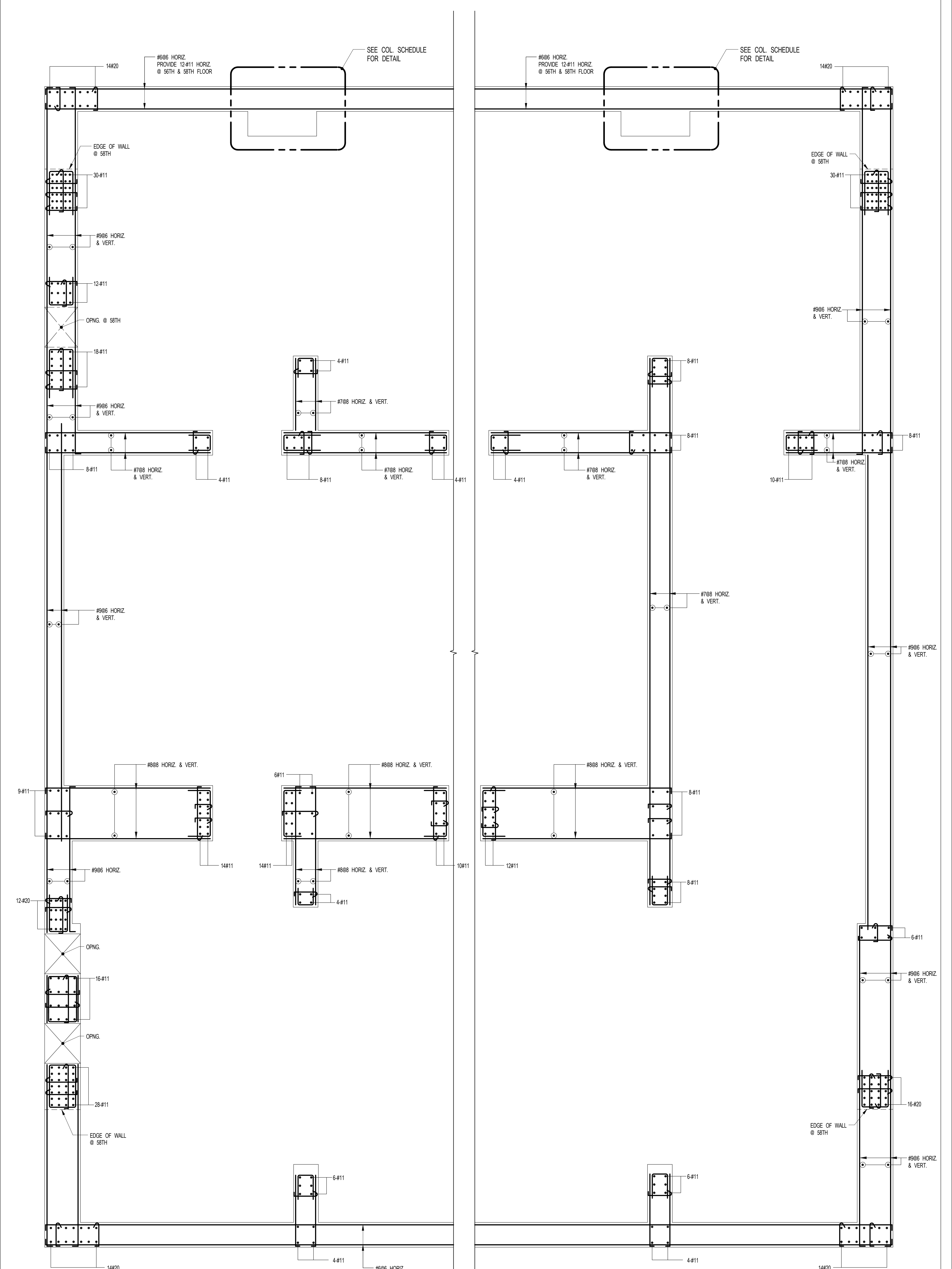
1	13.27.15	DOB PAA
	0.1.14	DOB FILING SET
NO.	DATE	REVISION

SHEARWALL REINFORCEMENT PLAN - 45TH - U/S OF 56TH FLOOR

SEAL & SIGNATURE: [Signature] DATE: 6.1.14
PROJECT NO.: 1310140
DRAWN BY: CADDO
CHECKED BY: CL
DOB NO.: [DOB Number]
DRAWING NUMBER: S-945.01

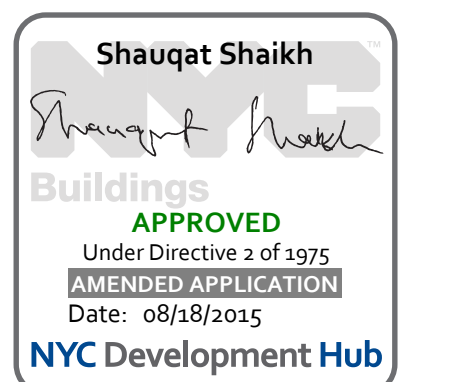


1 SHEARWALL REINFORCEMENT PLAN - 45TH - U/S OF 56TH FLOORS
S-945 SCALE: 3/8" = 1'-0"

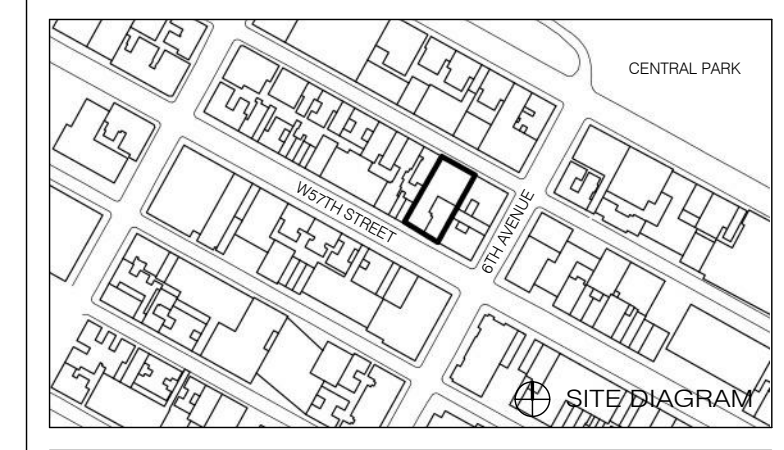


2 SHEARWALL REINFORCEMENT PLAN - 56TH - U/S OF 58TH FLOOR
S-945 SCALE: 3/8" = 1'-0"

NOTES:
1. FOR DIMENSIONS AND SIZES SEE CORRESPONDING PLANS.
2. #11 BARS SHALL BE GRADE 75.
3. #20 BARS SHALL BE GRADE 87.
4. FOR TYP. DETAILS & TABLES SEE S-940.

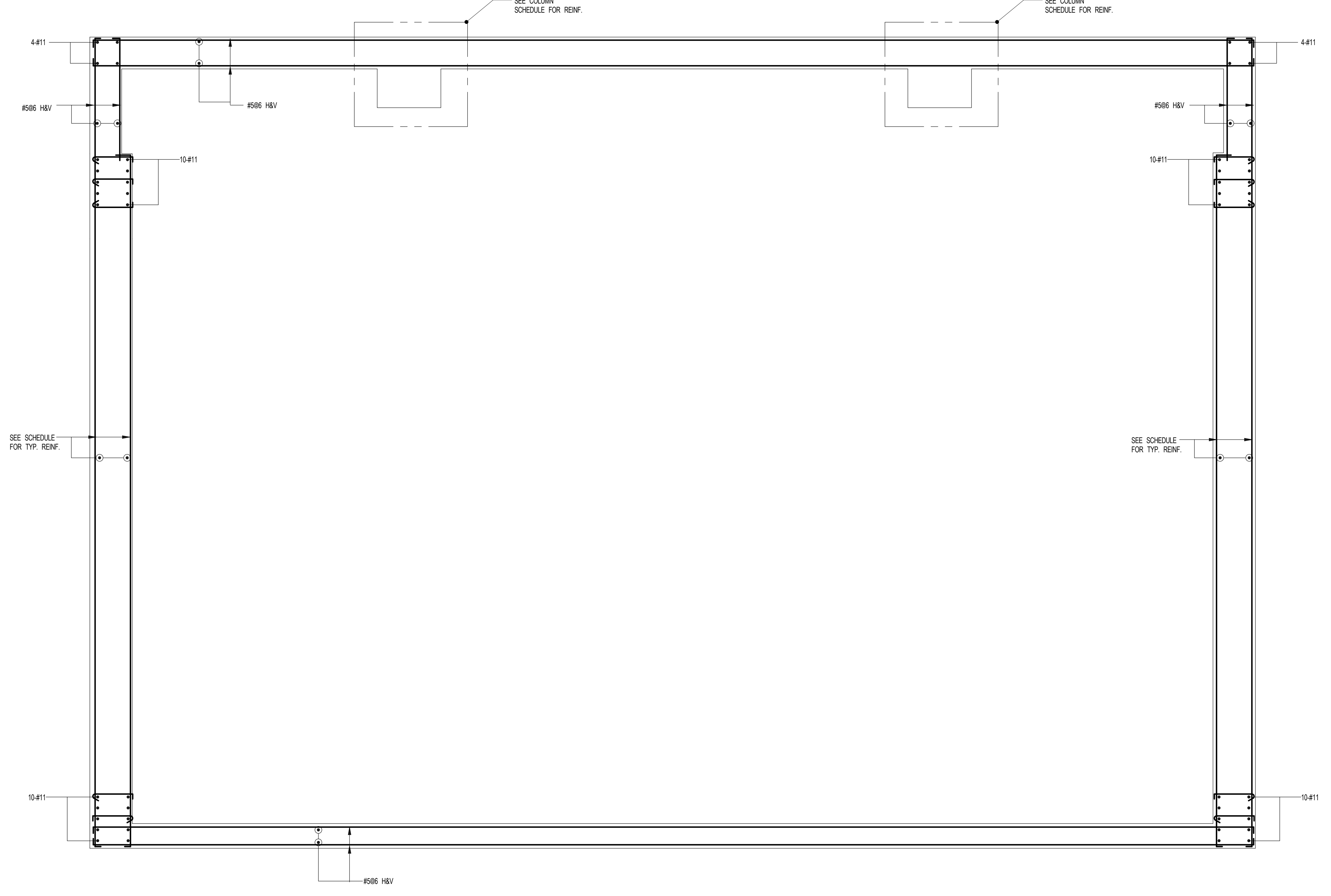
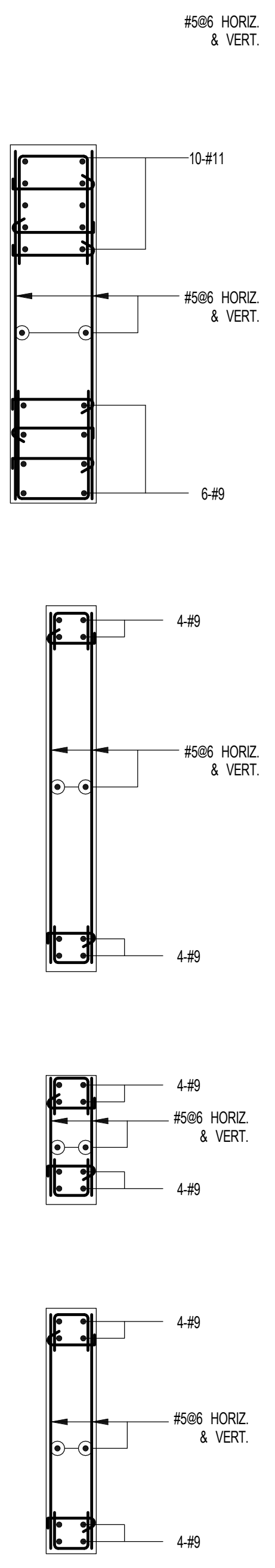
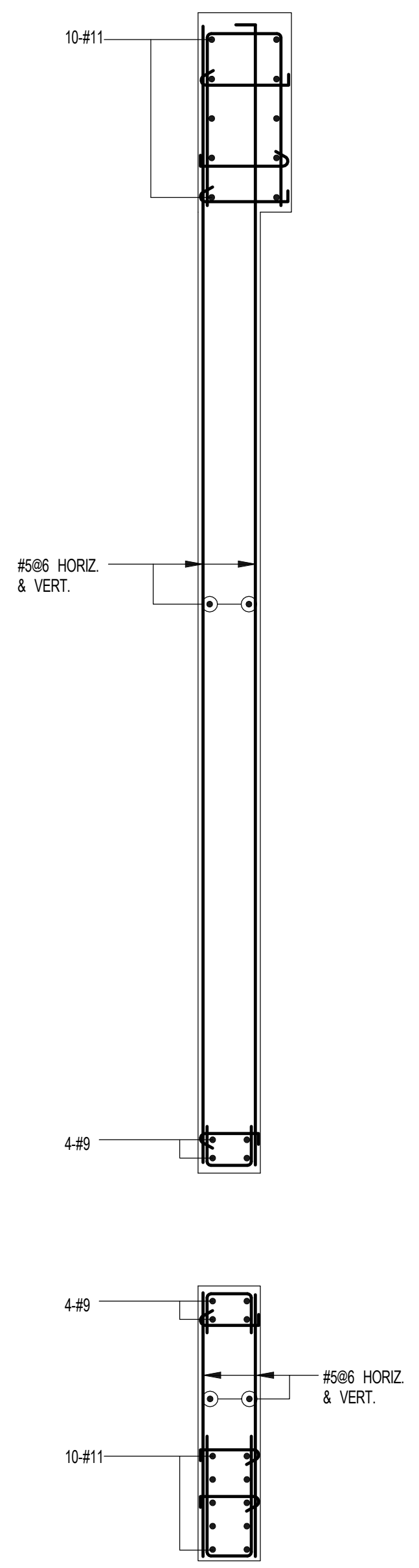


111 WEST 57TH STREET
111 WEST 57TH STREET



1 SHEARWALL REINFORCEMENT PLAN - 80TH - U/S OF 81ST FLOOR
S-947 SCALE: 3/8" = 1'-0"

2 SHEARWALL REINFORCEMENT PLAN - 81ST - TO U/S OF 85TH FLOOR
S-947 SCALE: 3/8" = 1'-0"



- NOTES
1. FOR DIMENSIONS AND SIZES SEE CORRESPONDING PLANS.
2. #11 BARS SHALL BE GRADE 75.
3. #22 BARS SHALL BE GRADE 87.
4. FOR TYP. DETAILS & TABLES SEE S-948.

1 | 3.27.15 | DOB PRA

NO.	DATE	REVISION
-----	------	----------

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF SHAP ARCHITECTS P.C. ALL RIGHTS RESERVED.

● NOT FOR CONSTRUCTION

DRAWING TITLE
SHEARWALL REINFORCEMENT PLAN - 8TH - U/S OF 85TH FLOOR

SEAL & SIGNATURE DATE 3.27.15
PROJECT NO. 1310140
DRAWN BY CADD
CHECKED BY CL
DOB NO.
DRAWING NUMBER

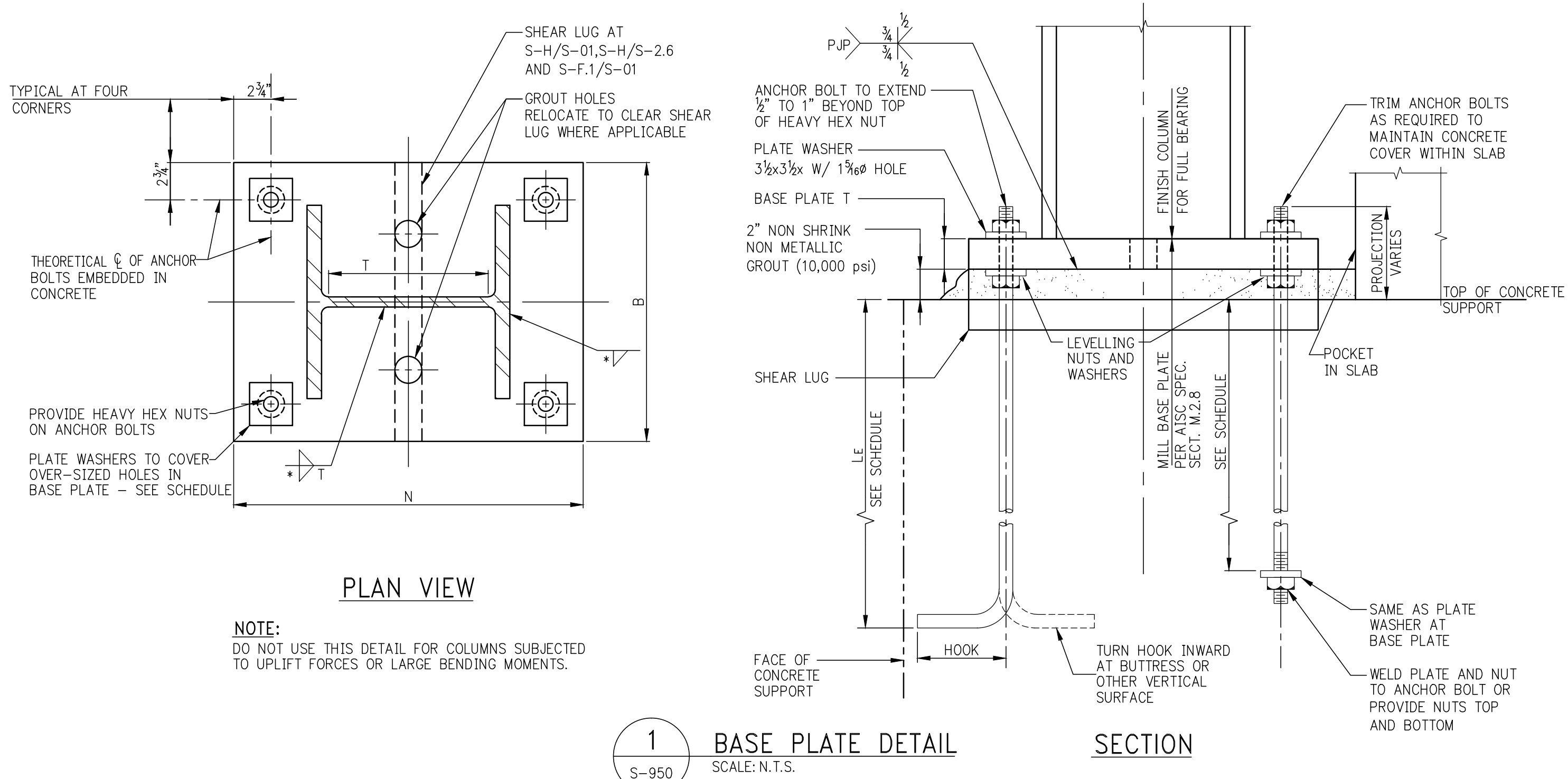


S-947.00

COLUMN SCHEDULE

COL. NO.	S-B.8	S-C	S-D	S-F.2	S-H					
FLOOR	S-9	S-10	S-5.5	S-5.7	S-6.3	S-6.5	S-0.1	S-3	S-0.1	S-2.5
8th FLOOR										
7th FLOOR	11'-6"	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159
6th FLOOR	11'-6"	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159
5th FLOOR	11'-6"	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159
4th FLOOR	11'-6"	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159
3rd FLOOR	15'-0"	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159
2ND FLOOR	15'-0"	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159
1ST FLOOR	15'-0"	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159
CELLAR	15'-0"	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159
SUB-CELLAR	15'-0"	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159	W14 x 159
BASE PLATE	26x24x2 1/2	26x24x2 1/2	26x24x2 1/2	26x24x2 1/2	26x24x2 1/2	26x24x2 1/2	26x24x2 1/2	26x24x2 1/2	26x24x2 1/2	26x24x2 1/2
END (Service) FLOOR	S-9	S-10	S-5.5	S-5.7	S-6.3	S-6.5	S-0.1	S-3	S-0.1	S-2.5
COL. NO.	S-B.8	S-C	S-D	S-F.2	S-H					

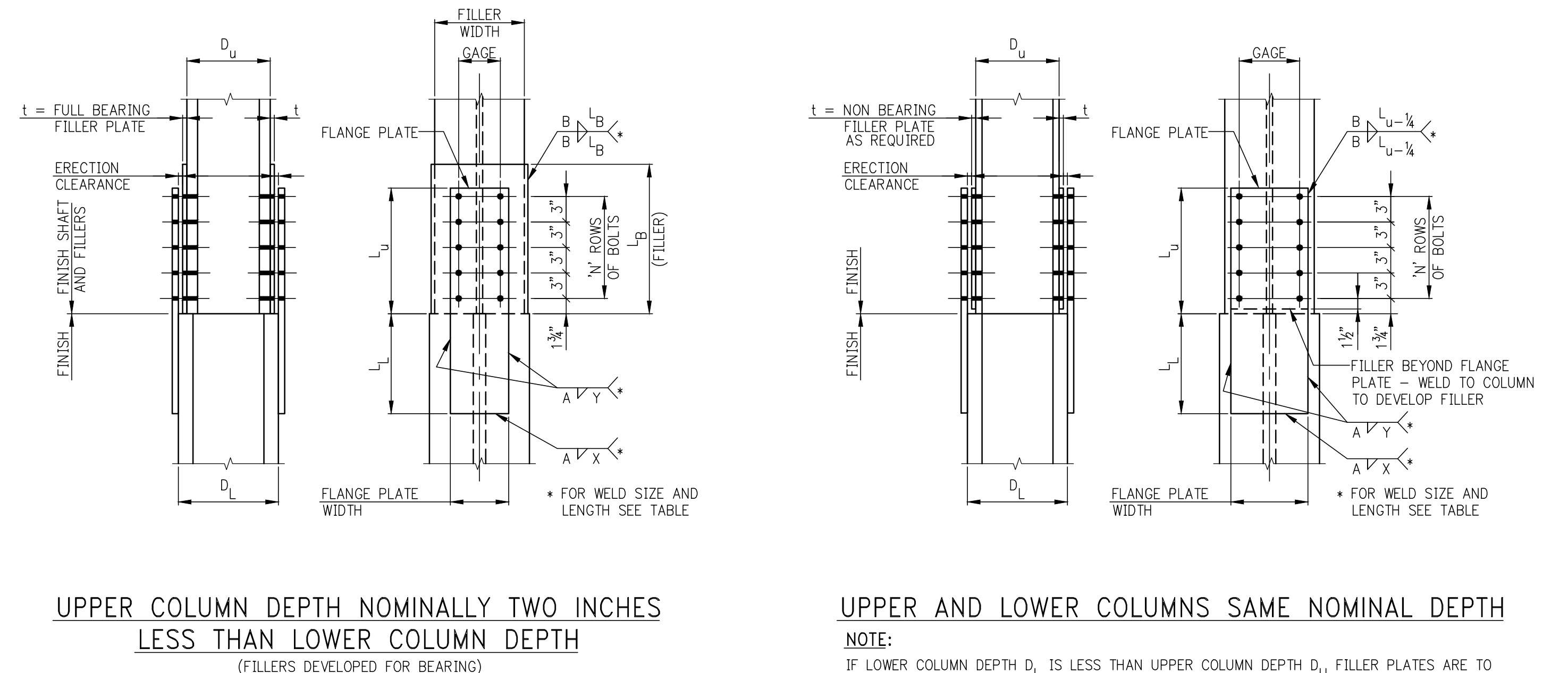
- NOTES:**
- COLUMN LOADS SHOWN IN SCHEDULE ARE LRFD FACTORED LOADS IN KIPS.
 - ALL COLUMNS SHALL BE ASTM A-992 (Fy=50 KSI) STEEL U.O.N.
 - ALL BASE PLATES TO BE ASTM A-572 (Fy=50 KSI) U.O.N.
 - FIRST DIMENSION OF BASE PLATE IS PARALLEL TO COLUMN WEB.
 - FLOOR TO FLOOR DIMENSIONS SHOWN ARE TO TOP OF CONCRETE SLAB.
 - HEAVY LINE AT TOP INDICATES TOP OF COLUMN, HEAVY LINE AT BOTTOM OF COLUMN INDICATES BOTTOM OF BASE PLATE. TOP AND BOTTOM OF COLUMN ELEVATIONS ARE TO BE CONFIRMED WITH COORDINATE.
 - SL INDICATES SHEAR LUG 2"x6".
 - COLUMN SPLICES ON LINE S-H AND S-F.1/S-01 TO BE DESIGNED FOR MIN. 75% OF MOMENT CAPACITY.
 - FOR GENERAL NOTES, SEE DWG. FD-001.



PLAN VIEW

SECTION

1 BASE PLATE DETAIL
SCALE: N.T.S.



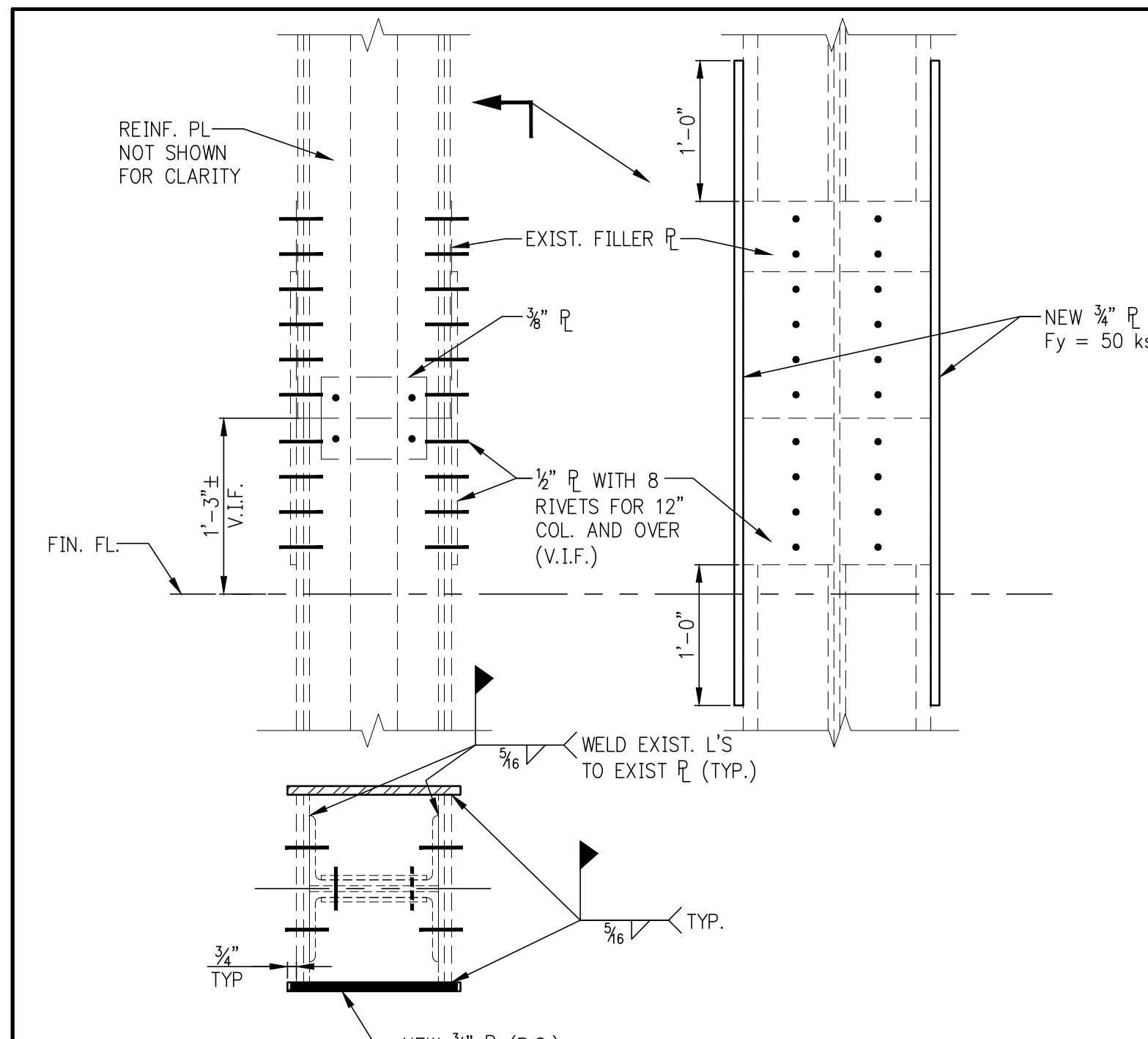
UPPER COLUMN DEPTH NOMINALLY TWO INCHES LESS THAN LOWER COLUMN DEPTH
(FILLERS DEVELOPED FOR BEARING)

UPPER AND LOWER COLUMNS SAME NOMINAL DEPTH

2 COLUMN SPLICES (U.O.N.)
SCALE: N.T.S.

MINIMUM BASE PLATE/ANCHOR BOLT REQUIREMENTS

COLUMN SIZES	W12x45 TO MAXIMUM W12 W14x311	W14x342 TO W14x500
MINIMUM WELD SIZE - COLUMN TO BASE PLATE	3/8"	3/8"
MINIMUM ANCHOR BOLT REQUIREMENT	4-1 1/2" DIA.	4-1 1/2" DIA.
HOLE DIAMETER IN BASE PLATE	2 3/4"	2 3/4"
E = EDGE DISTANCE TO HOLES	2 3/4"	2 3/4"
LE = BOLT EMBODIMENT LENGTH	1'-9"	2'-2"
BOLT HOOK DIMENSION OR PLATE REQUIREMENT	6"	8" OR NUT + PLATE
PLATE WASHER	3/8"x3/8" W/7/8" HOLE	3/8"x3/8" W/1 1/8" HOLE
MINIMUM 1/4" FOR BOLT + WASHER	d COL. + 11"	d COL. + 11 1/2"
REMARKS		

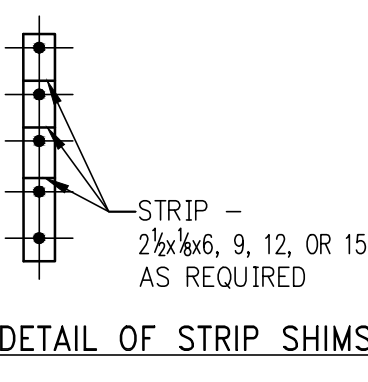


3 EXISTING COLUMN SPLICE REIN. DETAIL
SCALE: N.T.S.

FLANGE PLATES - MINIMUM REQUIREMENTS

COLUMN FLANGE WIDTH	COLUMN FLANGE THICKNESS	FLANGE PLATE MIN. / MAX. WIDTH	MINIMUM NUMBER OF ROWS OF 3/8" SLIP CRITICAL BOLTS	MINIMUM L ₁ (LOWER SHAFT)	MINIMUM SIZE OF FILLET WELDS
6 1/2"	-	5 1/2"	2	8	3/8" x 3/8"
8"	-	6 1/2"	2	10	3/8" x 3/8"
10"	-	8 1/2"	2	10	3/8" x 3/8"
12"	1/2" x 1.50"	8 3/4"	3	12	3/8" x 3/8"
12"	1/2" x 1.50"	10 3/4"	4	15	3/8" x 3/8"
14"	-	10 3/4"	3	12	3/8" x 3/8"
15"	-	12 3/4"	4	12	3/8" x 3/8"
16"	1/2" x 2.50"	12 3/4"	4	12	3/8" x 3/8"
16"	1/2" x 2.50"	14 3/4"	4	14	3/8" x 3/8"
17 1/2"	-	14 1"	5	16	3/8" x 3/8"

- (WELD "A") IF COLUMN FLANGE THICKNESS EXCEEDS 3/4", THE MINIMUM WELD SIZE SHALL BE INCREASED TO 3/8"
- (WELD "B") IF EITHER THE UPPER COLUMN FLANGE OR THE FILLER PLATE THICKNESS EXCEEDS 3/4", THE MINIMUM WELD SIZE SHALL BE INCREASED TO 3/8"

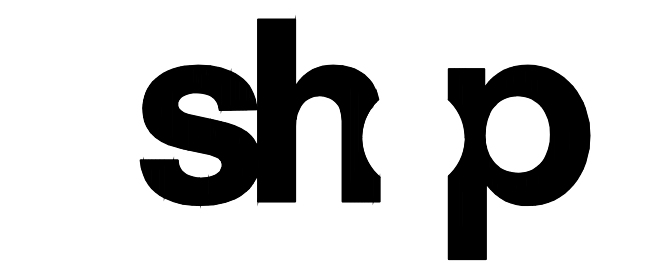


DETAIL OF STRIP SHIMS

- ### COLUMN SPLICE REQUIREMENTS:
- INTERFACE OF UPPER AND LOWER COLUMNS SHALL DEVELOP FULL CAPACITY OF SMALLER COLUMN IN BEARING.
 - FILLER PLATES TO BE SAME GRADE OF STEEL (F_y) AS COLUMNS.
 - FILLER PLATES SHALL DEVELOP THE PORTION OF THE SMALLER COLUMN FLANGE CAPACITY LOST DUE TO NON-ALIGNMENT OF FLANGES WHERE COLUMNS ARE NOT CENTERED OR OF DIFFERENT NOMINAL DEPTH.
 - SHOP DRAWINGS SHALL REQUIRE THAT CENTER PUNCH MARKS BE PLACED ON CENTERLINES OF ALL FACES OF UPPER AND LOWER SHAFTS.
 - CONTRACTOR MAY SUBMIT A PROPOSAL TO PROVIDE ALL-WELDED COLUMN FLANGE - PLATED SPLICES OR DIRECTLY WELDED FLANGE SPLICES, FOR THE ENGINEER'S REVIEW AND APPROVAL.
 - CONTRACTOR MAY SUBMIT A PROPOSAL TO PROVIDE A BUTT PLATE IN LIEU OF BEARING FILLERS AT COLUMNS WITH A DEPTH D₁ NOMINALLY TWO INCHES LESS THAN DEPTH D₂ FOR THE ENGINEER'S REVIEW AND APPROVAL.



JDS DEVELOPMENT GROUP
124 WEST 57TH STREET, 11TH FLOOR
NEW YORK, NY 10019
TEL: 646.435.3600



ARCHITECT
SNIP ARCHITECTS P.C.
250 BROADWAY, 17TH FLOOR
NEW YORK, NY 10006
TEL: 212.686.0000

STRUCTURAL ENGINEER
TOP CONCRETE SERVICE
250 BROADWAY, 17TH FLOOR
NEW YORK, NY 10006
TEL: 212.686.0000

MEP ENGINEER
JAFRO BALM & SOULES
80 WEST STREET, 12TH FLOOR
NEW YORK, NY 10006
TEL: 212.260.0000

CIVIL ENGINEER
AMF ENGINEERING P.C.
400 PARK AVE SOUTH, 7TH FLOOR
NEW YORK, NY 10018
TEL: 402.289.0000

ACOUSTICS
LONKMAN INCORPORATED
40 WEST 38TH STREET, 4TH FLOOR
NEW YORK, NY 10018
TEL: 917.208.8880

INTERIORS
STUDIO SOURCE
300 WALKER STREET
NEW YORK, NY 10003
TEL: 212.675.1000

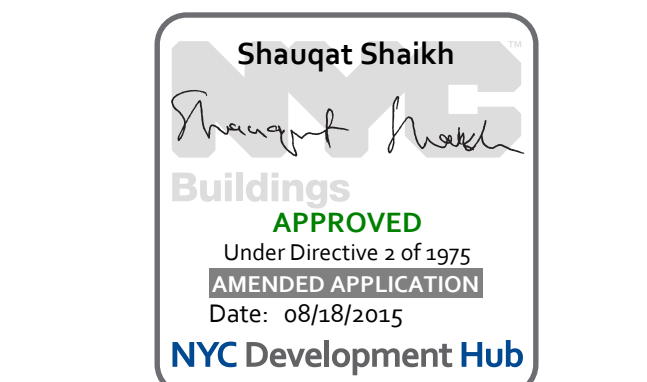
GEOTECH
SRICE
225 WEST 24TH STREET, 8TH FLOOR
NEW YORK, NY 10001
TEL: 917.288.8800

LIGHTING
CONTEMPORARY INTERNATIONAL
100 WALKER STREET, 7TH FLOOR EAST
NEW YORK, NY 10003
TEL: 212.251.4400



PROPERTY MARKETS GROUP
6 EAST 17TH STREET, 2ND FLOOR
NEW YORK, NY 10003
TEL: 212.619.9900

CURRENT ISSUE
DOB PAA



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



NO.	DATE	REVISION
1	2/21/15	DOSPAA
2	5.1.14	DOS PERMISSIT

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF JDS DEVELOPMENT GROUP. COPYRIGHT © 2015 SNIP ARCHITECTS P.C. ALL RIGHTS RESERVED.

● NOT FOR CONSTRUCTION

DRAWING TITLE
STEEL COLUMN SCHEDULE AND DETAILS

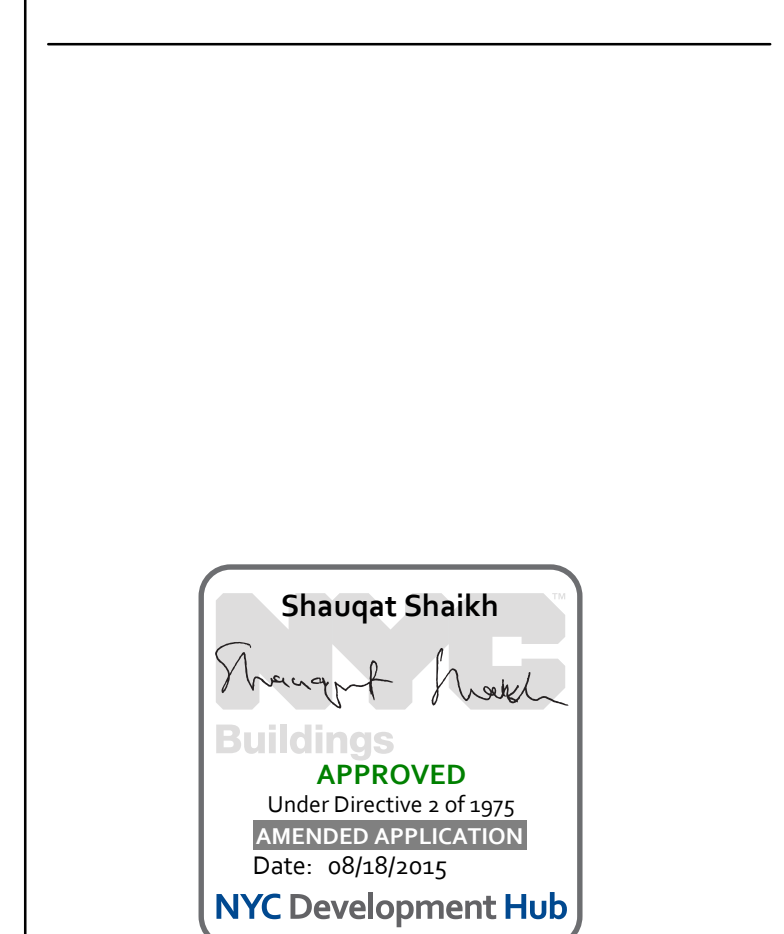
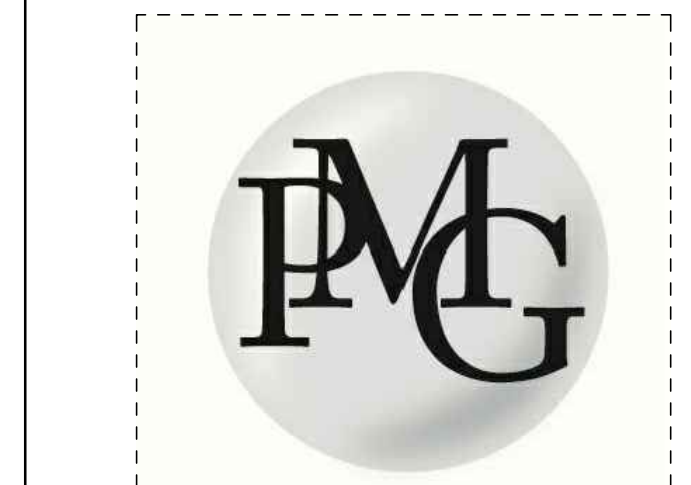
SEAL & SIGNATURE
DATE: 07/16/15
PROJECT NO.: 1310140
DRAWN BY: CAD
CHECKED BY: CL
DOB NO.: 121330900
DRAWING NUMBER



S-950.01
SHEET XX OF XX

COLUMN SCHEDULE

FLOOR	COL. NO	1	2	3	4	5	6	7	8	9	10
CONTINUED											
34TH (MECHANICAL)		15319	14962								
33RD		16077	15668								
32ND		16251	15831								
31ST		16424	15993								
30TH		16593	16149								
29TH		16763	16306								
28TH		16929	16440								
27TH		17096	16610								
26TH		17260	16756								
25TH		17418	16897								
24TH		17573	17036								
23RD		17723	17818								
22ND		17866	17933								
21ST		18004	18049								
20TH		18140	18164								
19TH (MECHANICAL)		18267	18268	185	176						
18TH (MECHANICAL)		18561	18655	4736	5368						
17TH (MECHANICAL)		18664	18862	7873	8337						
16TH (MECHANICAL)		18926	19216	10669	9492						
15TH (MECHANICAL)		19140	19440	10726	9545						
14TH		19556	19856	11496	10337						
13TH		19935	20247	11775	10403						
12TH		20247	20561	12111	10494						
11TH		20561	20877	12447	10587						
10TH		20877	21194	12784	10681						
9TH		21194	21512	13121	10775						
8TH		21512	21831	13458	10869						
7TH (WINTER GARDEN)		21831	22151	13795	10963						
6TH (MECHANICAL)		22151	22471	14132	11057						
5TH		22471	22791	14469	11151						
4TH		22791	23111	14806	11245						
3RD		23111	23431	15143	11339						
2ND		23431	23751	15480	11433						
1ST		23751	24071	15817	11527						
CELLAR 1		24071	24391	16154	11621						
CELLAR 2		24391	24711	16491	11715						
0		24711	25031	16828	11809						
IND (service) FLOOR		25031	25351	17165	11903						
FLOOR		25351	25671	17502	12000						
		25671	25991	17839	12094						
		25991	26311	18176	12188						
		26311	26631	18513	12282						
		26631	26951	18850	12376						
		26951	27271	19187	12470						
		27271	27591	19524	12564						
		27591	27911	19861	12658						
		27911	28231	20198	12752						
		28231	28551	20535	12846						
		28551	28871	20872	12940						
		28871	29191	21209	13034						
		29191	29511	21546	13128						
		29511	29831	21883	13222						
		29831	30151	22220	13316						
		30151	30471	22557	13410						
		30471	30791	22894	13504						
		30791	31111	23231	13598						
		31111	31431	23568	13692						
		31431	31751	23905	13786						
		31751	32071	24242	13880						
		32071	32391	24579	13974						
		32391	32711	24916	14068						
		32711	33031	25253	14162						
		33031	33351	25590	14256						
		33351	33671	25927	14350						
		33671	33991	26264	14444						
		33991	34311	26601	14538						
		34311	34631	26938	14632						
		34631	34951	27275	14726						
		34951	35271	27612	14820						
		35271	35591	27949	14914						
		35591	35911	28286	15008						
		35911	36231	28623	15102						
		36231	36551	28960	15196						
		36551	36871	29297	15290						
		36871	37191	29634	15384						
		37191	37511	29971	15478						
		37511	37831	30308	15572						
		37831	38151	30645	15666						
		38151	38471	30982	15760						
		38471	38791	31319	15854						
		38791	39111	31656	15948						
		39111	39431	31993	16042						
		39431	39751	32330	16136						
		39751	40071	32667	16230						
		40071	40391	33004	16324						
		40391	40711	33341	16418						
		40711	41031	33678	16512						
		41031	41351	34015	16606						
		41351	41671	34352	16700						
		41671	41991	34689	16794						
		41991	42311	35026	16888						
		42311	42631	35363	16982						
		42631	42951	35700	17076						
		42951	43271	36037	17170						
		43271	43591	36374	17264						
		43591	43911	36711	17358						
		43911	44231	37048	17452						
		44231	44551	37385	17546						
		44551	44871	37722	17640						
		44871	45191	38059	17734						
		45191	45511	38396	17828						
		45511	45831	38733	17922						
		45831	46151	39070	18016						
		46151	46471	39407	18110						
		46471	46791	39744	18204						
		46791	47111	40081	18298						
		47111	47431	40418	18392						
		47431	47751	40755	18486						
		47751	48071	41092	18580						
		48071	48391	41429	18674						
		48391	48711	41766	18768						
		48711	49031	42103	18862						
		49031	49351	42440	18956						
		49351	49671	42777	19050						
		49671	49991	43114	19144						
		49991	50311	43451	19238						
		50311	50631	43788	19332						
		50631	50951	44125	19426						
		50951	51271	44462	19520						
		51271	51591	44799	19614						
		51591	51911	45136	19708						
		51911	52231	45473	19802						
		52231	52551	45810	19896						
		52551	52871	46147	19990						
		52871	53191	46484	20084						
		53191	53511	46821	20178						
		53511	53831	47158	20272						
		53831	54151	47495	20366						
		54151	54471	47832	20460						
		54471	54791	48169	20554						
		54791	55111	48506	20648						
		55111	55431	48843	20742						
		55431	55751	49180	20836						



111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019



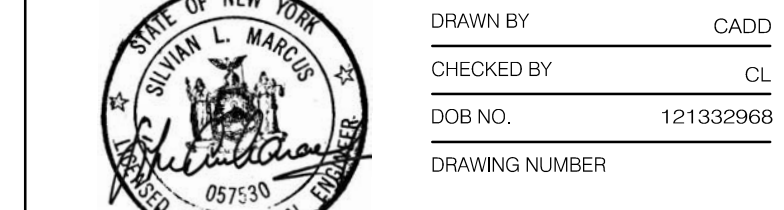
NO.	DATE	DESCRIPTION	REVISION
1	3/21/15	DCS/PA	
2	5/1/15	DCS/HUS/SJS	

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JDS DEVELOPMENT GROUP.

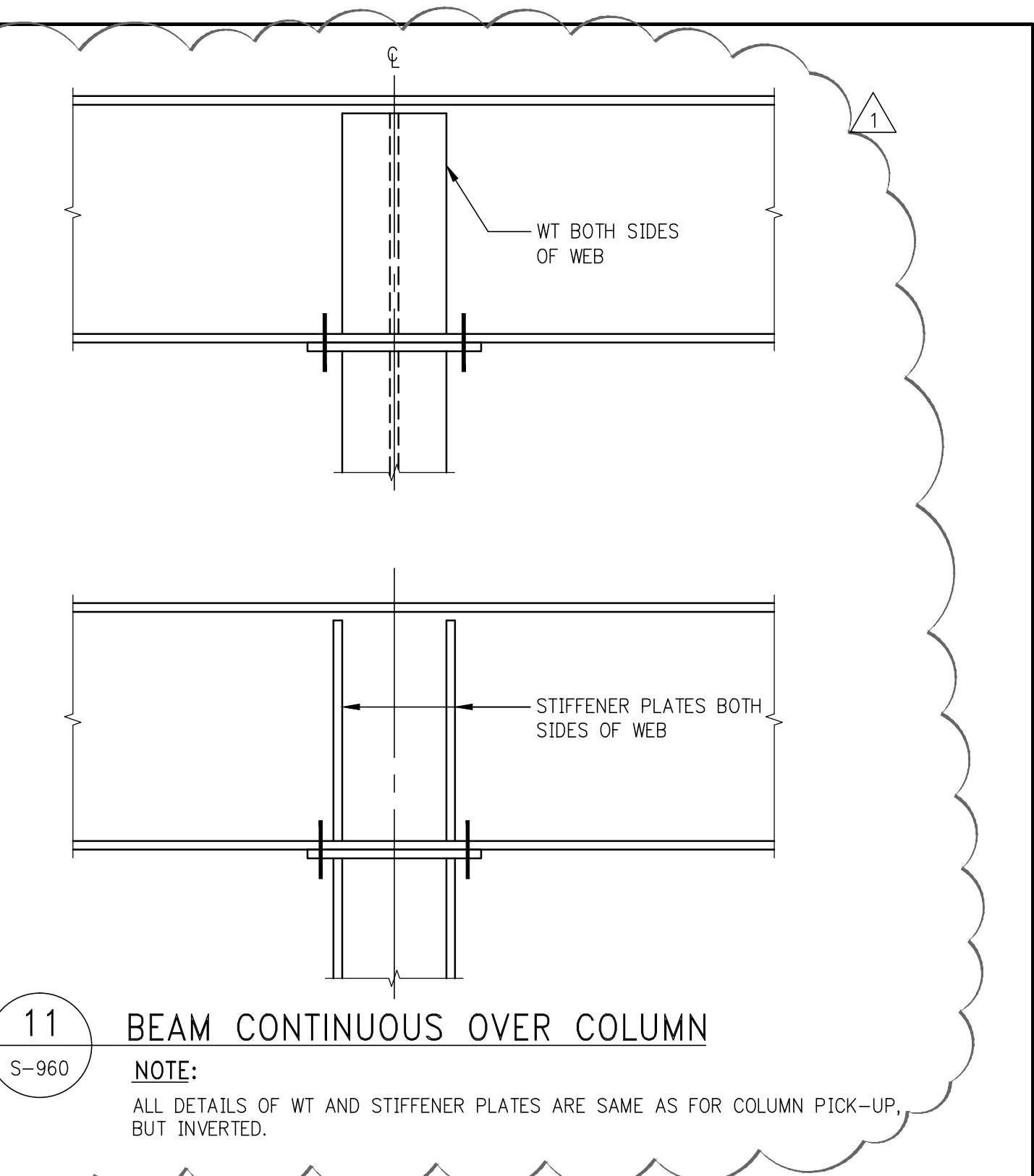
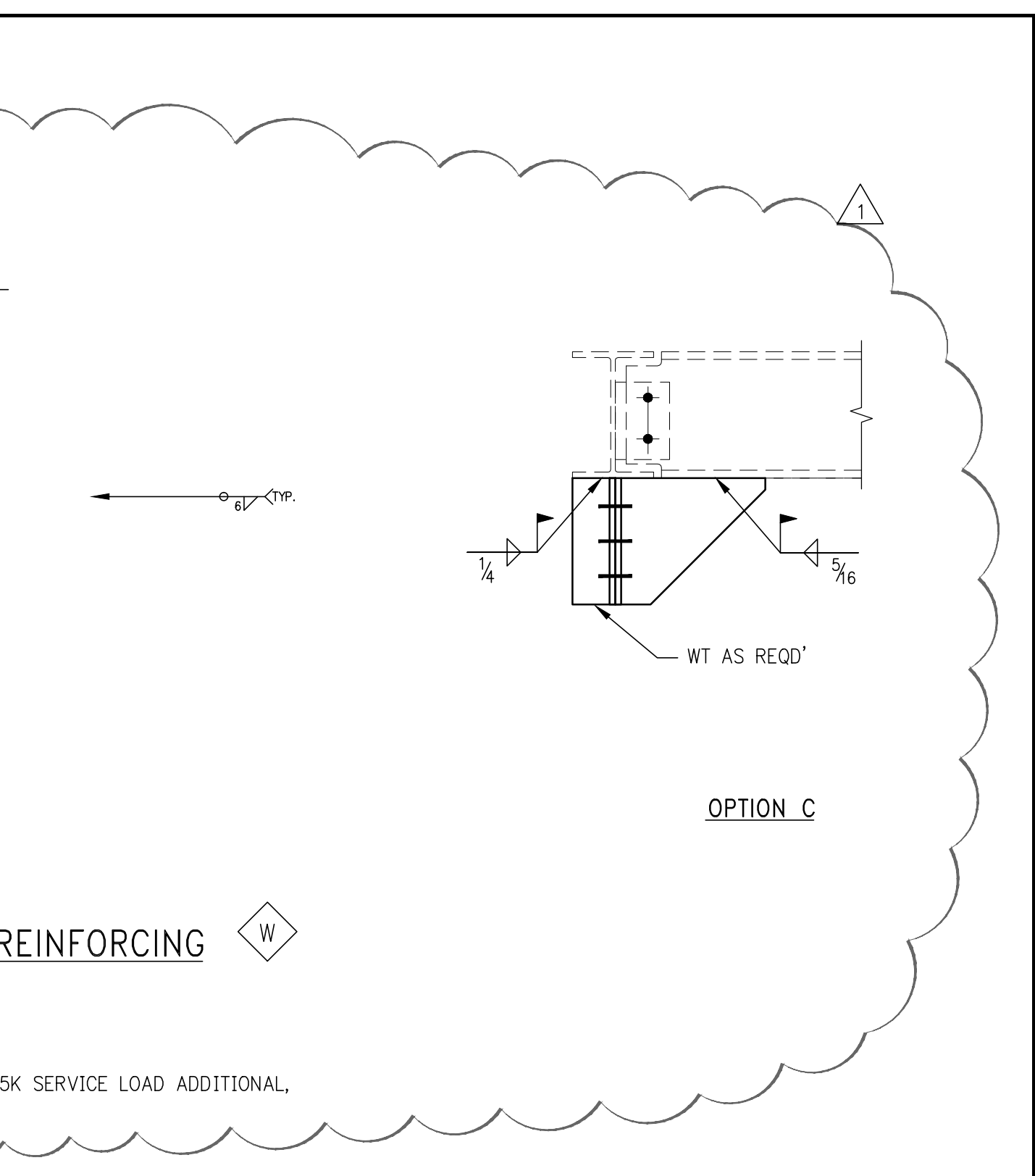
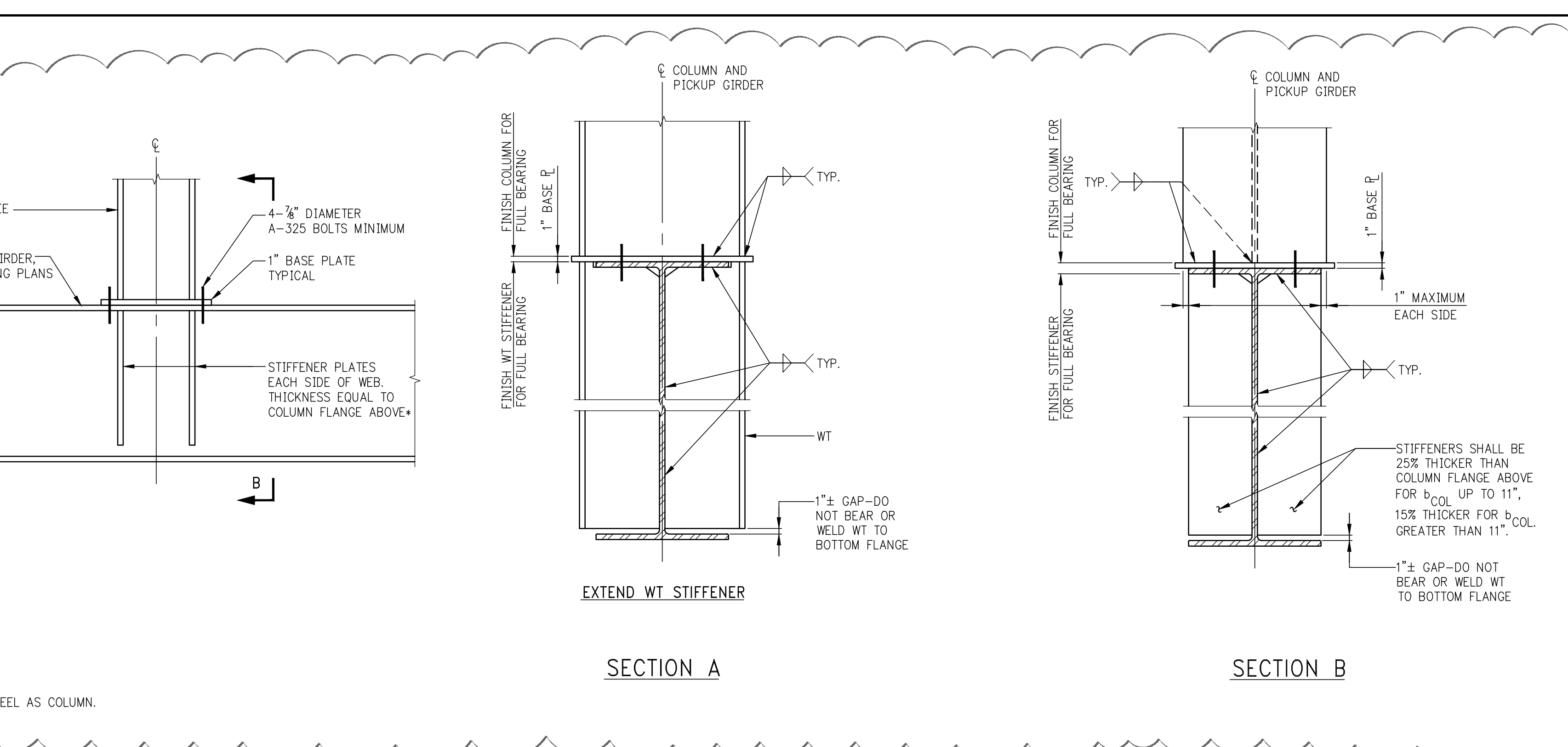
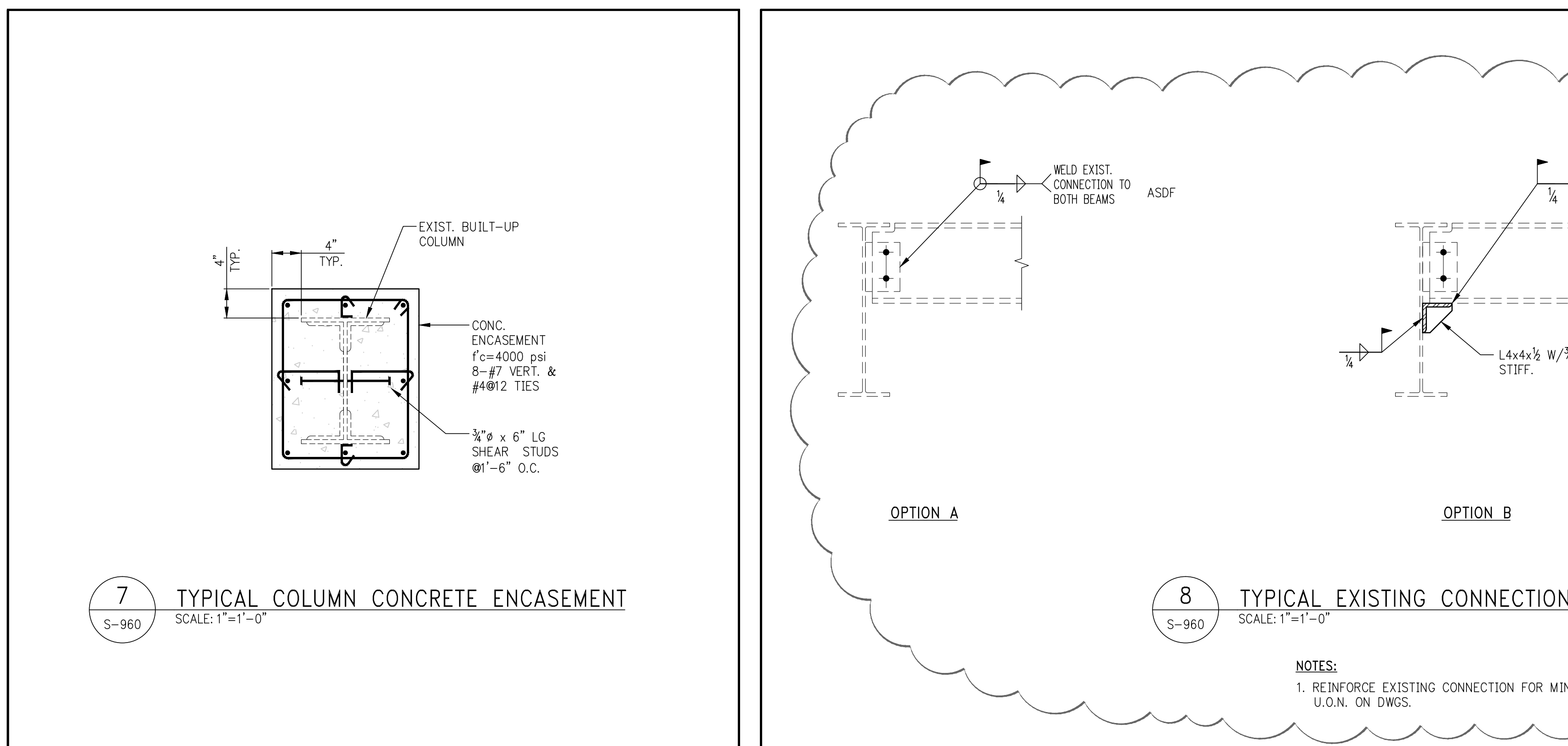
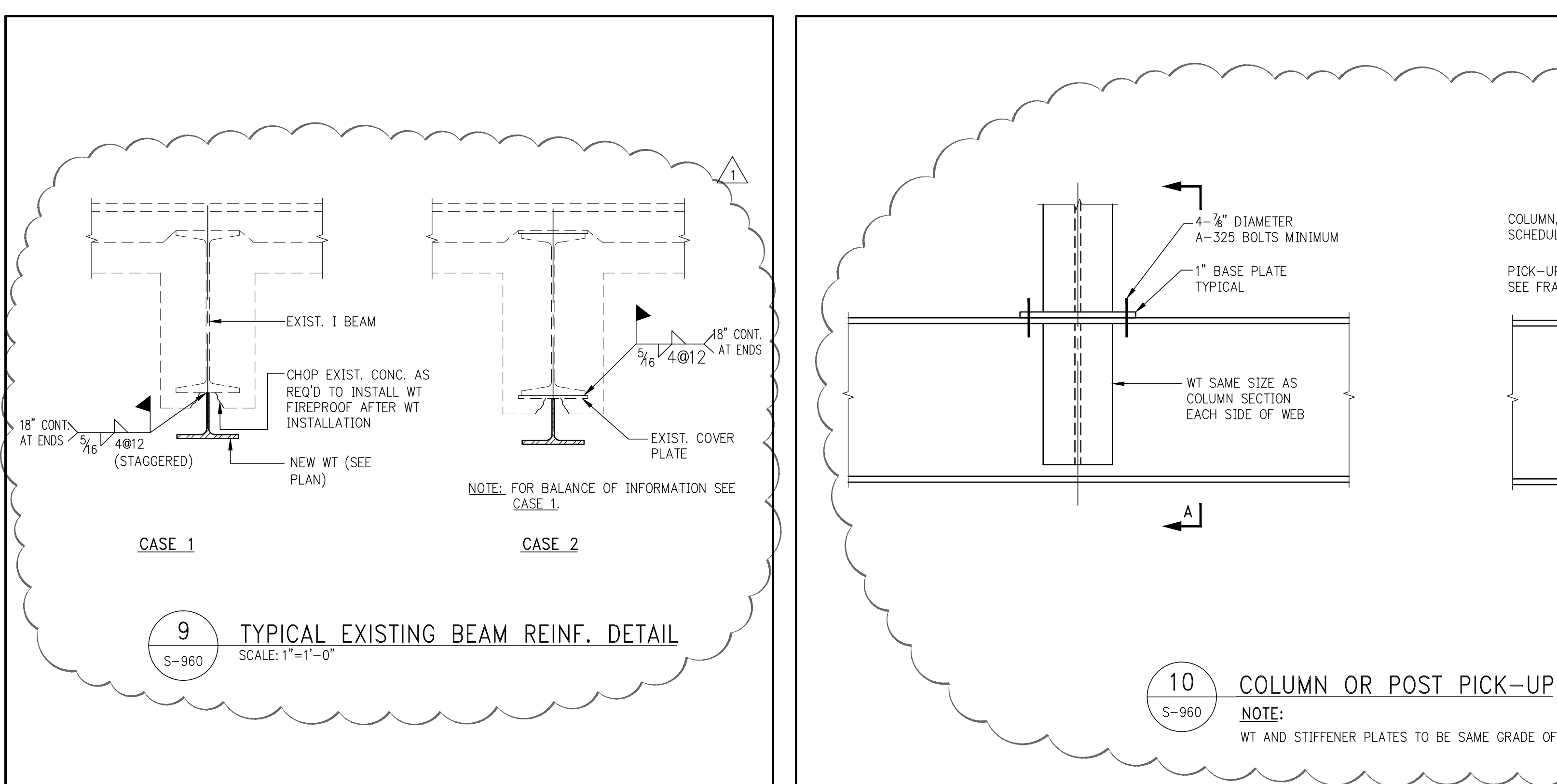
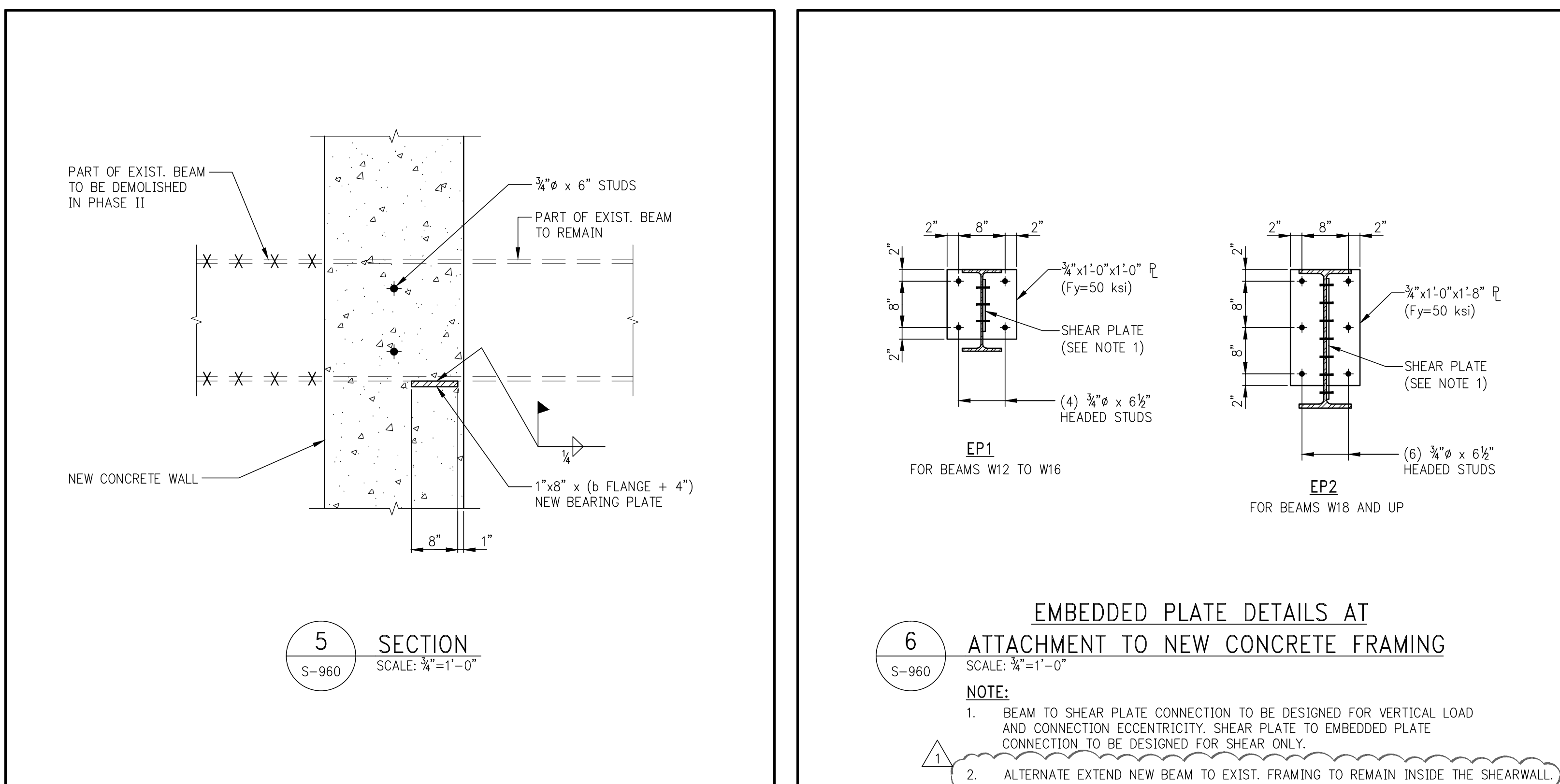
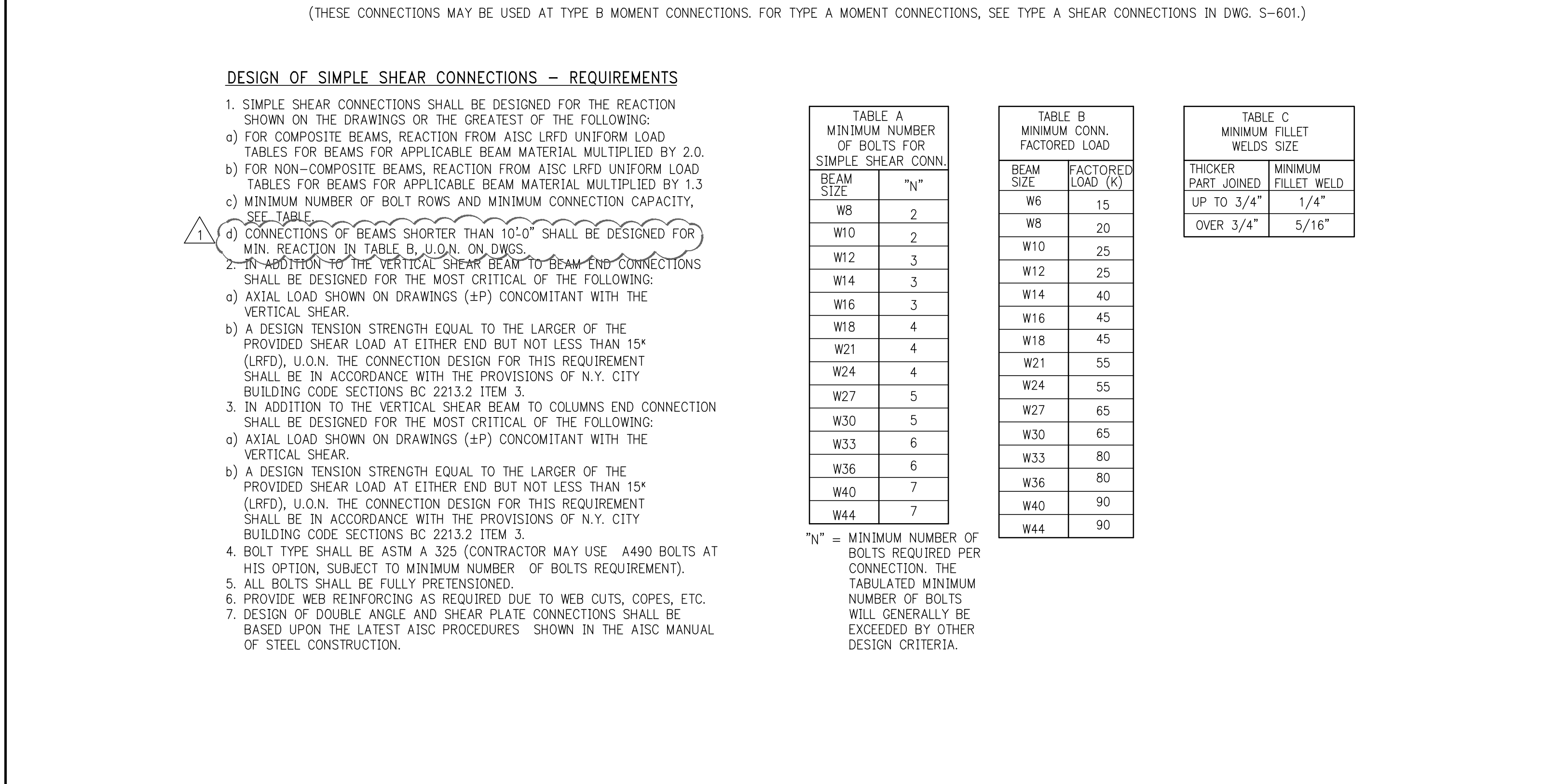
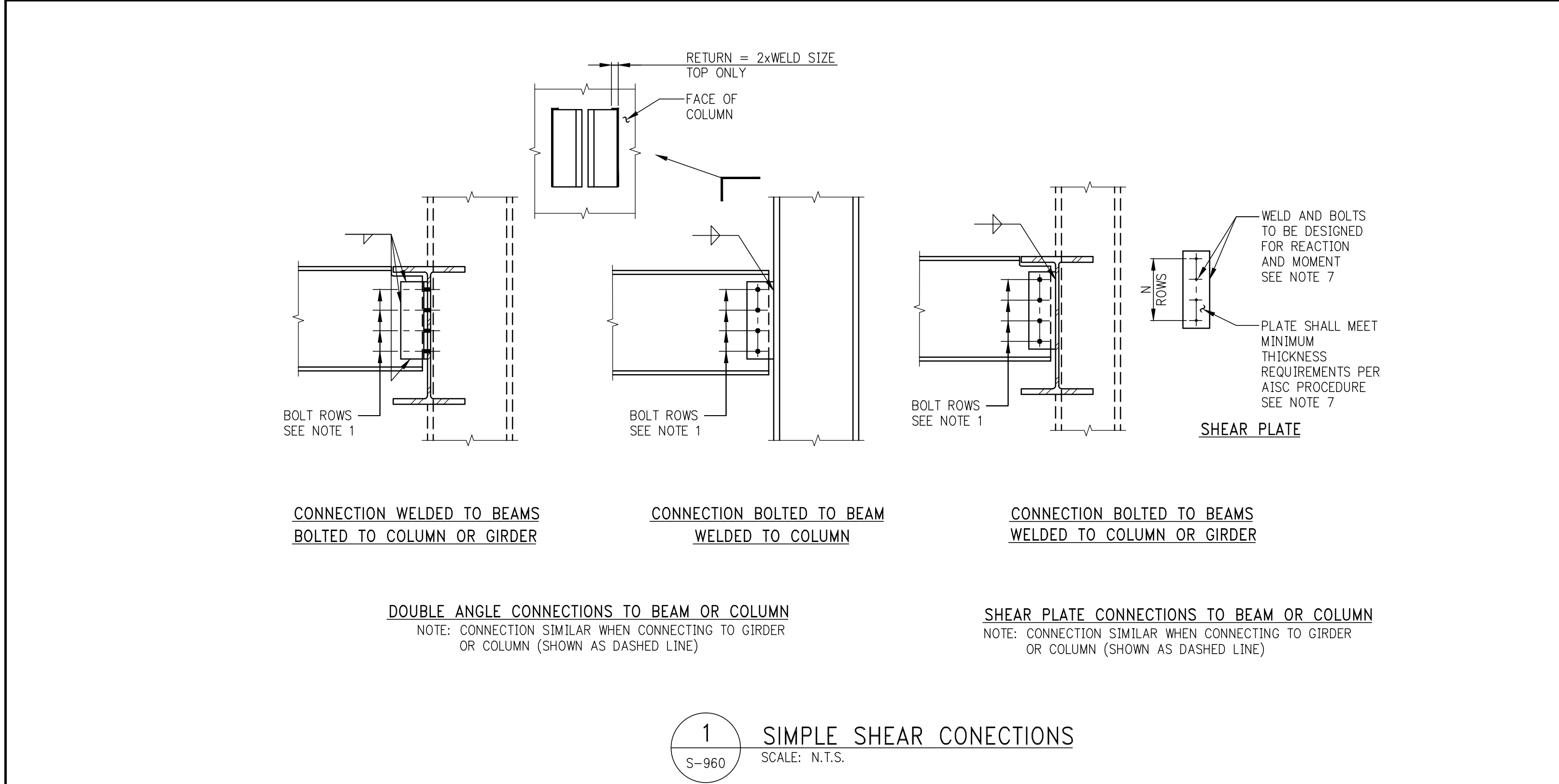
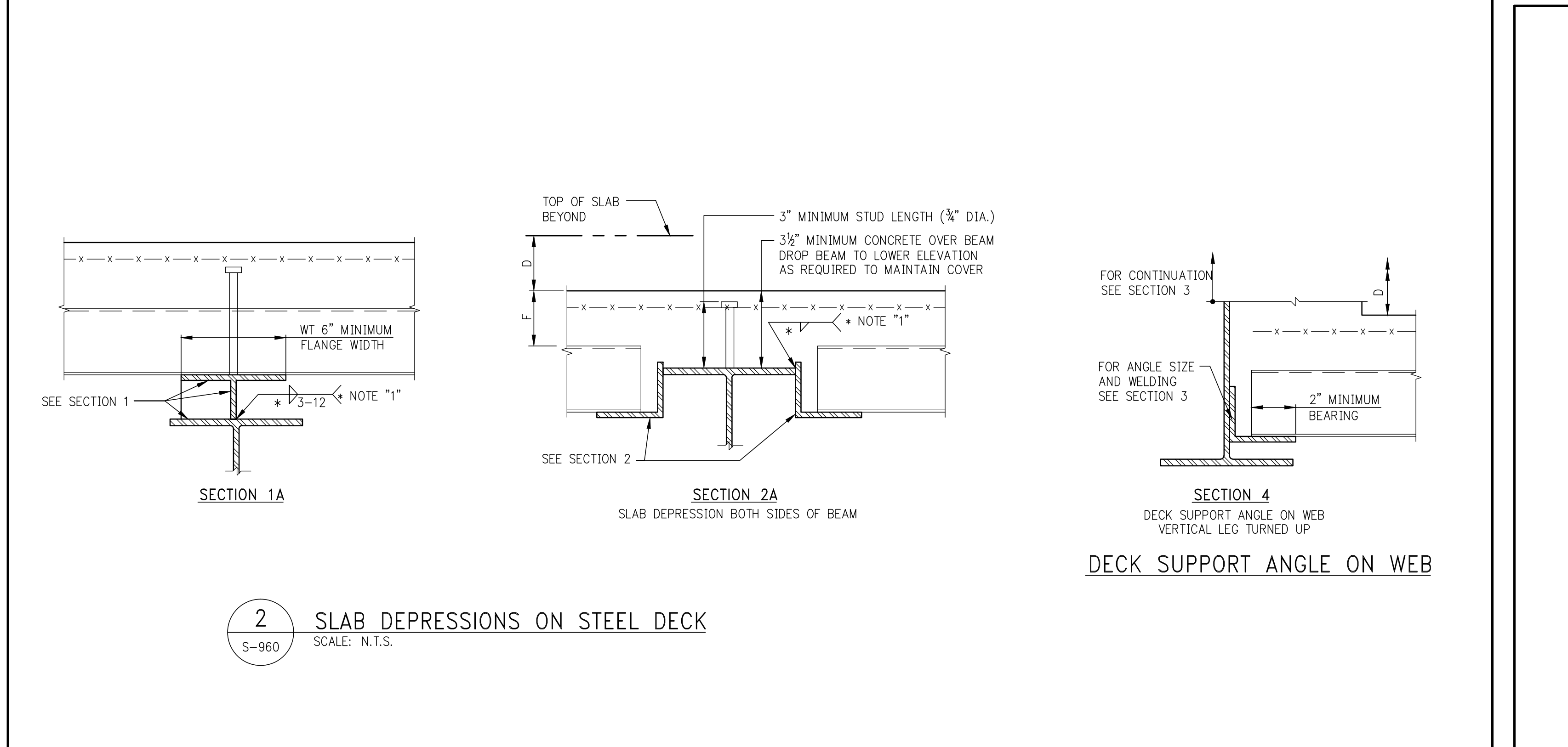
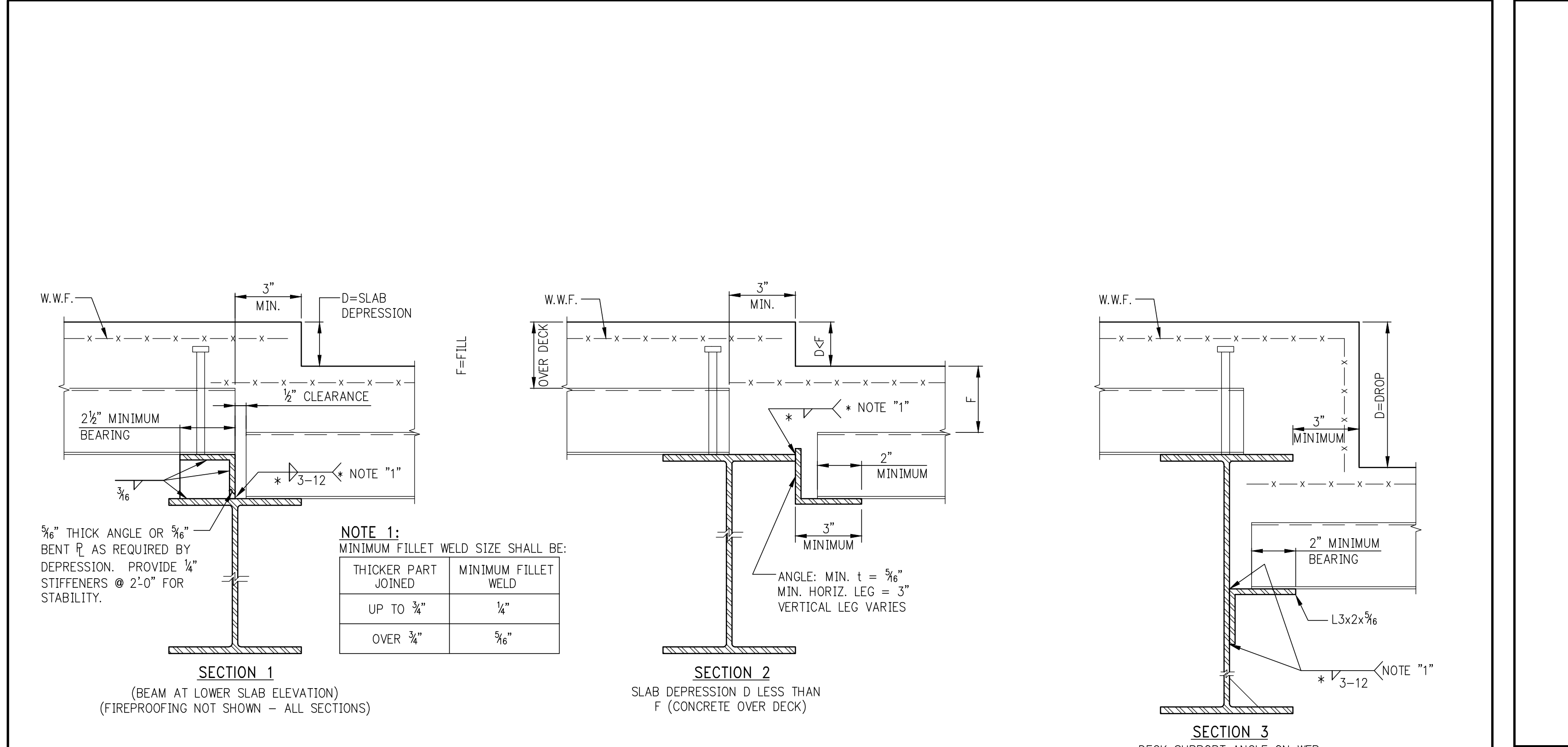
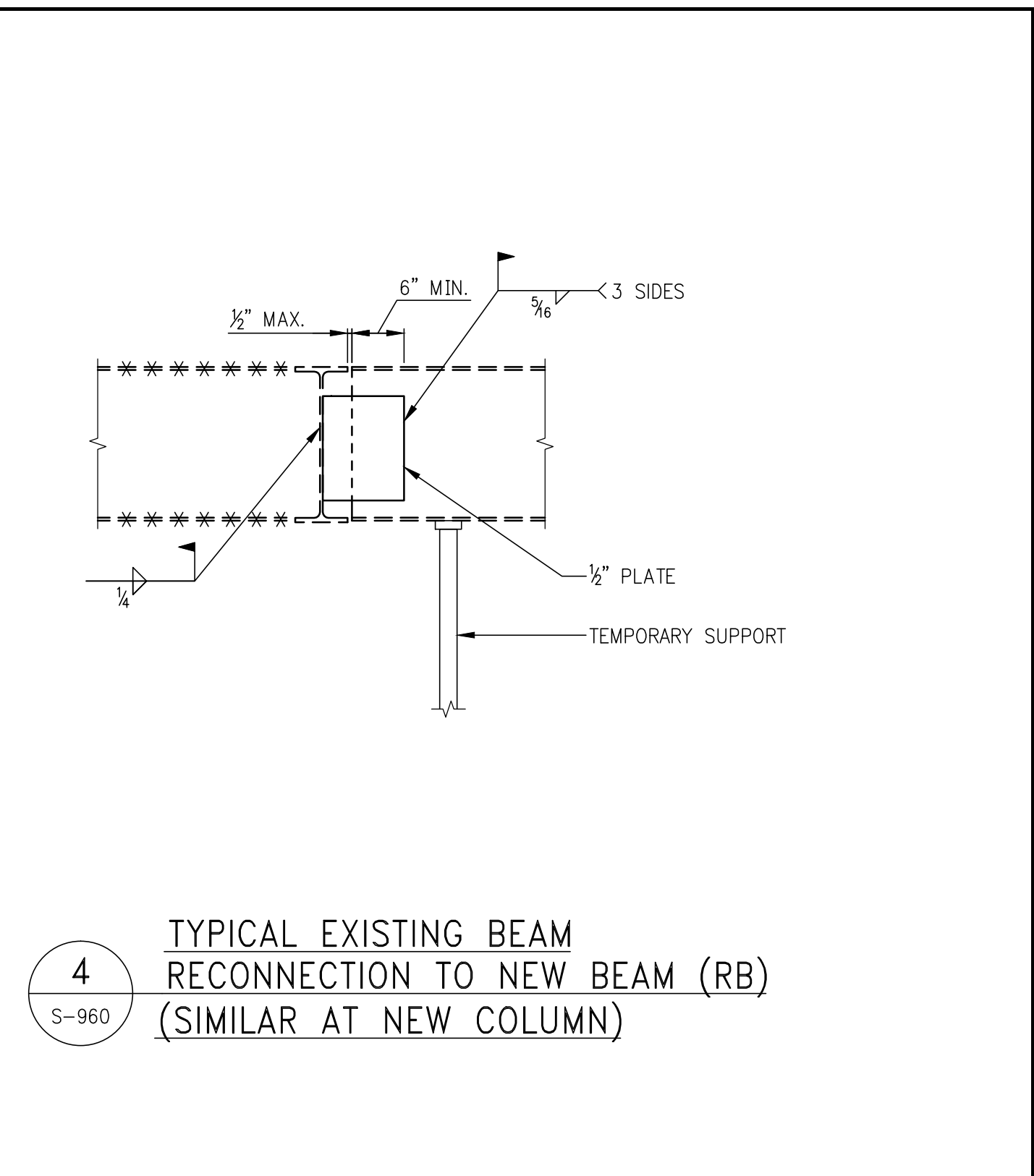
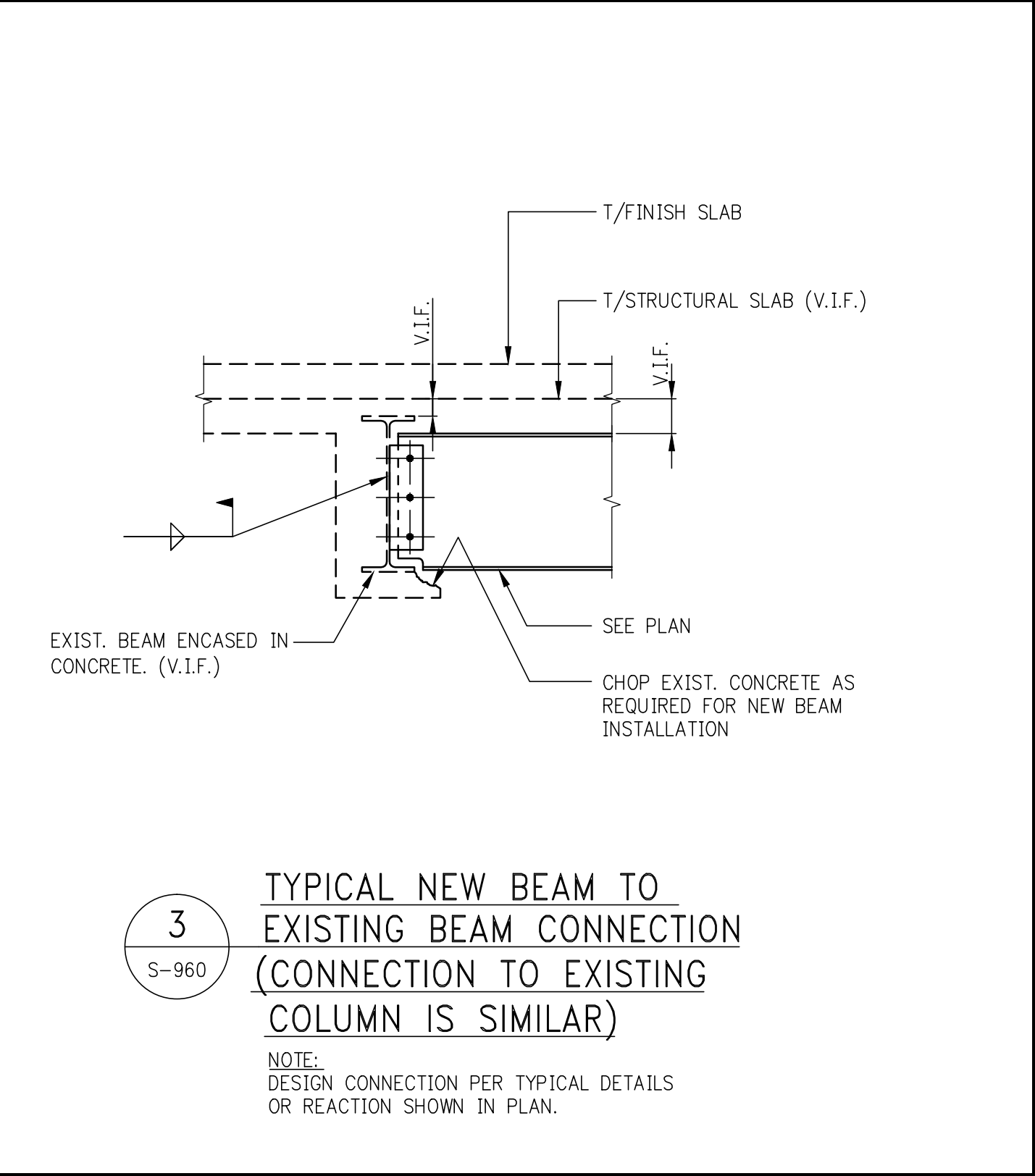
NOT FOR CONSTRUCTION

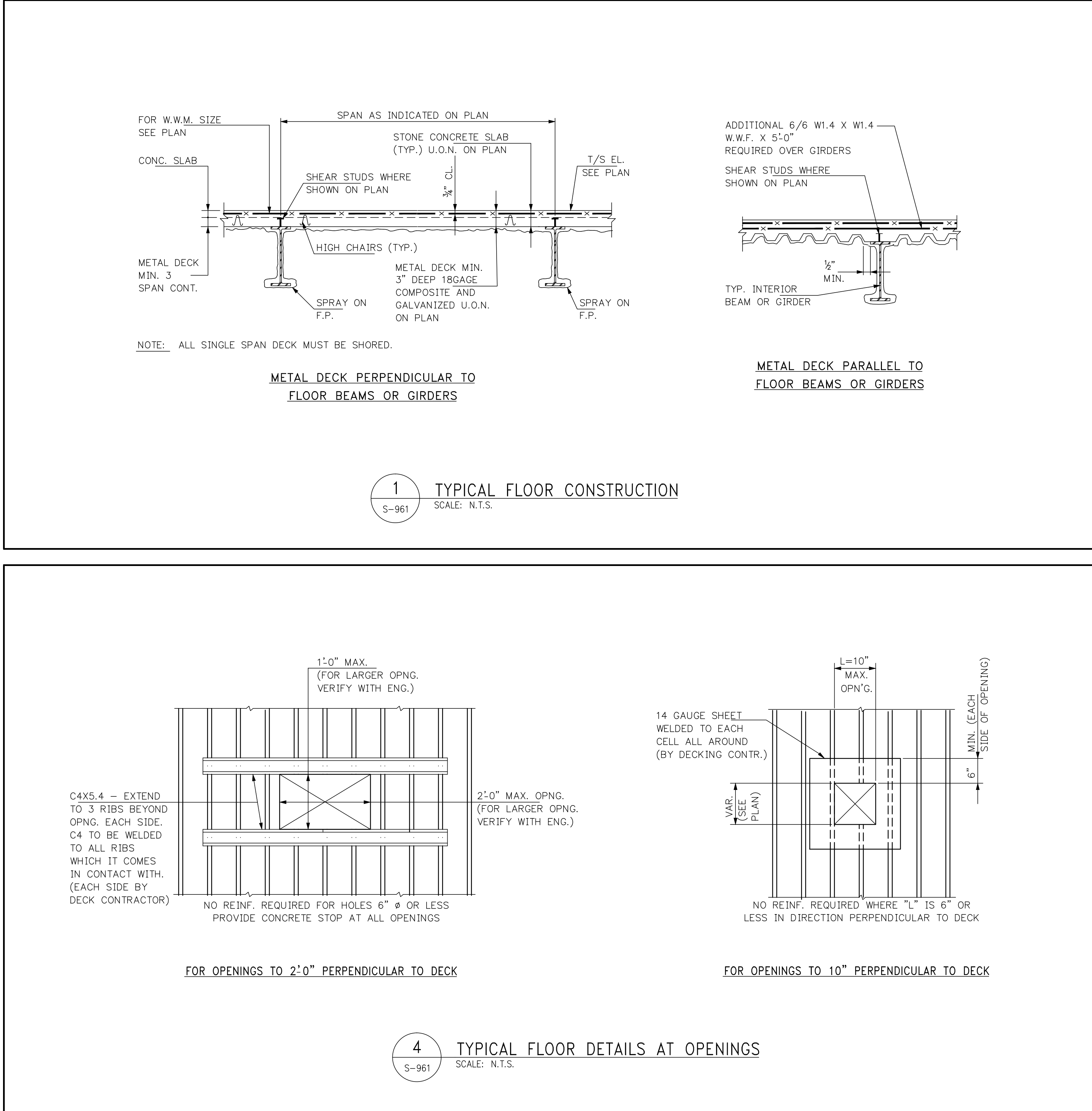
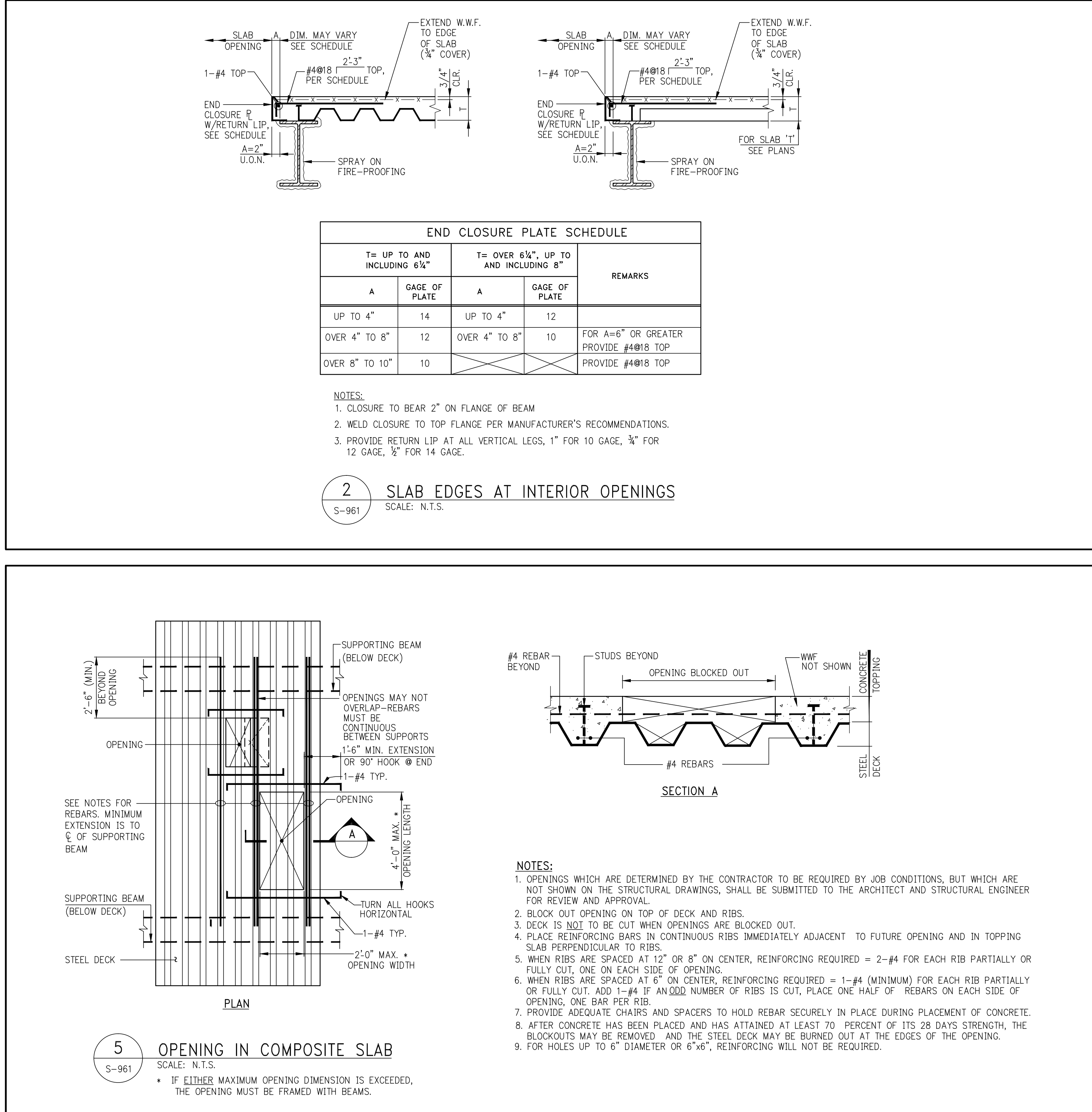
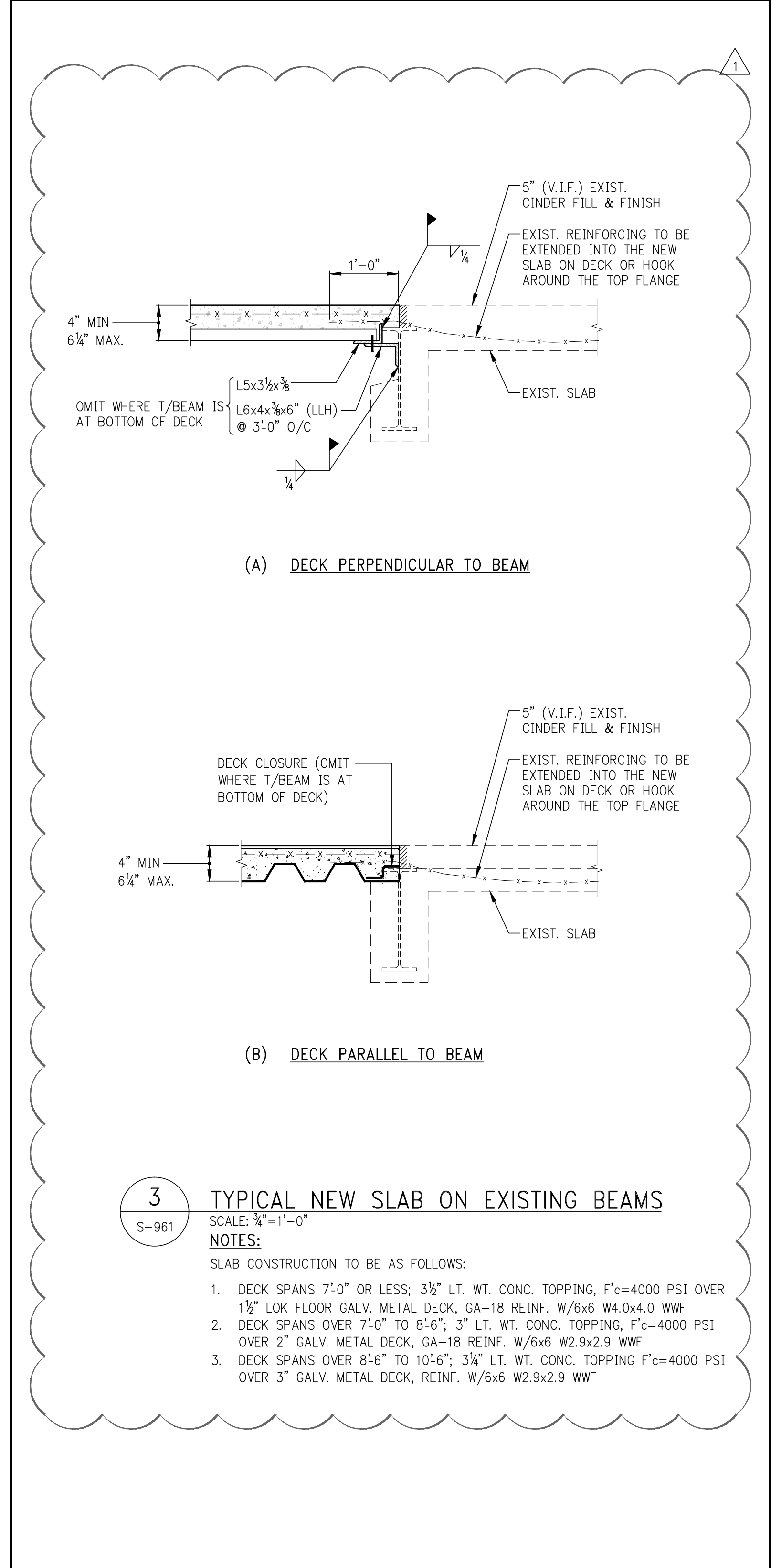
STEEL TYPICAL SUPERSTRUCTURE DETAILS 1

SEAL & SIGNATURE: DATE: 07/16/15
PROJECT NO.: 1310140
DRAWN BY: CADG
CHECKED BY: CL
DOB NO.: 121330968
DRAWING NUMBER



S-960.01
SHEET XX OF XX





111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019

APPROVED
Under Directive 2 of 1975
DATE: 08/28/2015
NYC Development Hub

NO.	DATE	REVISION
1	2/2/15	DISPNA DOS/RLS/STP

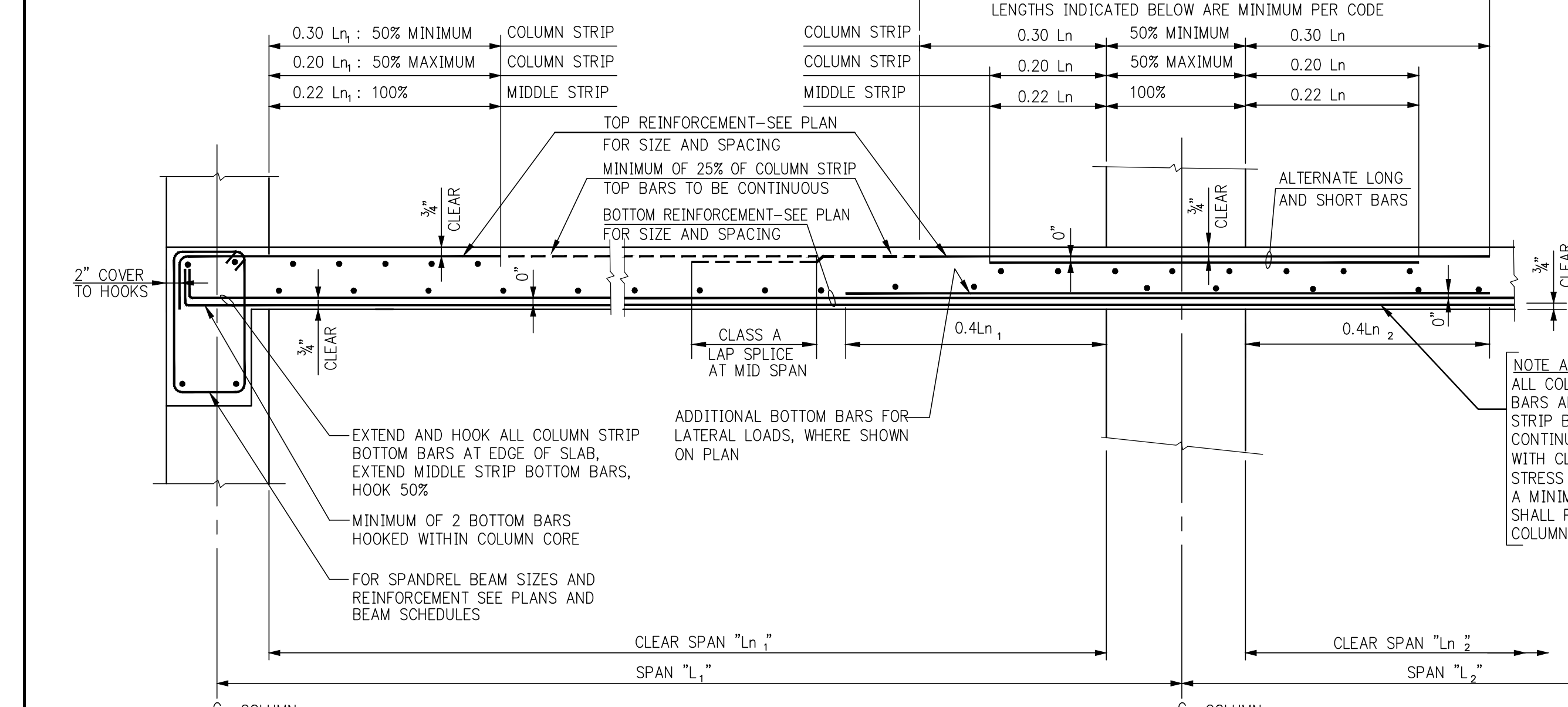
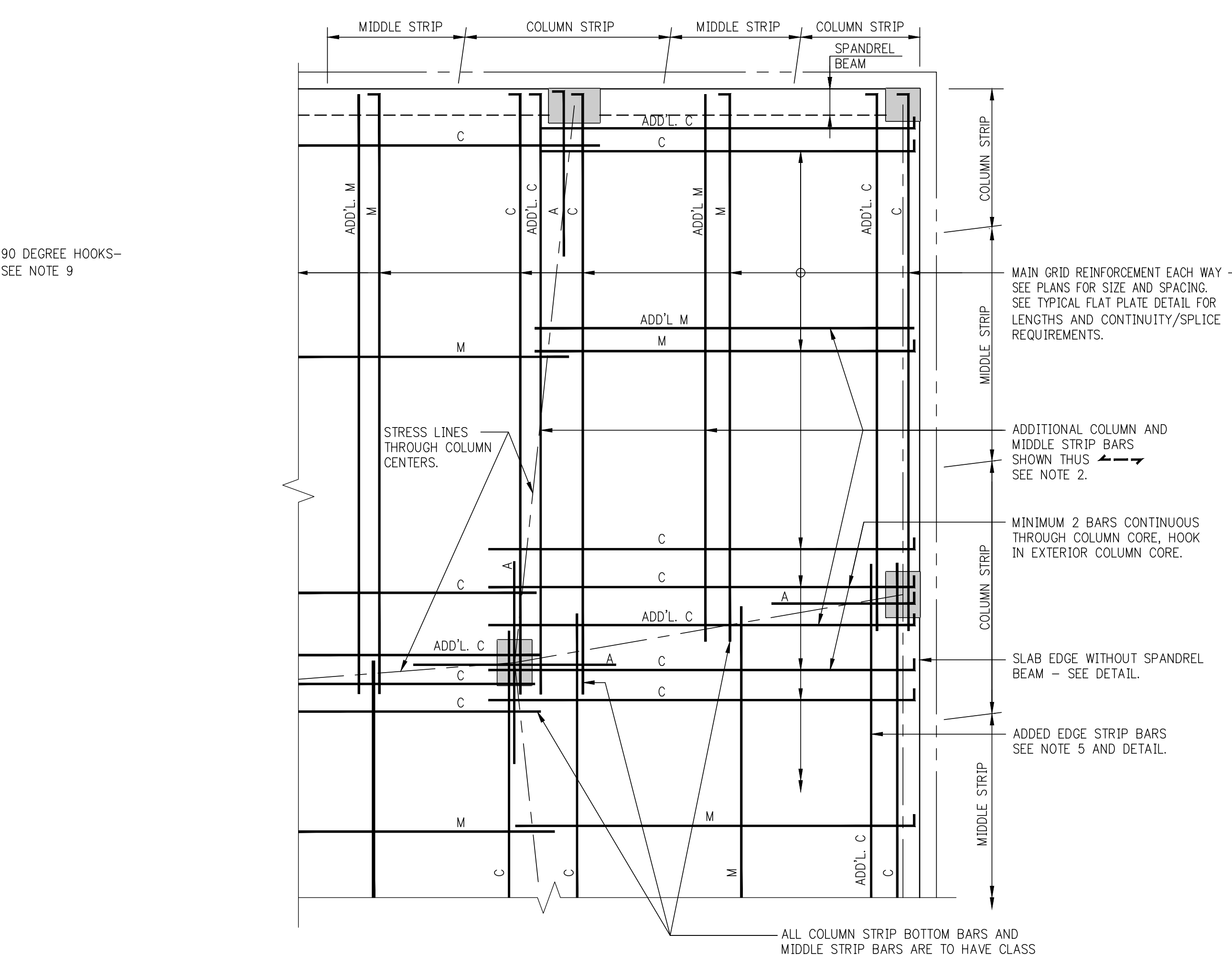
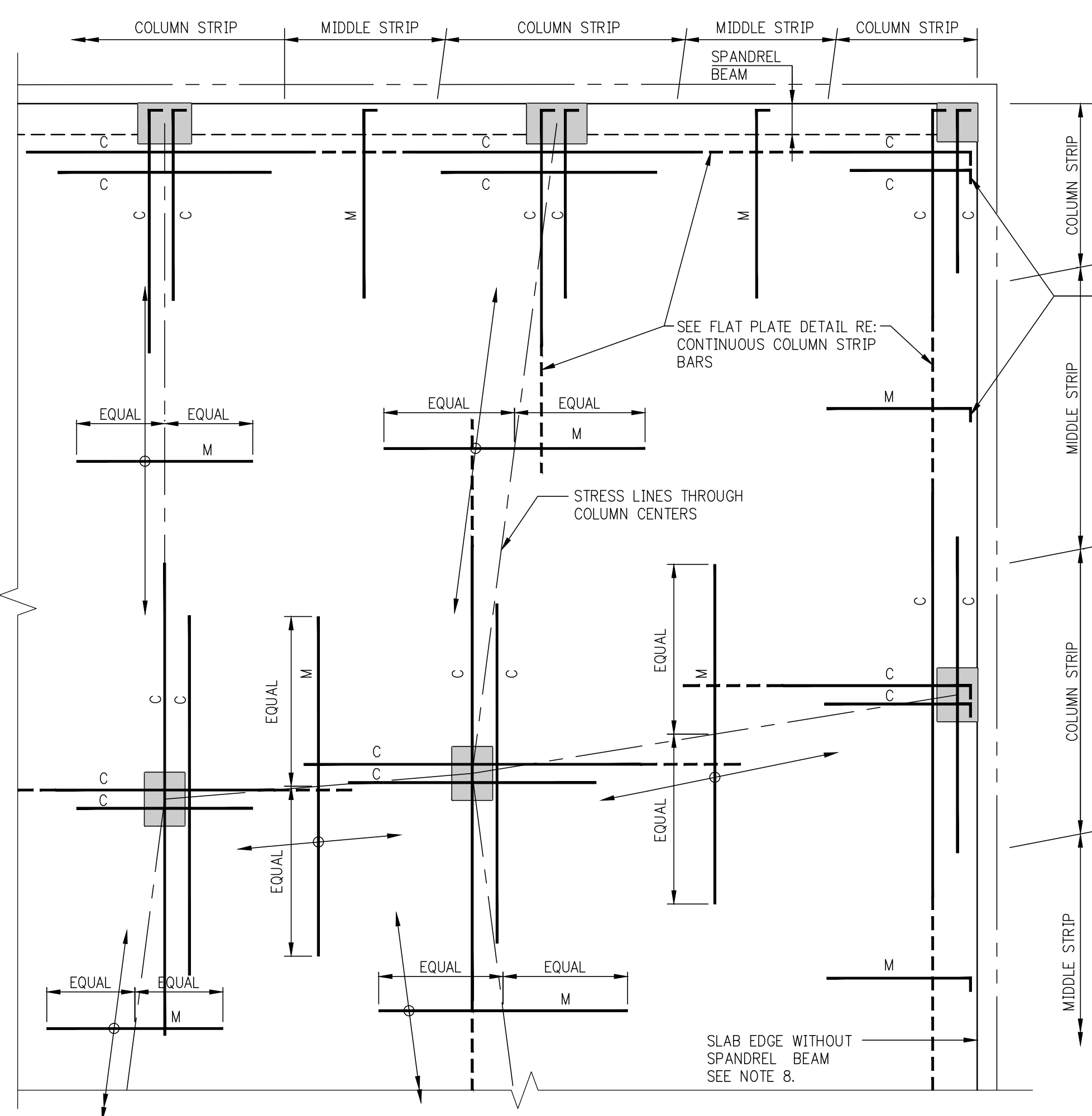
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR COPIED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN PERMISSION OF SNIP ARCHITECTS, P.C. ALL RIGHTS RESERVED.

NOT FOR CONSTRUCTION

STEEL TYPICAL SUPERSTRUCTURE DETAILS 2

DATE: 07/16/15
PROJECT NO.: 1310140
DRAWN BY: CAD
CHECKED BY: CL
DOB NO.: 121330960
DRAWING NUMBER

S-961.01
SHEET XX OF XX



NOTES FOR TOP REINFORCEMENT

1. 'C' DENOTES COLUMN STRIP BARS (LONG AND SHORT BARS ARE ALTERNATED). 'M' DENOTES MIDDLE STRIP BARS.
2. FOR SIZE, SPACING, NUMBER, ETC. OF REINFORCING BARS, SEE FRAMING PLANS.
3. WHERE COLUMN STRIP BAR LENGTHS ARE SHOWN ON FRAMING PLANS THEY ARE FOR LONGER BARS, WHICH ARE TO BE ALTERNATED WITH SHORTER BARS. SEE TYPICAL FLAT PLATE DETAIL.
4. COLUMN STRIP BARS ARE TO BE CENTERED OVER COLUMNS UNLESS OTHERWISE INDICATED ON PLANS PROVIDED ADD'L.
5. MIDDLE STRIP BARS ARE TO BE CENTERED OVER STRESS LINES UNLESS OTHERWISE INDICATED ON PLANS.
6. MIDDLE STRIP BARS ARE TO BE SPACED AS SHOWN ON PLANS. FIRST BAR IS TO BE LOCATED A DISTANCE FROM LAST COLUMN STRIP BAR NOT TO EXCEED MIDDLE STRIP BAR SPACING.
7. COLUMN STRIP BARS PARALLEL TO SPANDREL BEAMS ARE TO HAVE FIRST BAR LOCATED AT ONE-HALF SCHEDULED SPACING FROM INSIDE FACE OF BEAM, SIX INCHES MAXIMUM.
8. AT SLAB EDGES WITHOUT SPANDREL BEAMS, SEE TYPICAL DETAIL FOR ADDITIONAL CONTINUOUS EDGE BARS AND FOR COLUMN STRIP BAR PLACEMENT PARALLEL TO SLAB EDGE.
9. PROVIDE 90 DEGREE HOOK AT EVERY DISCONTINUOUS TOP BAR, COLUMN AND MIDDLE STRIPS, AT EDGE OF SLAB, WITH OR WITHOUT SPANDREL BEAMS (2" CLEAR COVER TO HOOK)

BAR LENGTH EXTENSIONS REQUIRED AT EPOXY COATED REINFORCEMENT (WHERE SPECIFIED ON PLANS)

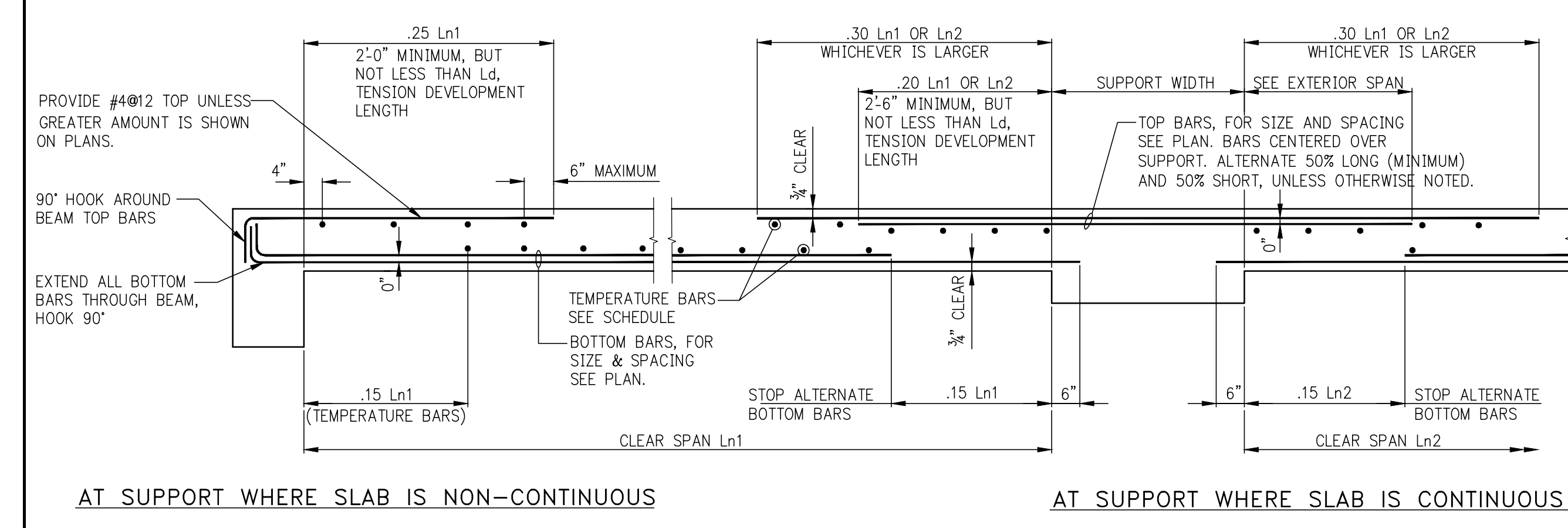
1. TO REINFORCING BAR LENGTHS SHOWN ON PLAN OR AS DETERMINED FROM TYPICAL DETAILS, ADD AN ADDITIONAL LENGTH AT EACH END (EXCEPT AT HOOKED BARS) EQUAL TO 50% OF 'Ld', BAR DEVELOPMENT LENGTH FOR SLABS. SEE TABLE.
2. DEVELOPMENT LENGTHS 'Ld' AND LAP SPICE LENGTHS SHOWN ARE TO BE INCREASED BY 50% OVER VALUES FOR UNCOATED BARS.

NOTES FOR BOTTOM REINFORCEMENT:

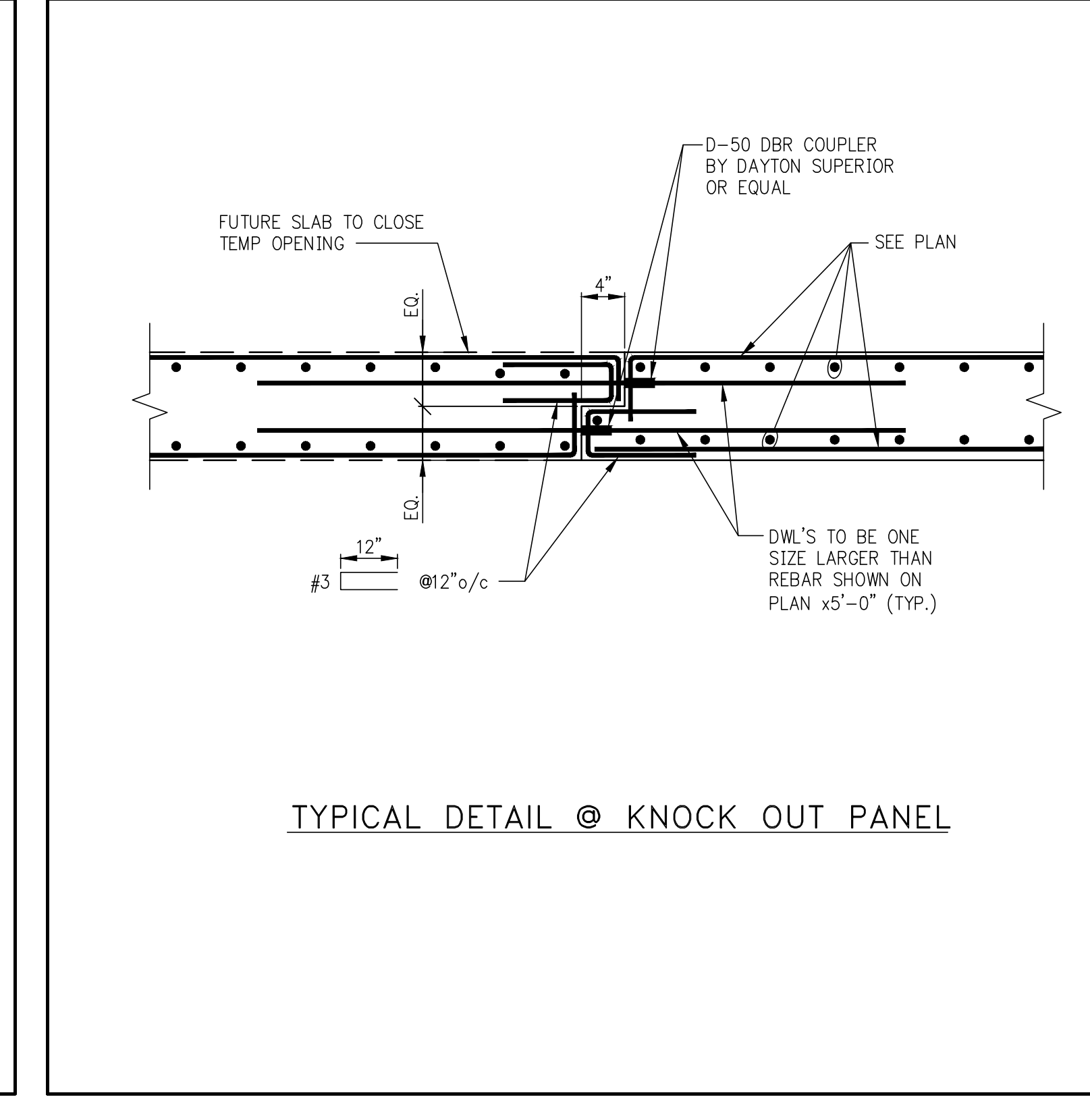
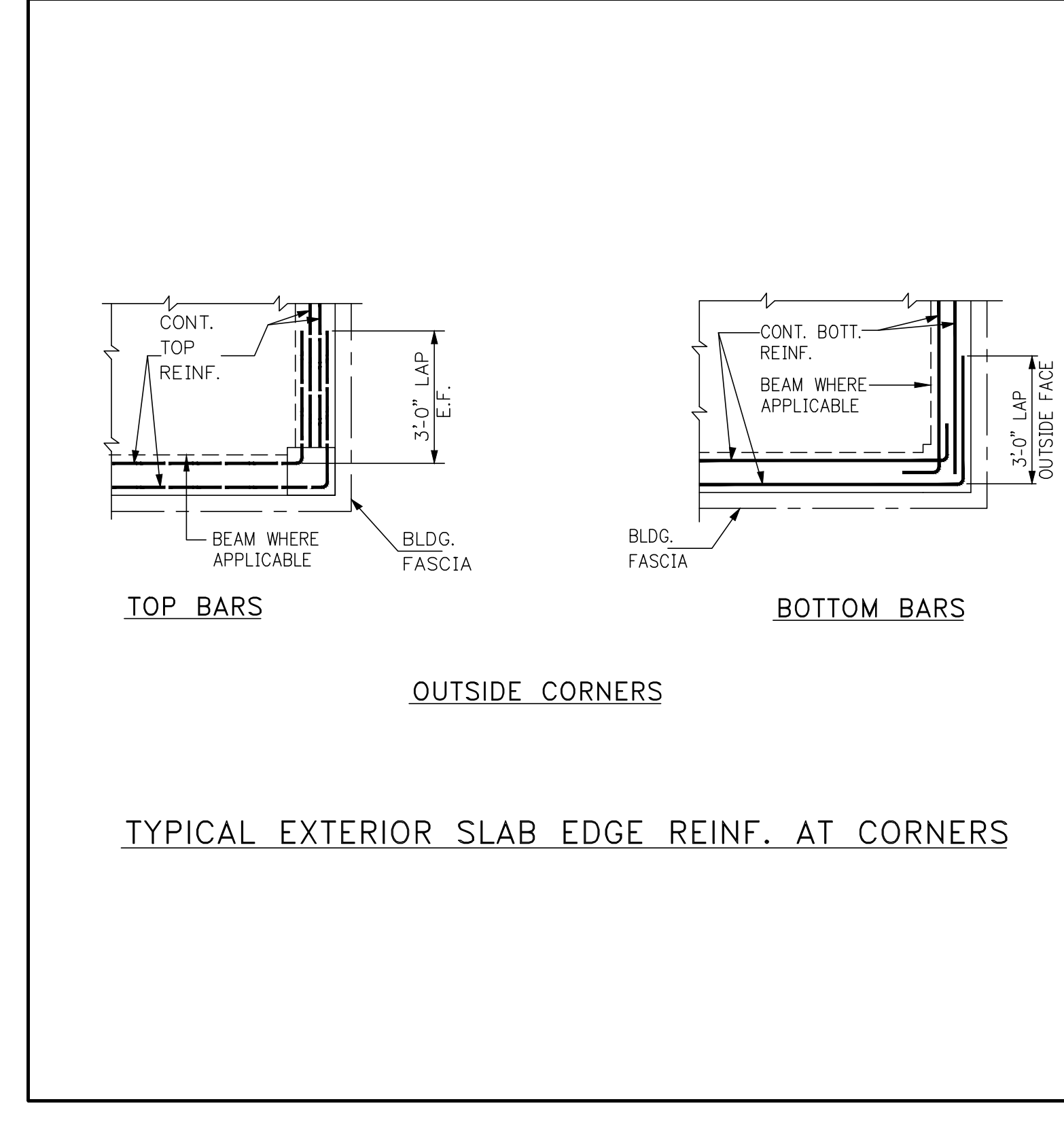
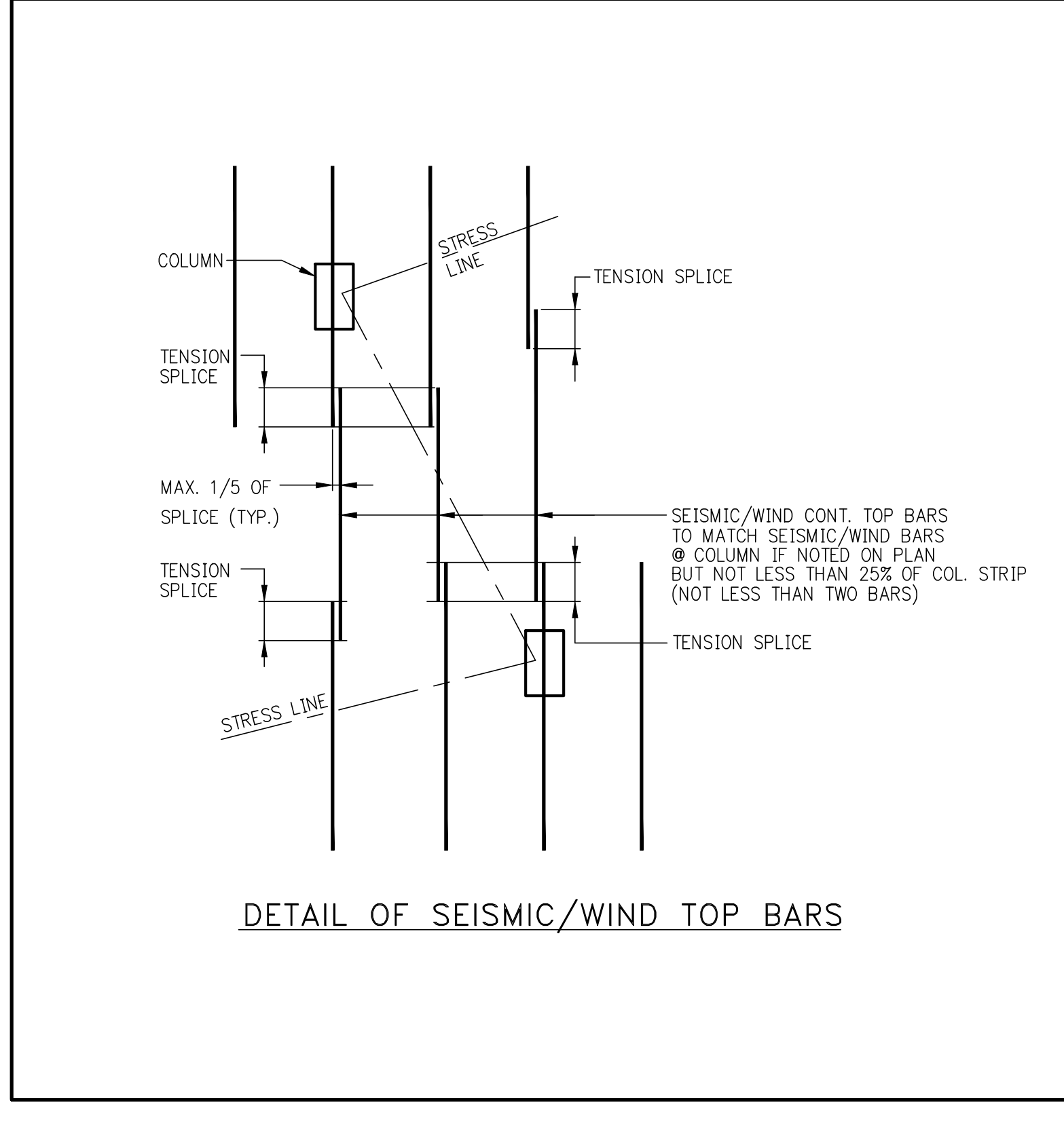
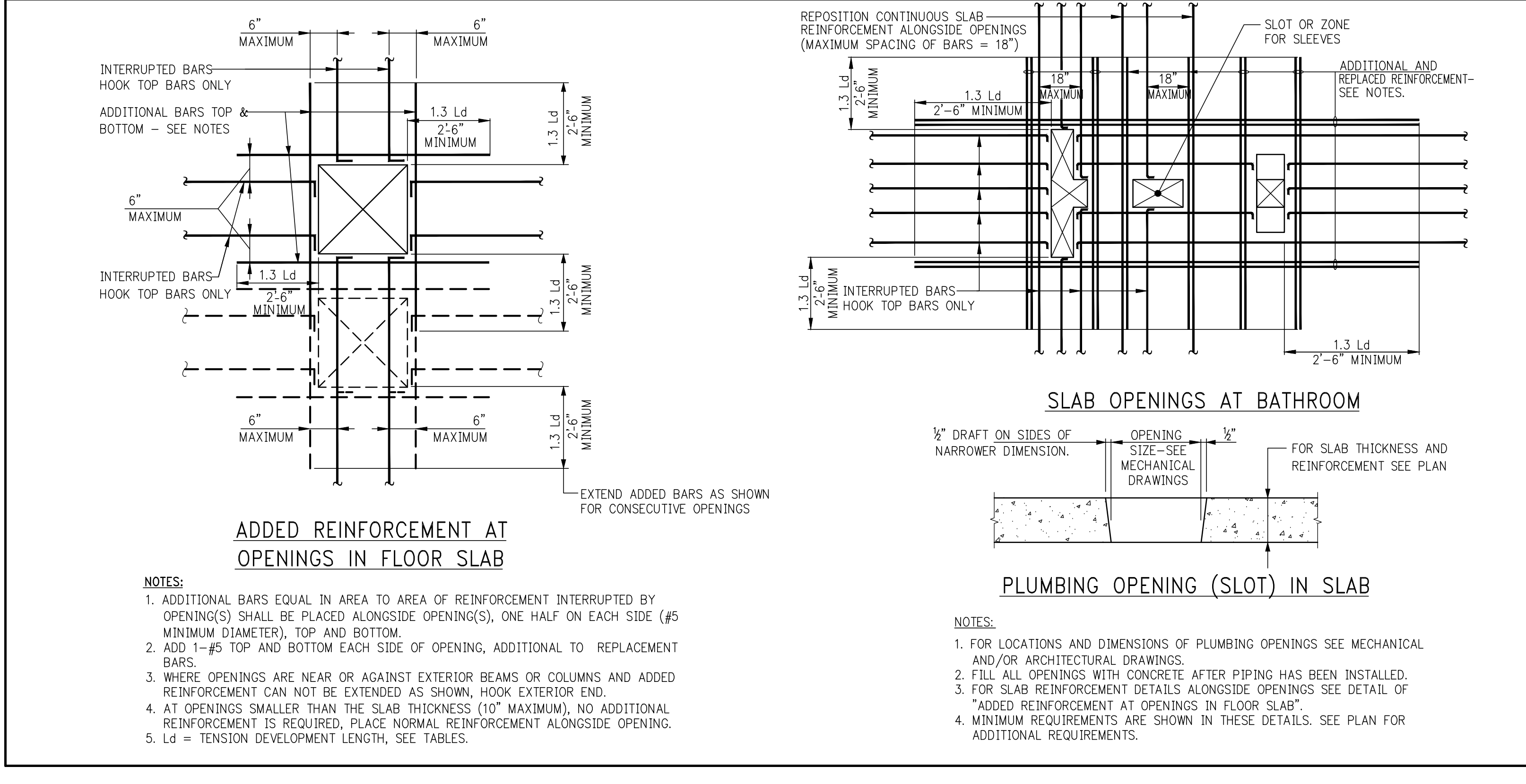
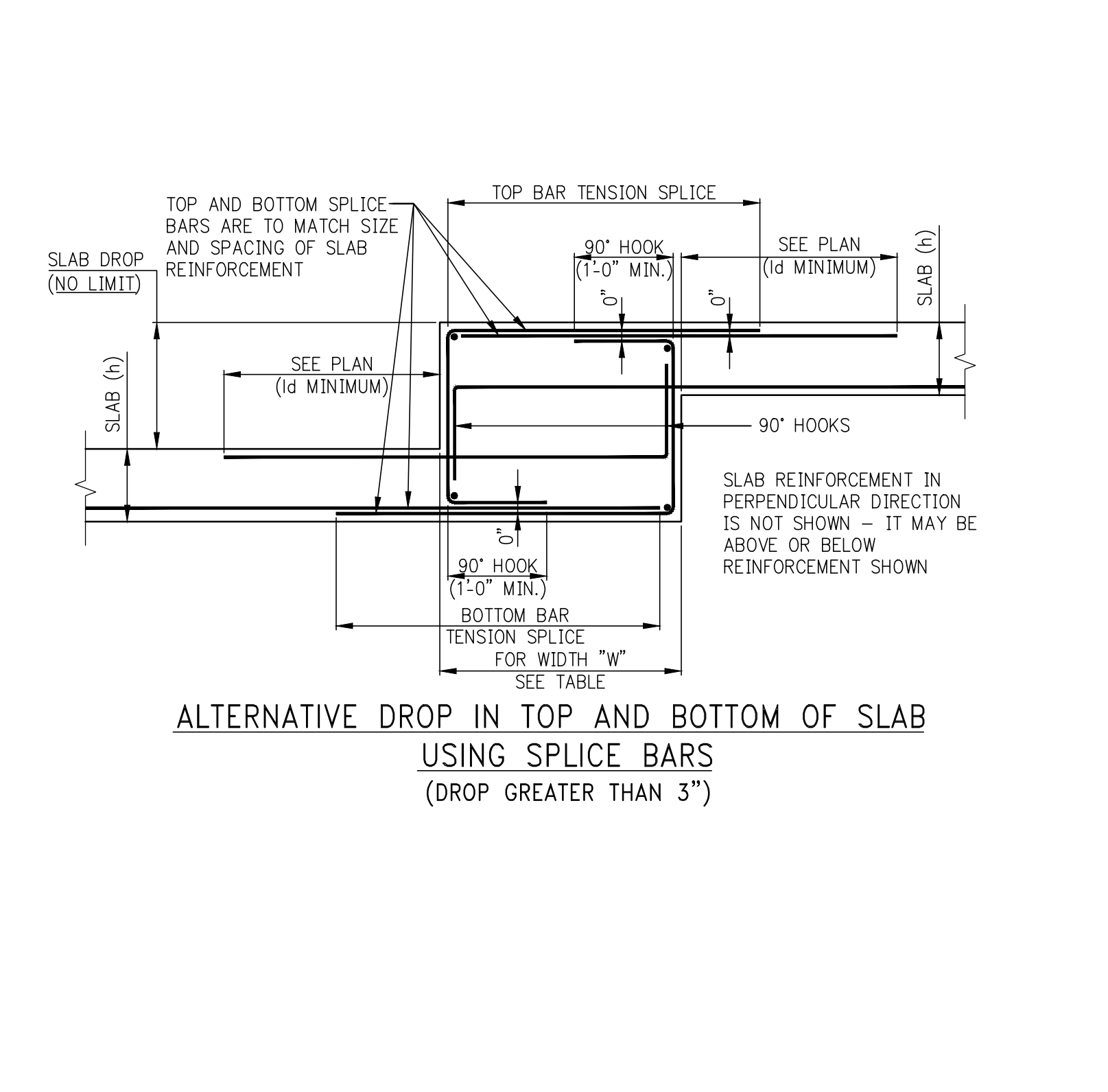
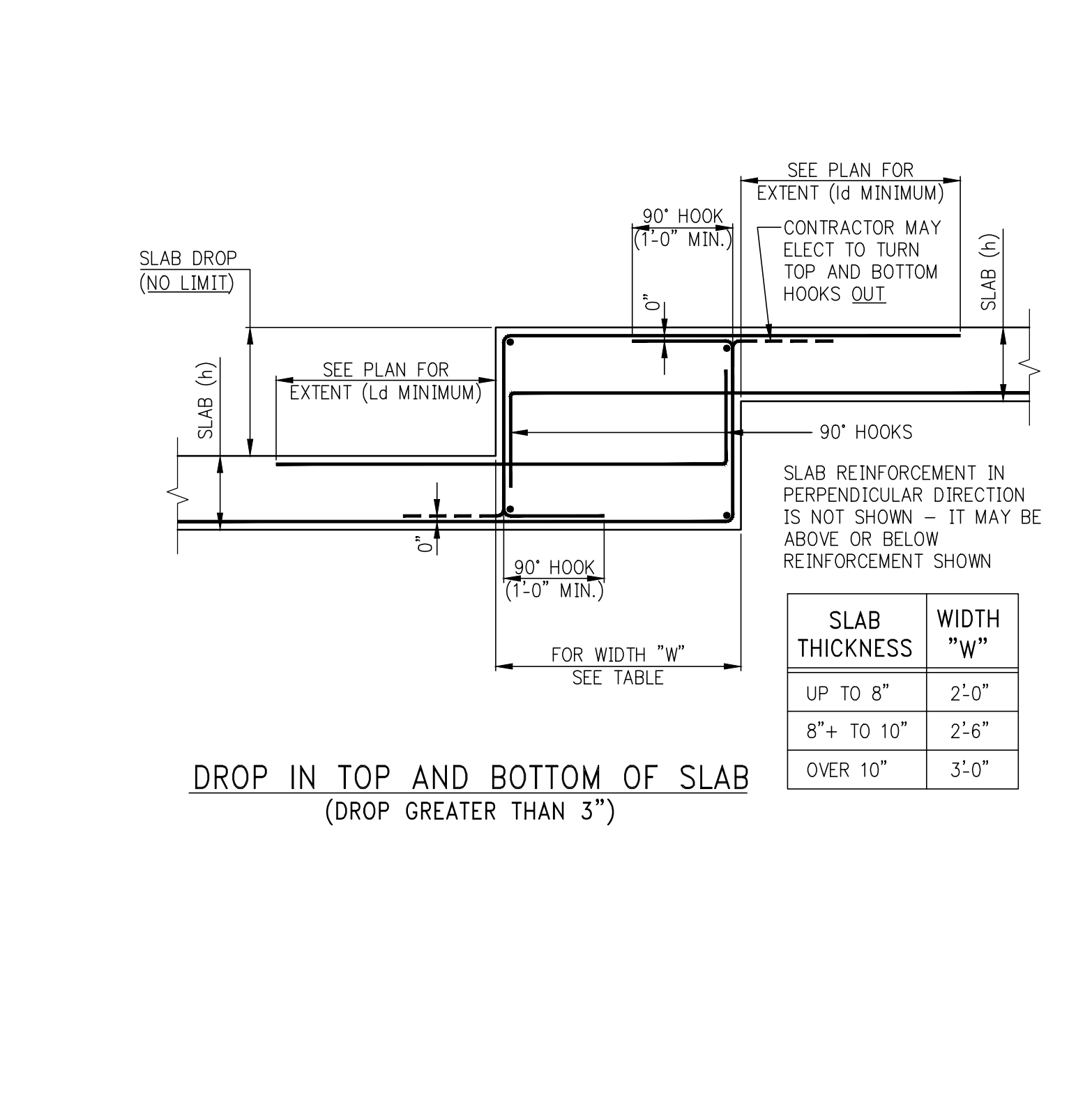
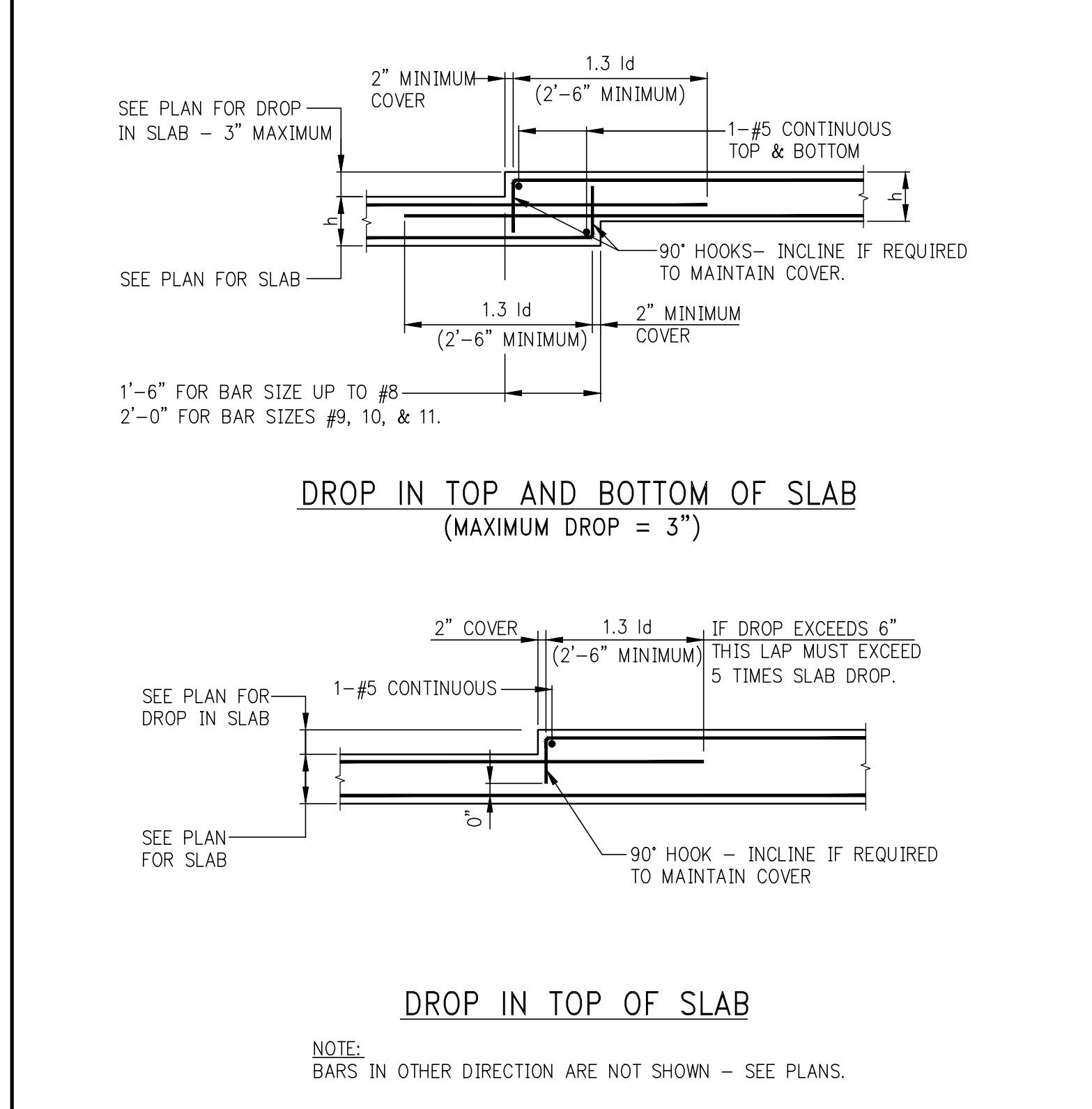
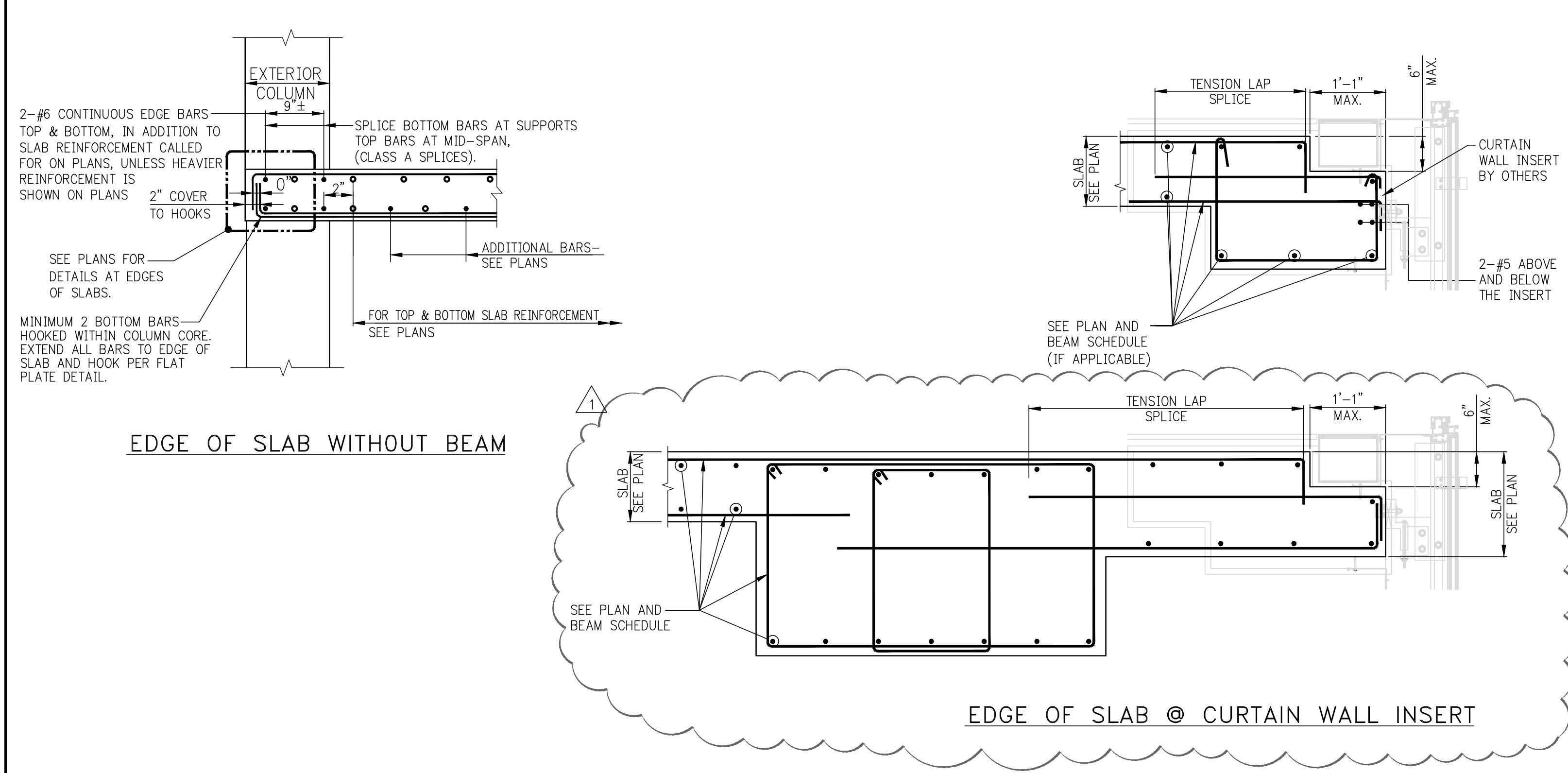
1. 'C' DENOTES A COLUMN STRIP BAR, PART OF MAIN GRID. 'ADD'L C' DENOTES COLUMN STRIP BARS ADDITIONAL TO MAIN GRID BARS. 'M' DENOTES A MIDDLE STRIP BAR, PART OF MAIN GRID. 'ADD'L M' DENOTES MIDDLE STRIP BARS ADDITIONAL TO MAIN GRID BARS.
2. PLACE ADDITIONAL BARS BETWEEN MAIN GRID BARS IN COLUMN STRIPS GROUP ABOUT STRESS LINE IN MIDDLE STRIPS DISTRIBUTE THROUGHOUT STRIP.
3. ALL COLUMN STRIP BOTTOM BARS ARE TO BE HOOKED 90° AT EDGES OF SLAB OR AT SLAB OPENINGS, OR AT OTHER DISCONTINUITIES.
4. MIDDLE STRIP BOTTOM BARS ARE TO EXTEND TO EDGE OF SLAB WHERE 50% OF BARS ARE TO BE HOOKED.
5. IN EDGE STRIP WITHOUT SPANDREL BEAMS START ADDITIONAL BARS TWO INCHES FROM CONTINUOUS EDGE BARS - SEE TYPICAL DETAIL AT EDGE OF SLAB.
6. 'A' DENOTES 2-#5 ADD'L BOTTOM EW WITH IN COLUMN TO EXTEND Ln/3

FLAT SLAB REINFORCEMENT DETAILS

FLAT PLATE DETAIL
(FOR DROP PANELS SEE DETAIL)
AT INTERIOR SUPPORTS USE LARGER OF L1 OR L2 FOR Ln



ONE WAY CONCRETE SLAB



JDS DEVELOPMENT GROUP
111 WEST 57TH STREET, 11TH FLOOR
NEW YORK, NY 10019
TEL: 646.452.3600

sh p

ARCHITECT
SNIP ARCHITECTS P.C.
200 BROADWAY, 17TH FLOOR
NEW YORK, NY 10007
TEL: 212.686.0000

STRUCTURAL ENGINEER
TRIP CANTOR BERKA
200 BROADWAY, 17TH FLOOR
NEW YORK, NY 10007
TEL: 212.687.8888

MEP ENGINEER
JAFRO BARM & SOULES
60 WINE STREET, 12TH FLOOR
NEW YORK, NY 10003
TEL: 212.200.9200

CIVIL ENGINEER
AMF ENGINEERING P.C.
400 PARK AVE SOUTH, 7TH FLOOR
NEW YORK, NY 10014
TEL: 402.388.2020

ACOUSTICS
LONKMAN INCEY
40 WEST 30TH STREET, 4TH FLOOR
NEW YORK, NY 10001
TEL: 917.206.9392

INTERIORS
STUDIO SORREL
300 WAREHSE STREET
NEW YORK, NY 10003
TEL: 212.675.1000

ARCHITECT
BURKHARDT
100 BROADWAY
NEW YORK, NY 10005
TEL: 212.234.2022

VERTICAL TRANSPORTATION
VAN DEUSEN & ASSOCIATES
5 FREEDOM STREET, SUITE 504
LARKSPUR, NY 07033
TEL: 917.266.6622

RESTORATION
JAN HED POKORNY ASSOCIATES
30 WEST 31ST STREET, 12TH FLR
NEW YORK, NY 10018
TEL: 212.759.6442

GEOTECH
MIRCE
225 WEST 24TH STREET, 6TH FLOOR
NEW YORK, NY 10011
TEL: 917.206.8900

LIGHTING
CONTEMPORARY INTERNATIONAL
100 WALKER STREET, 7TH FLOOR EAST
NEW YORK, NY 10002
TEL: 212.256.4453

PROPERTY MARKETS GROUP
6 EAST 17TH STREET, 4TH FLOOR
NEW YORK, NY 10003
TEL: 212.619.0900

CURRENT ISSUE

DOB PAA

Shauqat Shaikh
Building Consultant
APPROVED Under Directive 2 of 1975
LICENSED PROFESSIONAL ENGINEER
DATE: 08/28/2018
NYC Development Hub

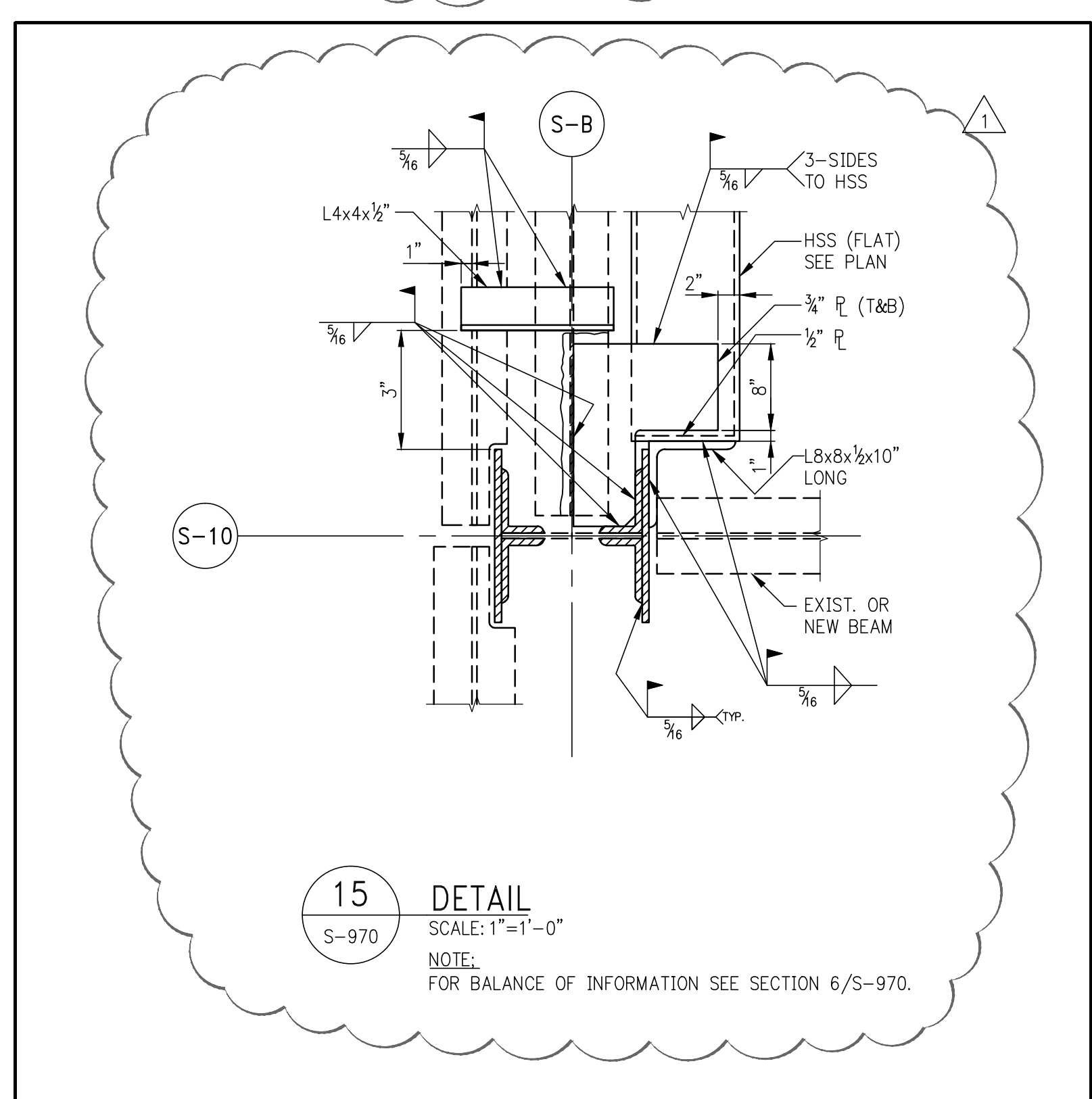
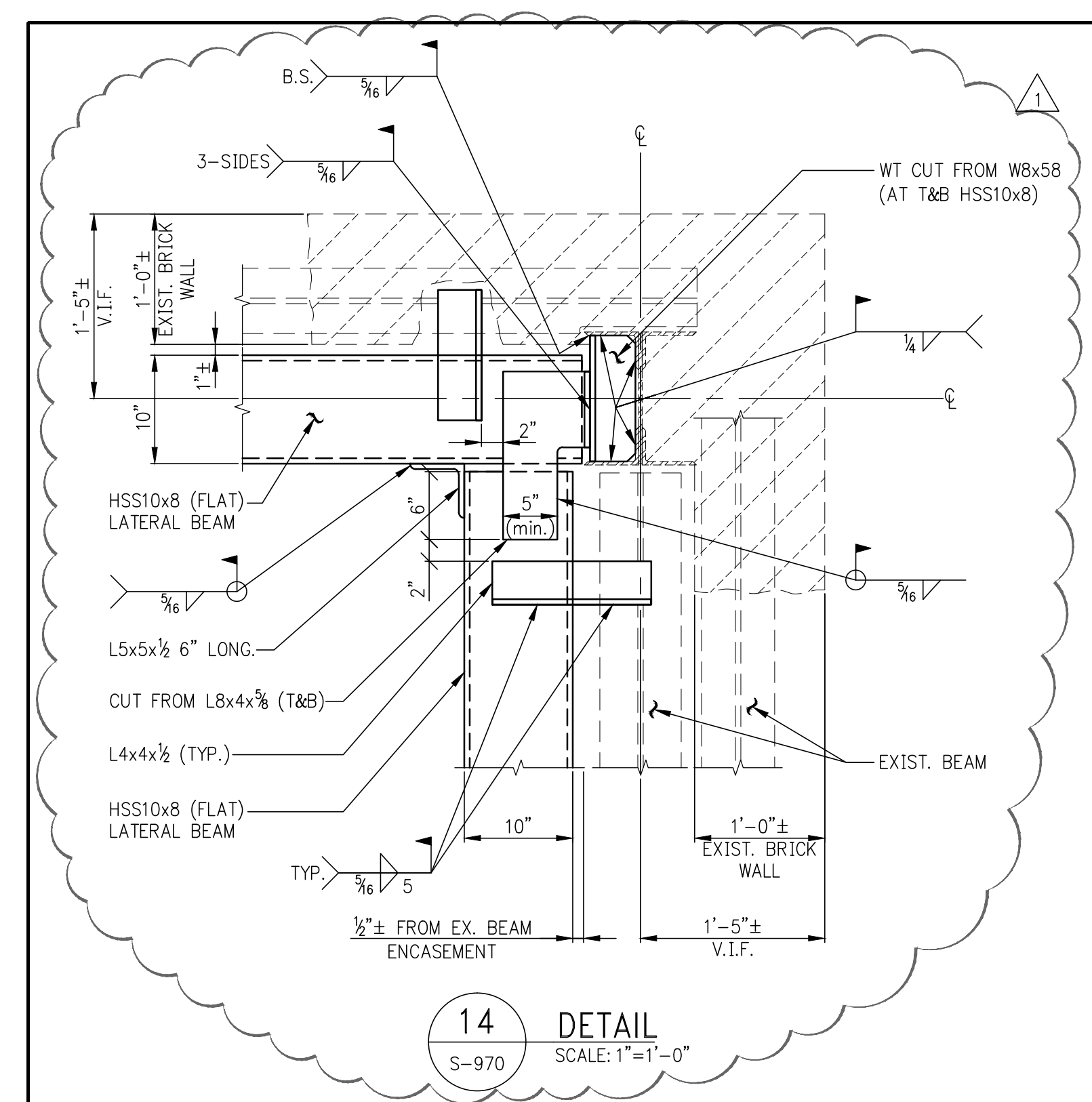
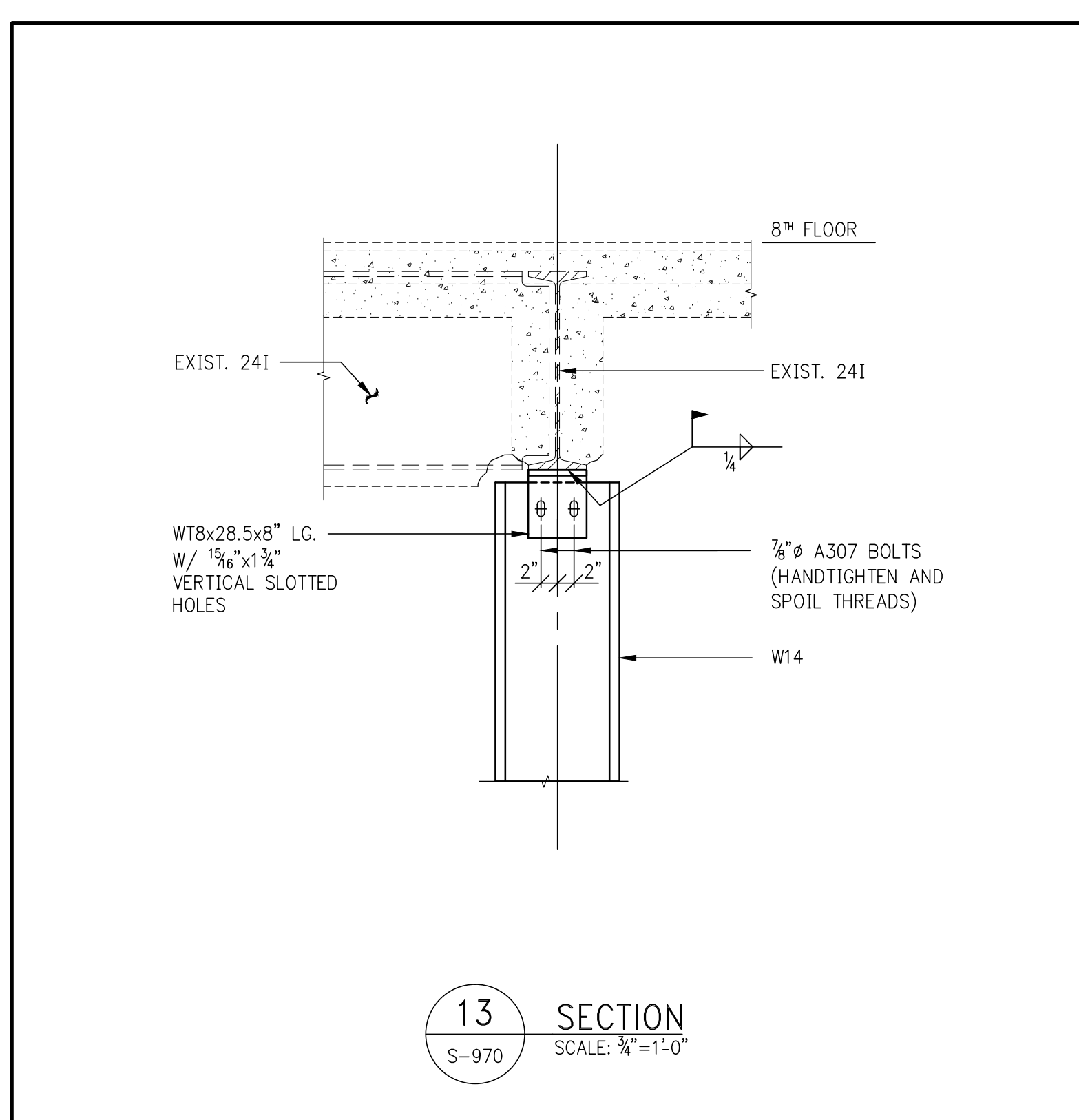
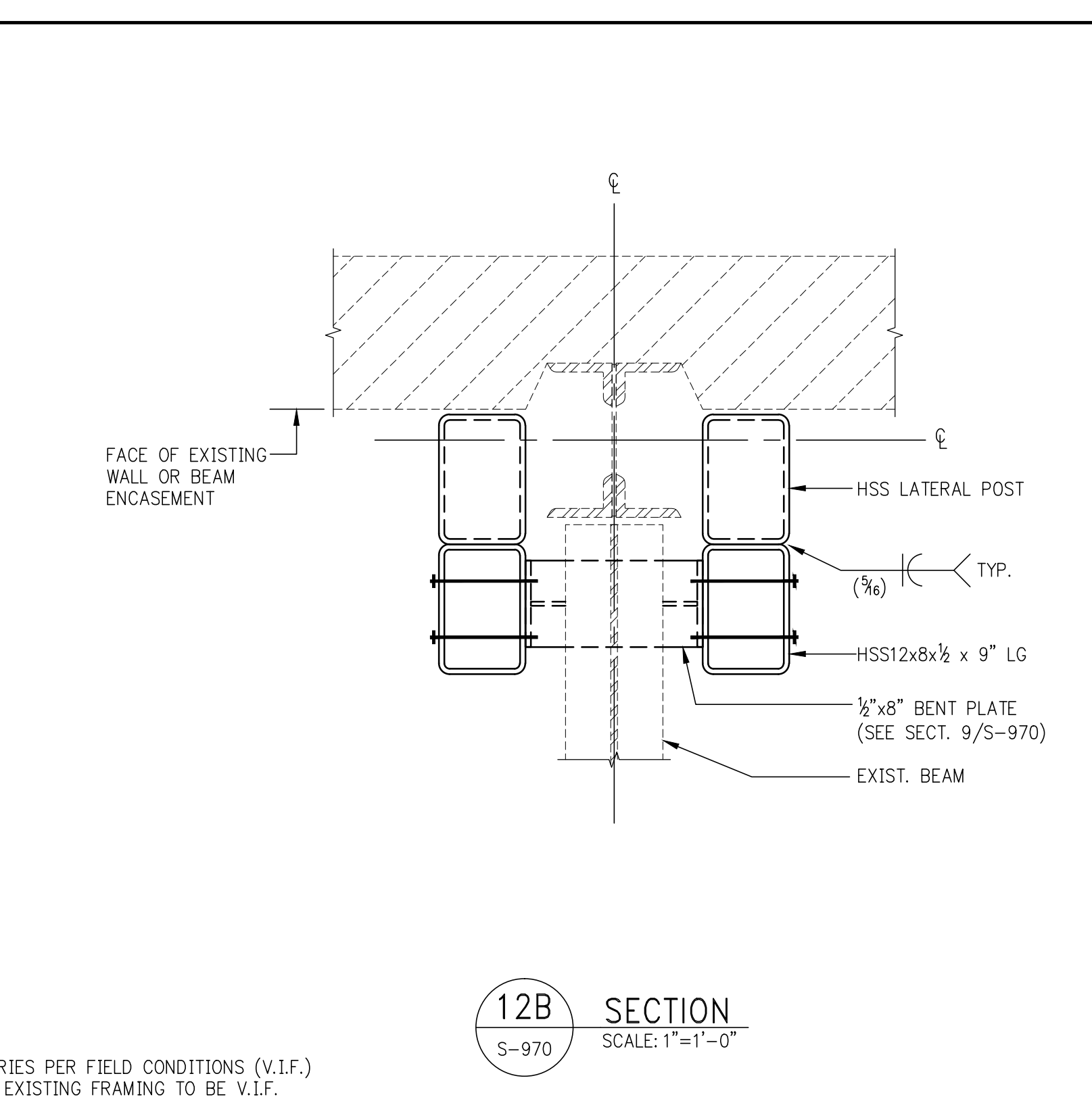
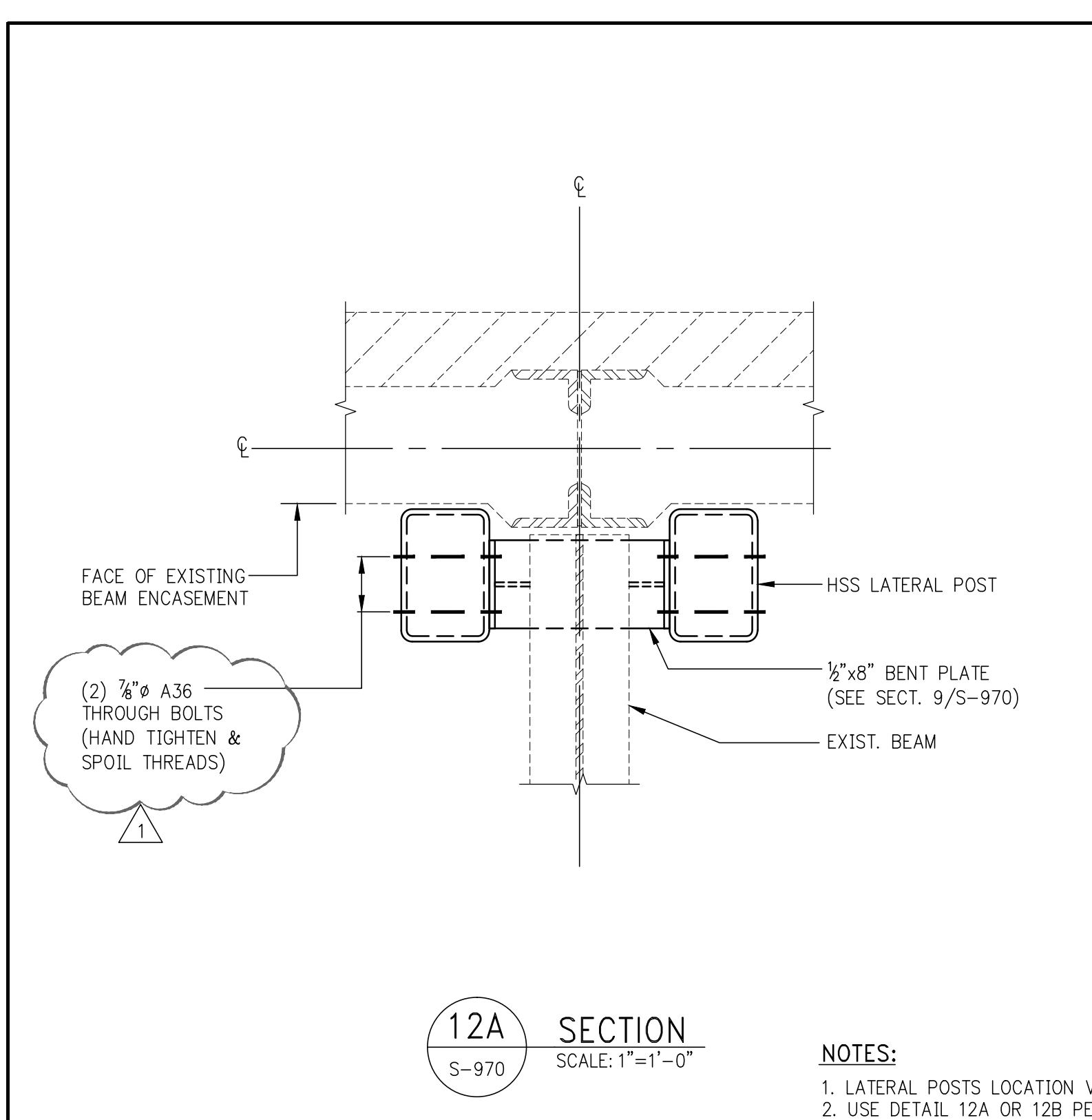
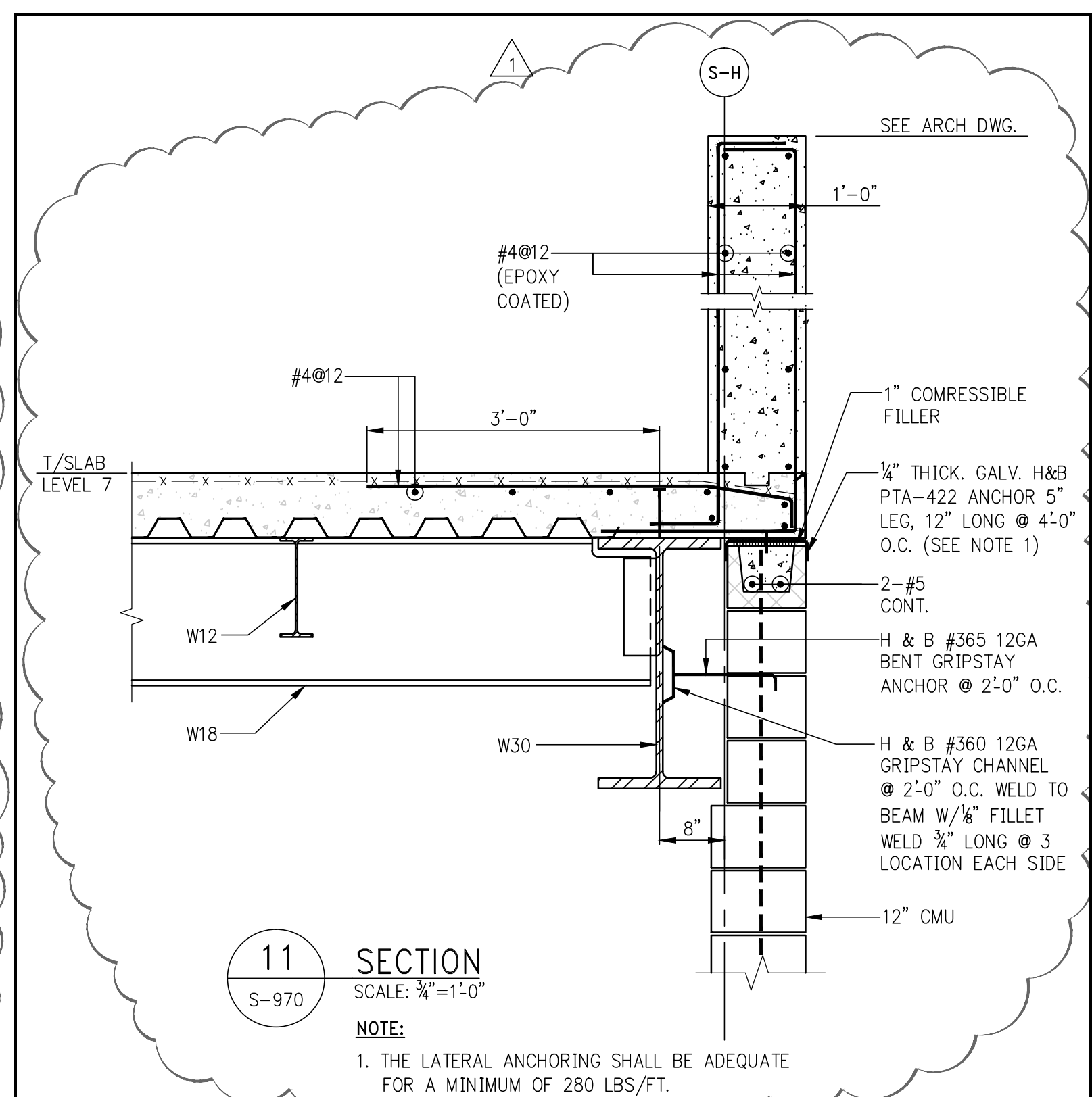
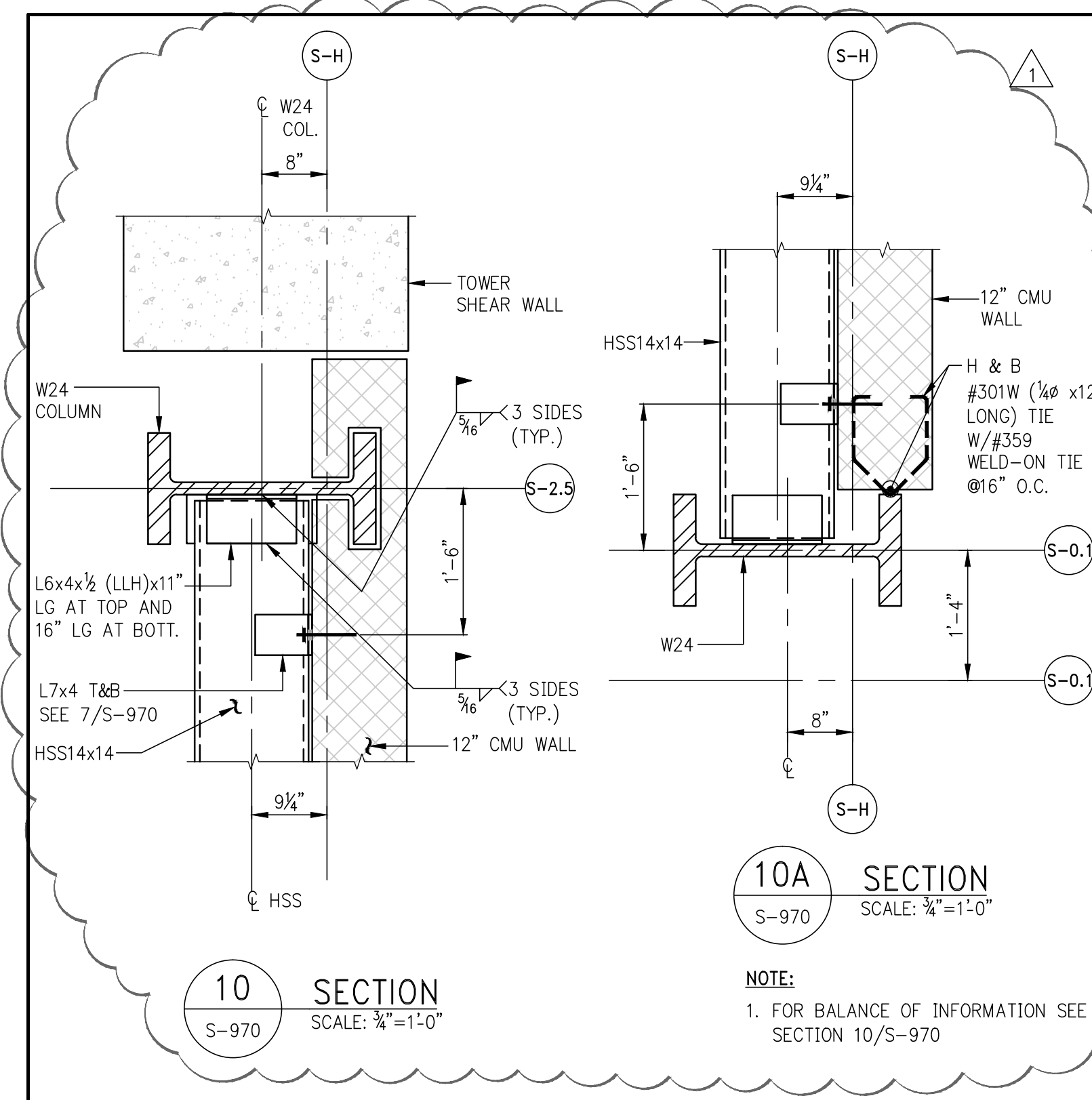
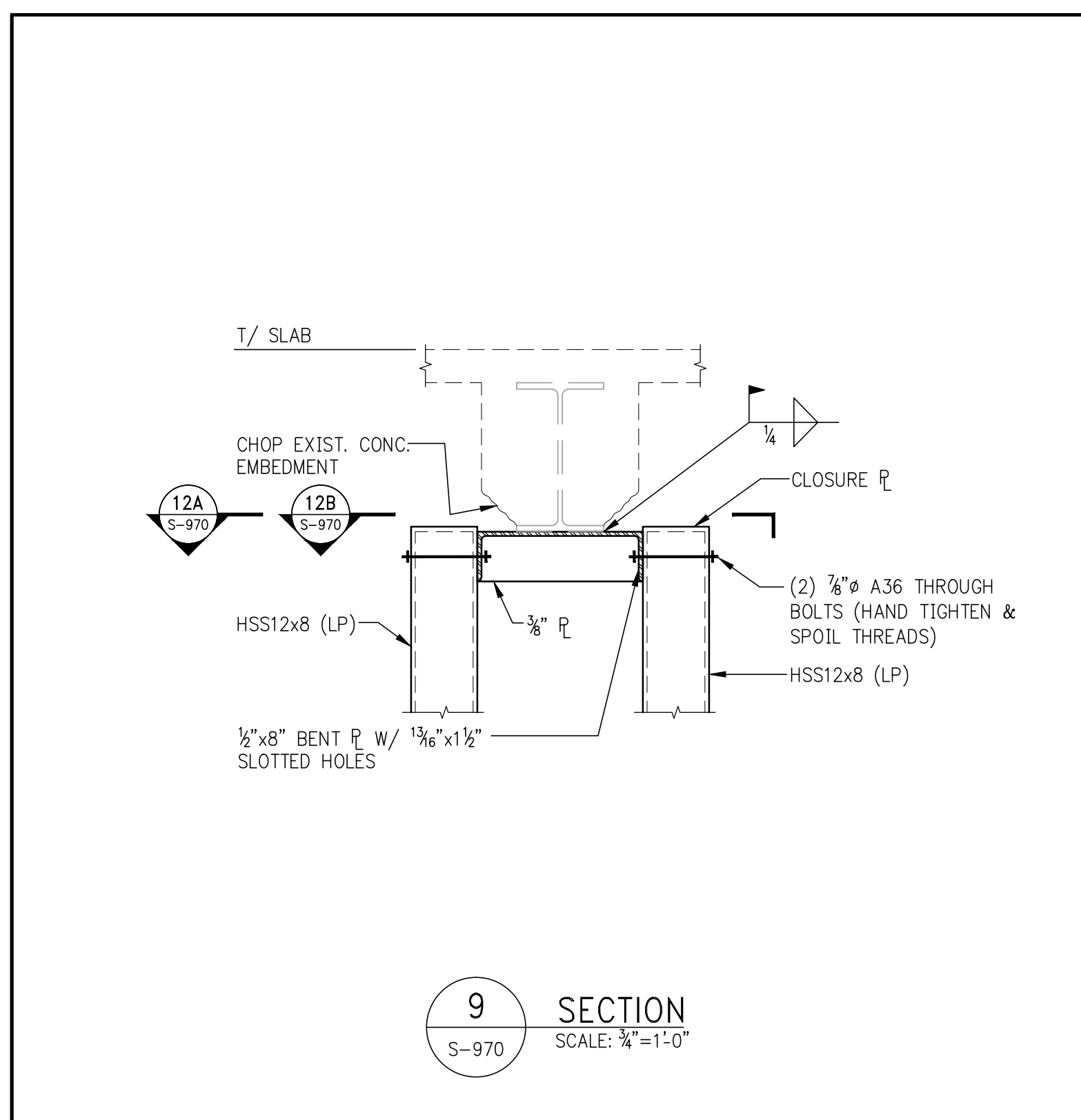
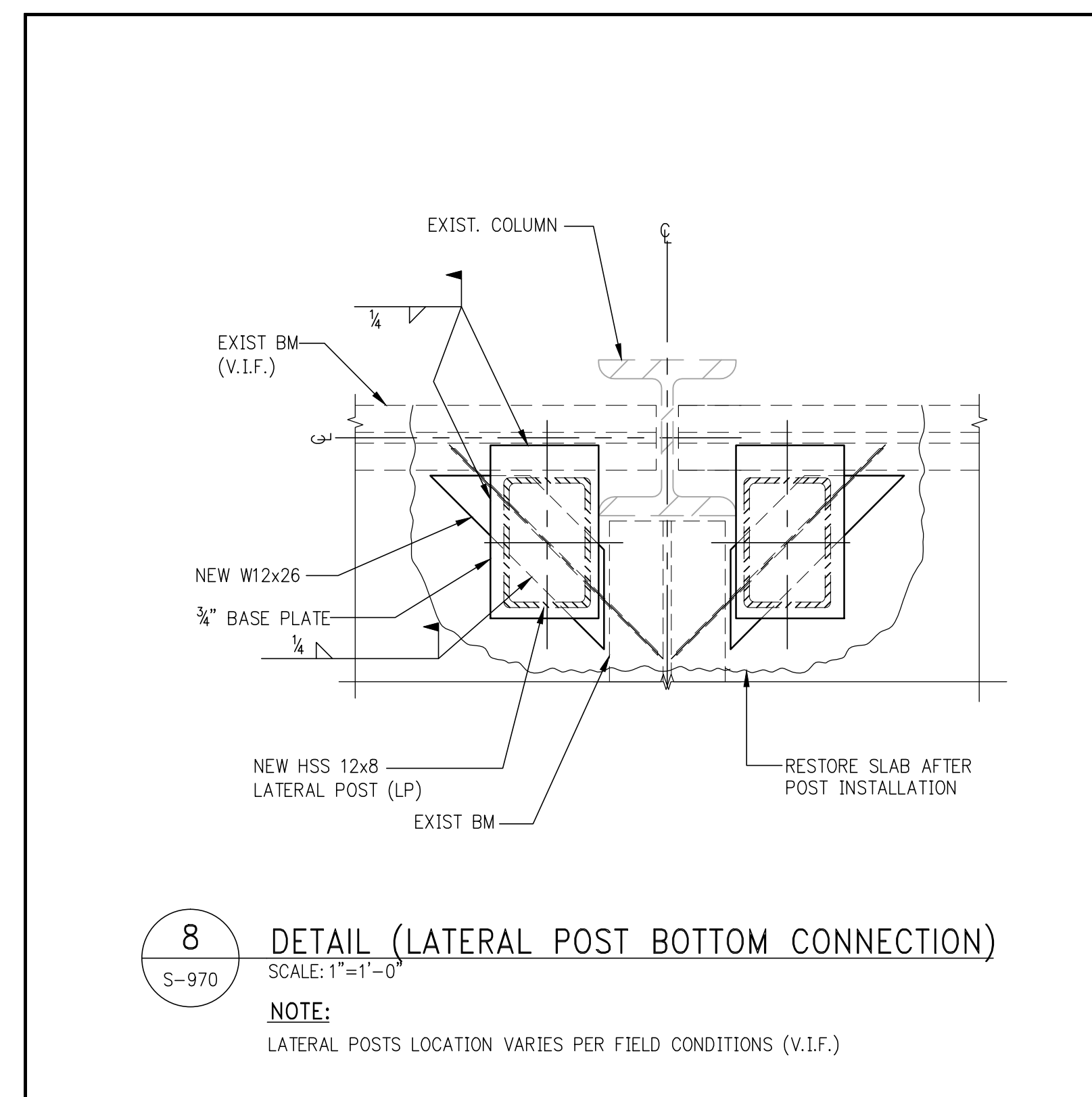
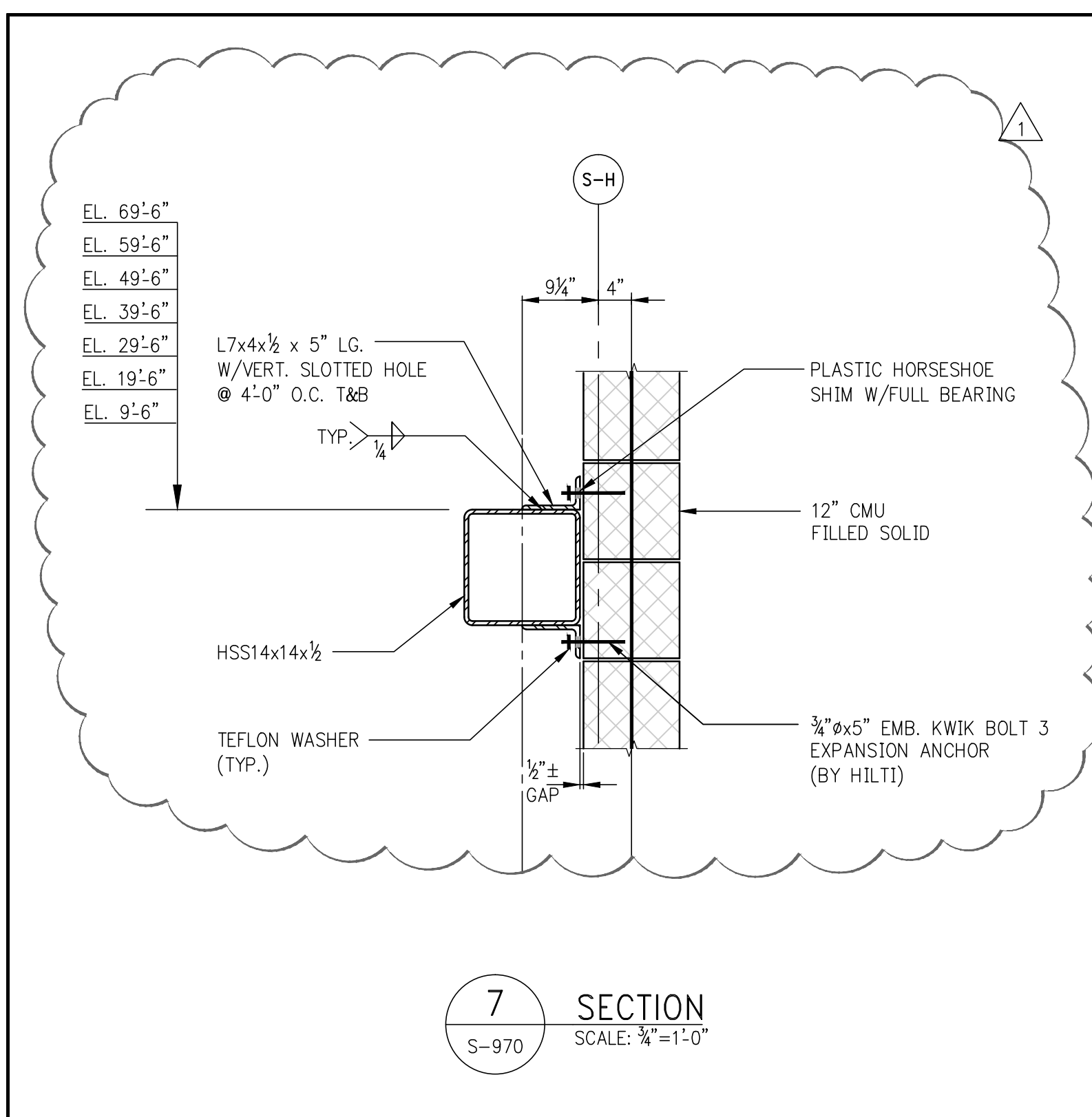
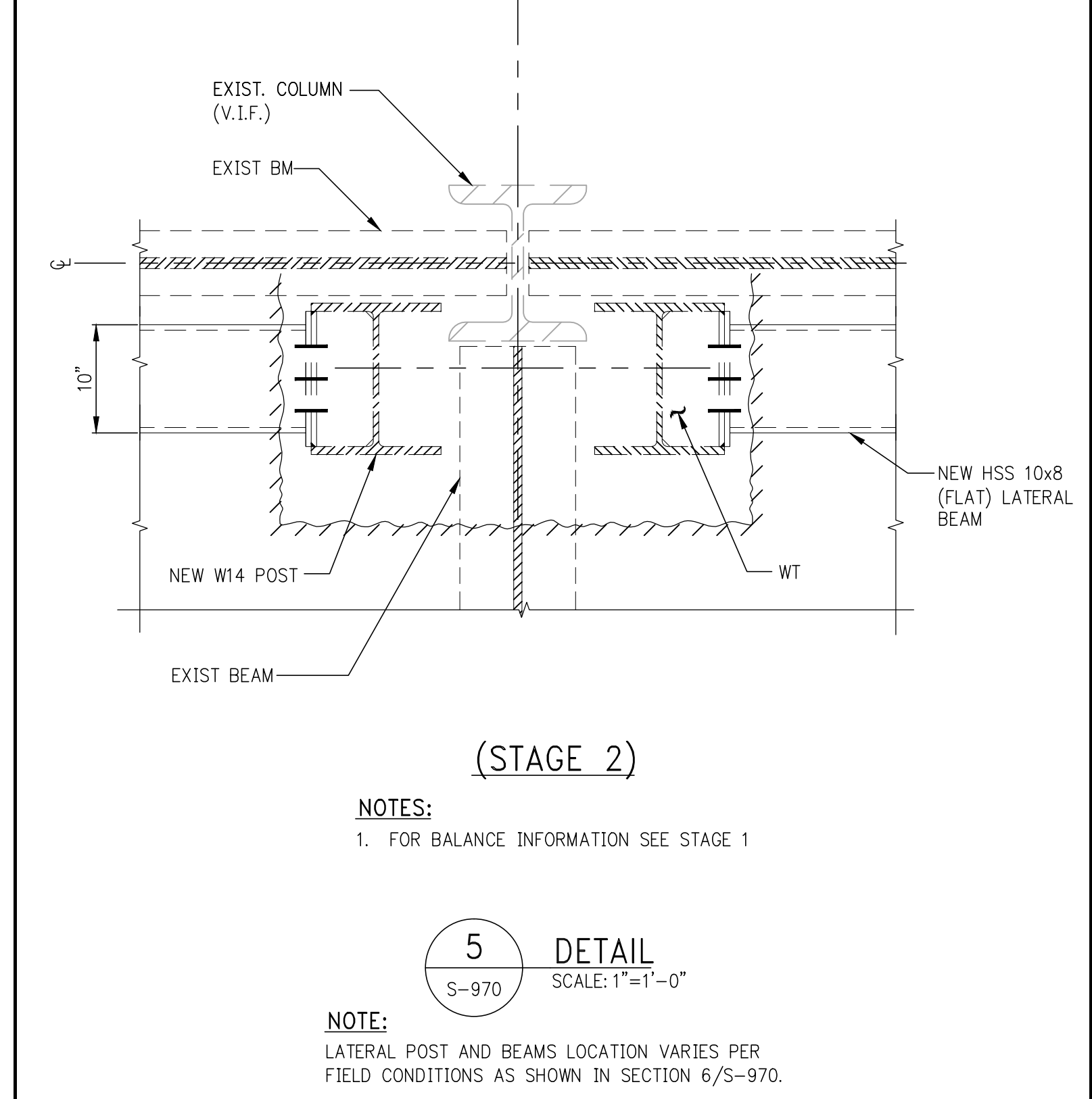
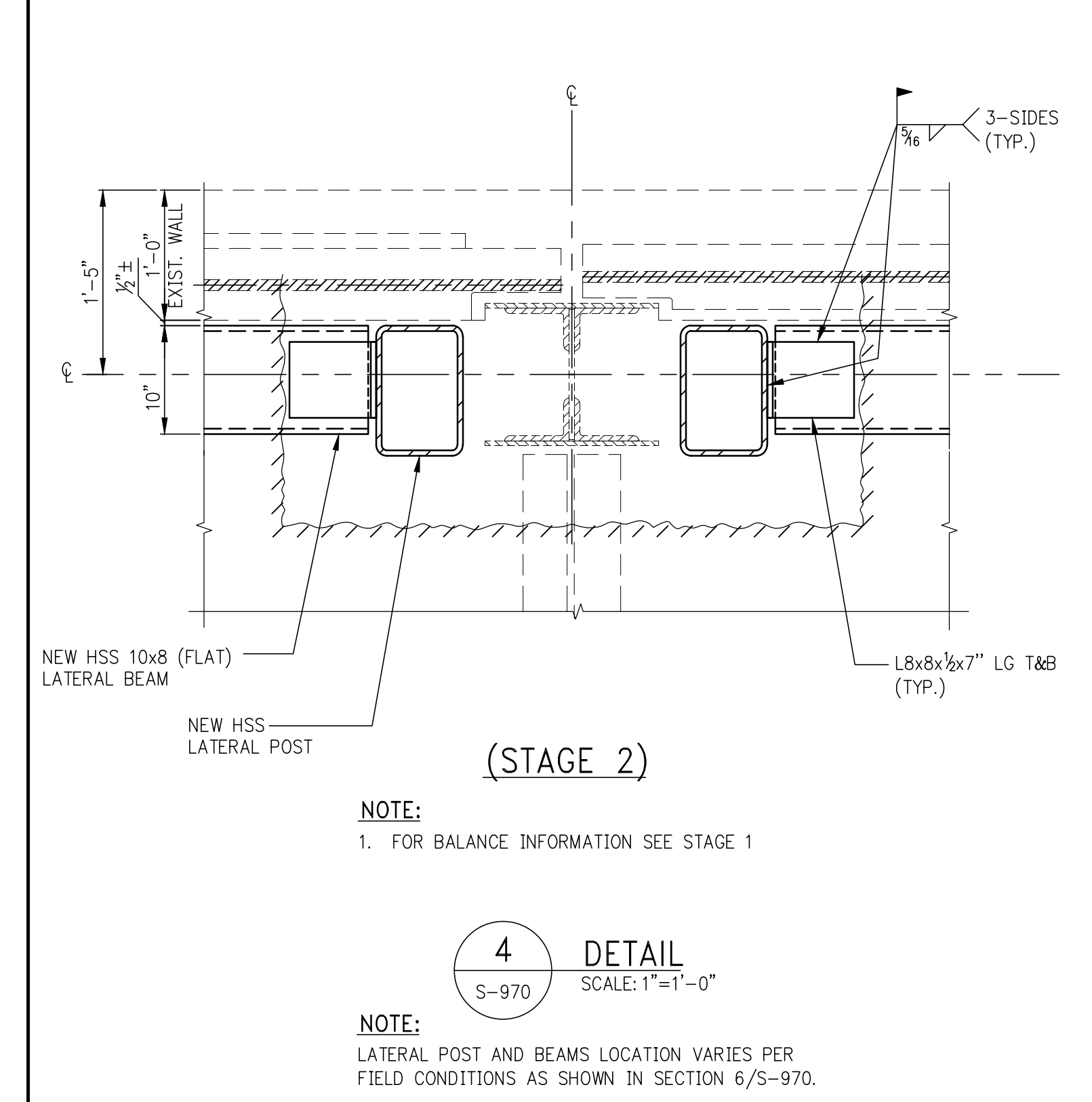
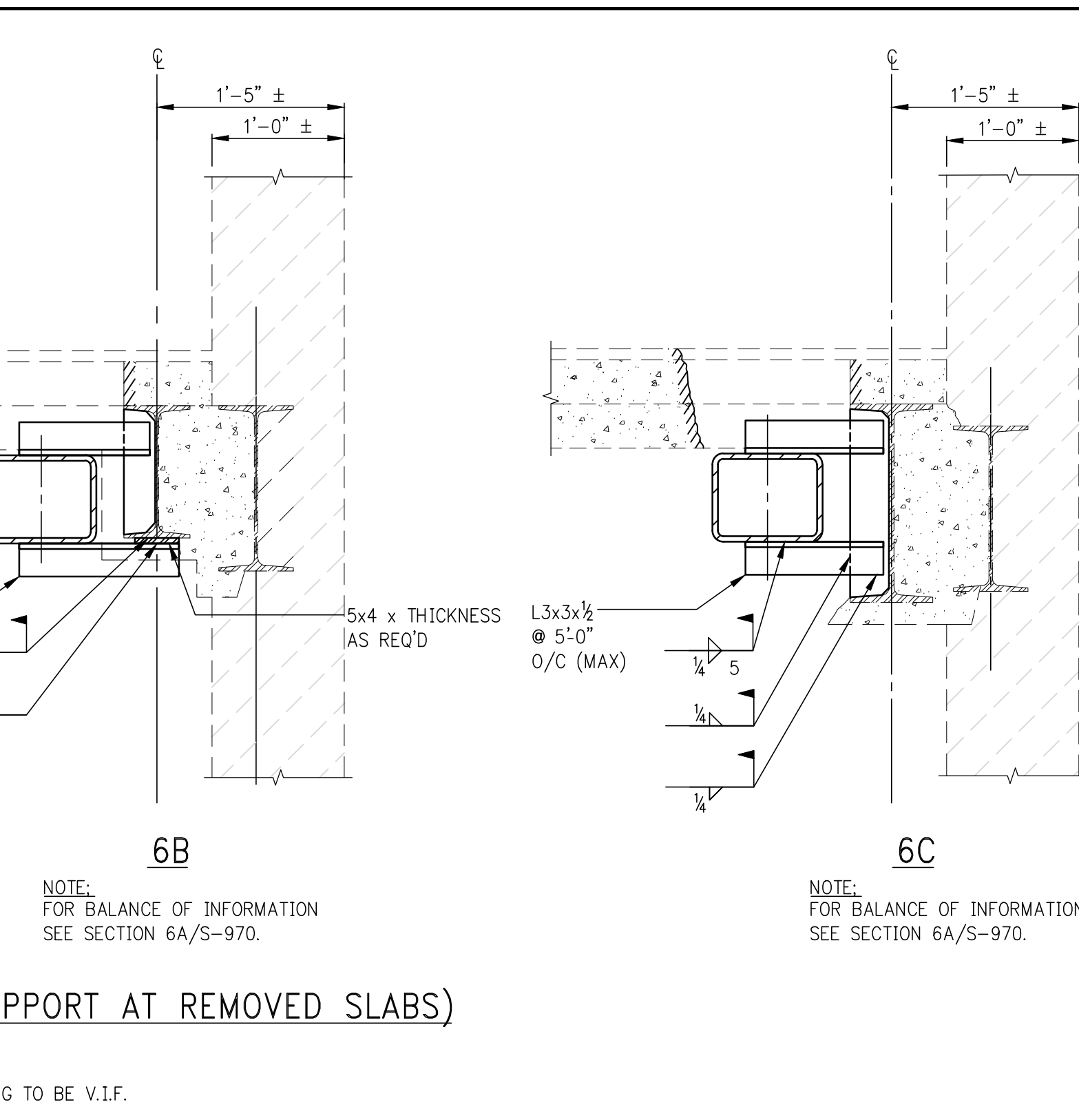
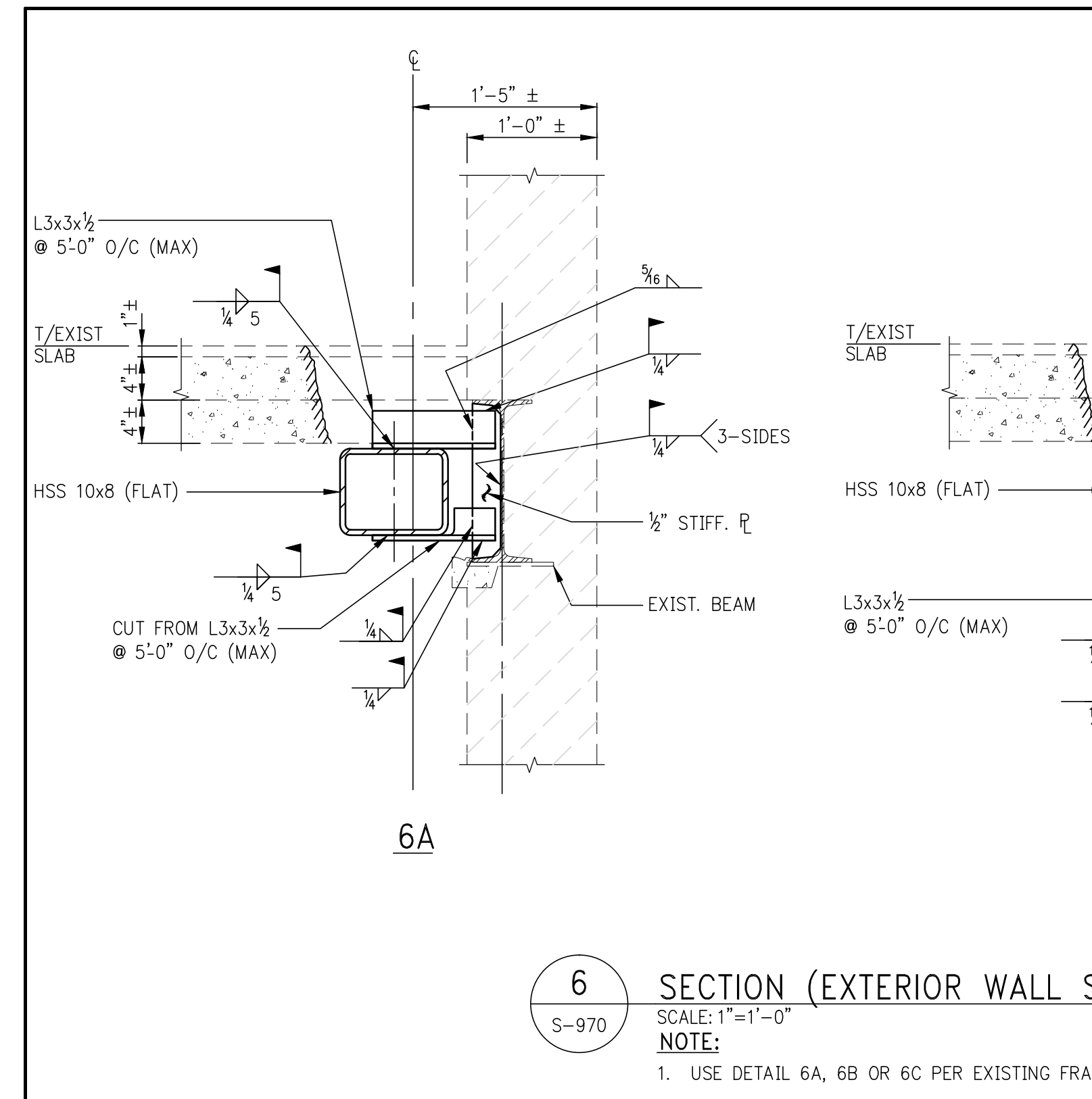
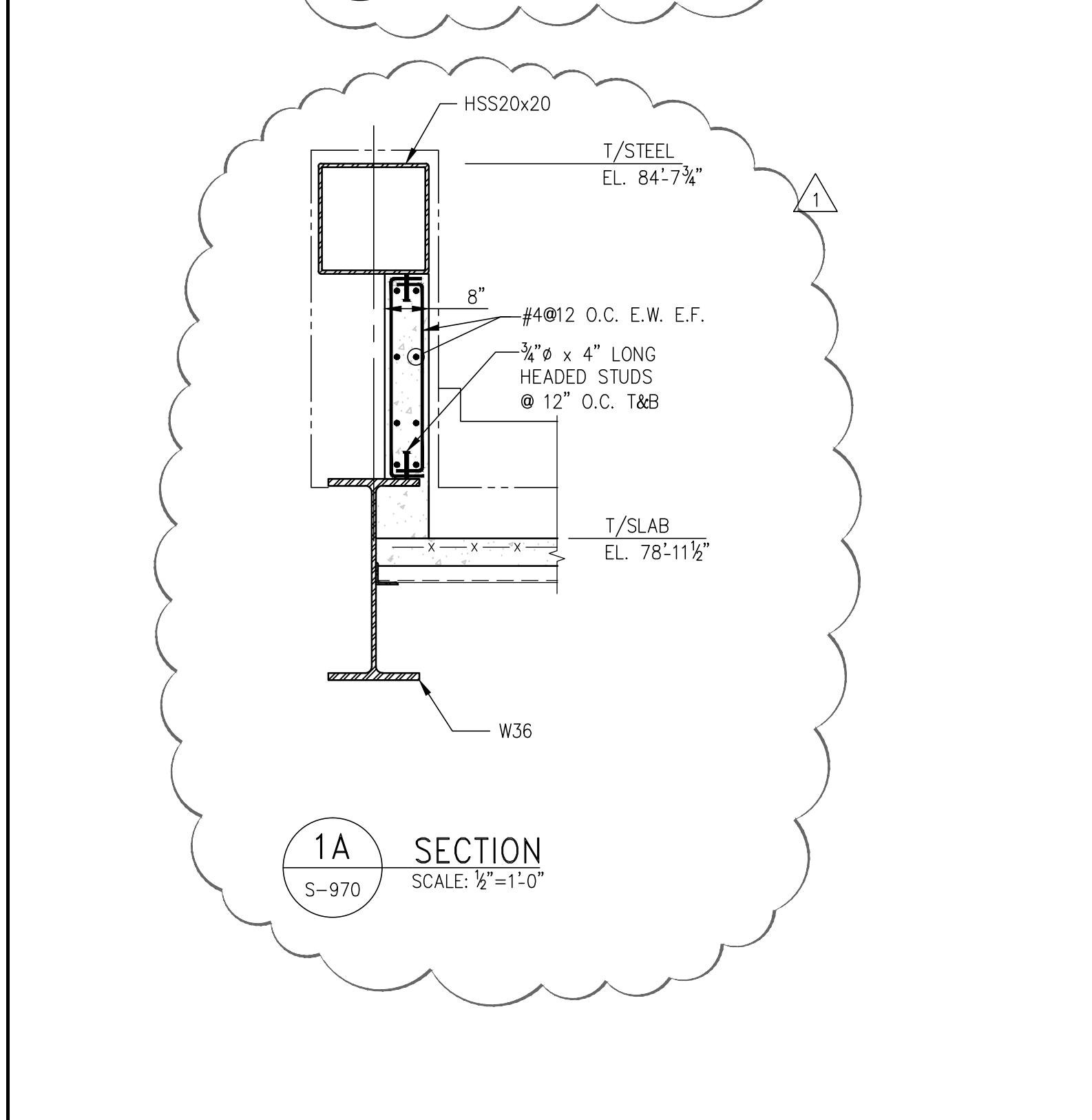
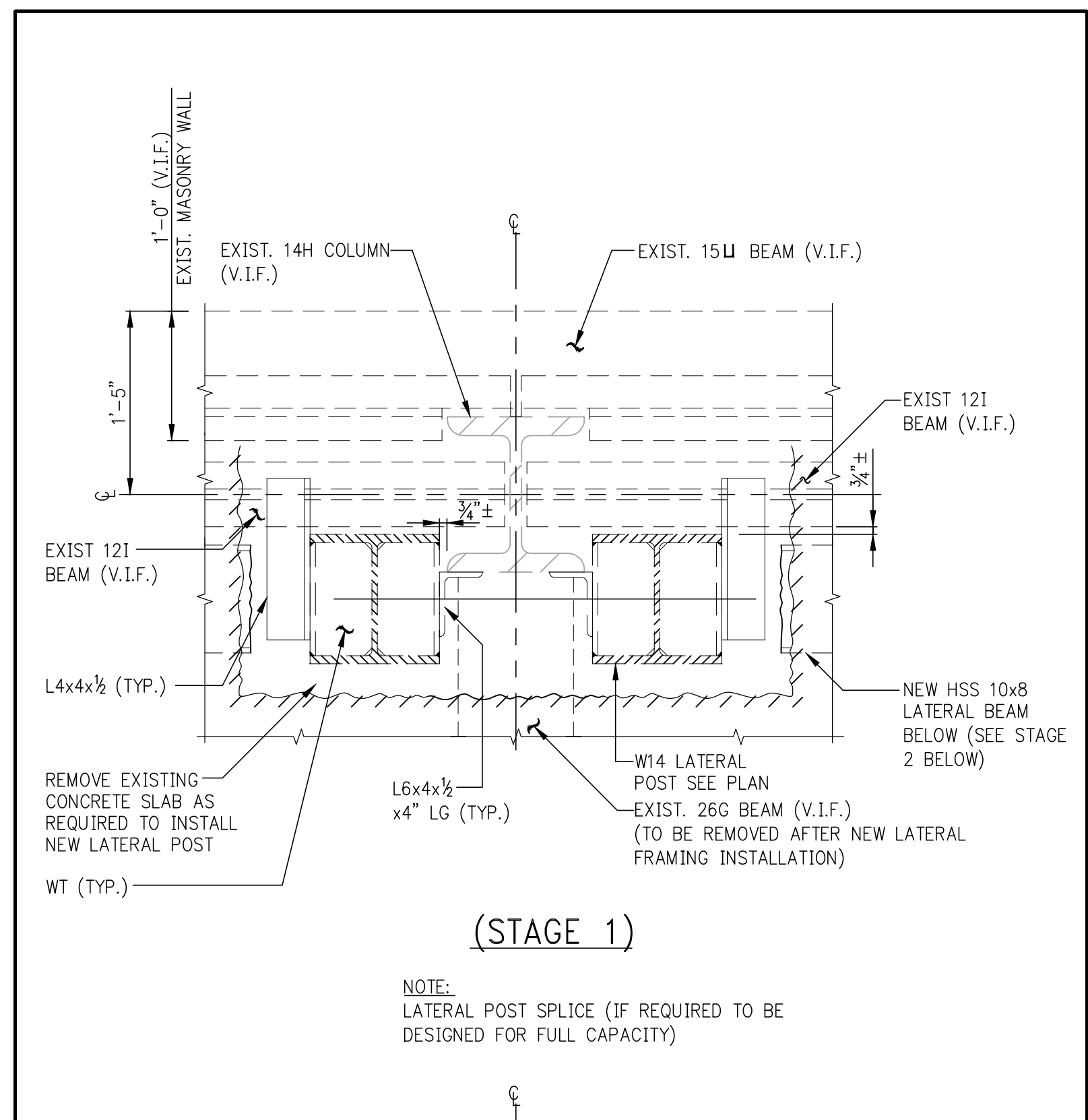
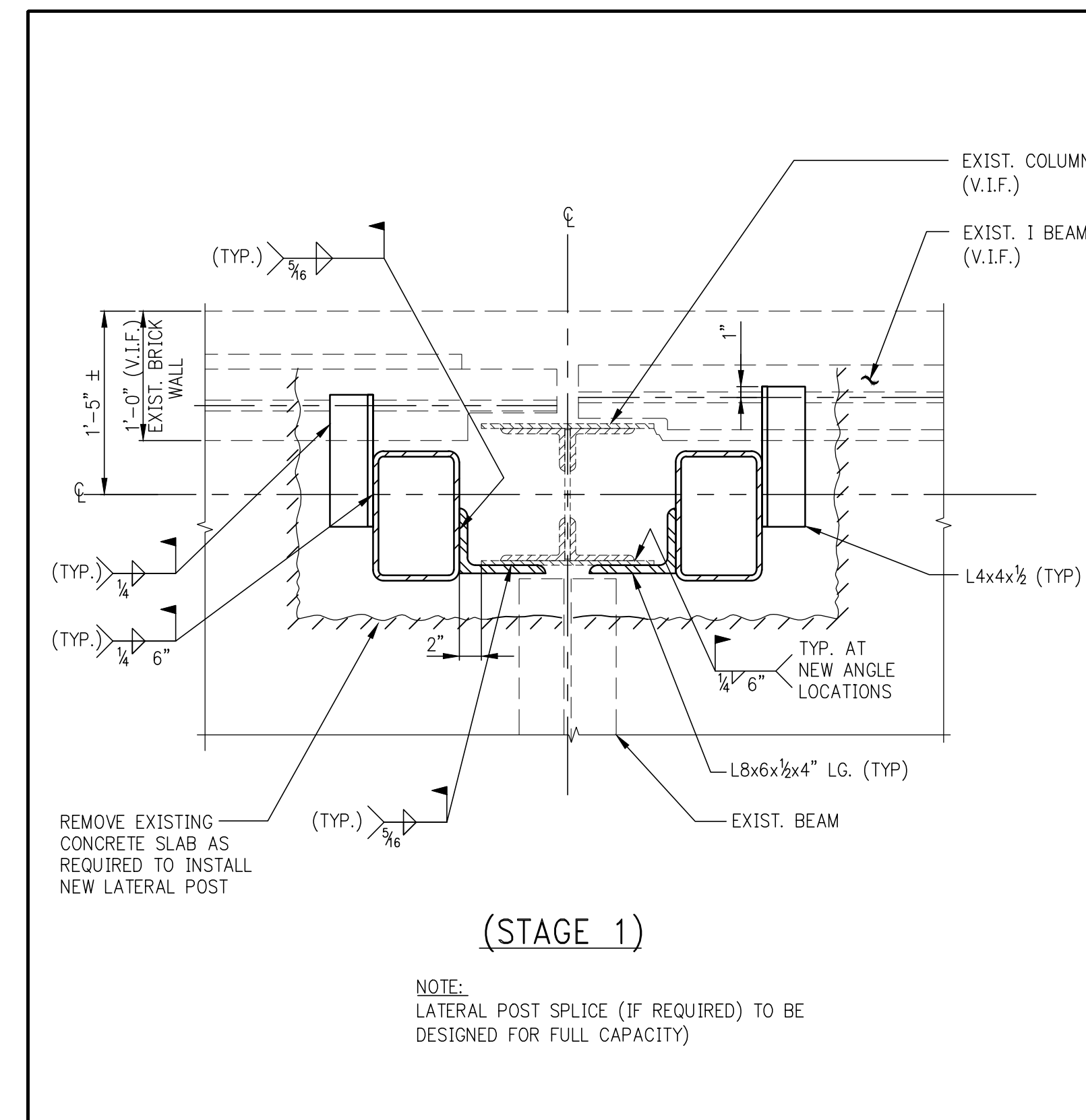
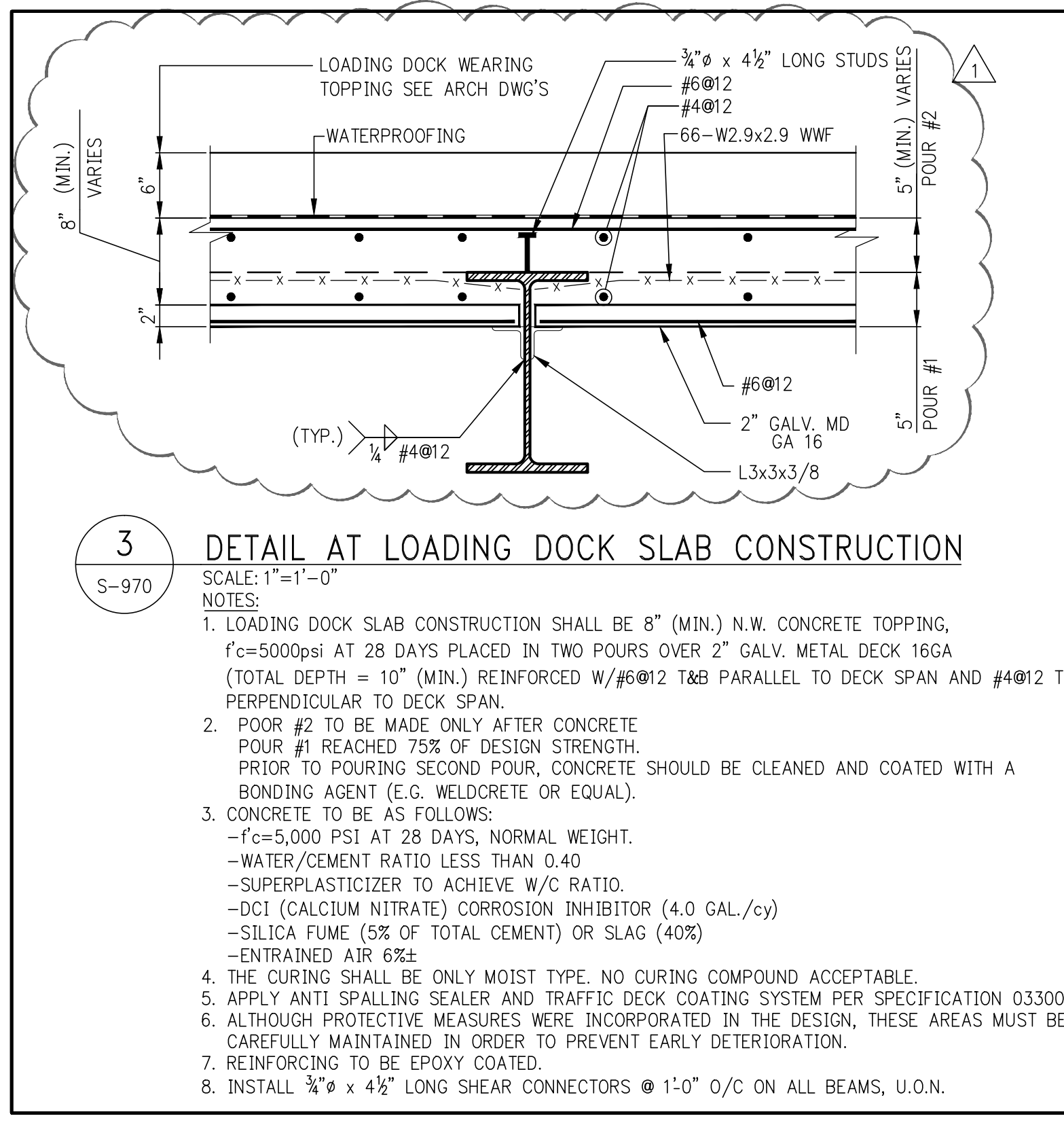
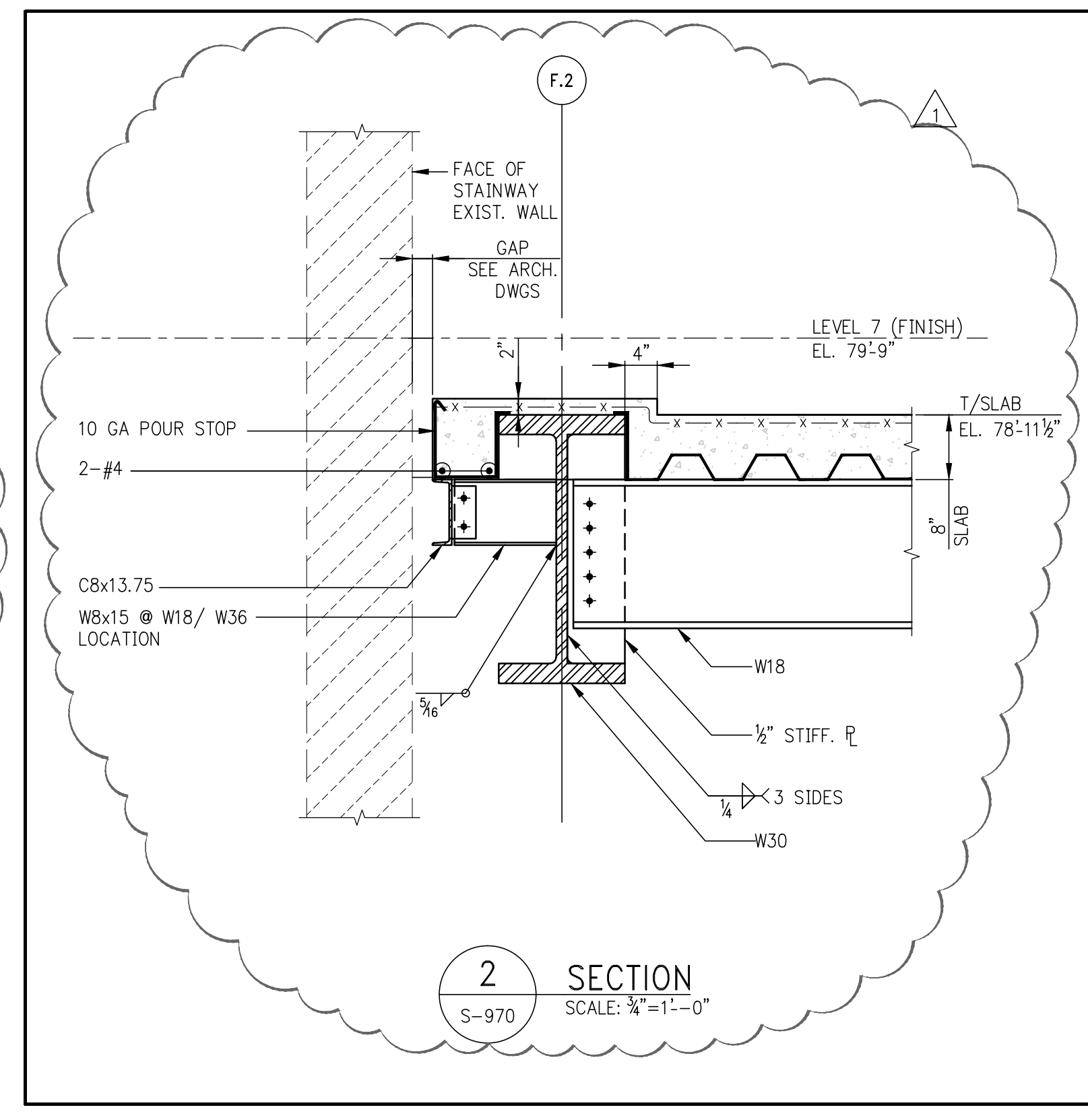
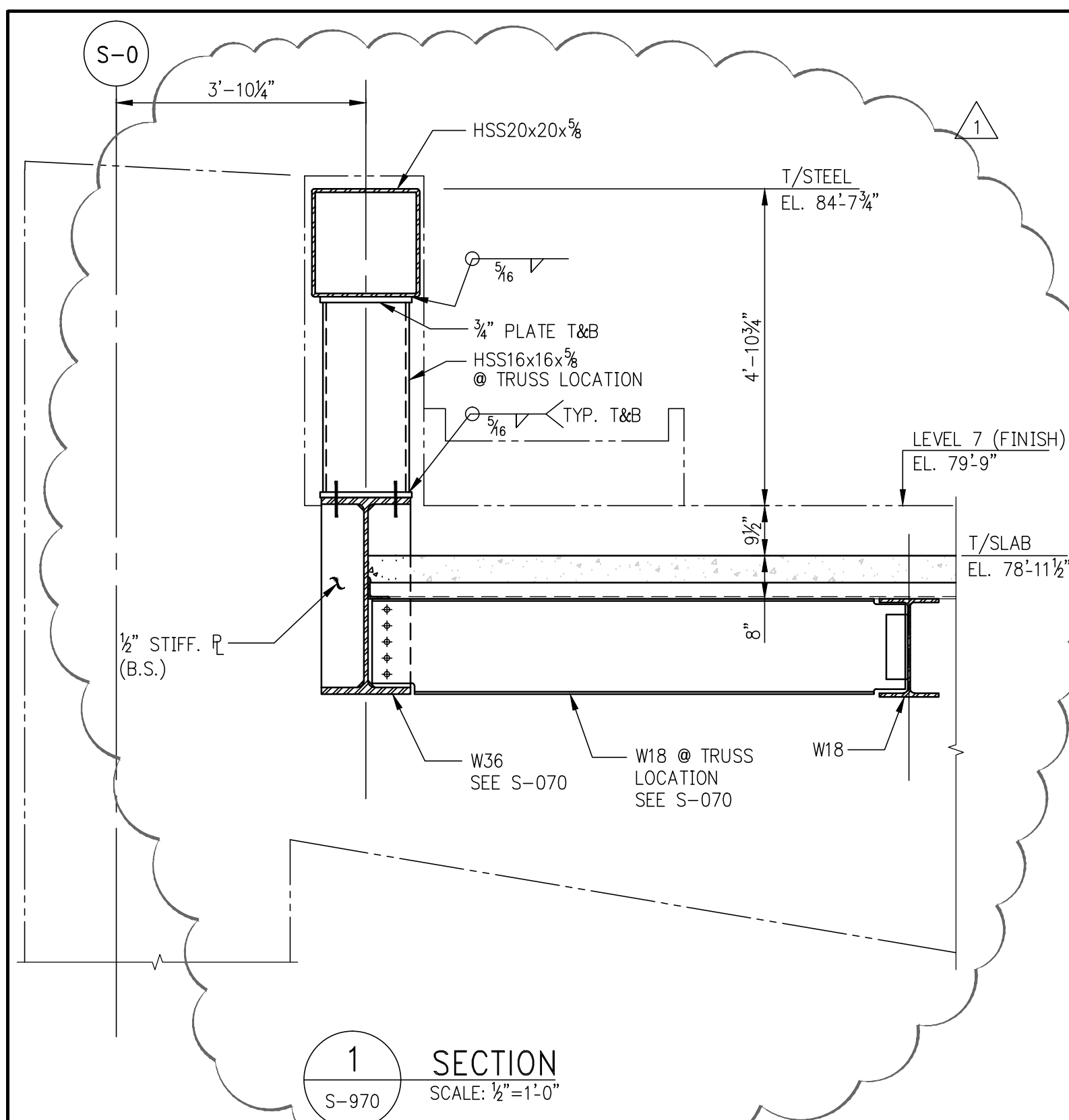
111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019

NOT FOR CONSTRUCTION

CONCRETE TYPICAL SUPERSTRUCTURE DETAILS 2

SCALE: SIGNATURE DATE: 07/16/15
PROJECT NO.: 1310140
DRAWN BY: CAD
CHECKED BY: CL
DATE: 08/28/15
JOB NO.: 1211310060
DRAWING NUMBER

S-966.01
SHEET XX OF XX



JDS DEVELOPMENT GROUP

ARCHITECT: SHAIKH & SHAIKH
STRUCTURAL ENGINEER: SHAIKH & SHAIKH
MEP ENGINEER: SHAIKH & SHAIKH
CIVIL ENGINEER: SHAIKH & SHAIKH
ACoustics: SHAIKH & SHAIKH
INTERIORS: SHAIKH & SHAIKH

sh p

PMG

DOB PAA

111 WEST 57TH STREET
111 WEST 57TH STREET
NEW YORK, NY 10019

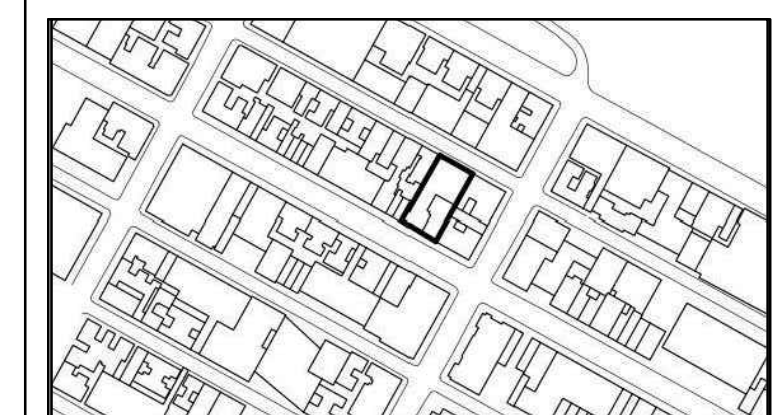
Shauqat Shaikh
Building Approved
Under Directive 2 of 1995
Date: 08/08/2015
NYC Development Hub

NOT FOR CONSTRUCTION

STEEL SUPERSTRUCTURE SECTIONS 1

DATE: 07/16/15
PROJECT NO.: 1310140
DRAWN BY: CAD/C
CHECKED BY: CL
DOB NO.: 121130906
DRAWING NUMBER

S-970.01



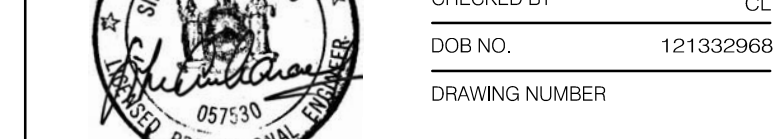
NO.	DATE	REVISION

● NOT FOR CONSTRUCTION

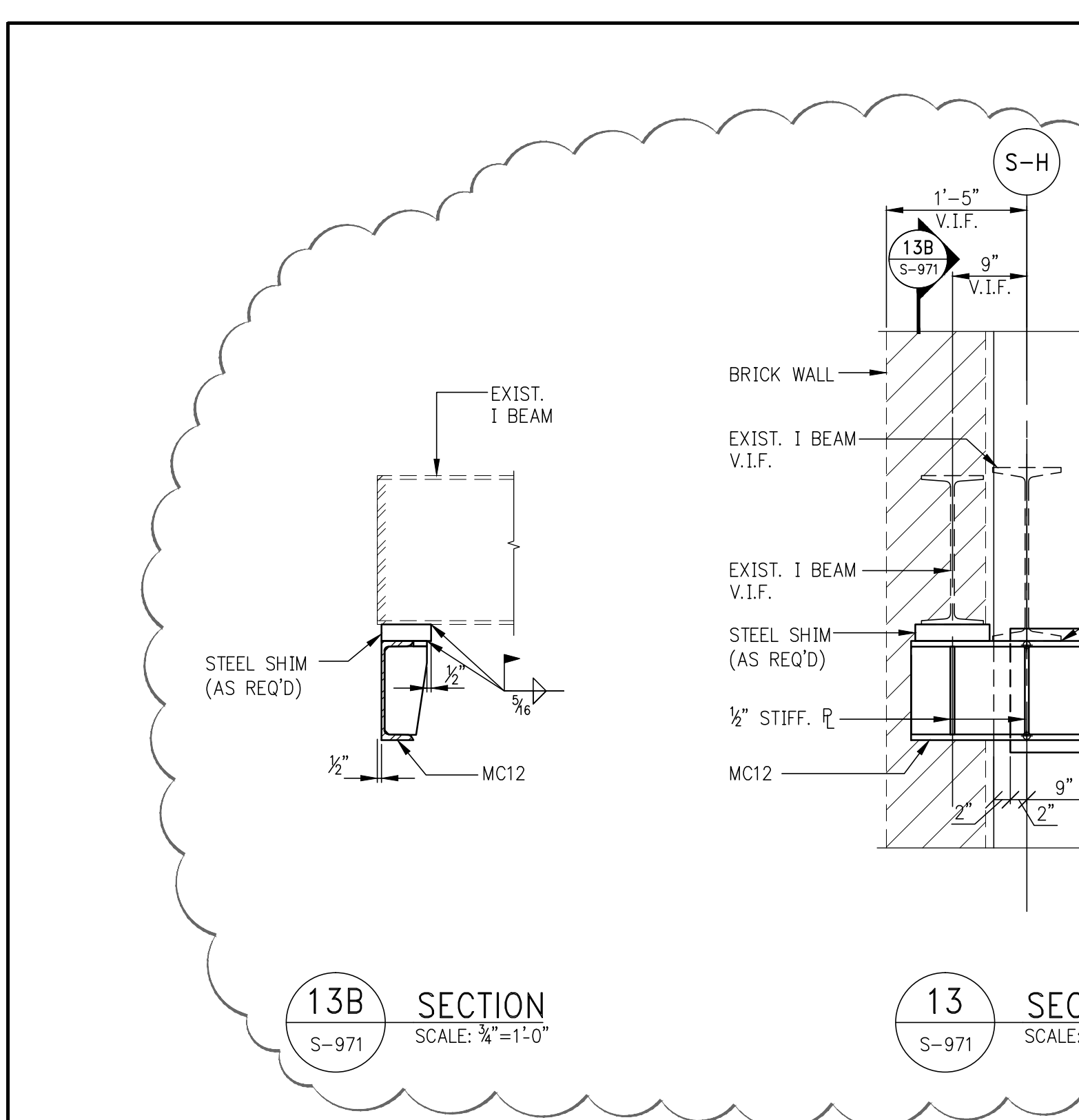
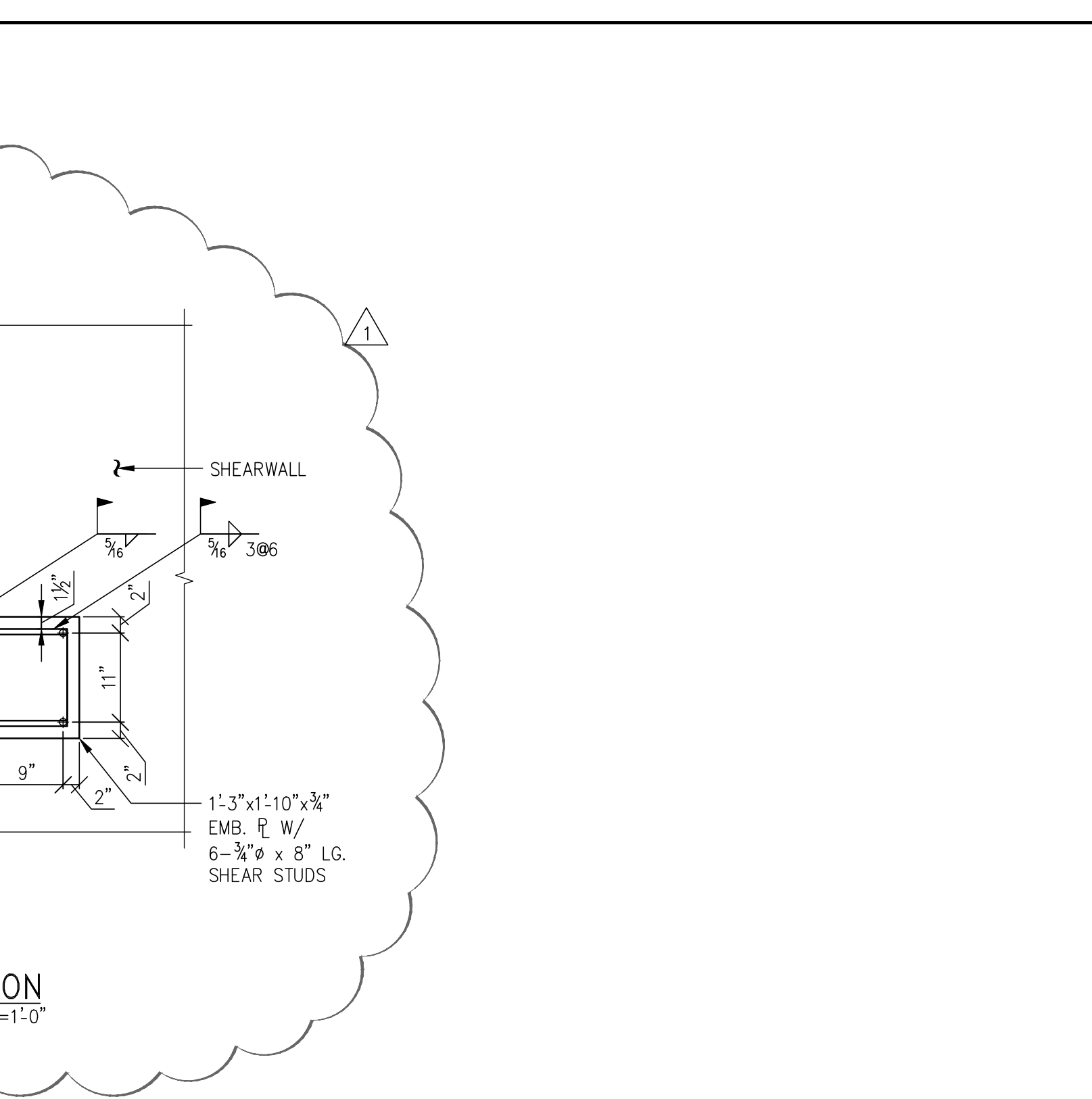
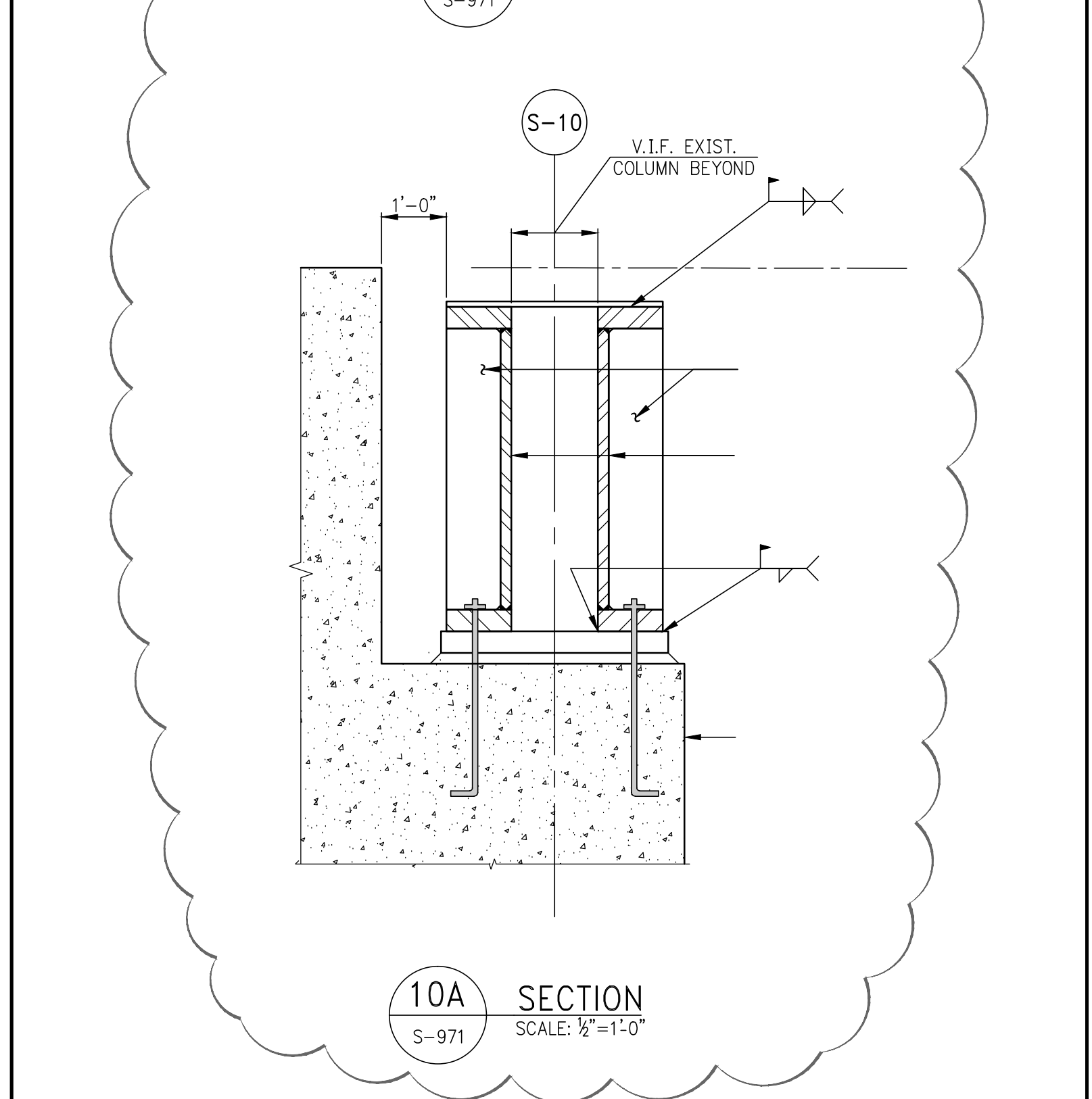
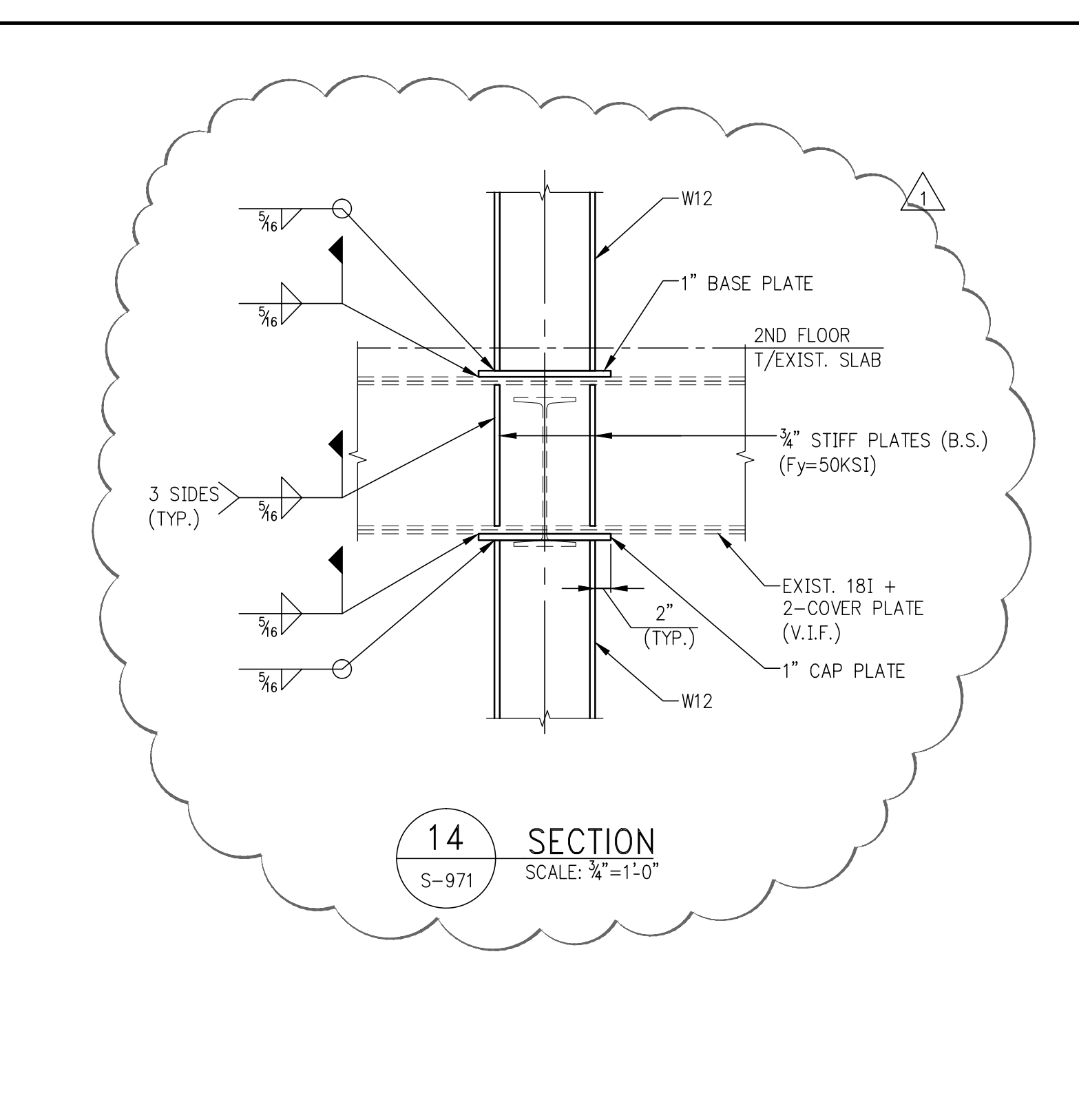
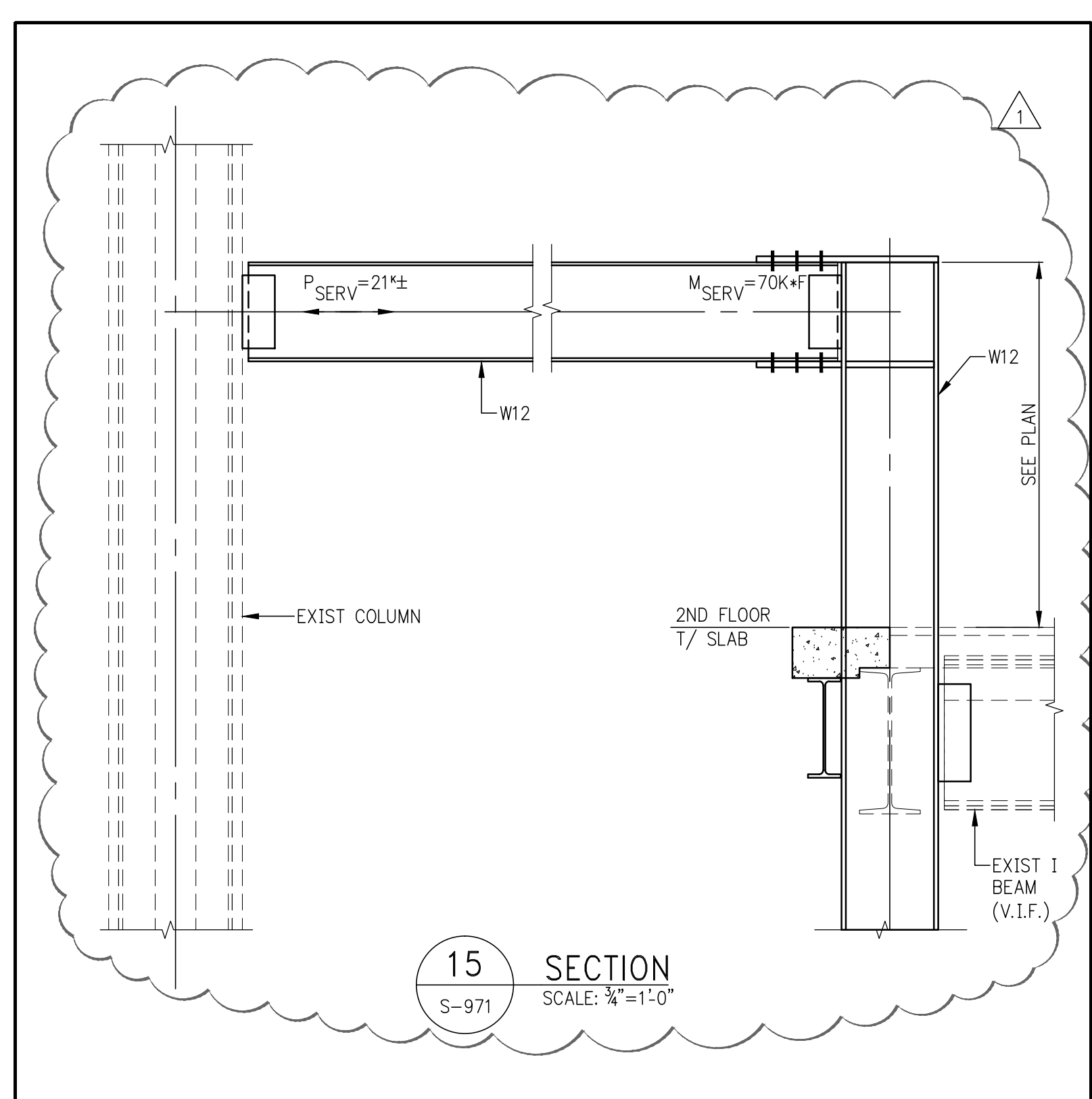
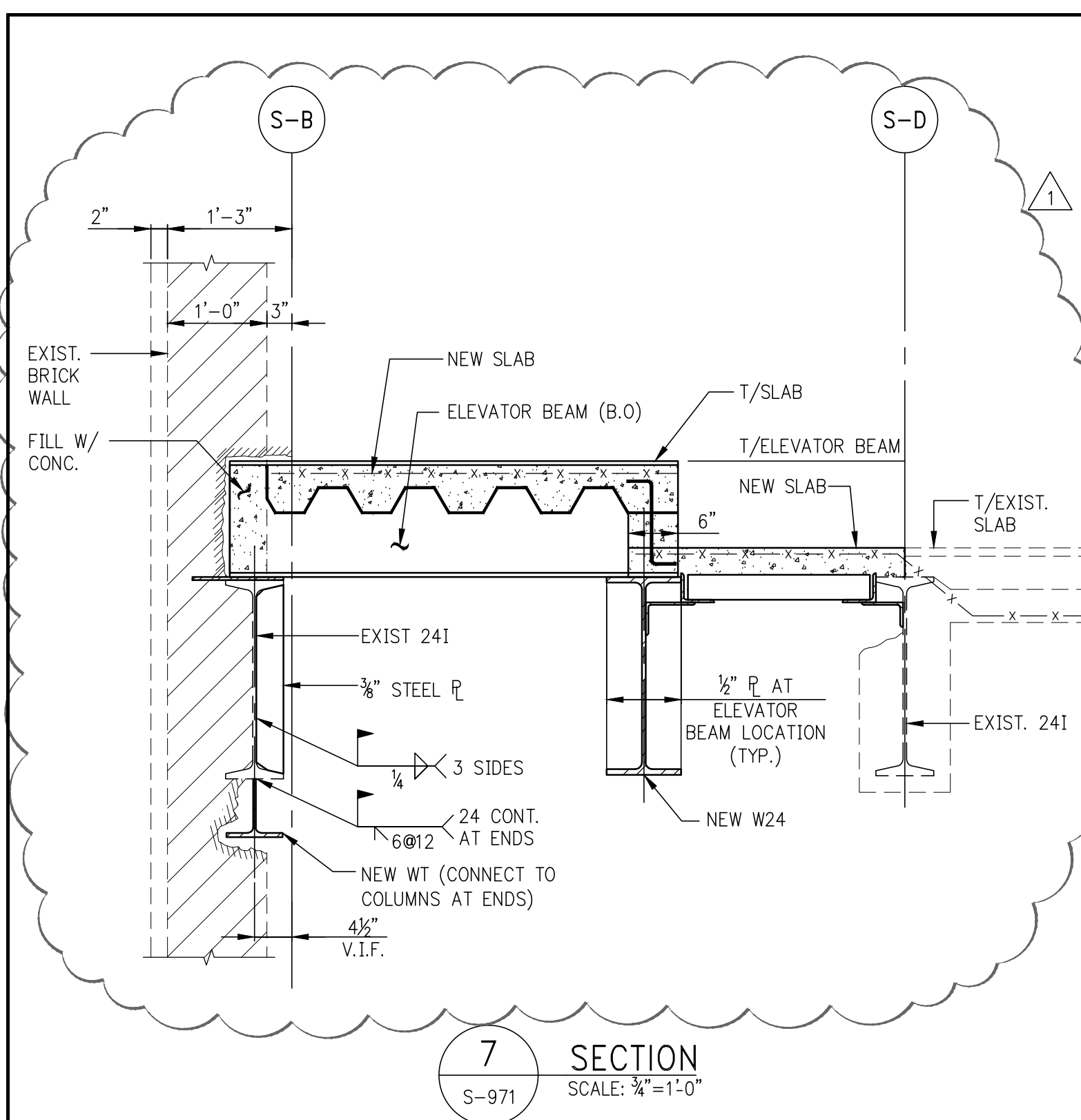
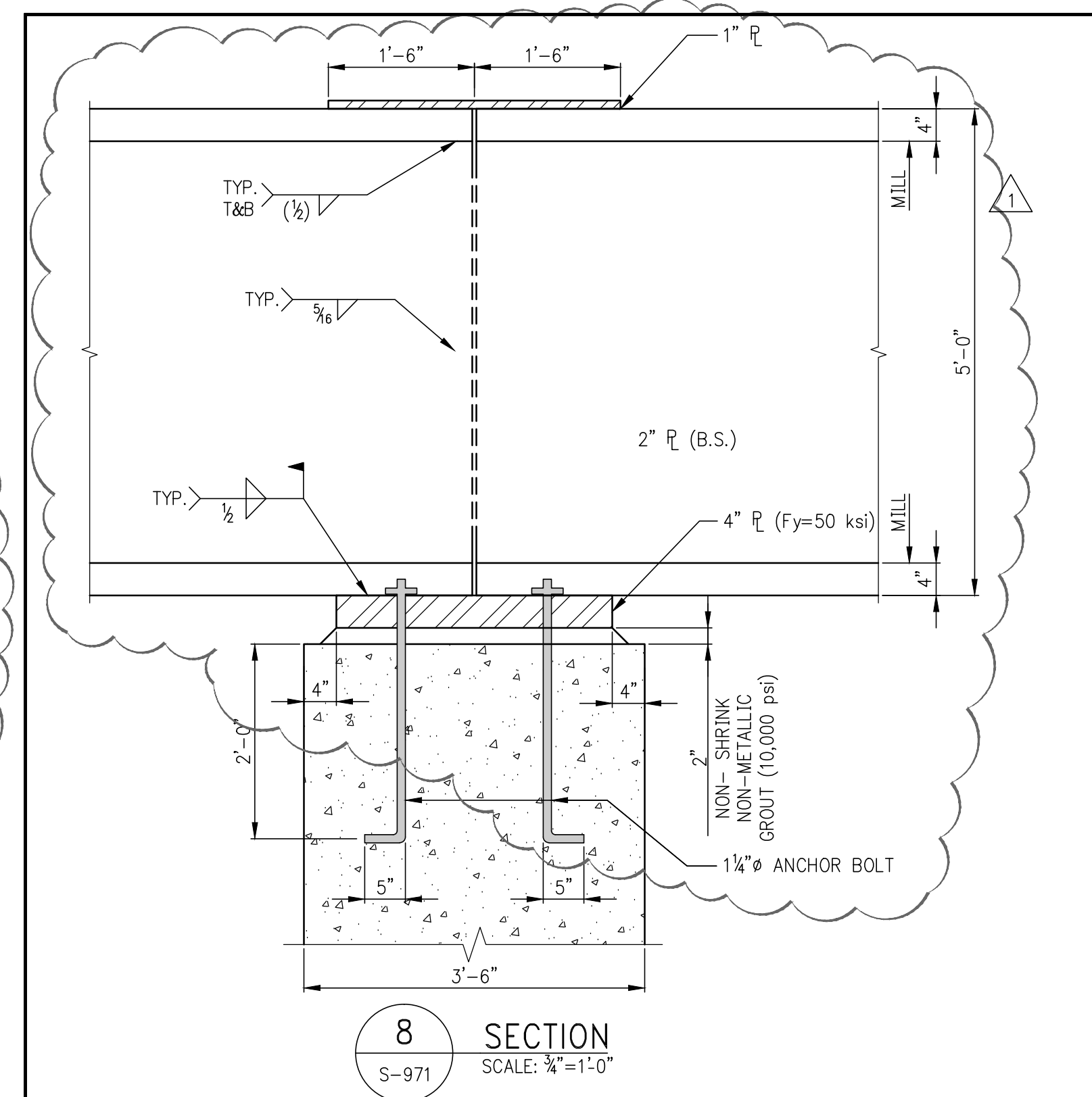
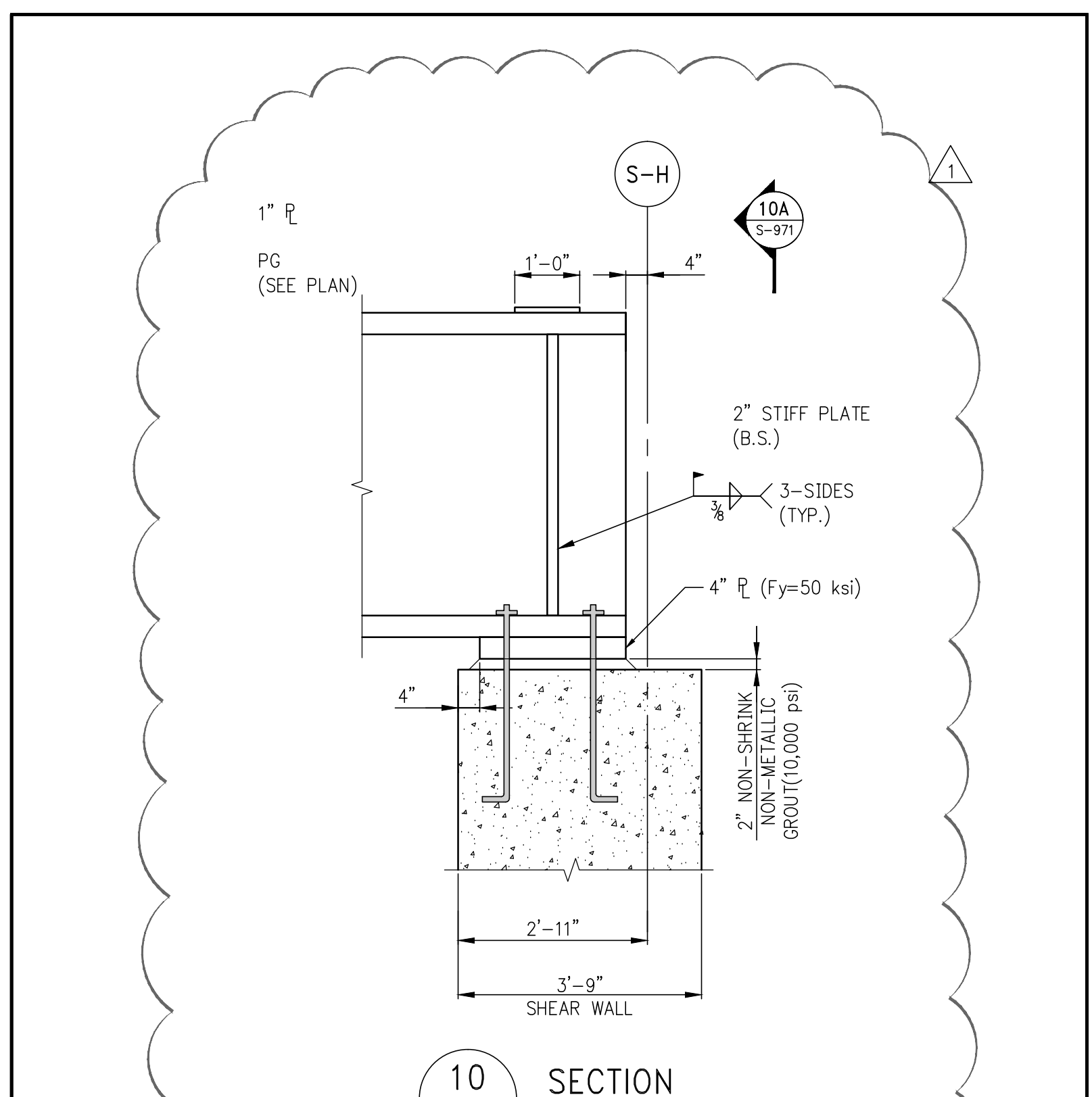
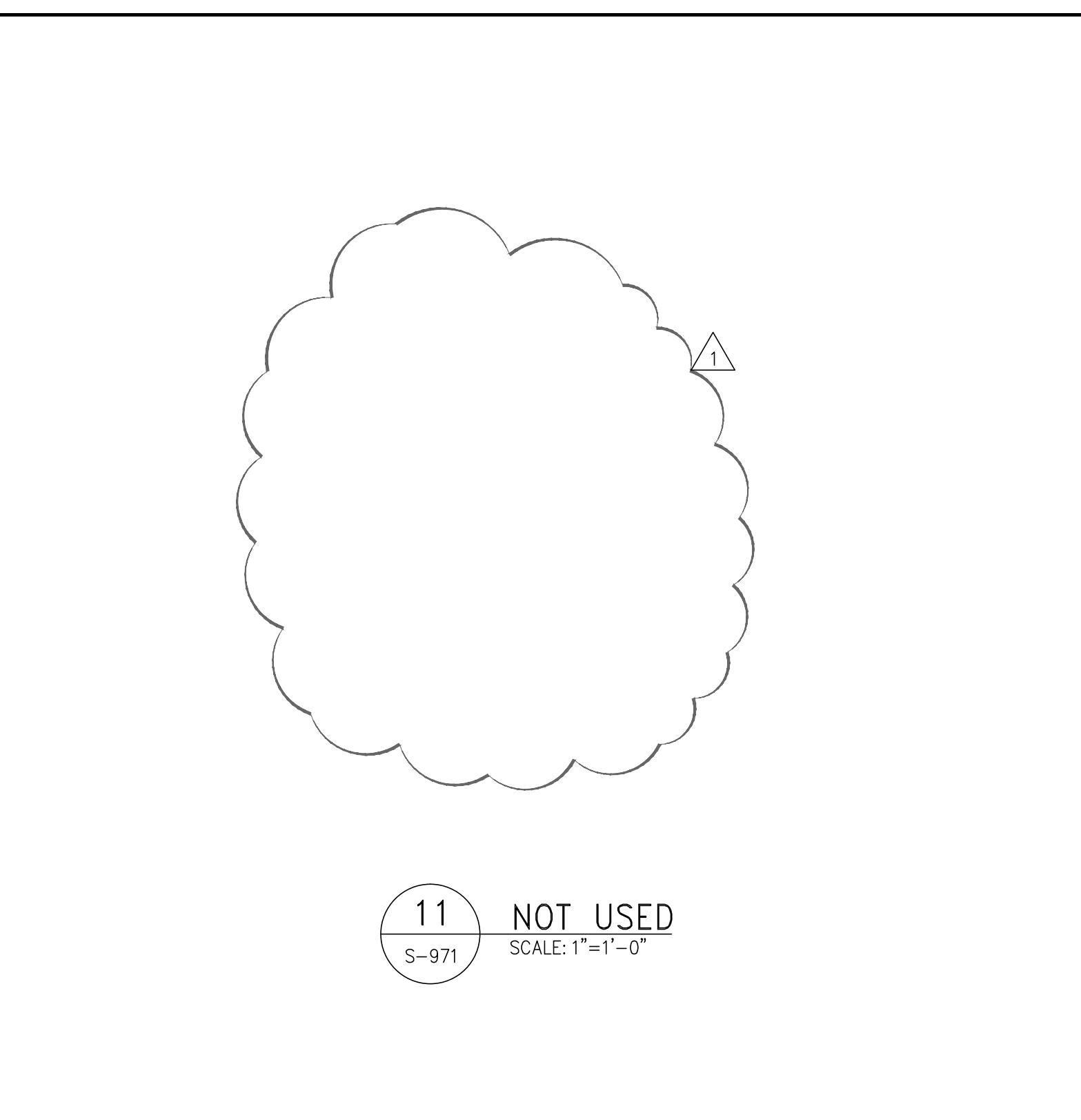
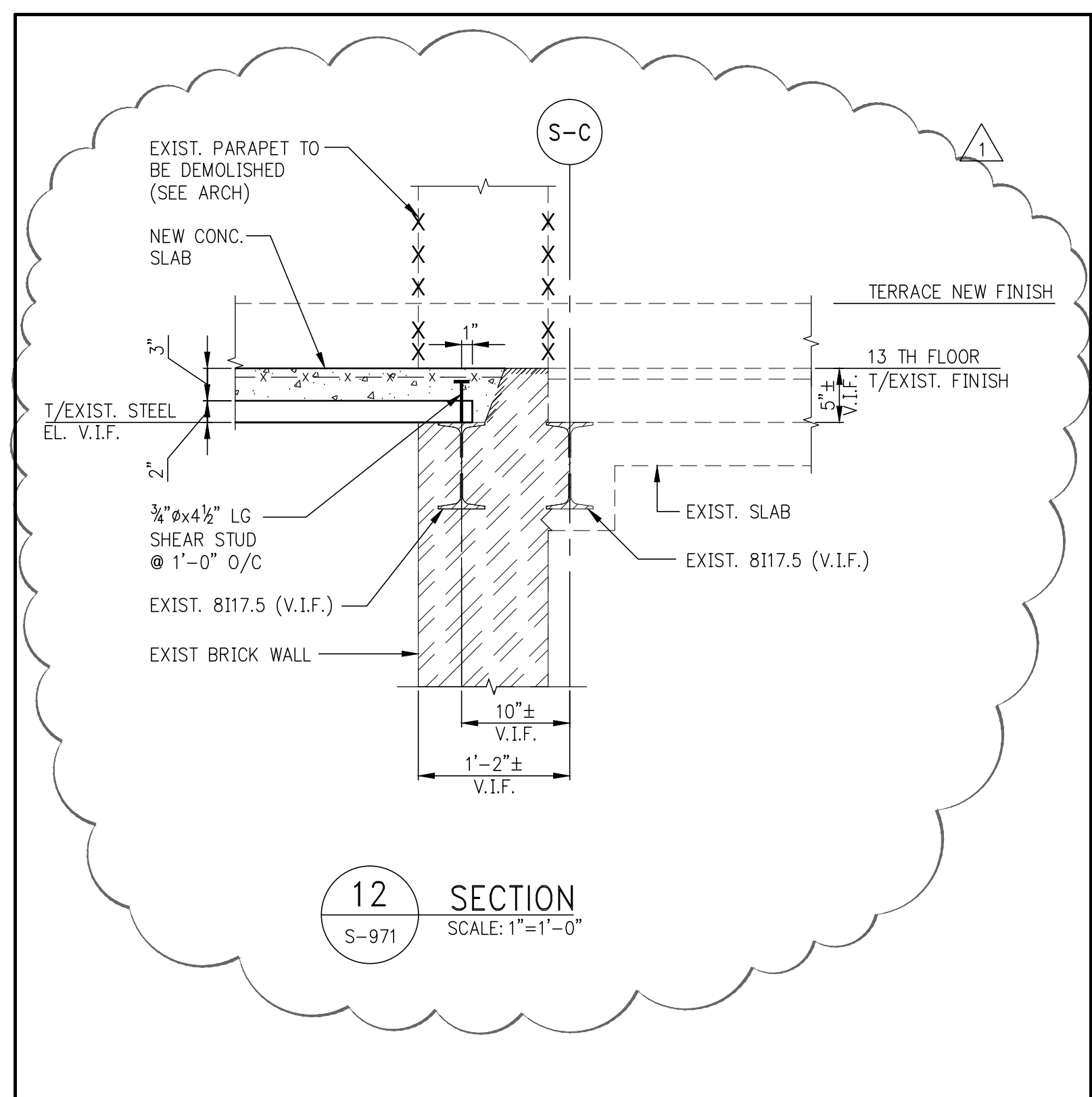
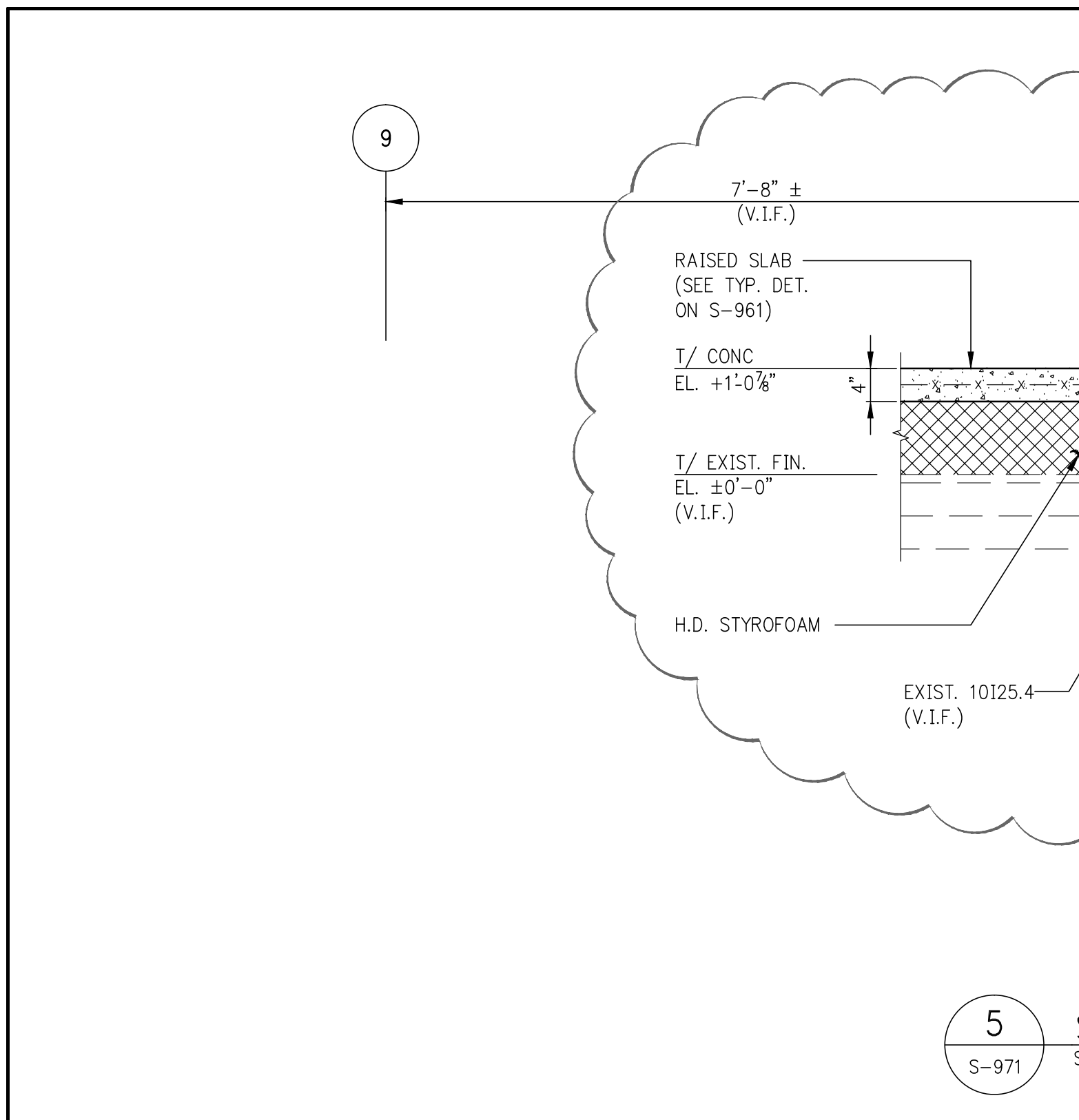
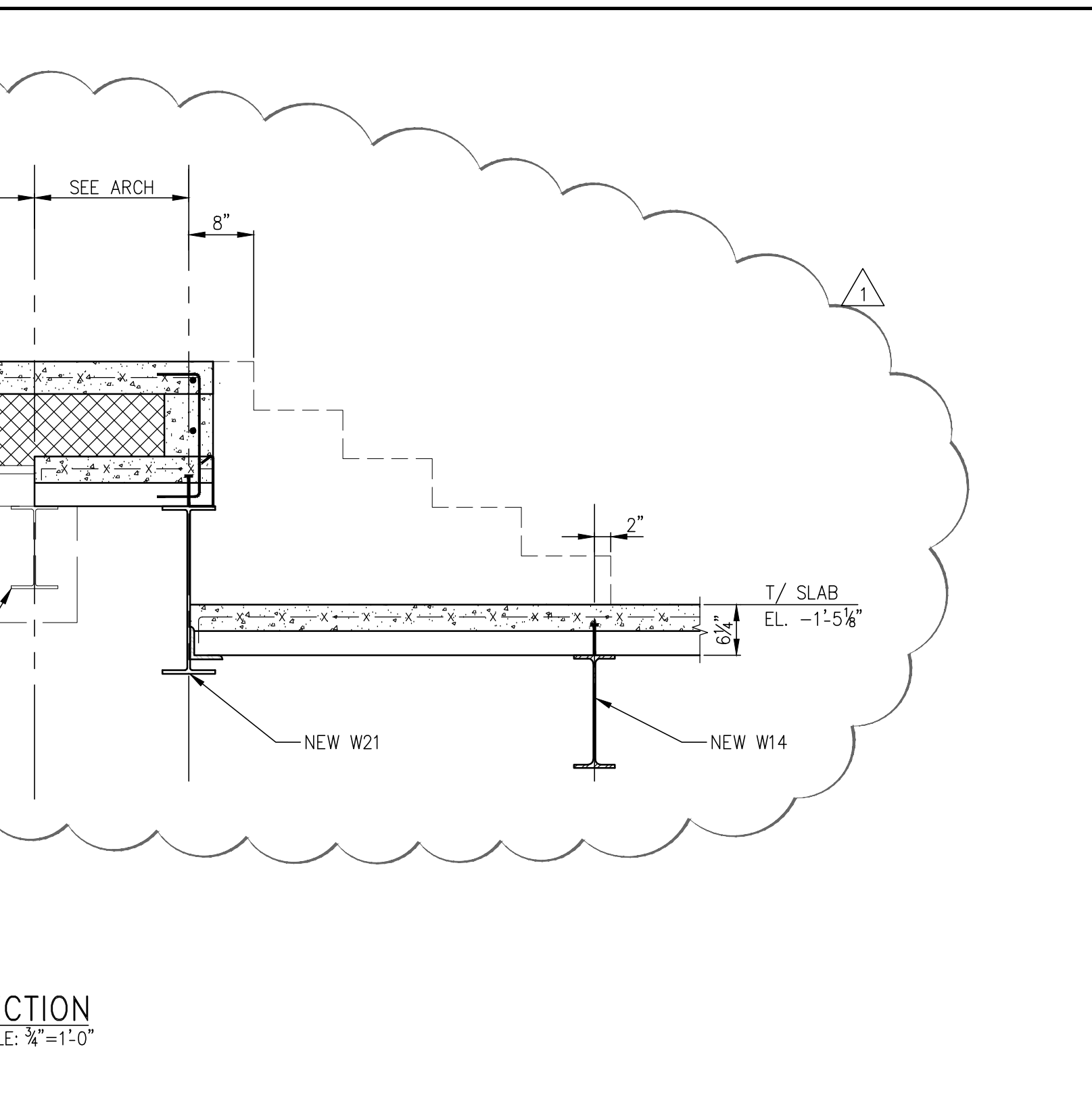
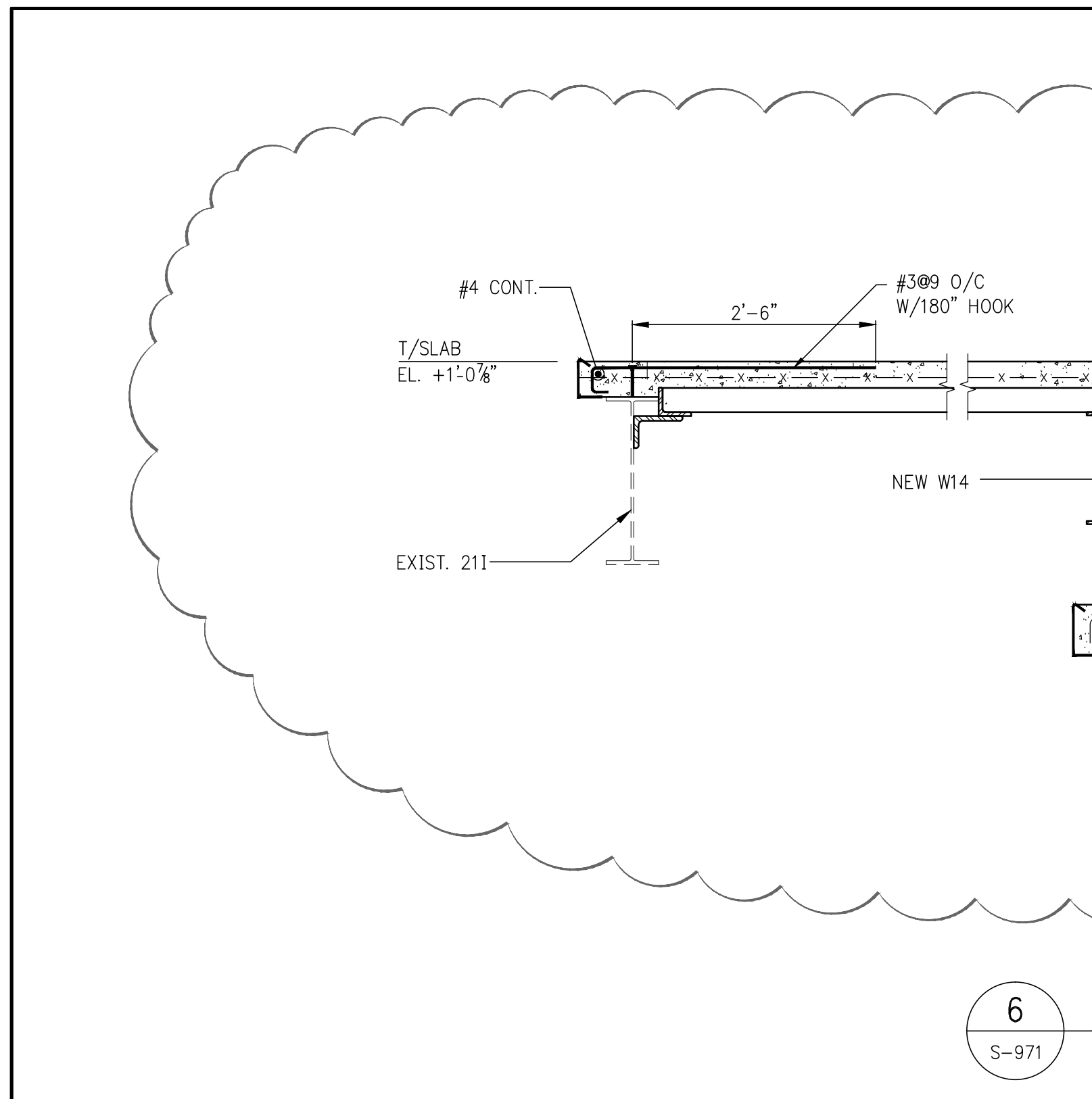
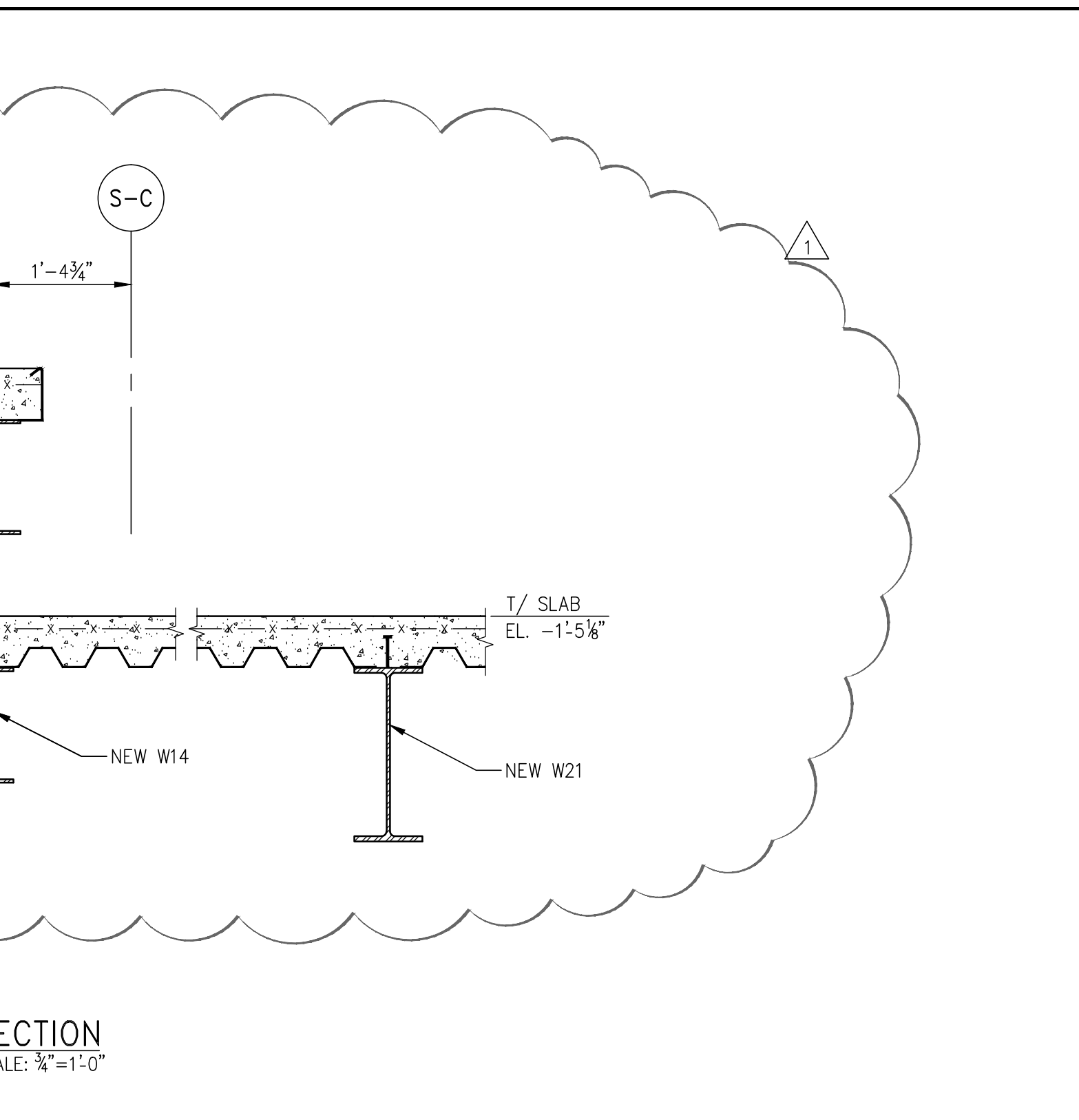
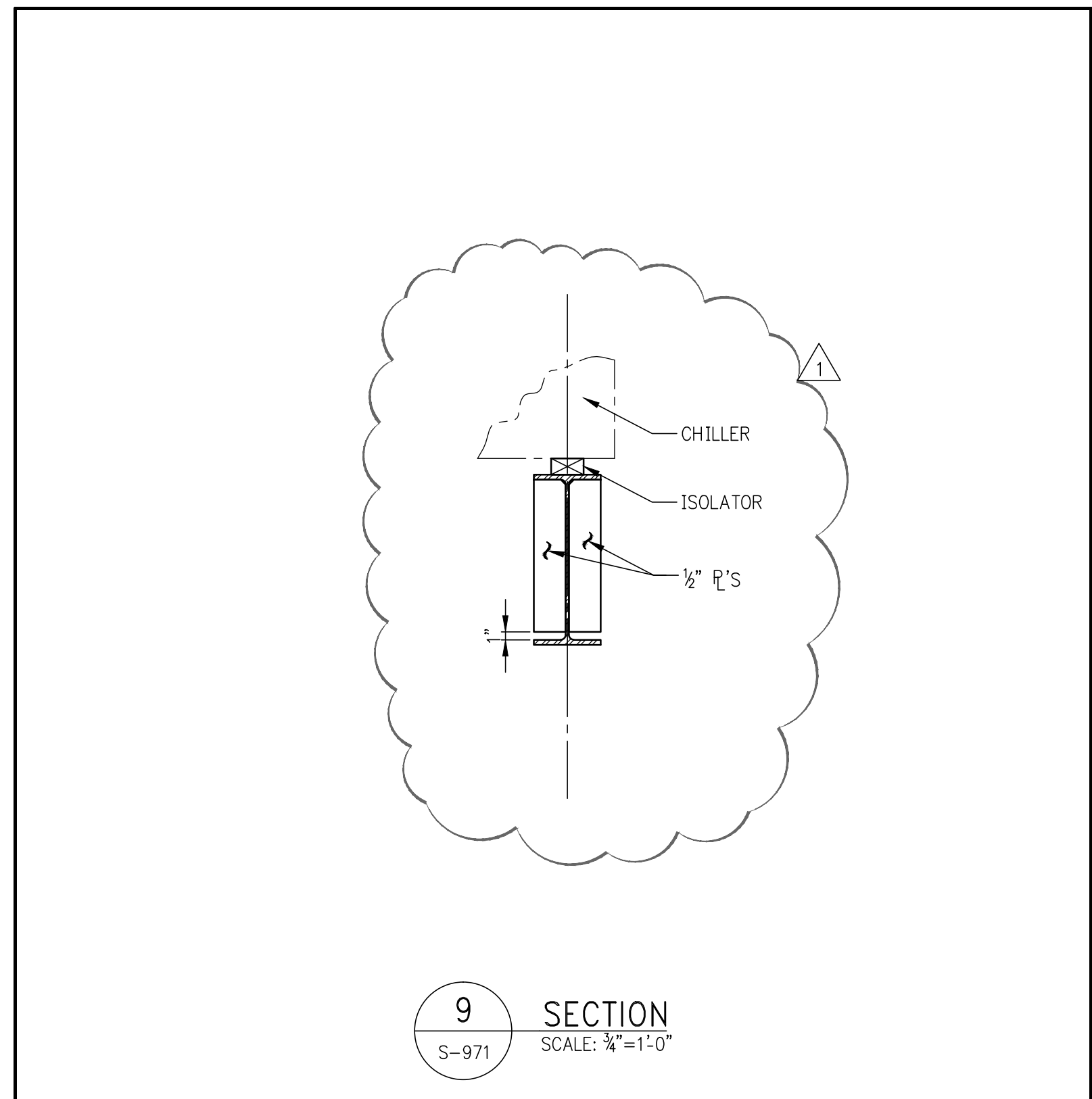
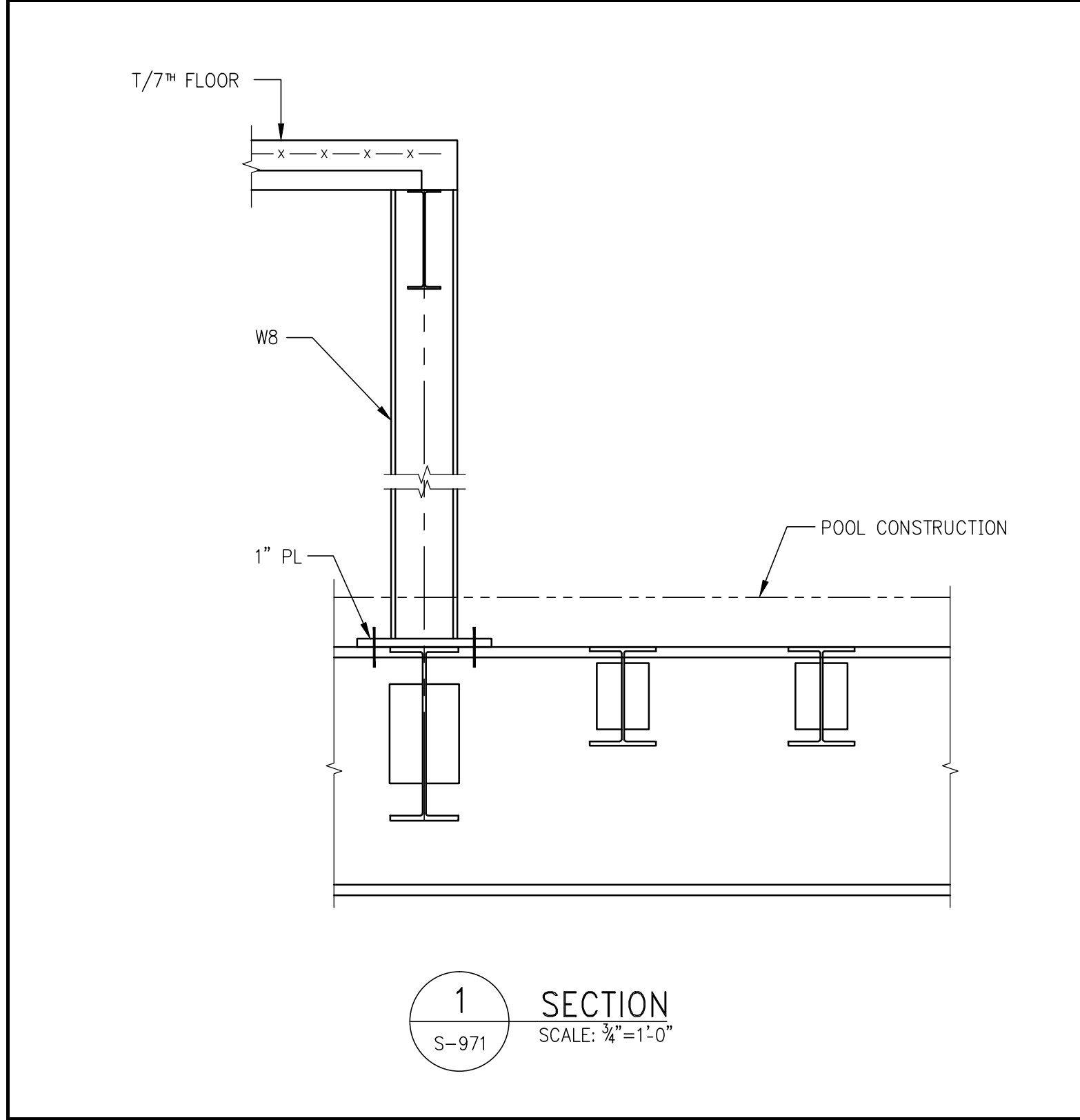
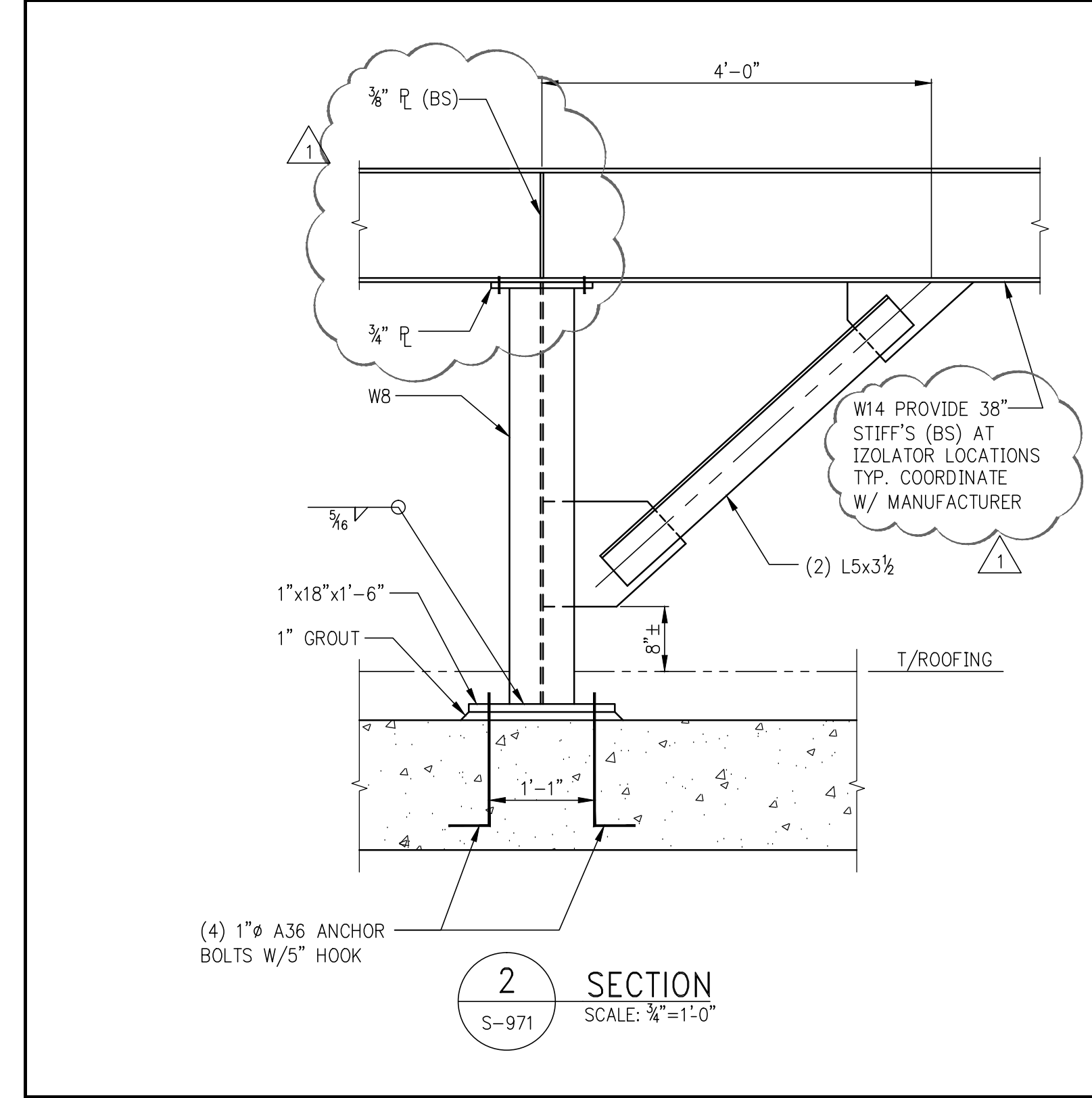
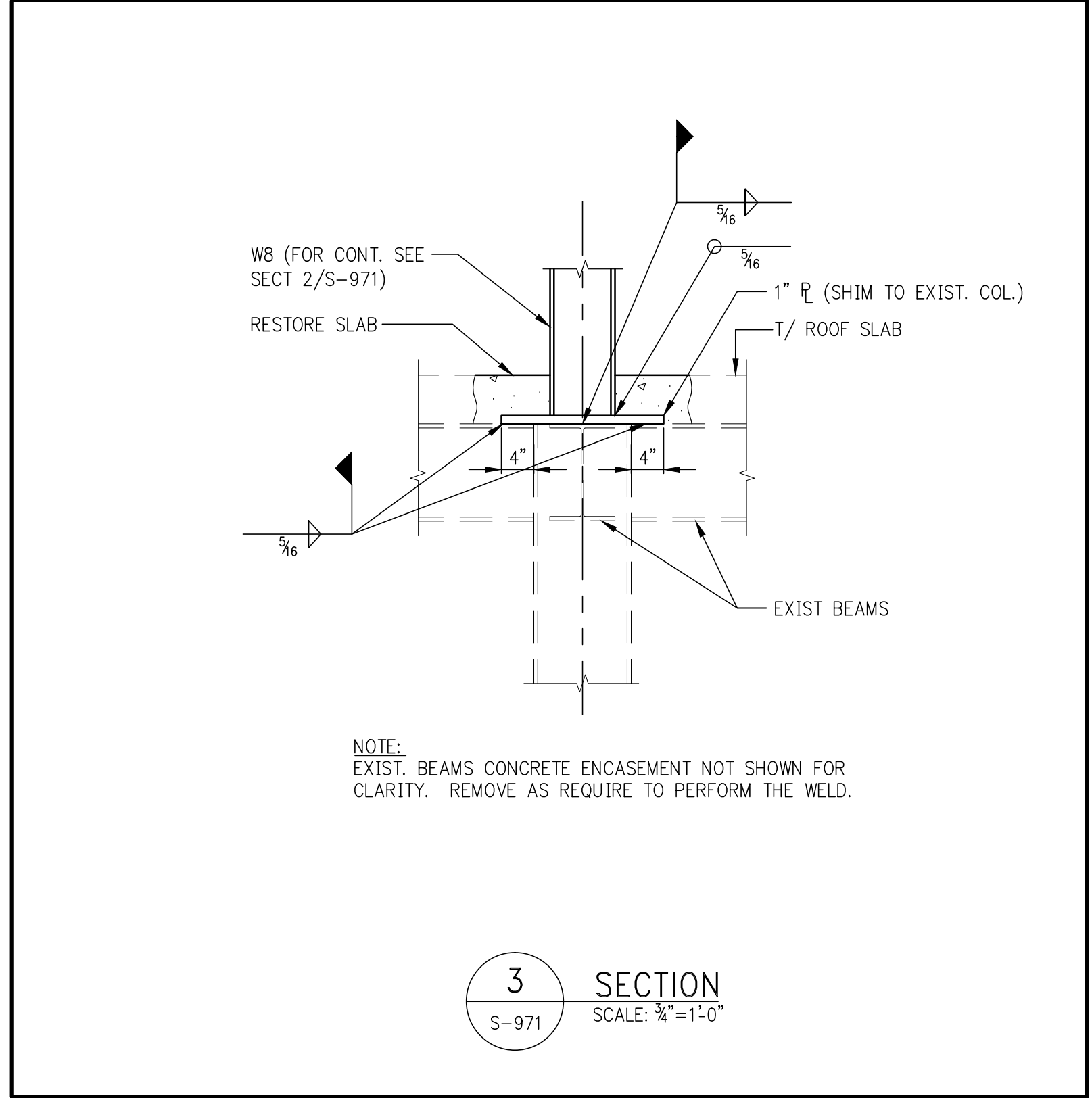
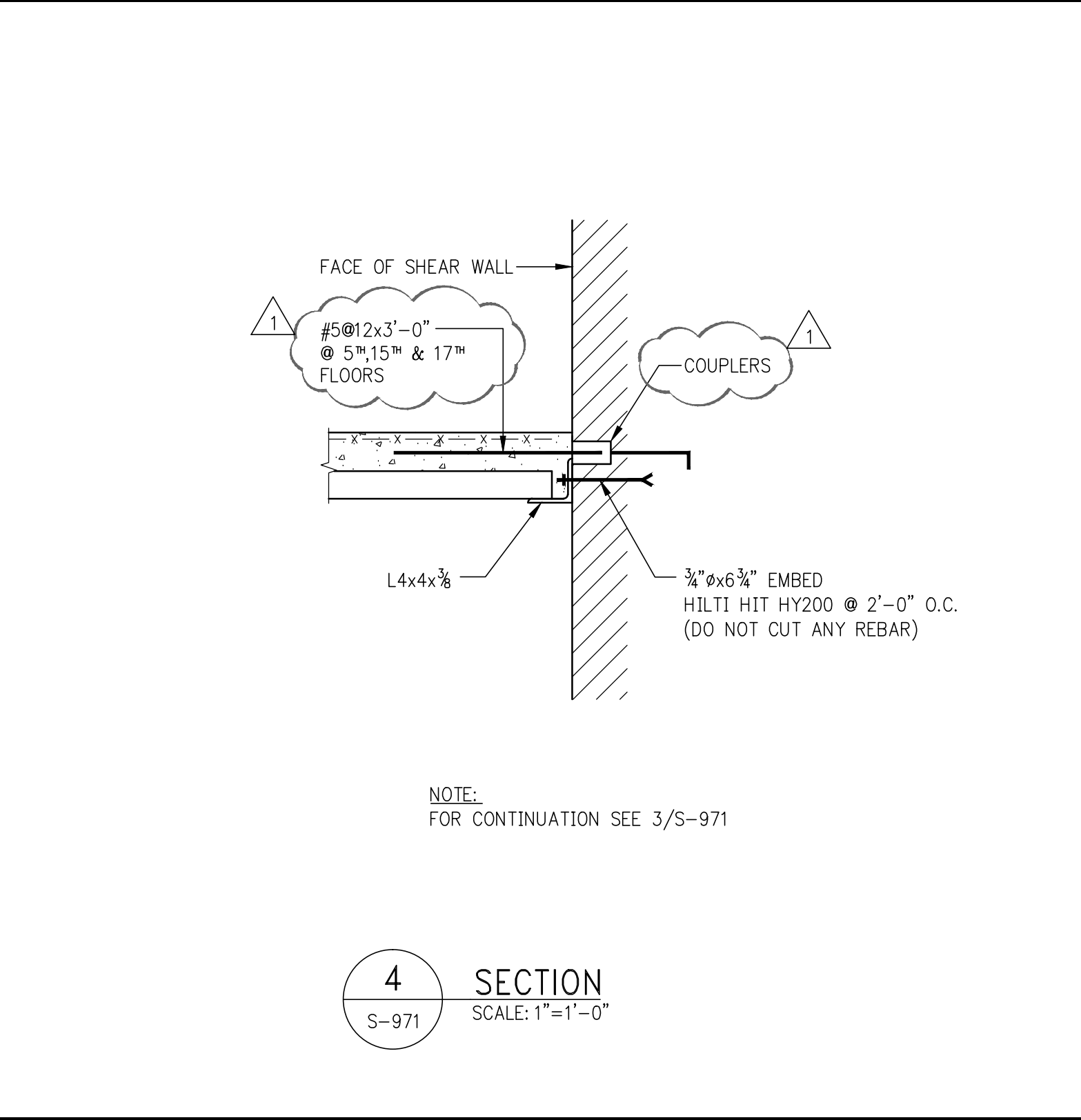
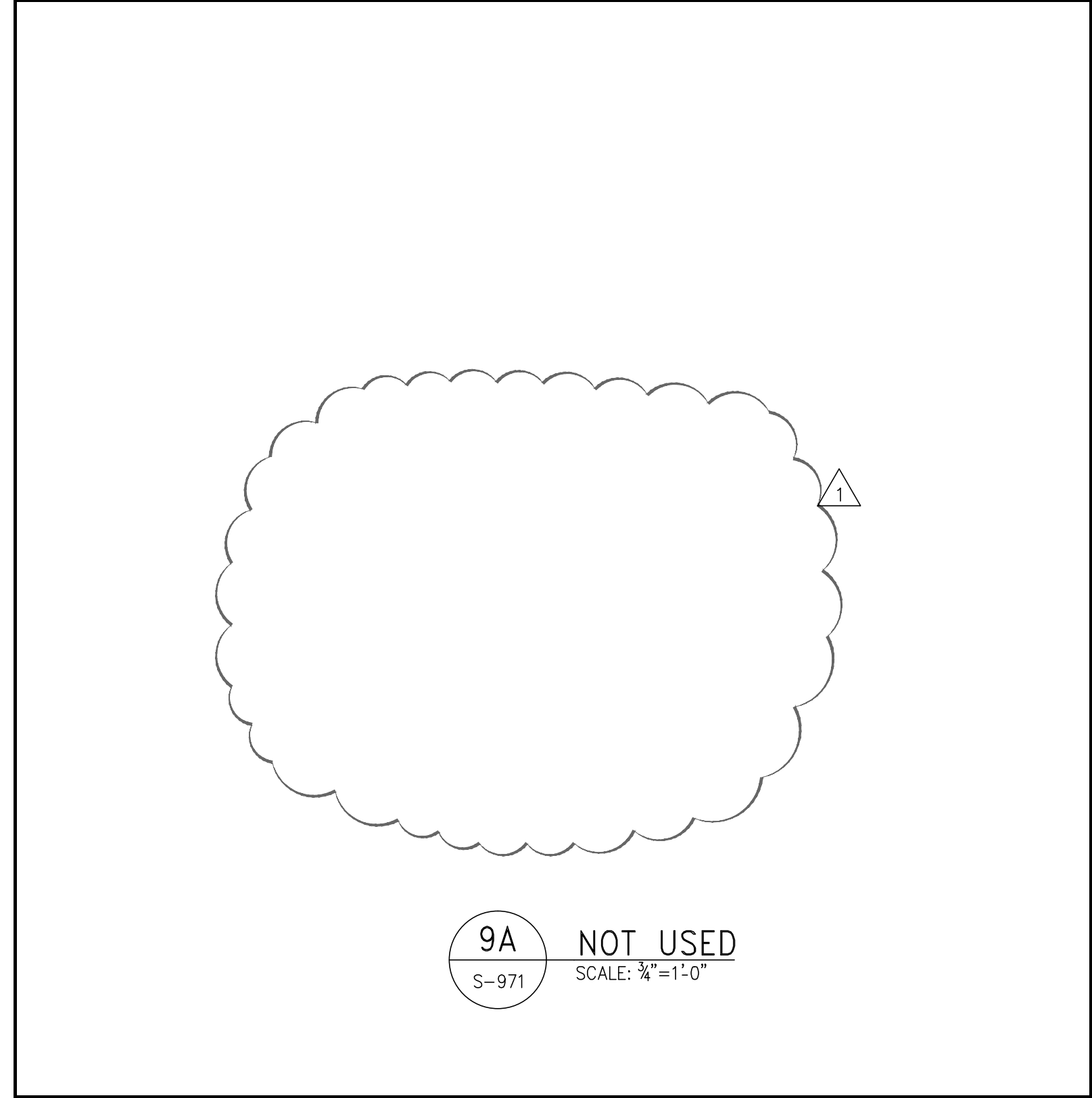
DRAWING TITLE

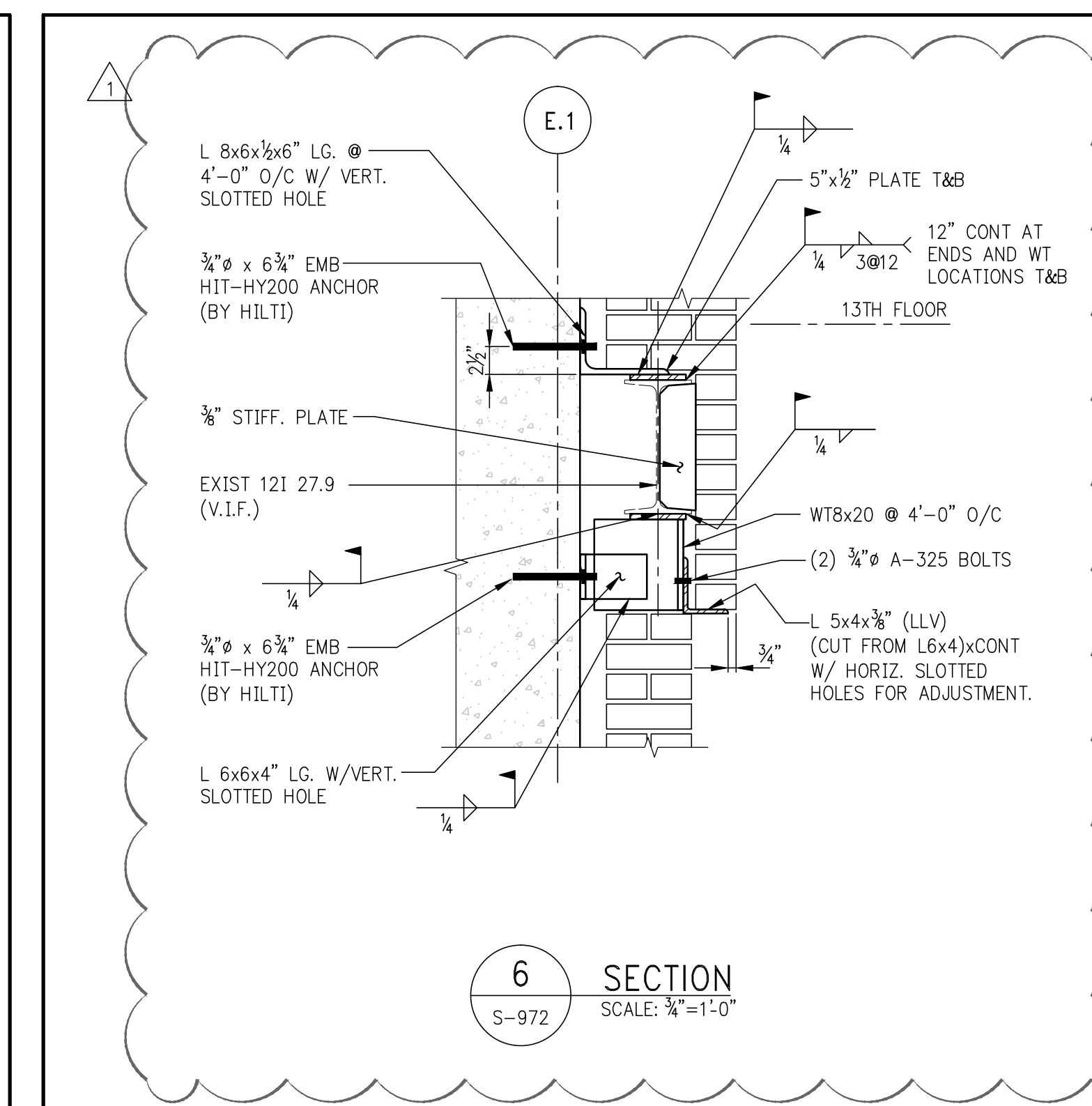
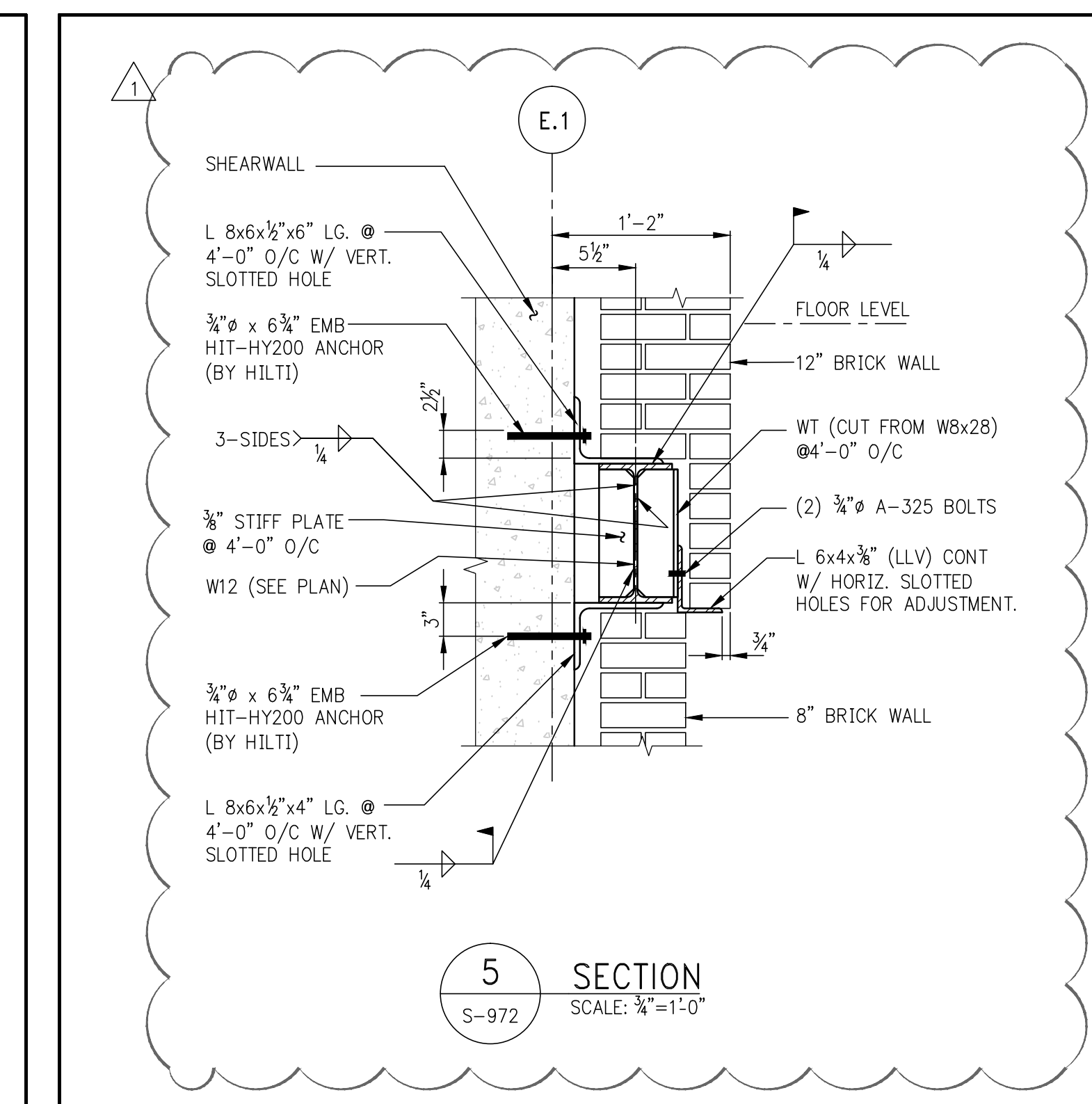
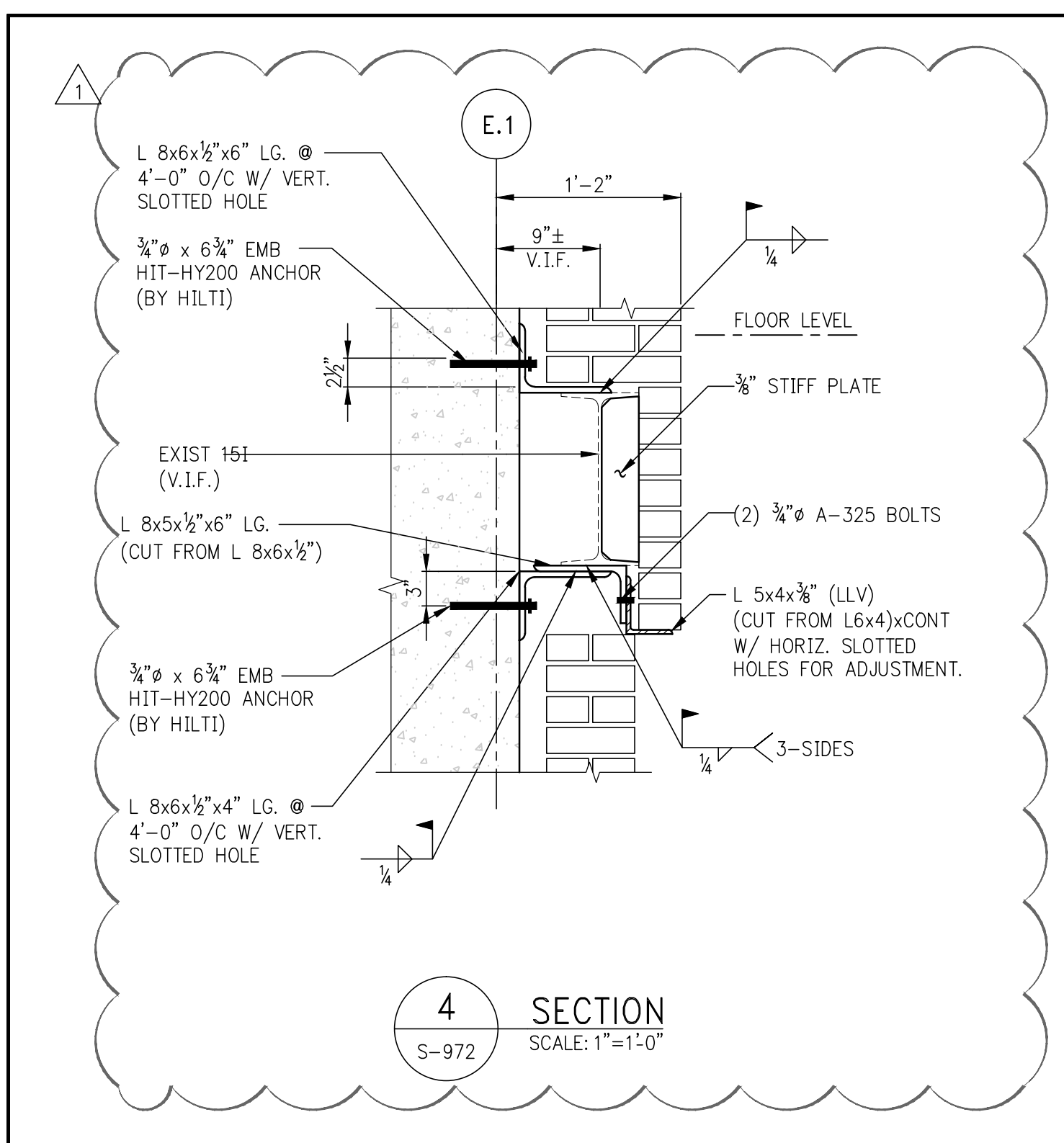
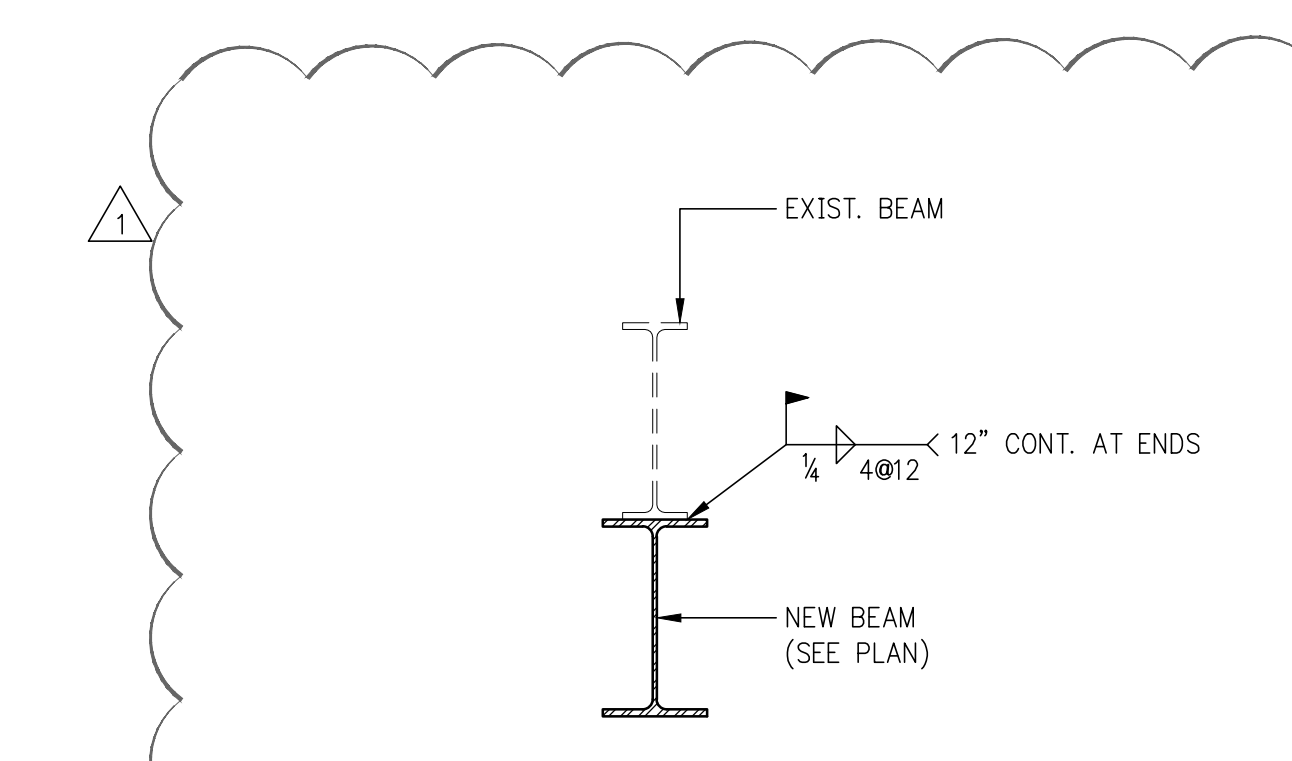
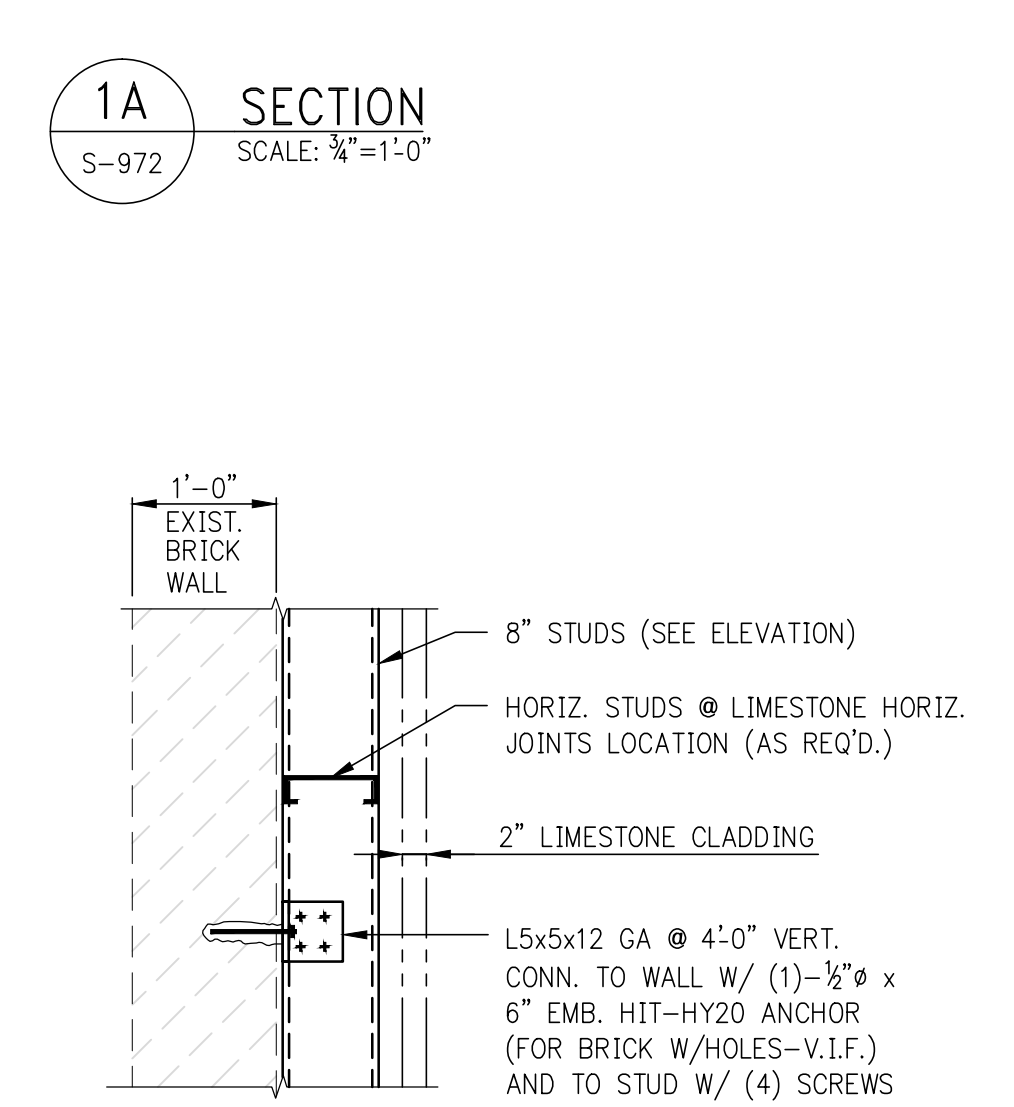
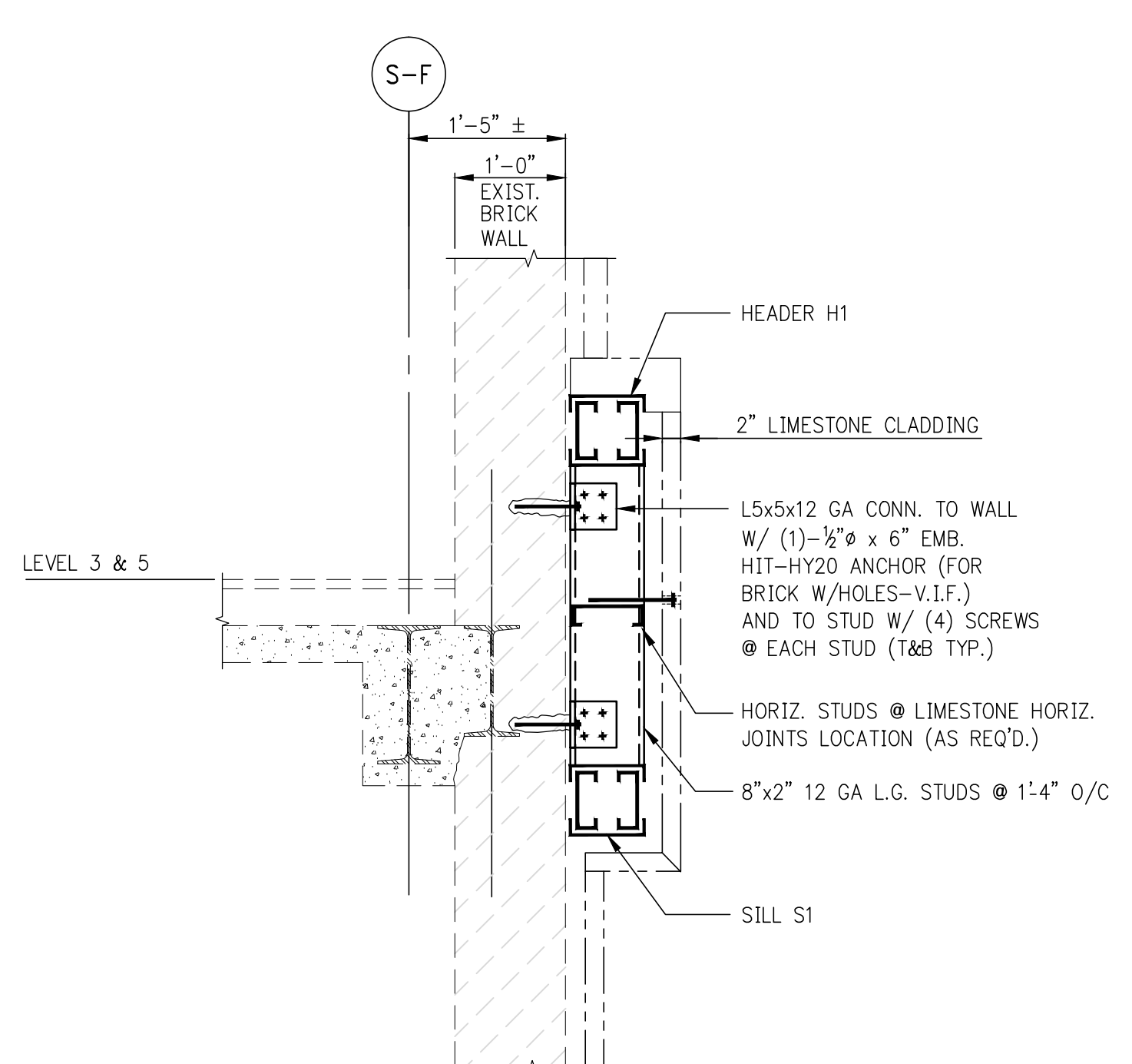
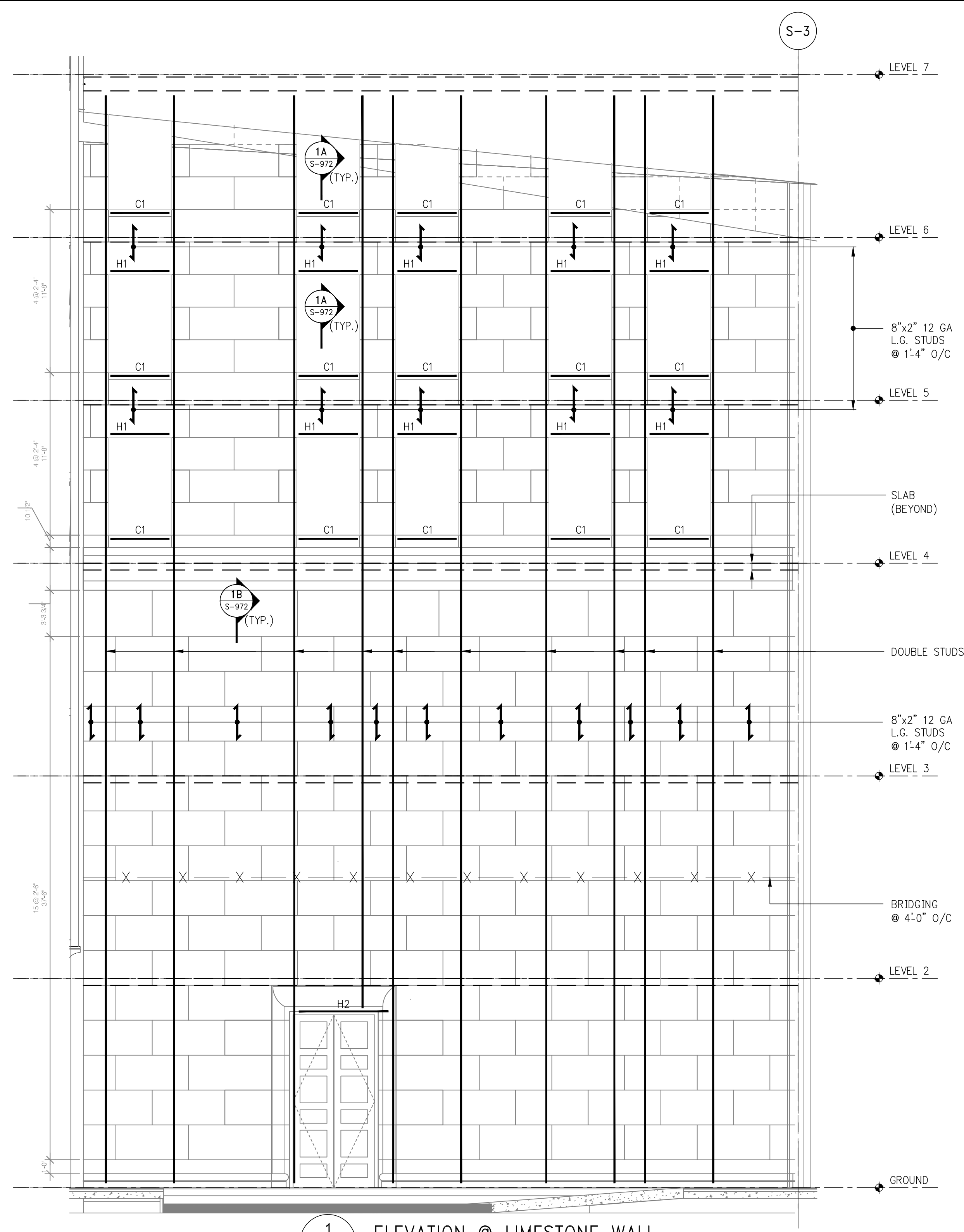
STEEL SUPERSTRUCTURE SECTIONS 2

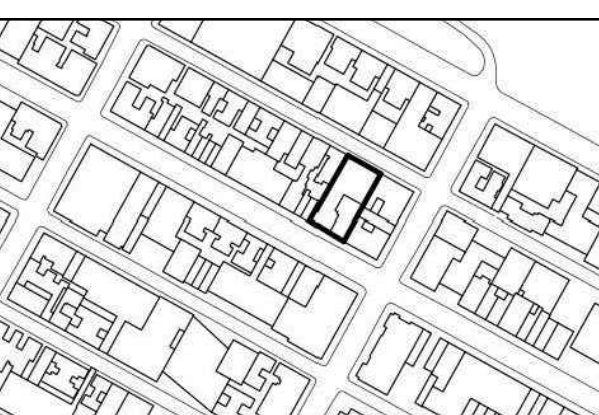
SEAL & SIGNATURE: DATE: 07/16/15
 PROJECT NO.: 1310140
 DRAWN BY: CAD
 CHECKED BY: CL
 DOB NO.: 121330968
 DRAWING NUMBER



S-971.01







NO.	DATE	REVISION
1	3/27/15	DOB PAA

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER OR ARCHITECT. COPYRIGHT © 2015 SHIP ARCHITECTS P.C. ALL RIGHTS RESERVED.

NOT FOR CONSTRUCTION

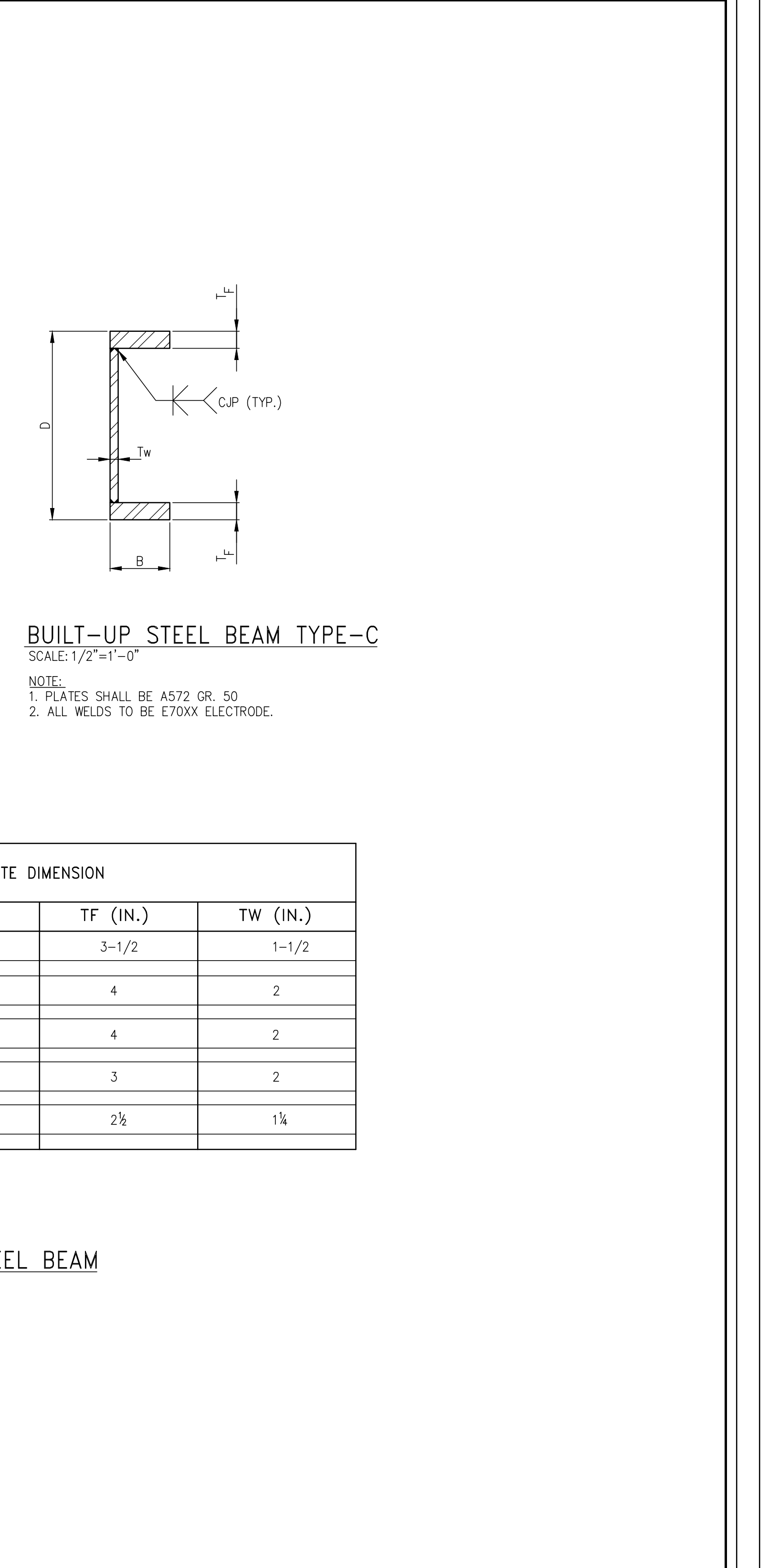
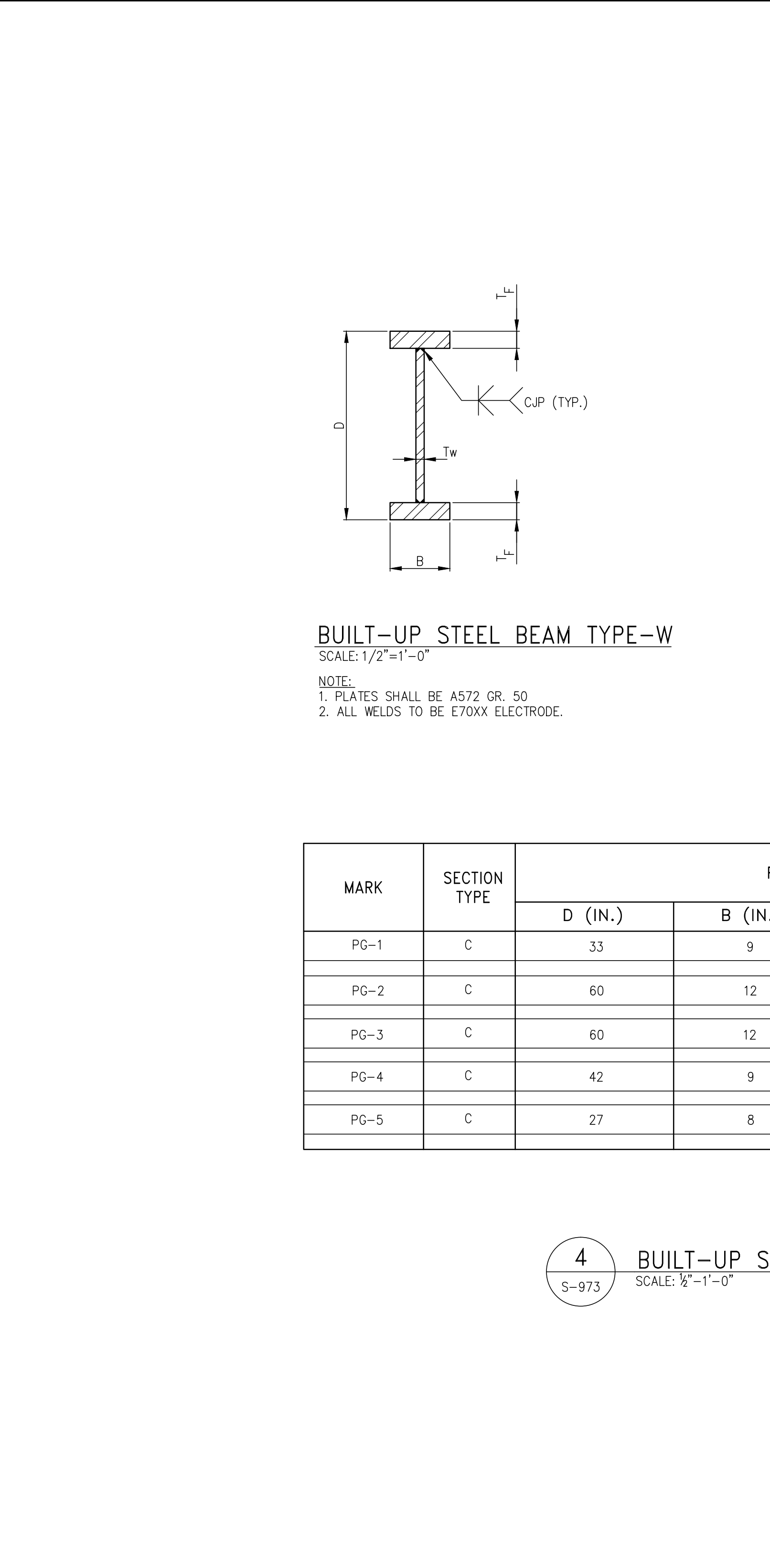
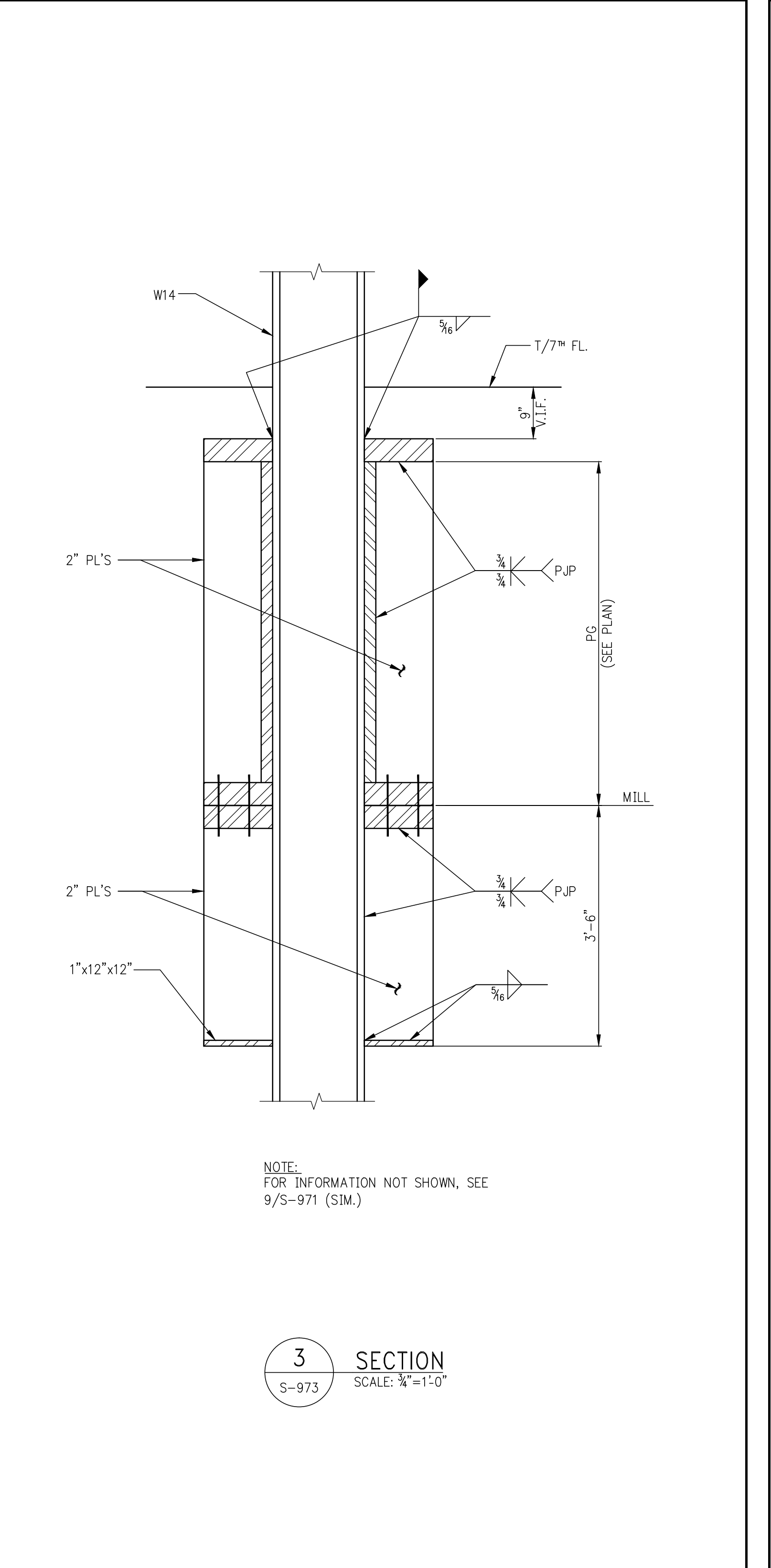
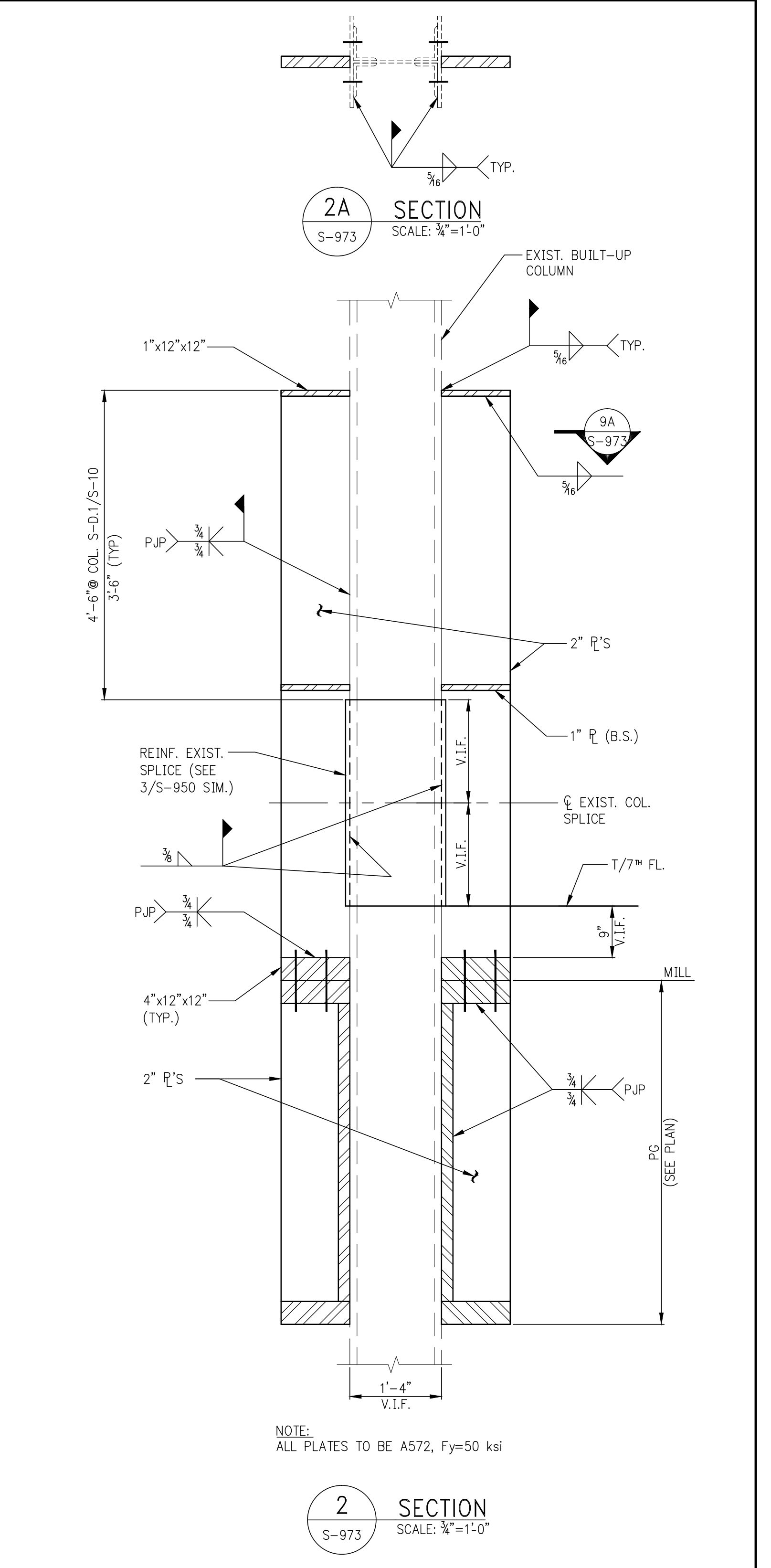
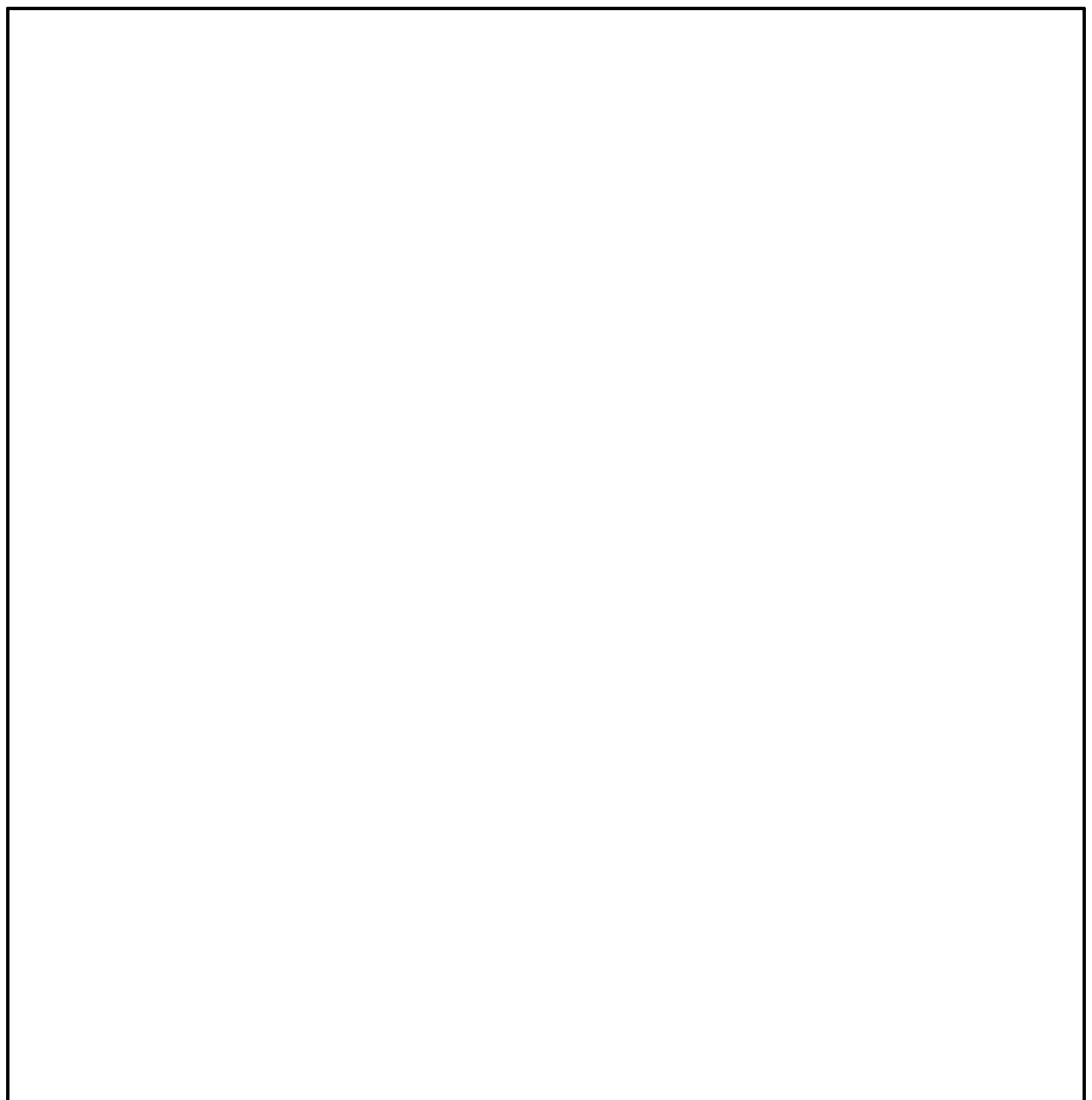
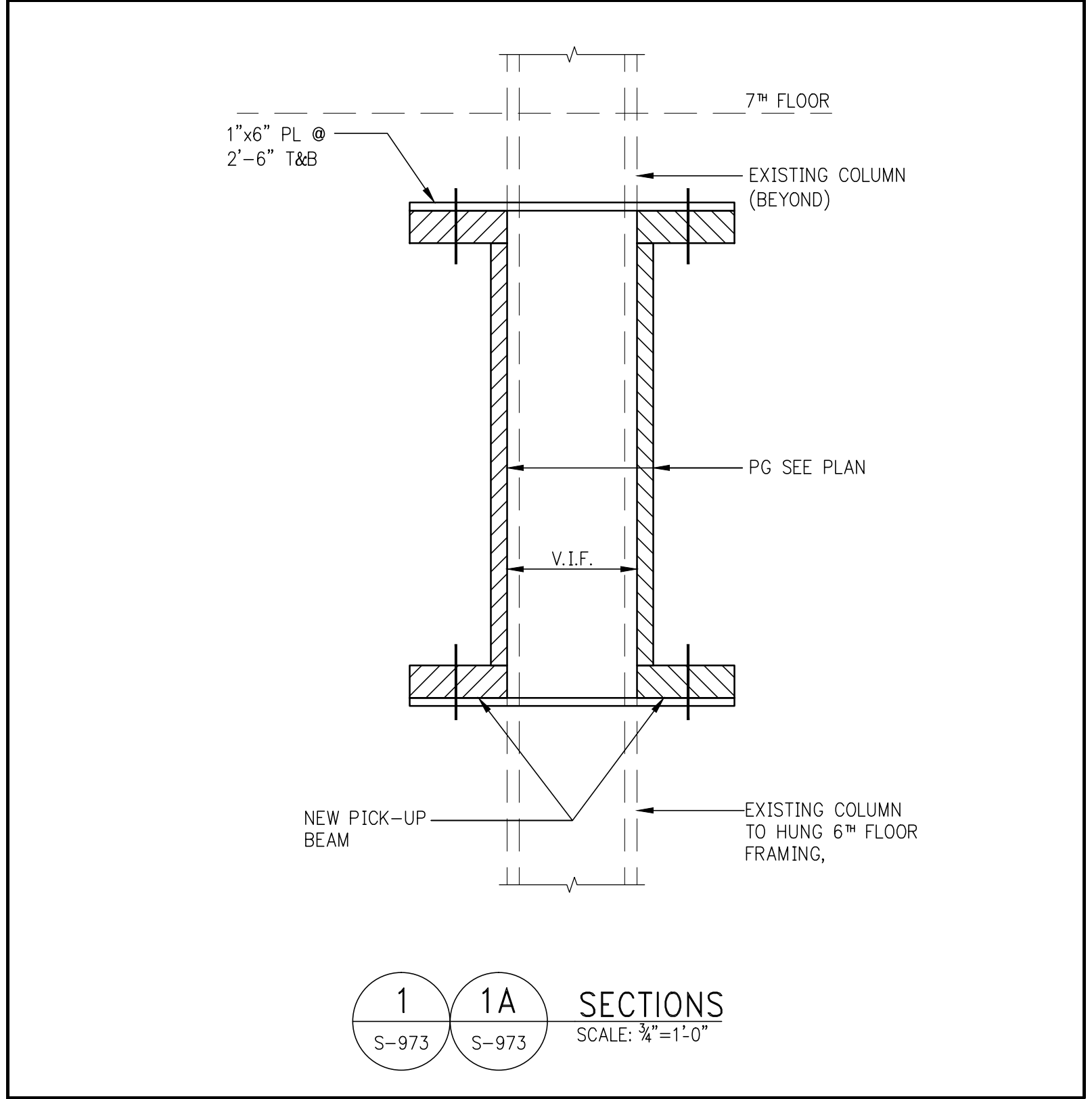
STEEL SUPERSTRUCTURE SECTIONS 4

DRAWING TITLE

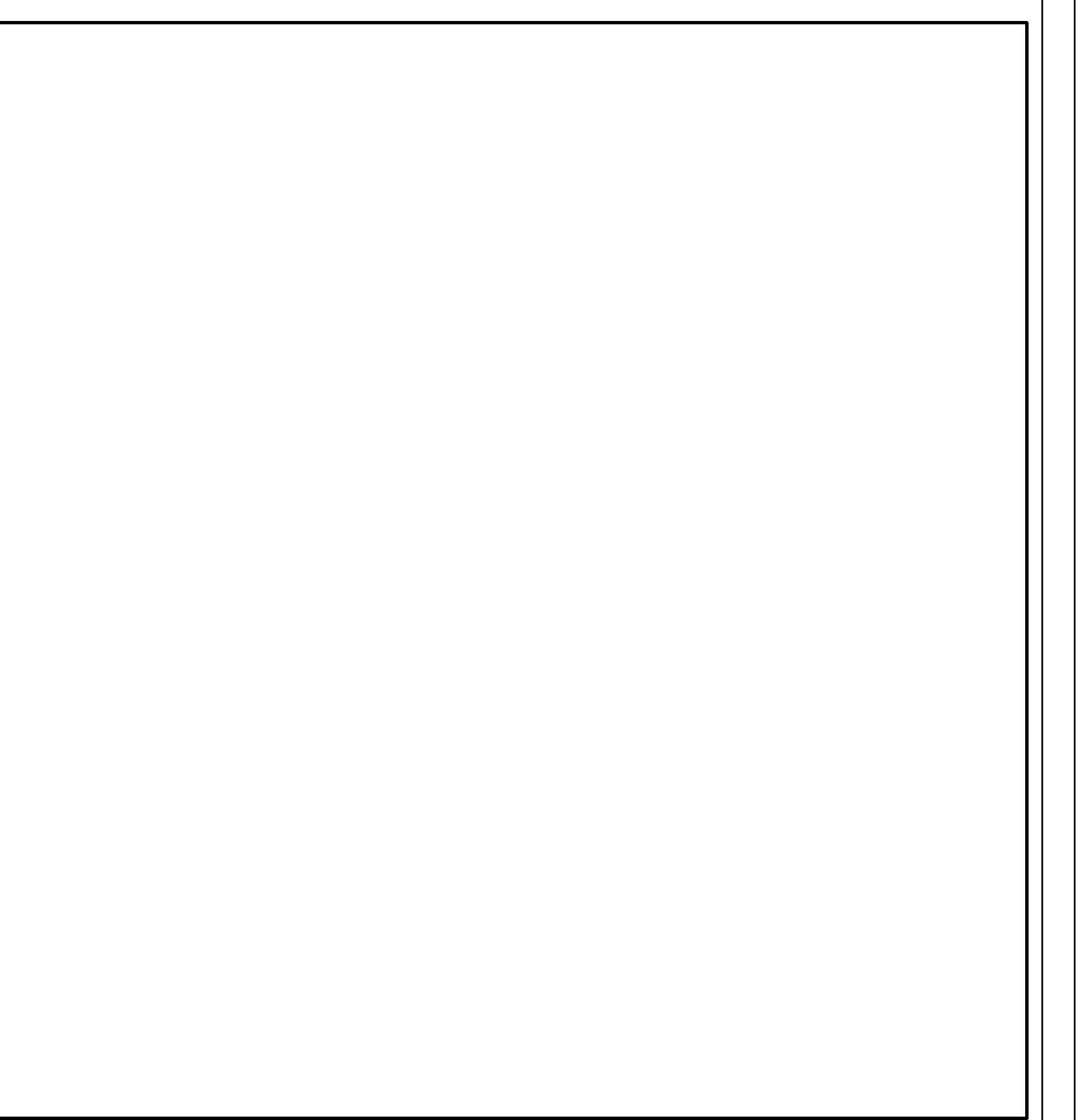
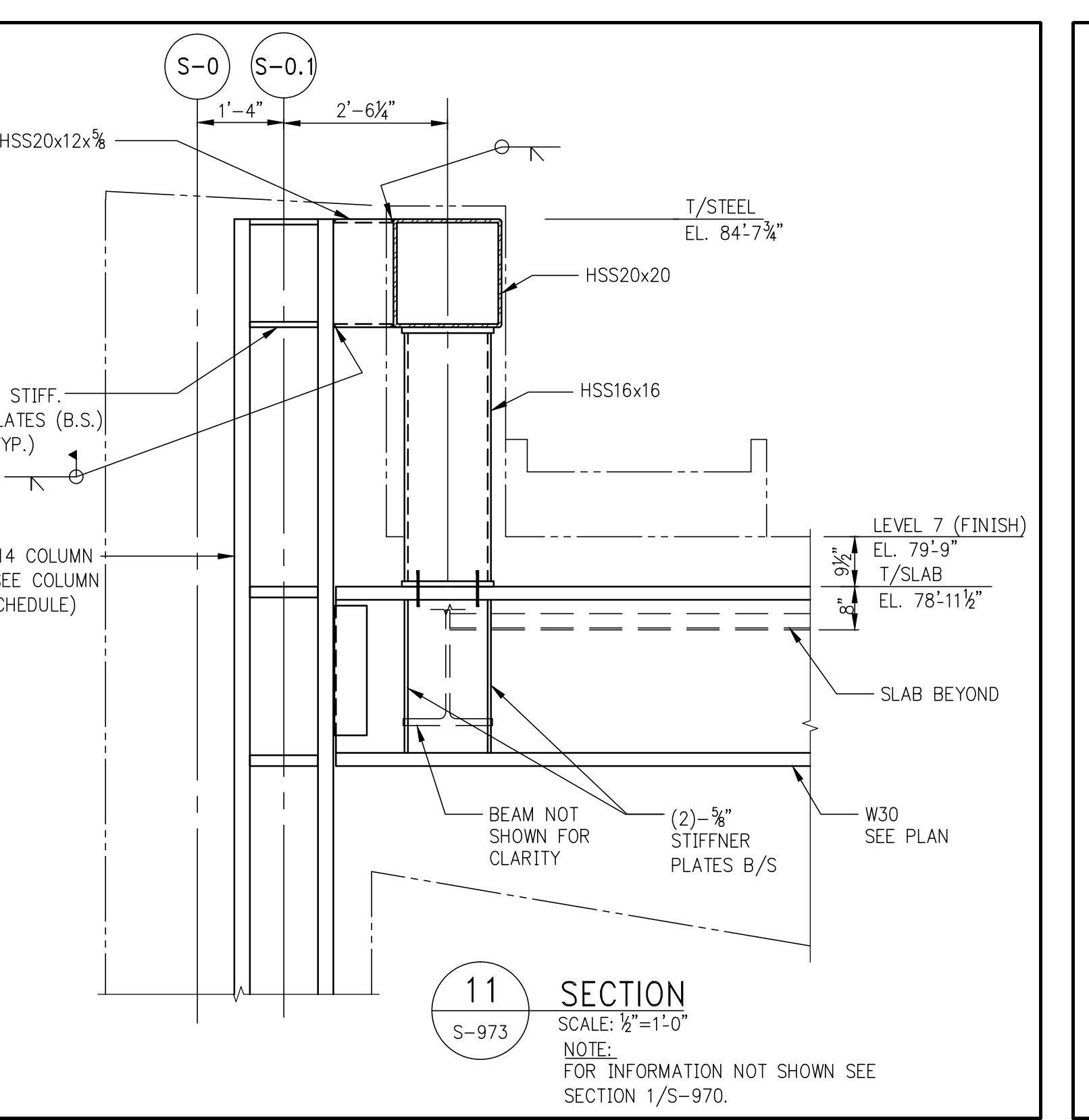
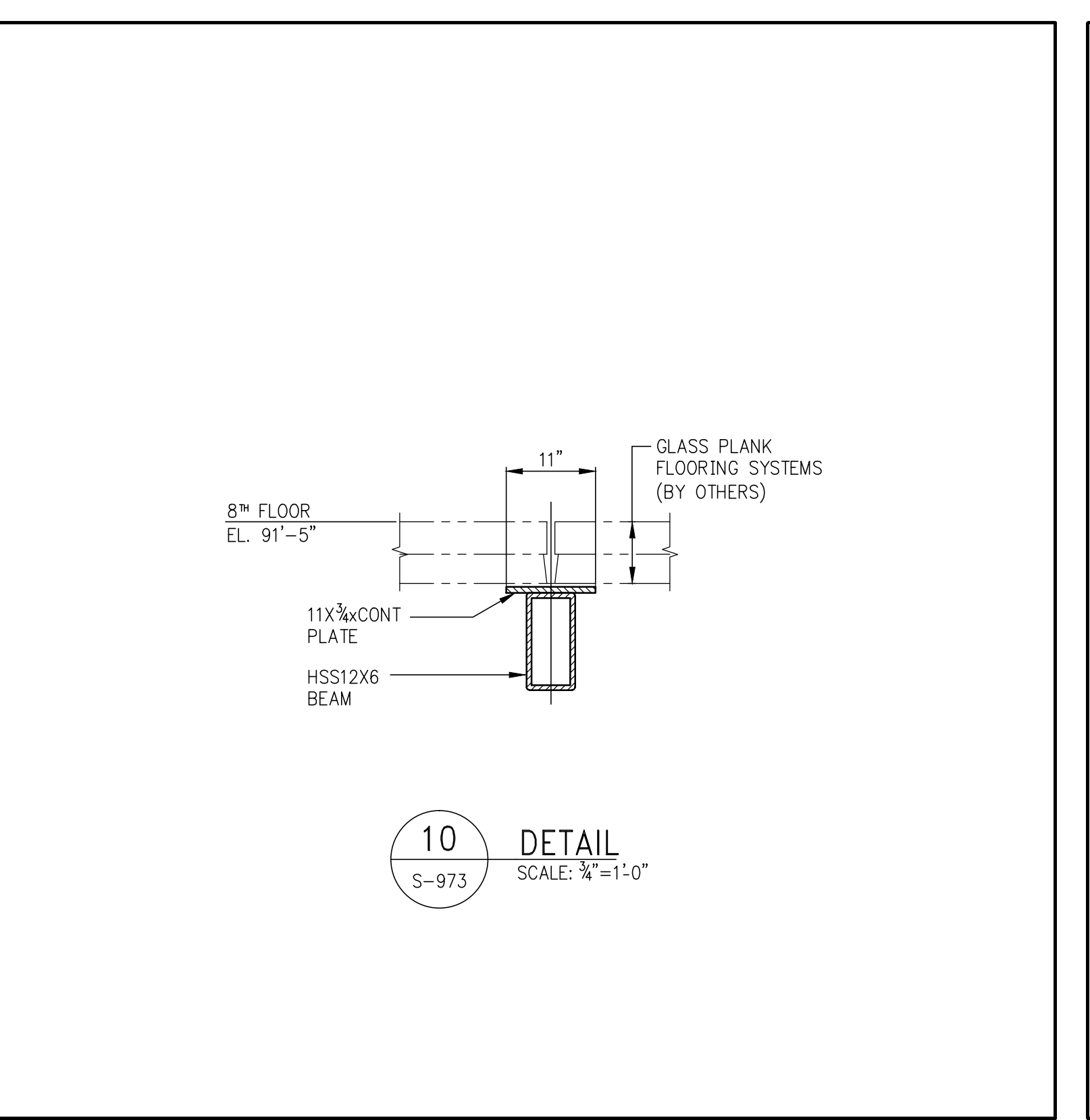
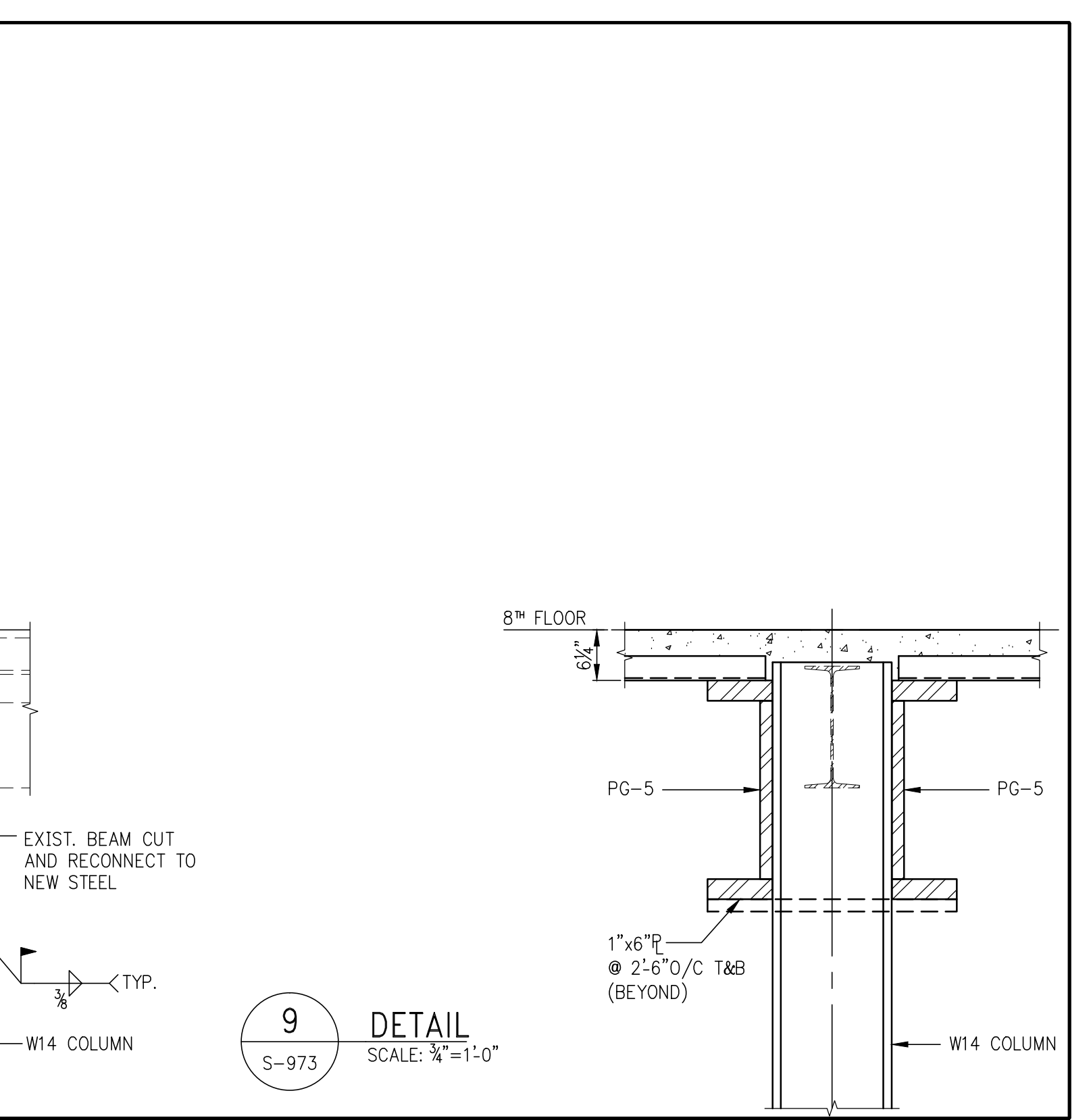
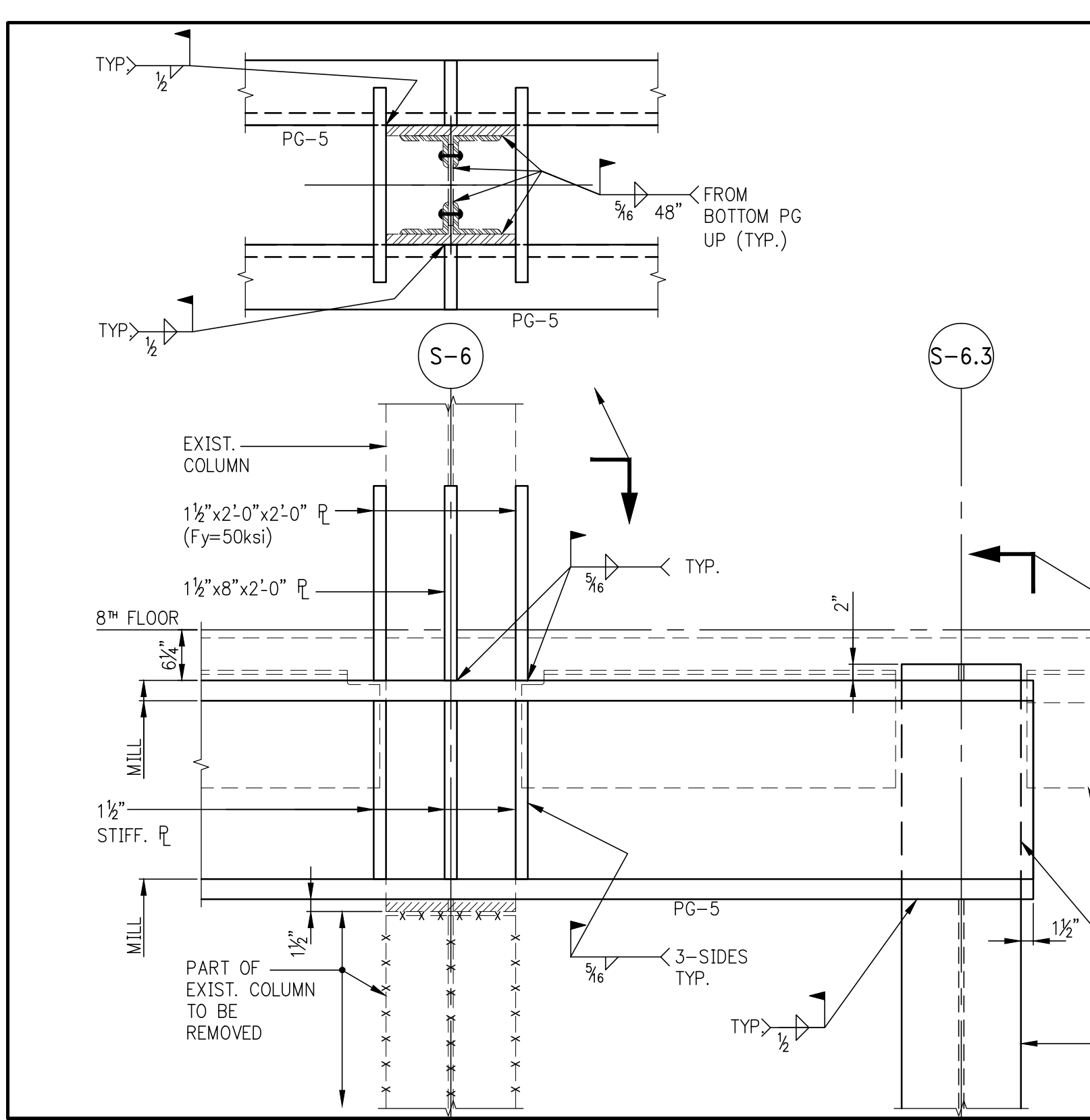
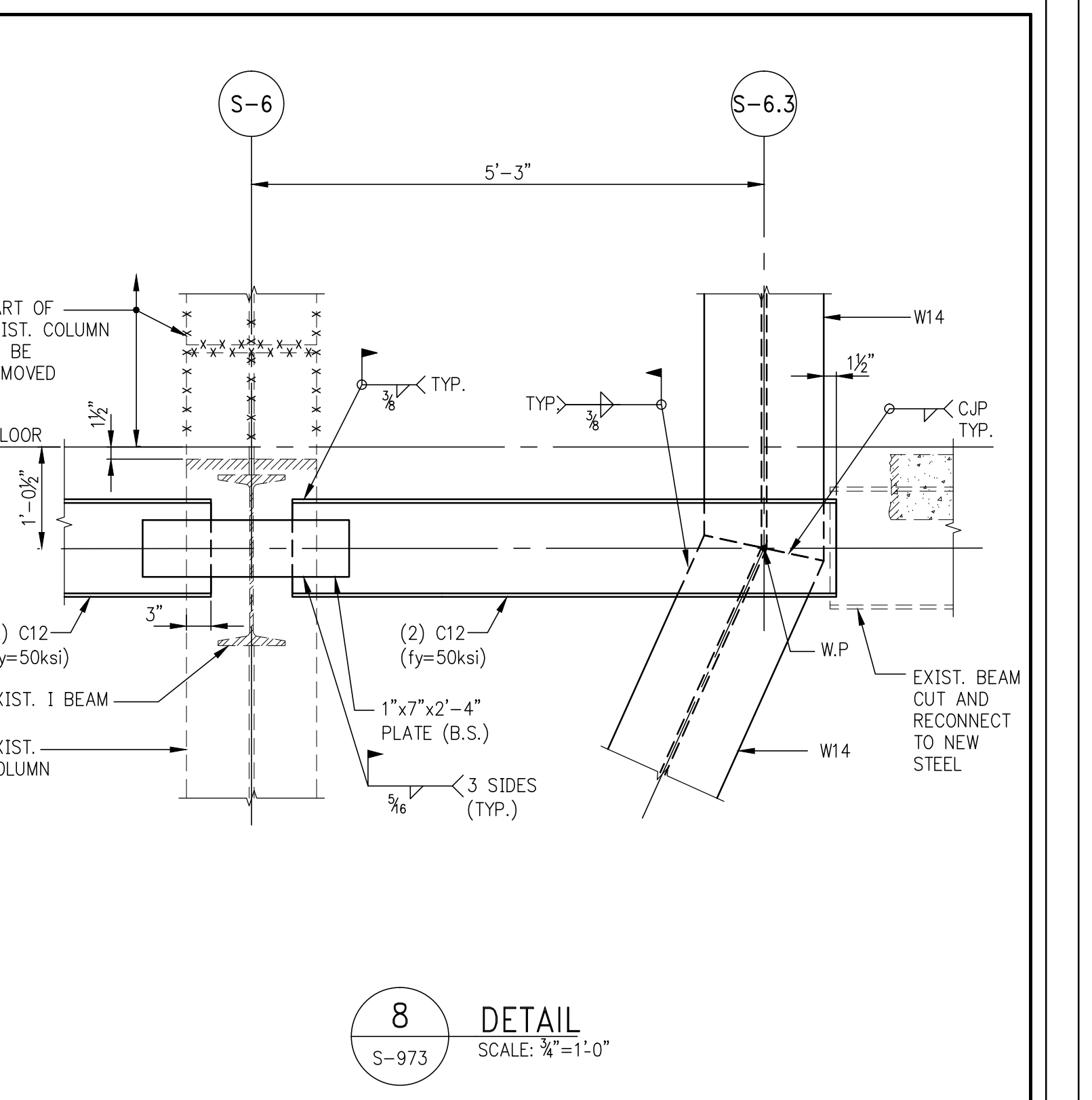
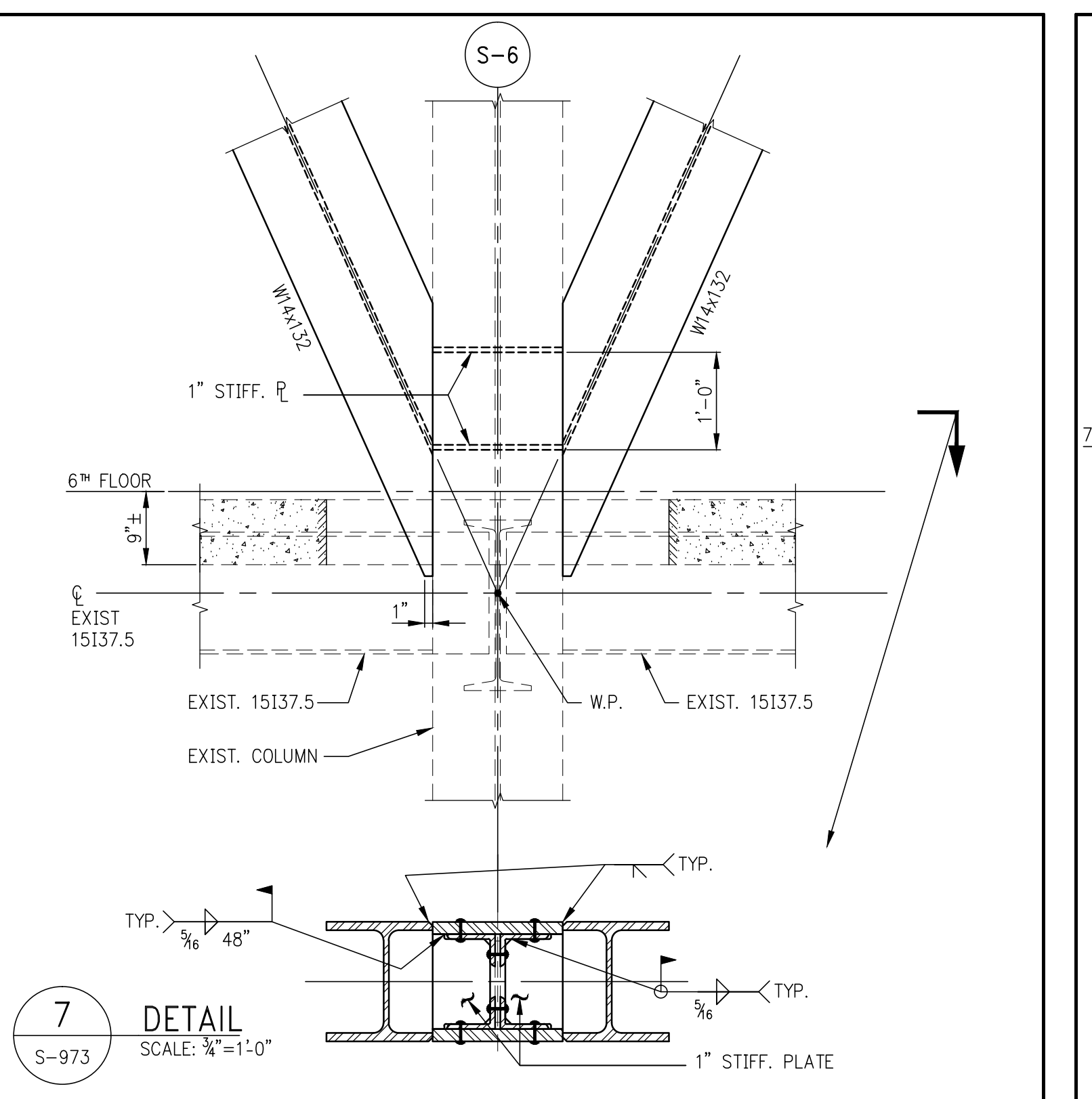
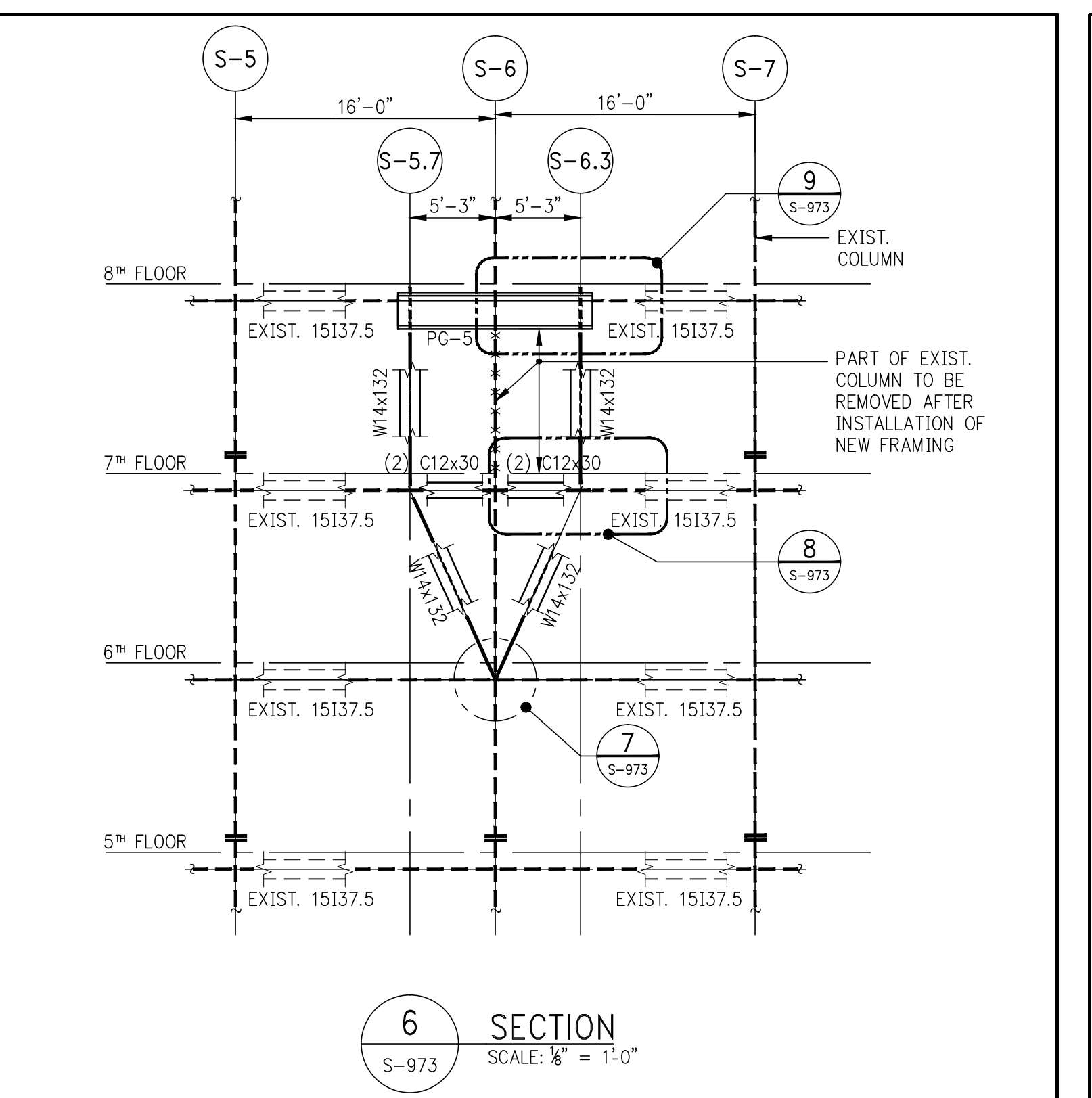
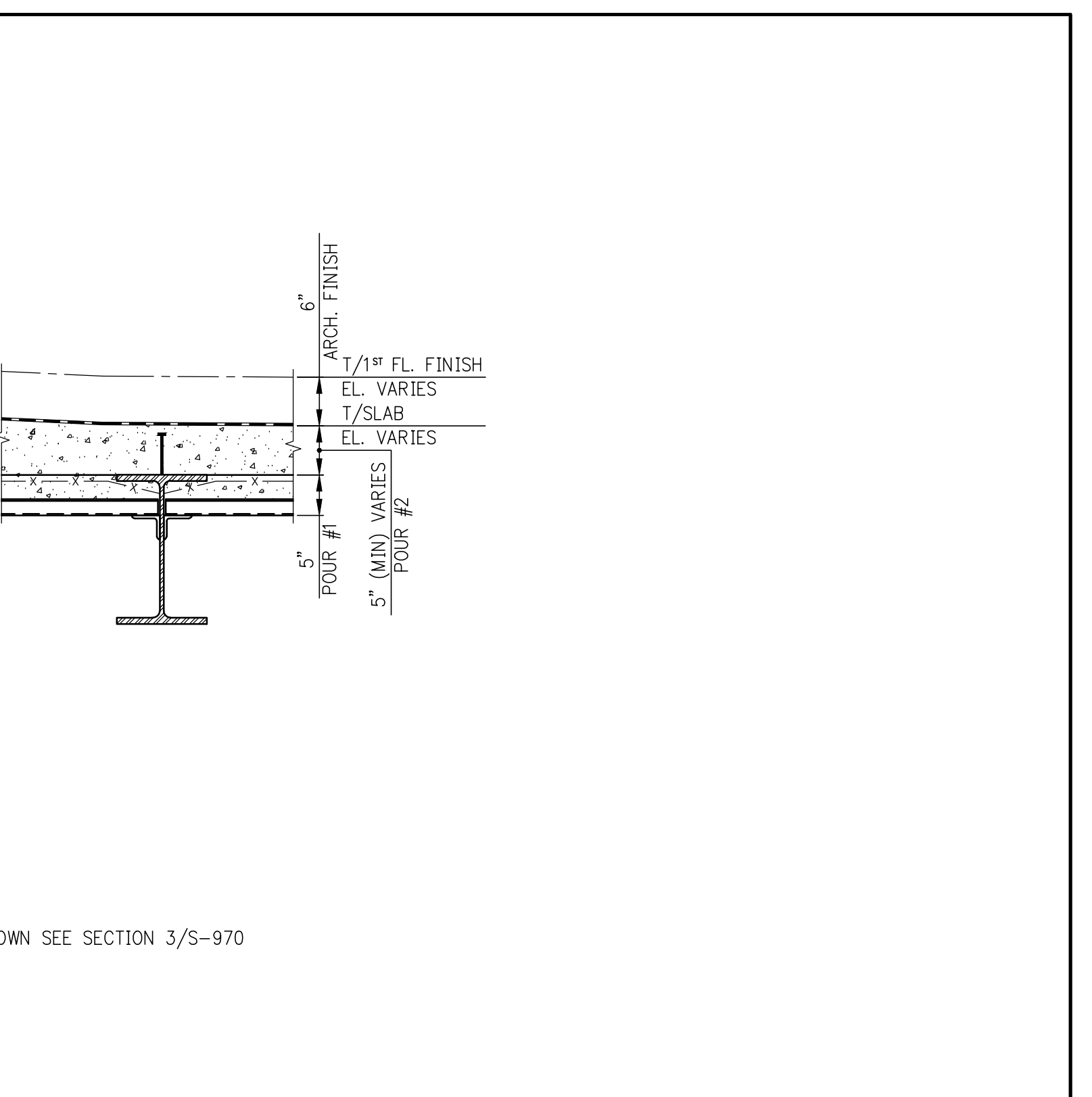
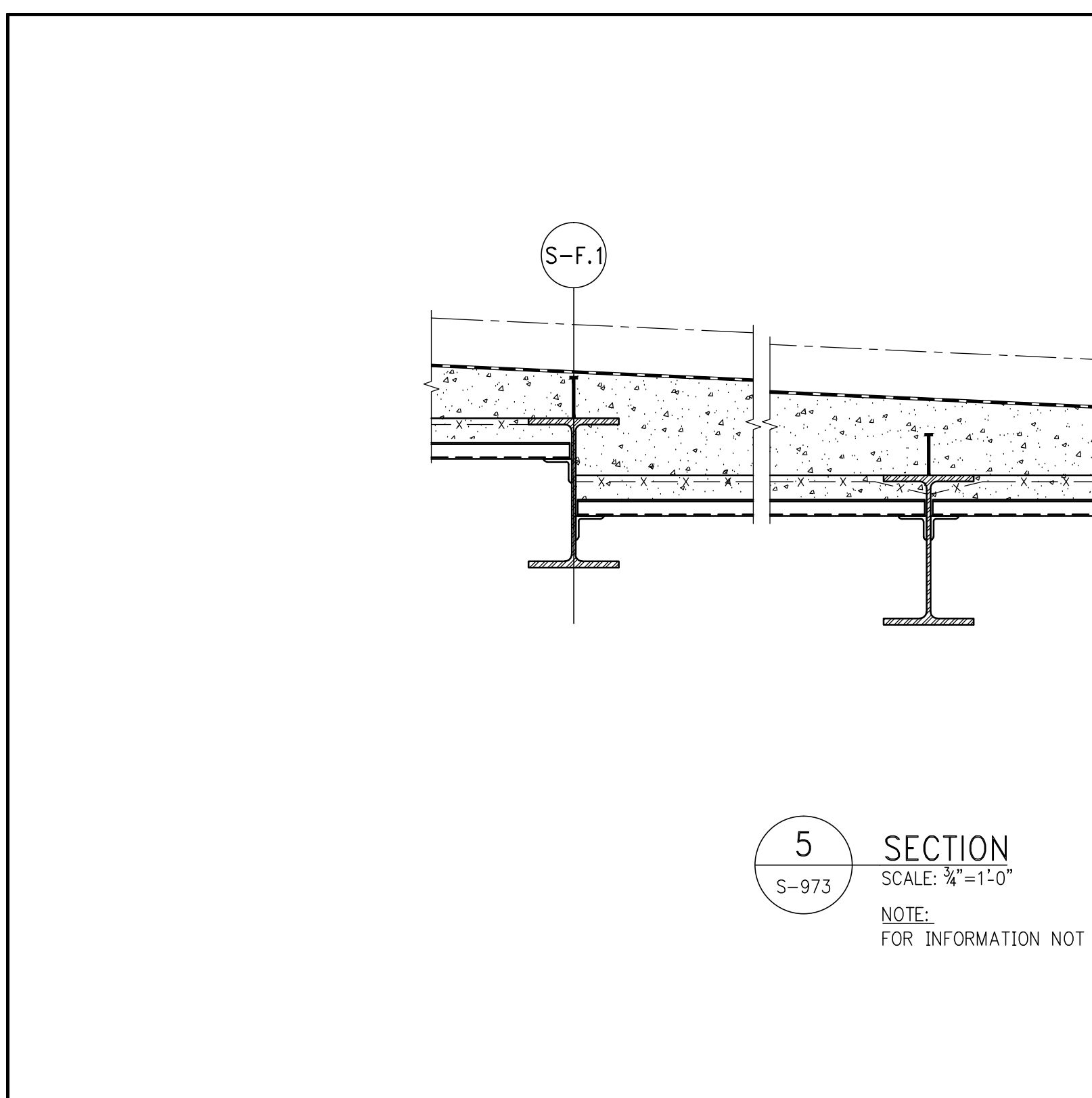
SCALE & SIGNATURE DATE 07/16/15

PROJECT NO. 1310140
DRAWN BY CAD
CHECKED BY CL
DOB NO. 121330060
DRAWING NUMBER

S-973.01
SHEET XX OF XX

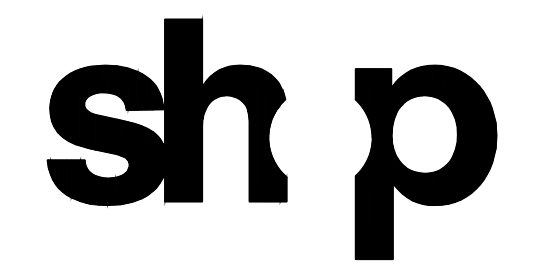


MARK	SECTION TYPE	PLATE DIMENSION			
		D (IN.)	B (IN.)	TF (IN.)	TW (IN.)
PG-1	C	33	9	3-1/2	1-1/2
PG-2	C	60	12	4	2
PG-3	C	60	12	4	2
PG-4	C	42	9	3	2
PG-5	C	27	8	2 1/2	1 1/4





JDS DEVELOPMENT GROUP
 124 WEST 57TH STREET, 17TH FLOOR
 NEW YORK, NY 10019
 TEL: 646.452.3650



ARCHITECT
 SHP ARCHITECTS, P.C.
 230 BROOKWAY, 17TH FLOOR
 NEW YORK, NY 10007
 TEL: 212.686.8000

STRUCTURAL ENGINEER
 RUSP CANON BERKIN
 250 EAST 45TH STREET
 NEW YORK, NY 10017
 TEL: 212.687.9886

MEP ENGINEER
 JAFFES BALM & SCHELES
 60 RINE STREET, 17TH FLOOR
 NEW YORK, NY 10005
 TEL: 212.263.9222

CIVIL ENGINEER
 AMFF ENGINEERING, P.C.
 440 PARK AVE SOUTH, 7TH FLOOR
 NEW YORK, NY 10018
 TEL: 402.282.2020

ACOUSTICS
 LONKMAN INCELEY
 40 WEST 28TH STREET, 4TH FLOOR
 NEW YORK, NY 10001
 TEL: 917.208.3387

INTERIORS
 STUDIO SOURCE
 360 MARA VILLE STREET
 NEW YORK, NY 10002
 TEL: 212.475.1200

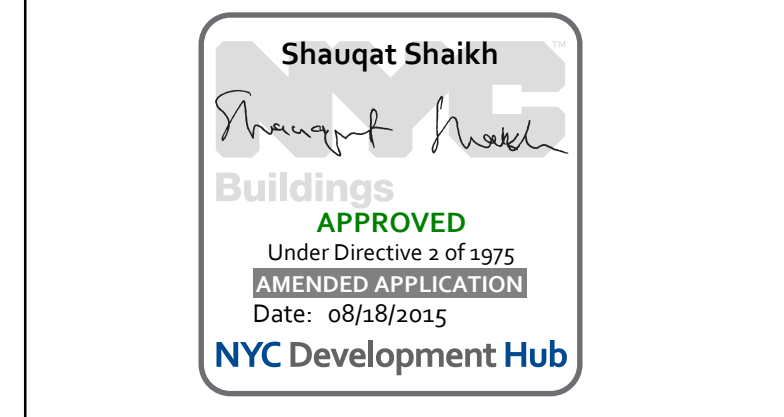
GEOTECH
 MRICE
 225 WEST 24TH STREET, 8TH FLOOR
 NEW YORK, NY 10001
 TEL: 917.288.8000

LIGHTING
 COOPERATIVE INTERNATIONAL
 130 WALKER STREET, 7TH FLOOR EAST
 NEW YORK, NY 10002
 TEL: 212.251.4453



PROPERTY MARKETS GROUP
 5 EAST 47TH STREET, 14th FLOOR
 NEW YORK, NY 10017
 TEL: 212.619.5900

CURRENT ISSUE
 DOB PAA



111 WEST 57TH STREET
 111 WEST 57TH STREET
 STREET
 NEW YORK, NY
 10019



1	2/2/15	DOB PAA
	03/14	DOB PAA SET

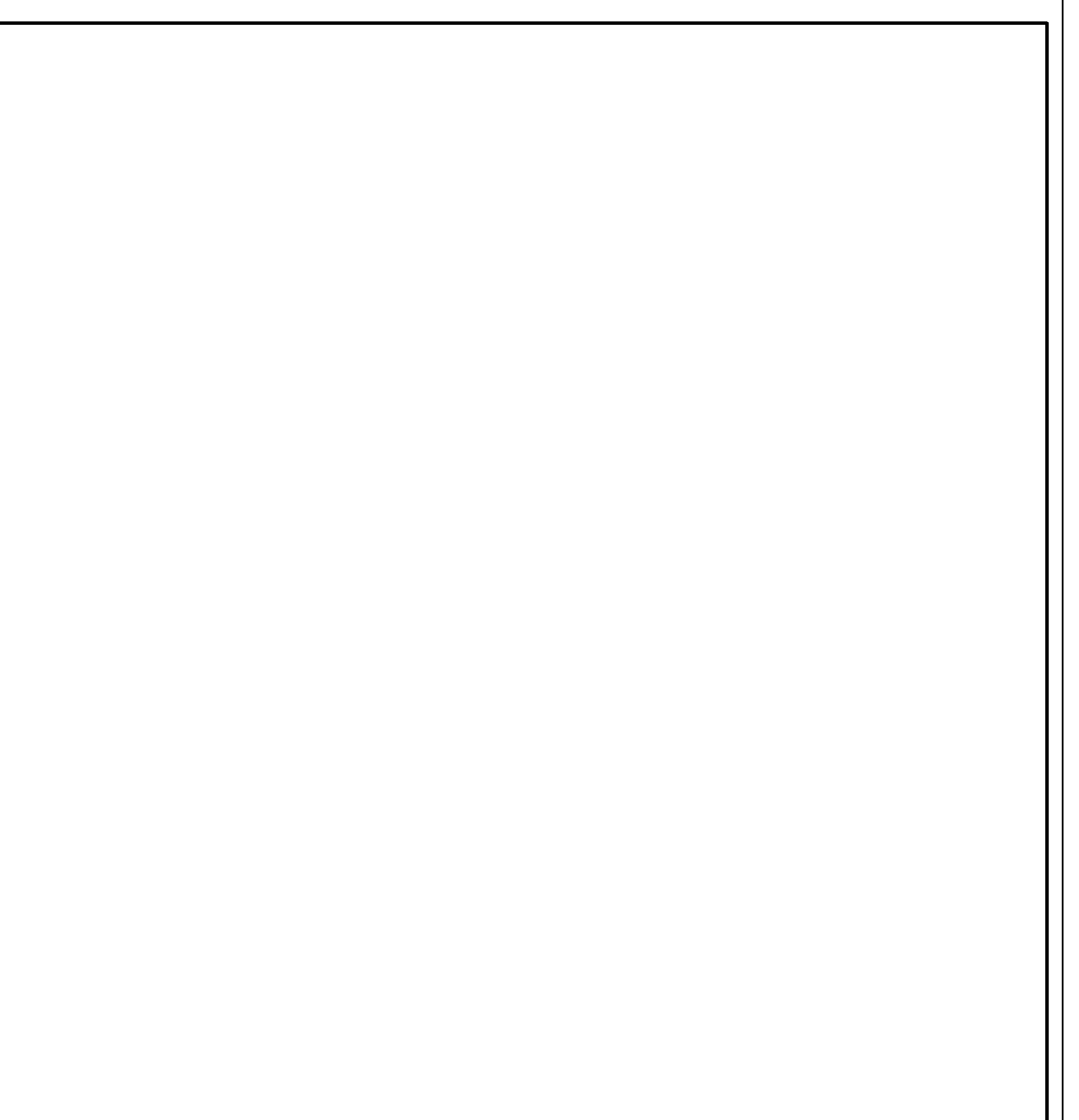
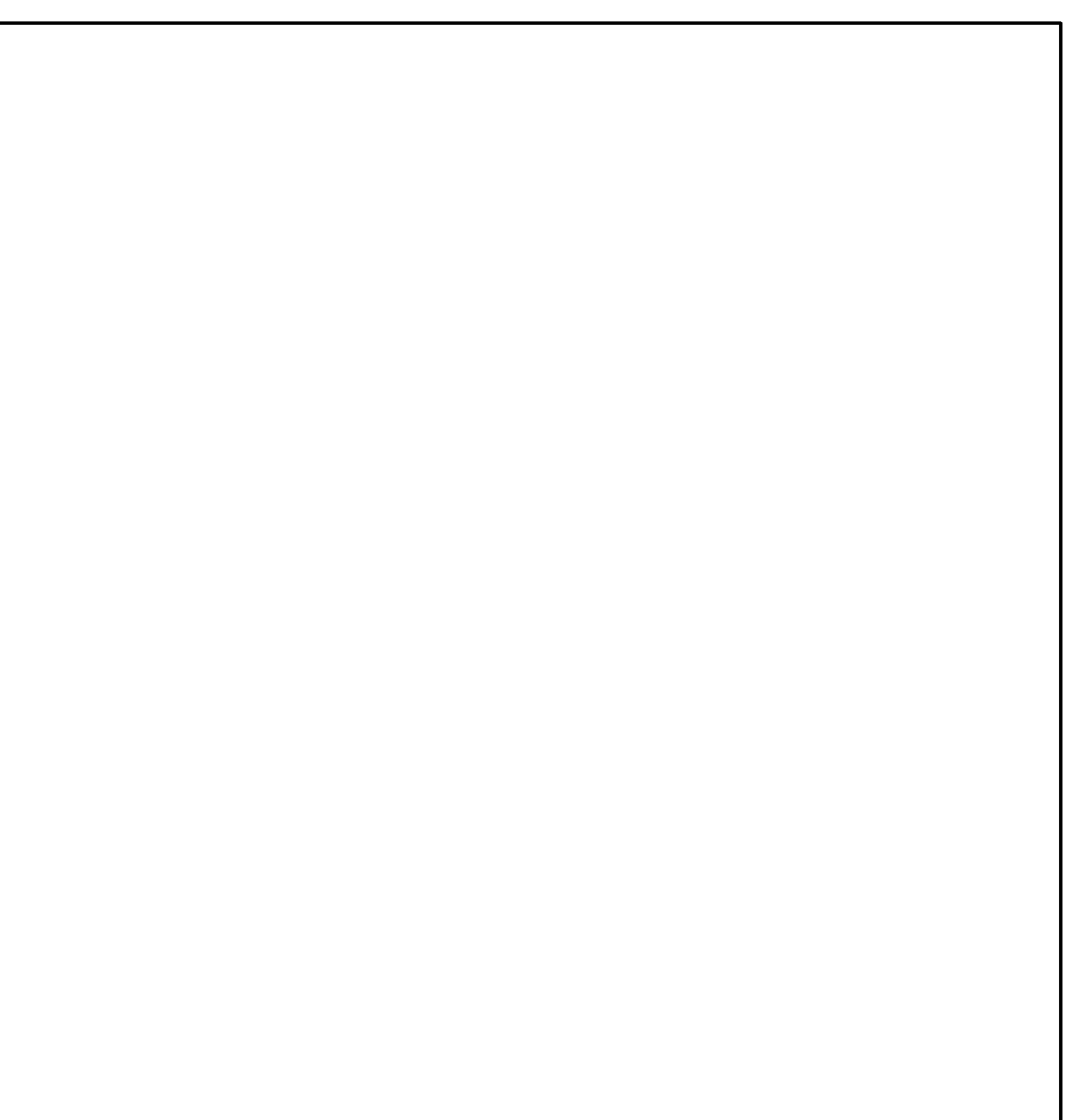
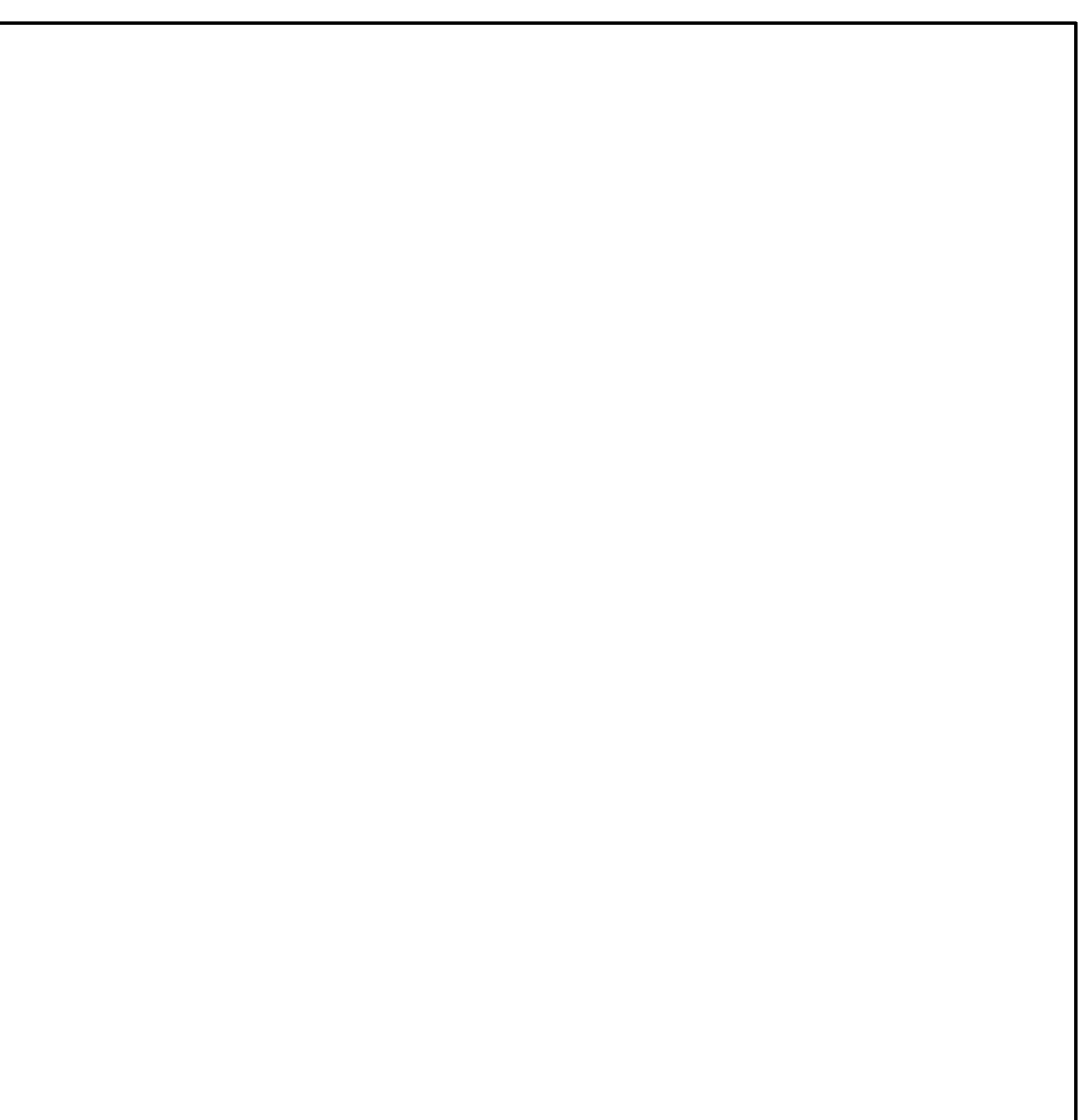
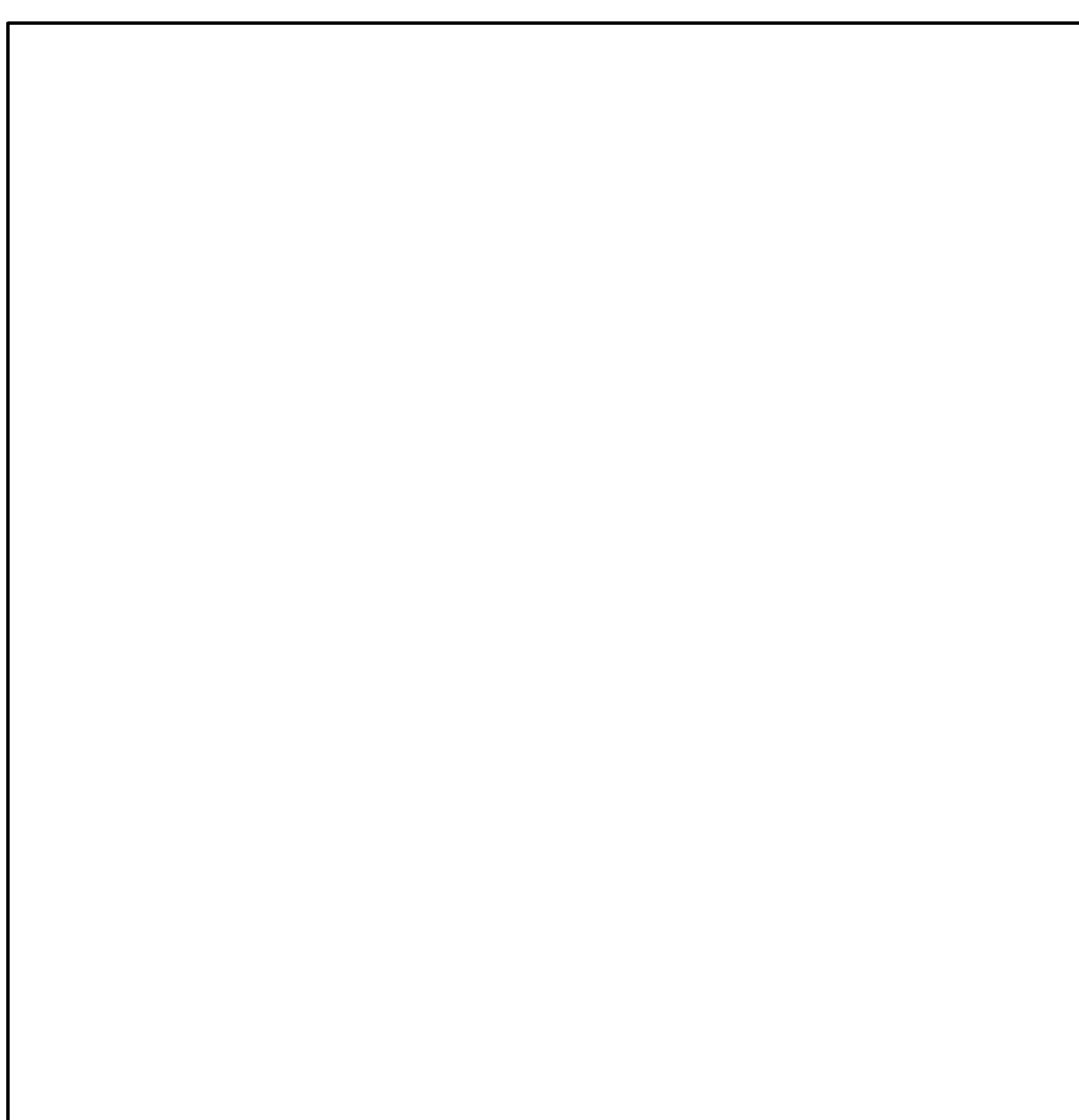
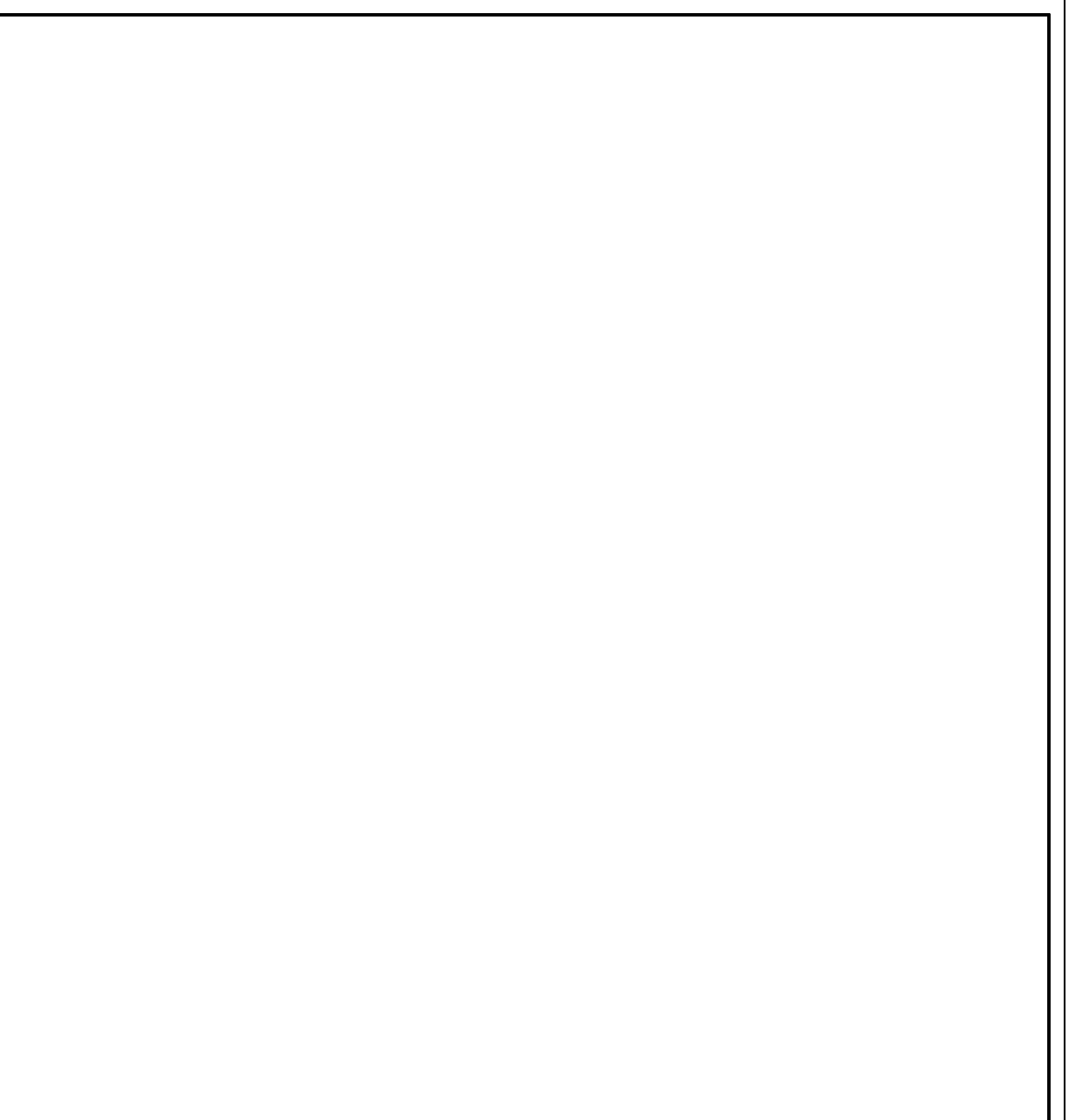
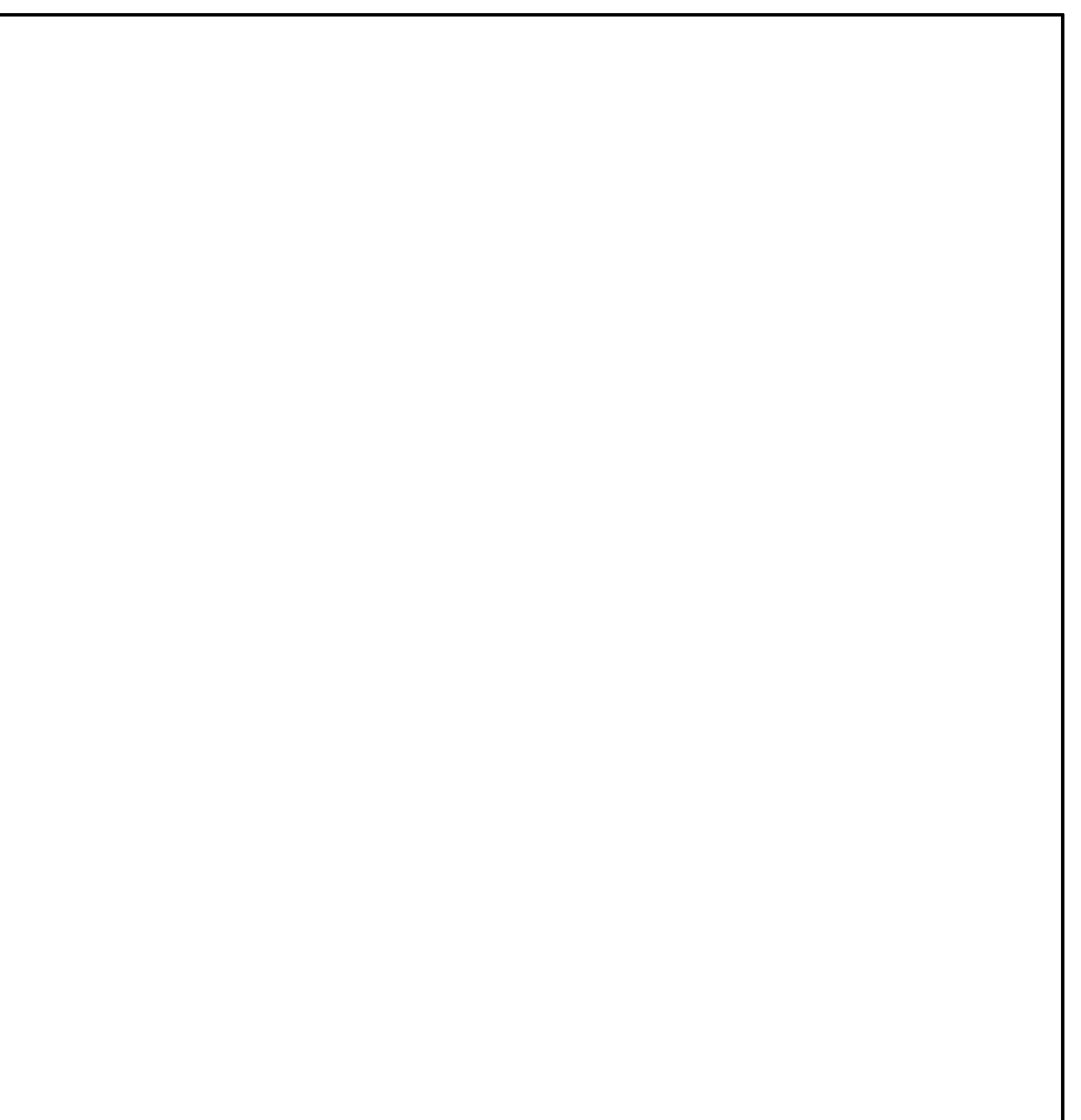
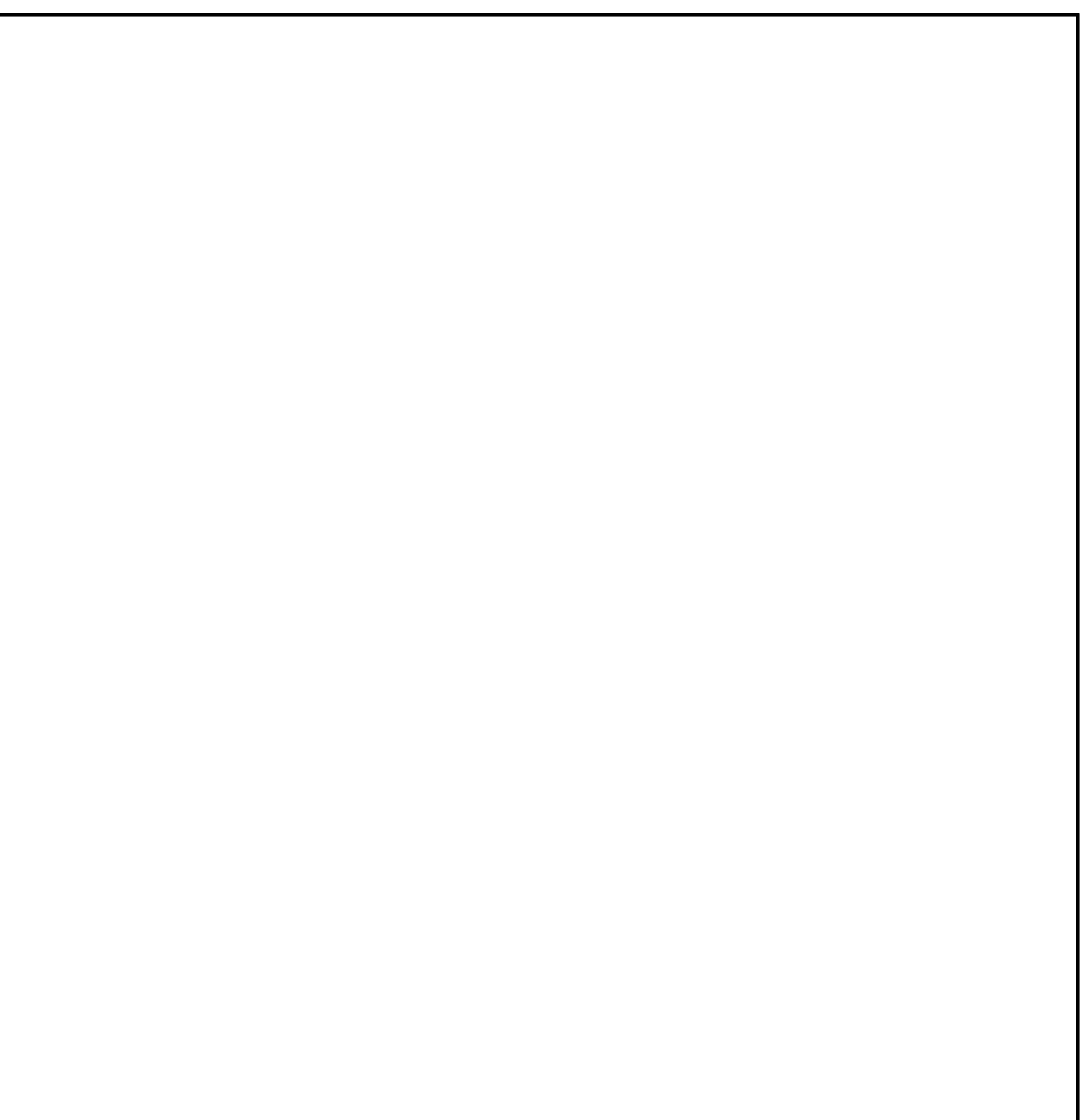
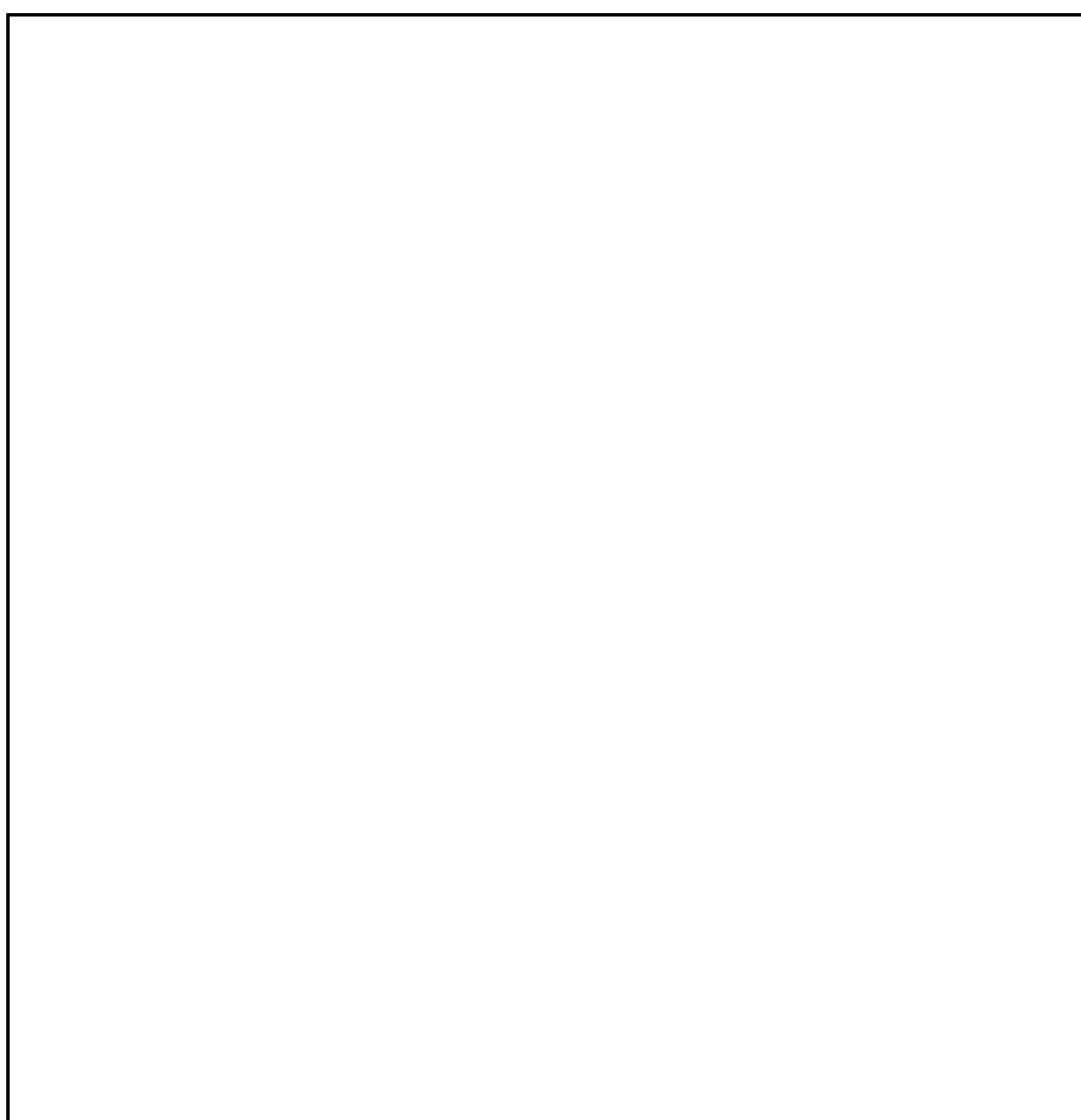
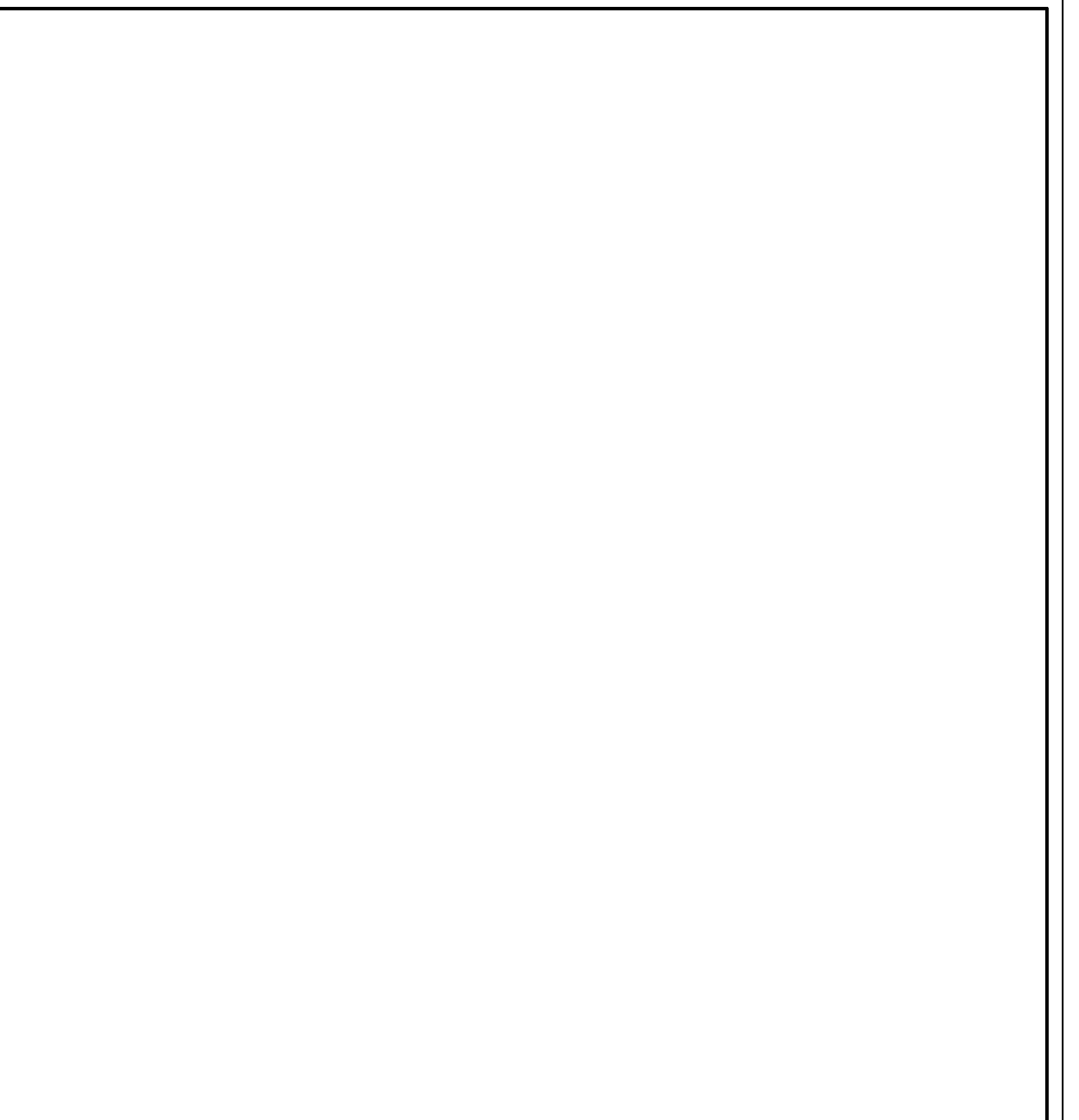
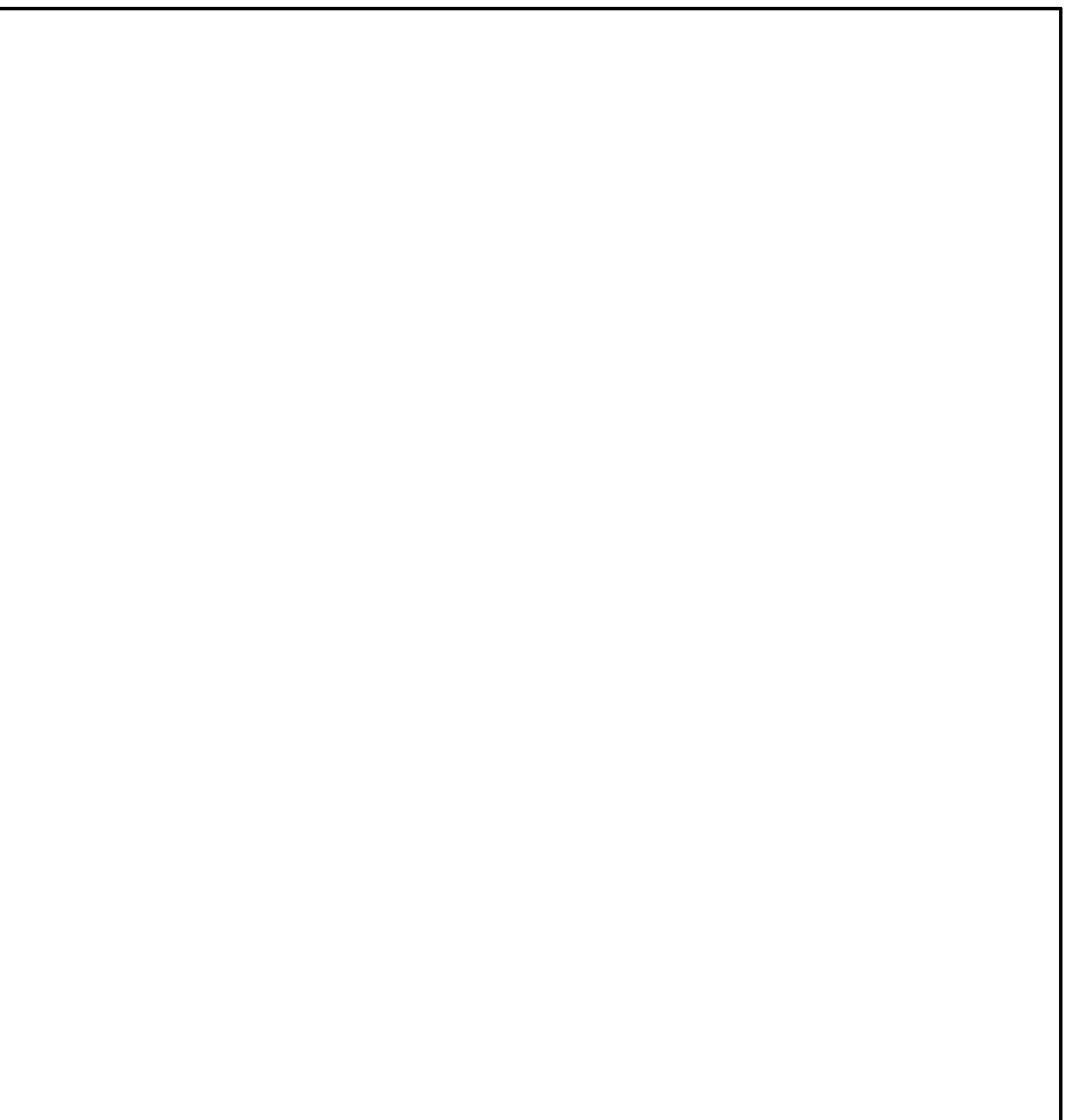
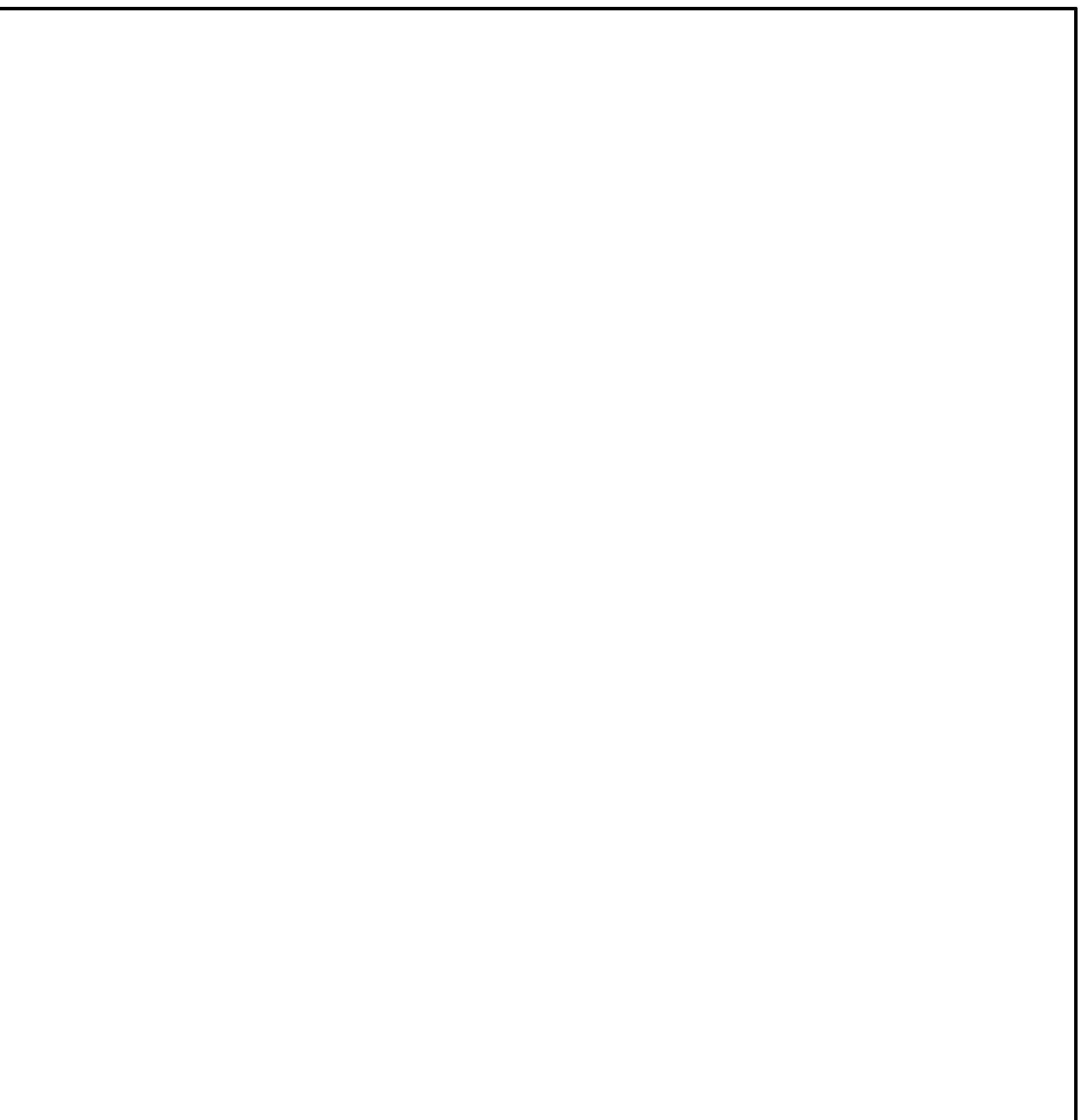
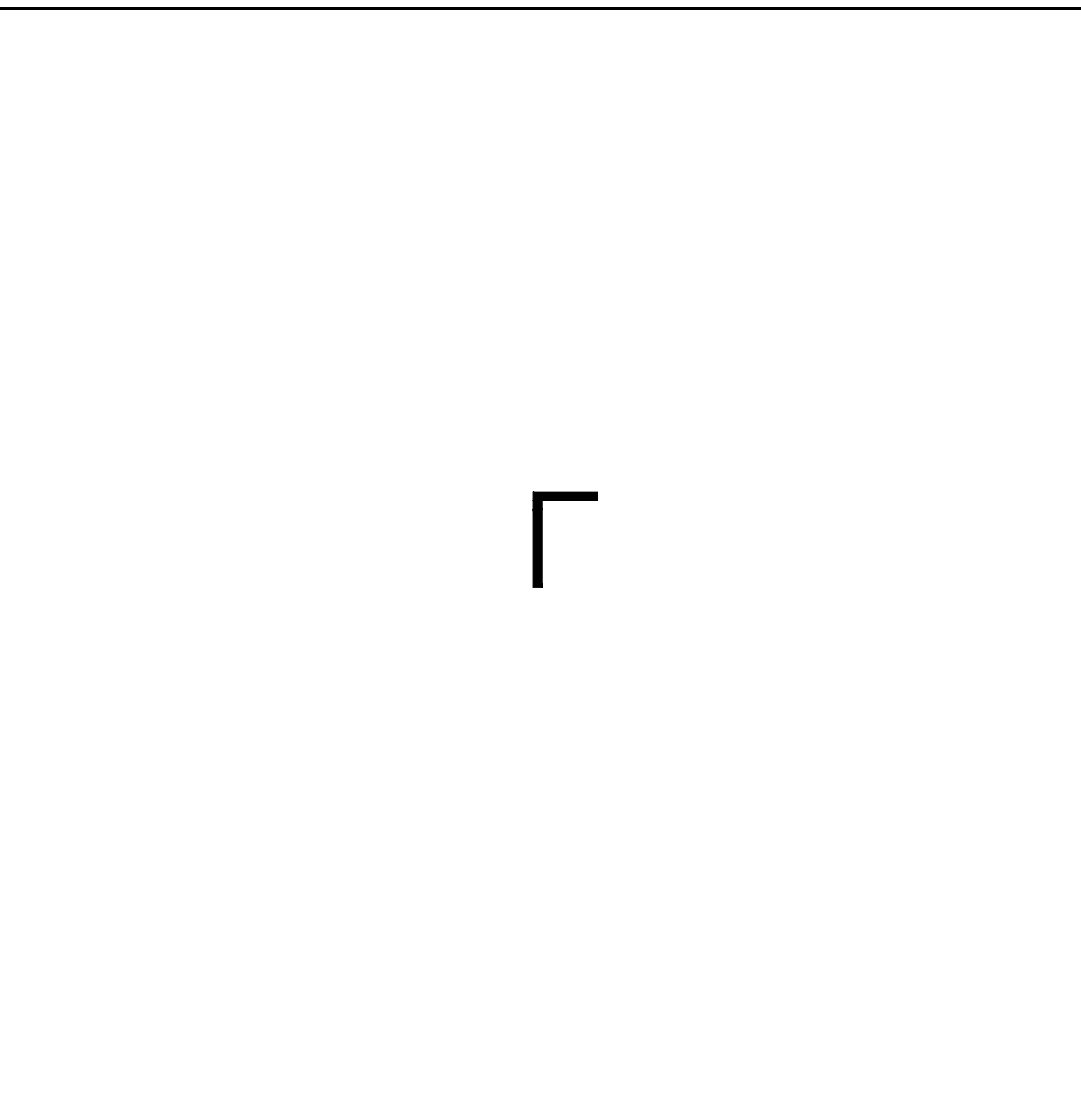
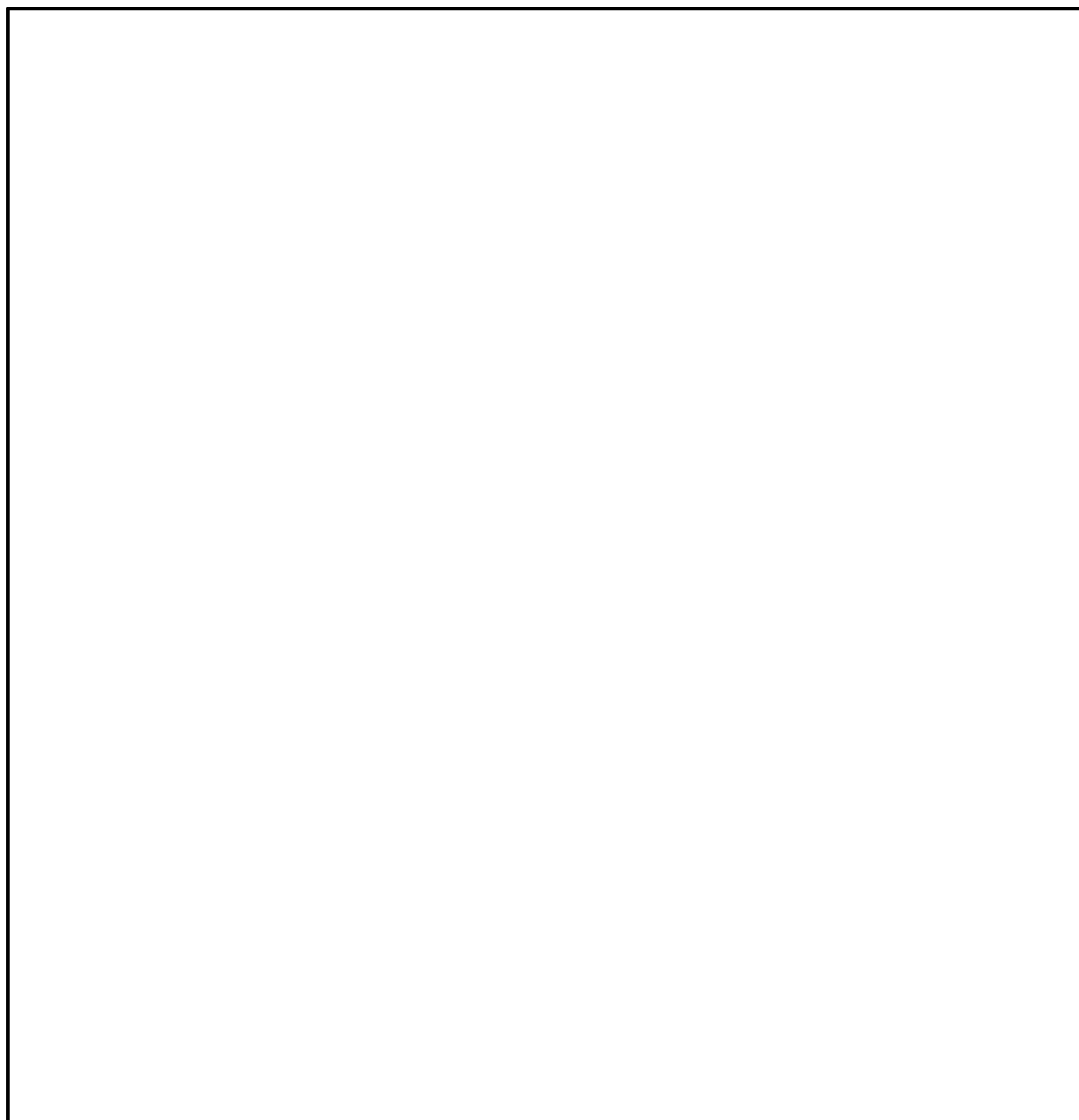
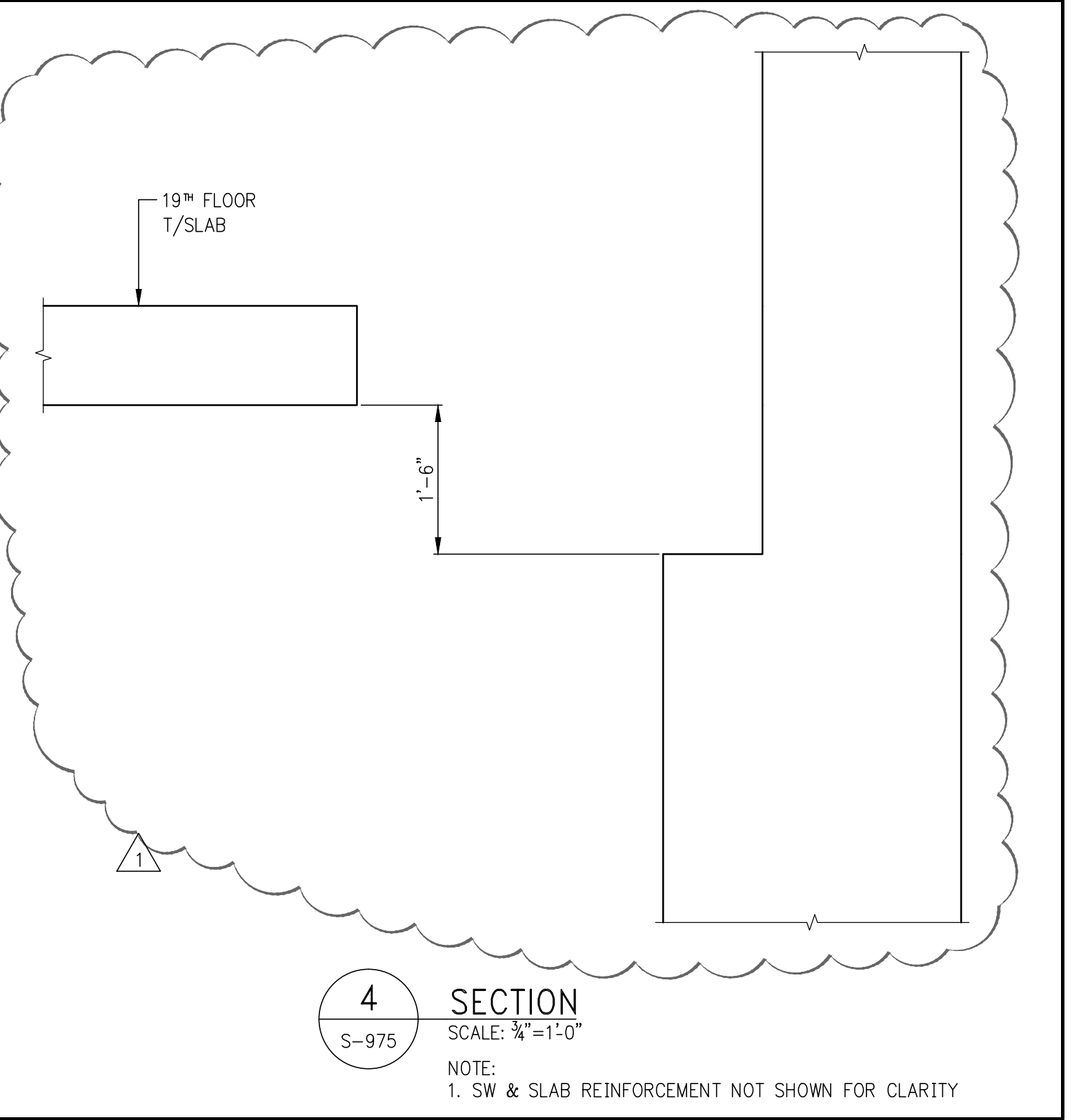
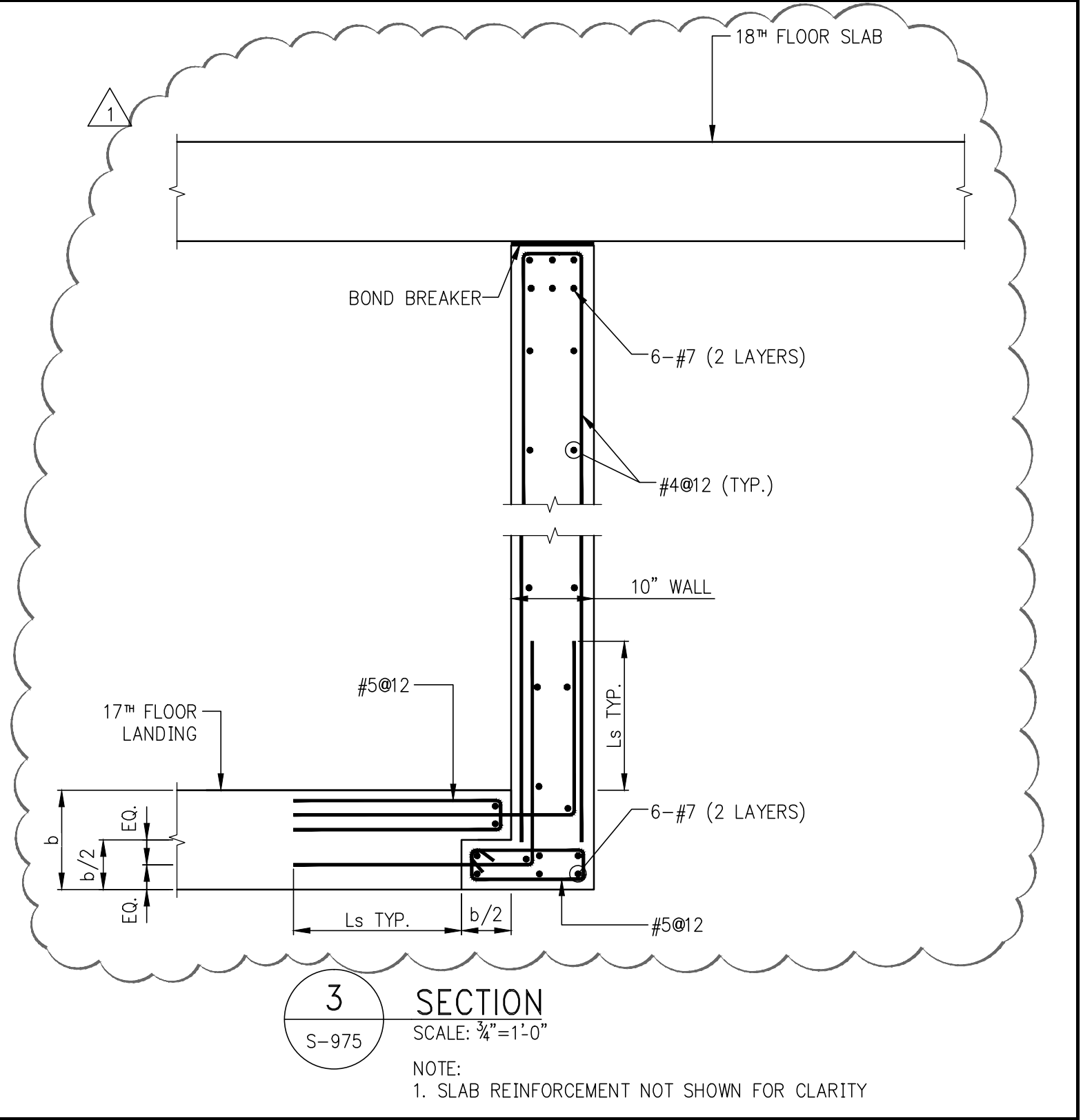
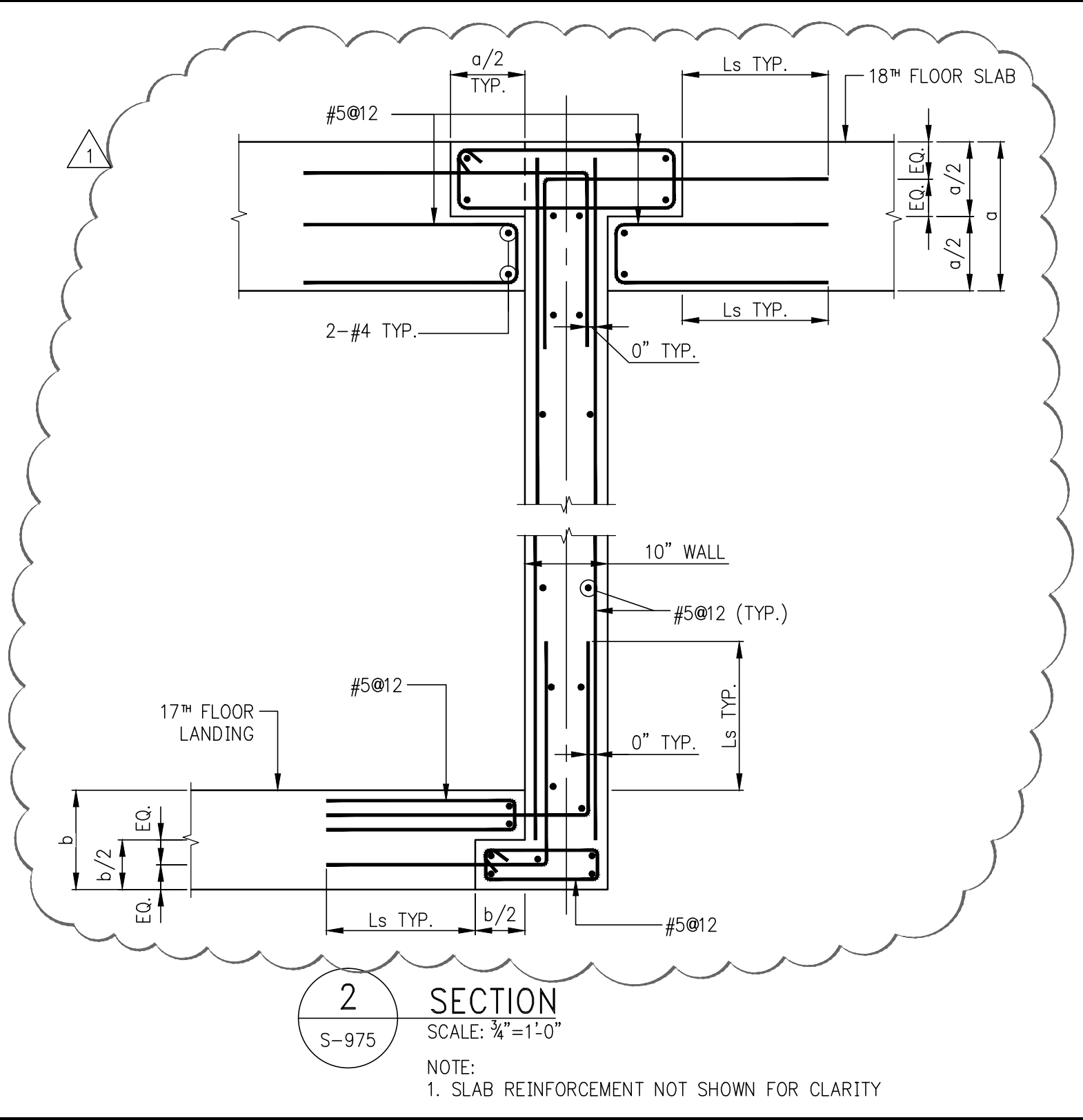
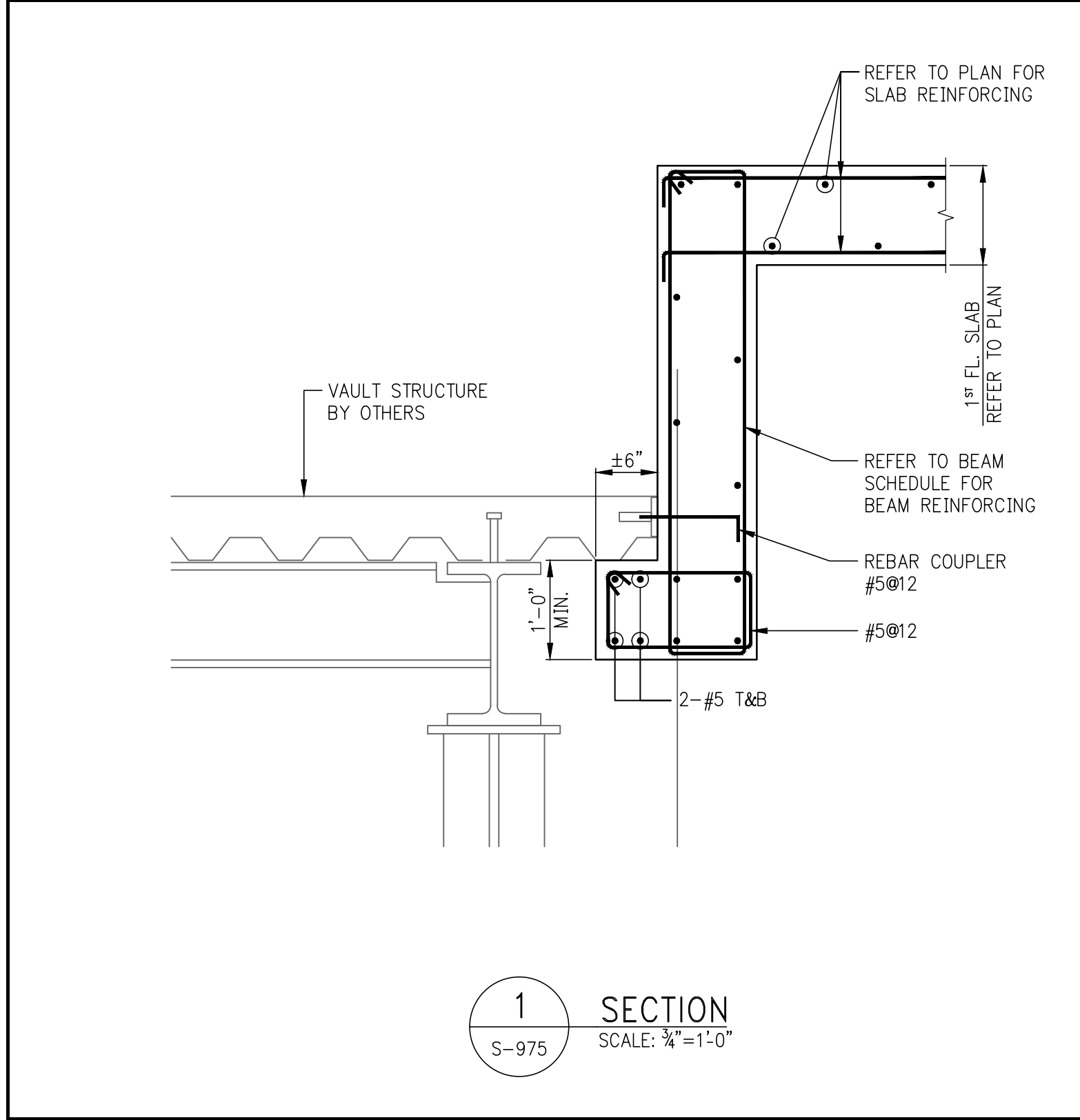
NO.	DATE	REVISION

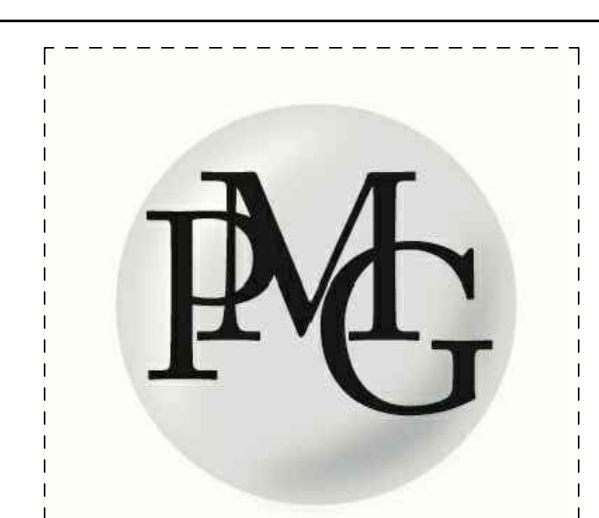
● NOT FOR CONSTRUCTION

CONCRETE SUPERSTRUCTURE SECTIONS 1

SEAL & SIGNATURE	DATE	07/16/15
PROJECT NO.	1310140	
DRAWN BY	CADD	
CHECKED BY	CL	
DOB NO.	121330906	
DRAWING NUMBER		

SHEET XX OF XX



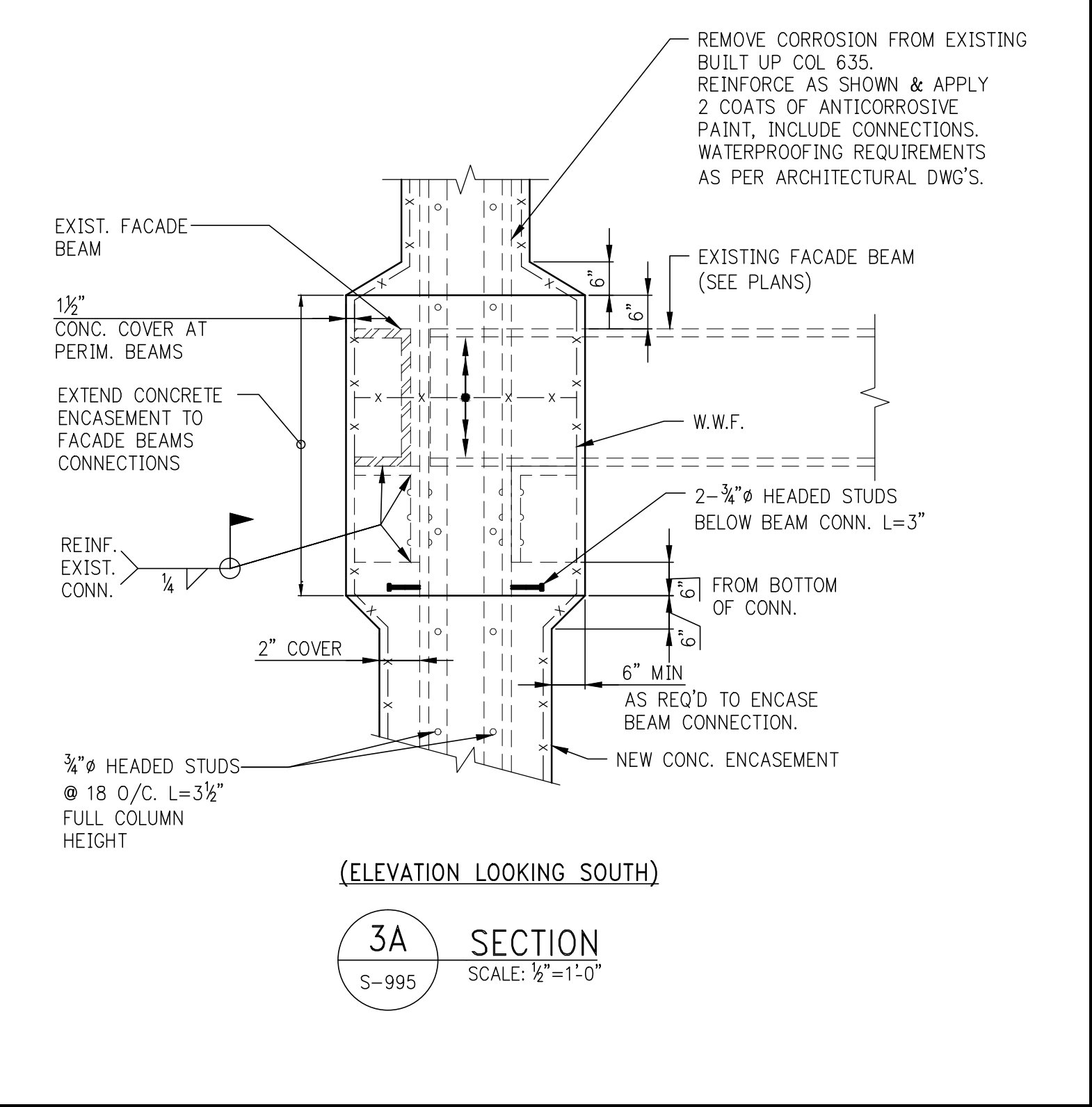


1	2015	DCS/PA
2	2015	DCS/PA/SGS
NO.	DATE	REVISION

NOT FOR CONSTRUCTION

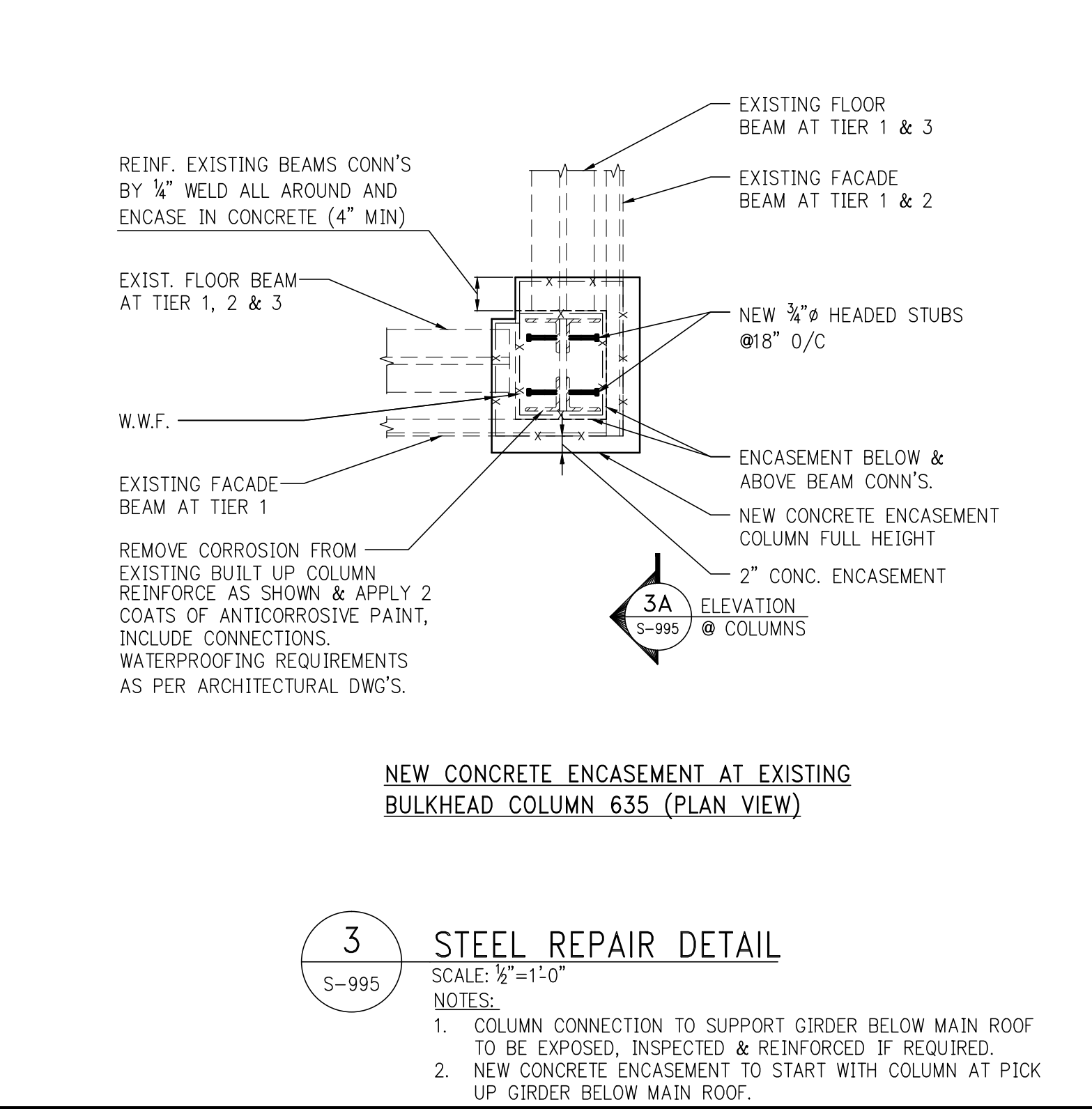
STEEL REPAIR DETAILS AND SECTIONS

SCALE & SIGNATURE	DATE	07/16/15
PROJECT NO.	1310140	
DRAWN BY	CADD	
CHECKED BY	CL	
DOB NO.	121330968	
DRAWING NUMBER		



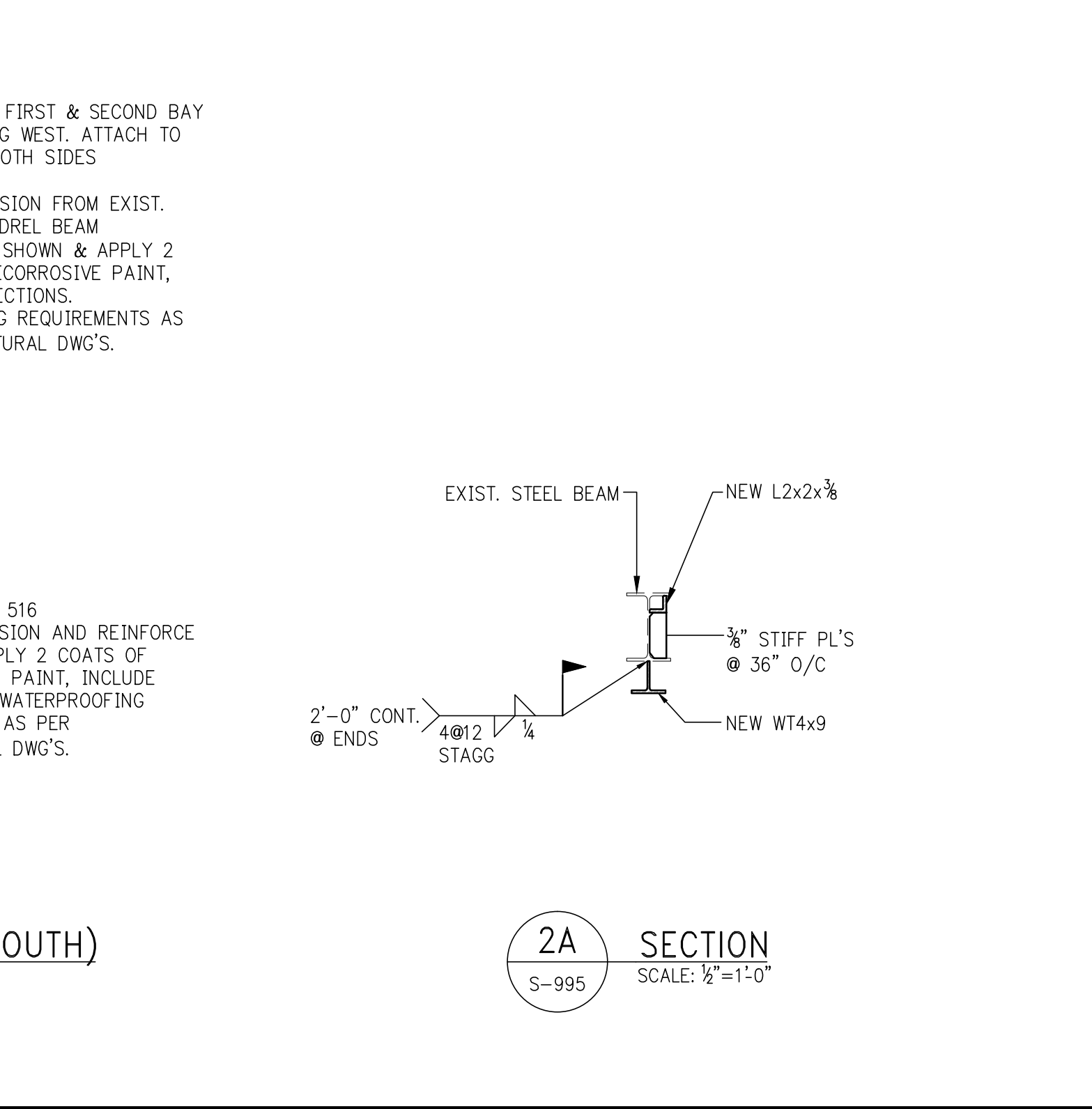
(ELEVATION LOOKING SOUTH)

3A SECTION
SCALE: 3/8"=1'-0"

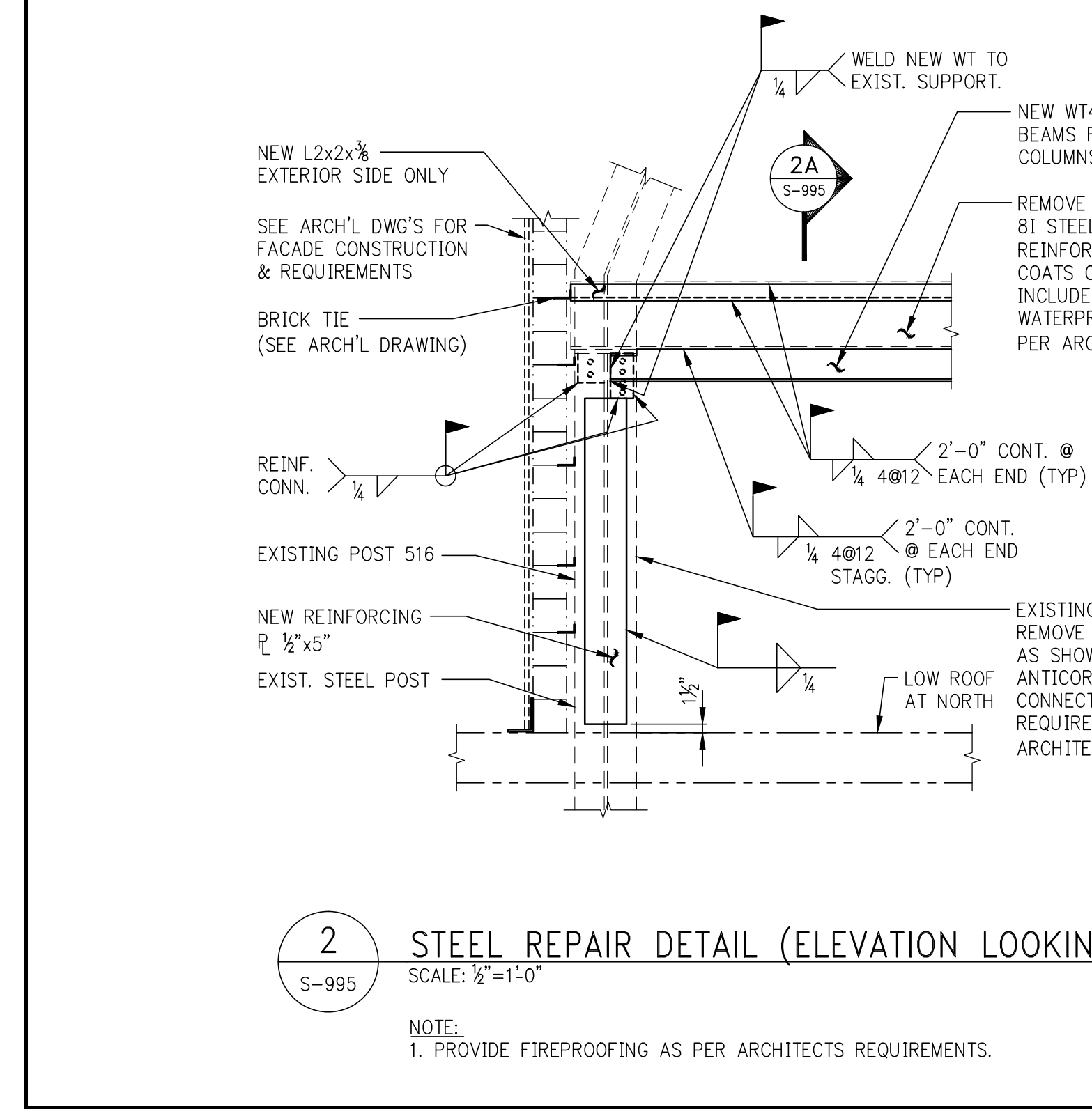


NEW CONCRETE ENCASEMENT AT EXISTING BULKHEAD COLUMN 635 (PLAN VIEW)

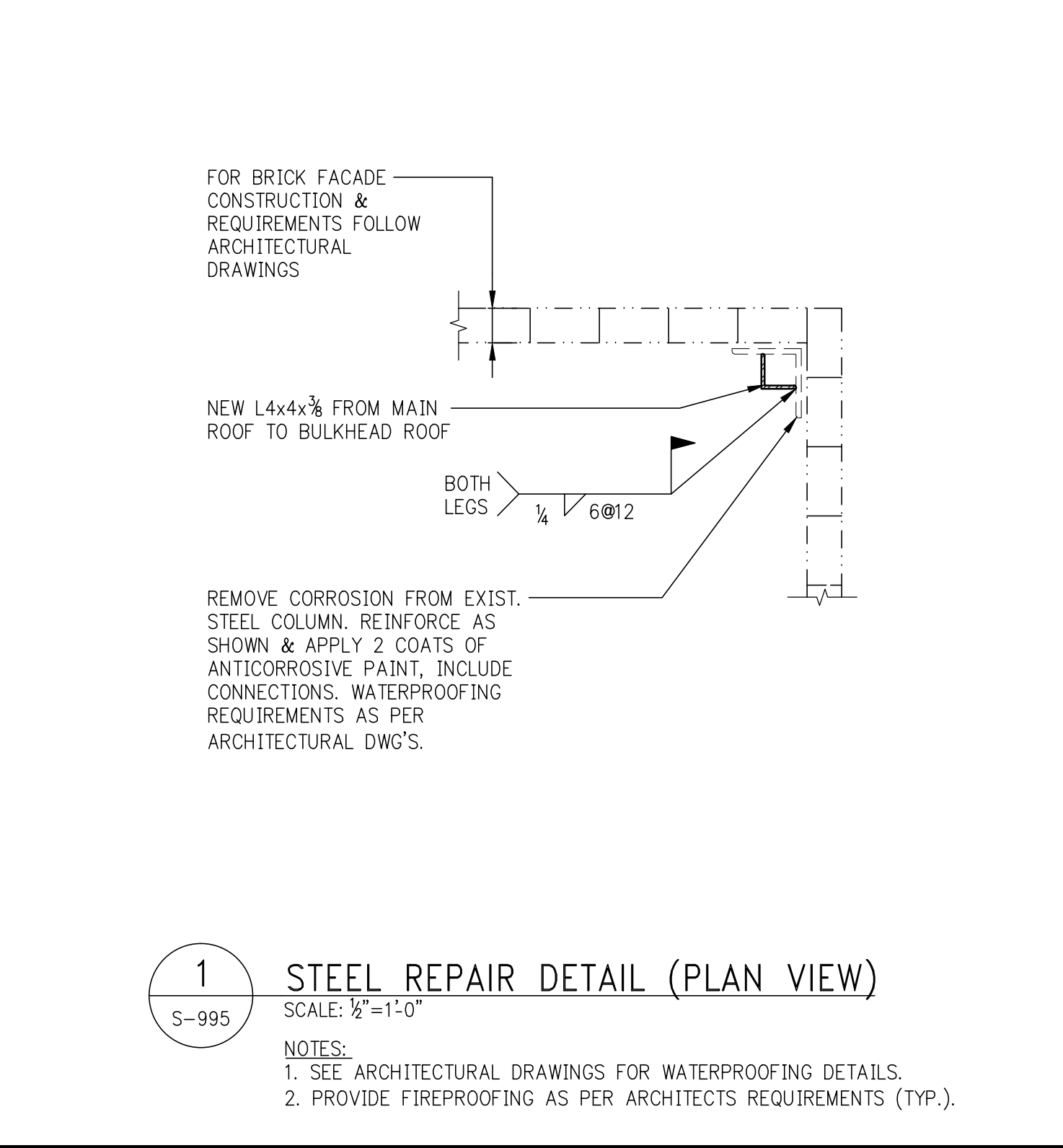
3 STEEL REPAIR DETAIL
SCALE: 3/8"=1'-0"



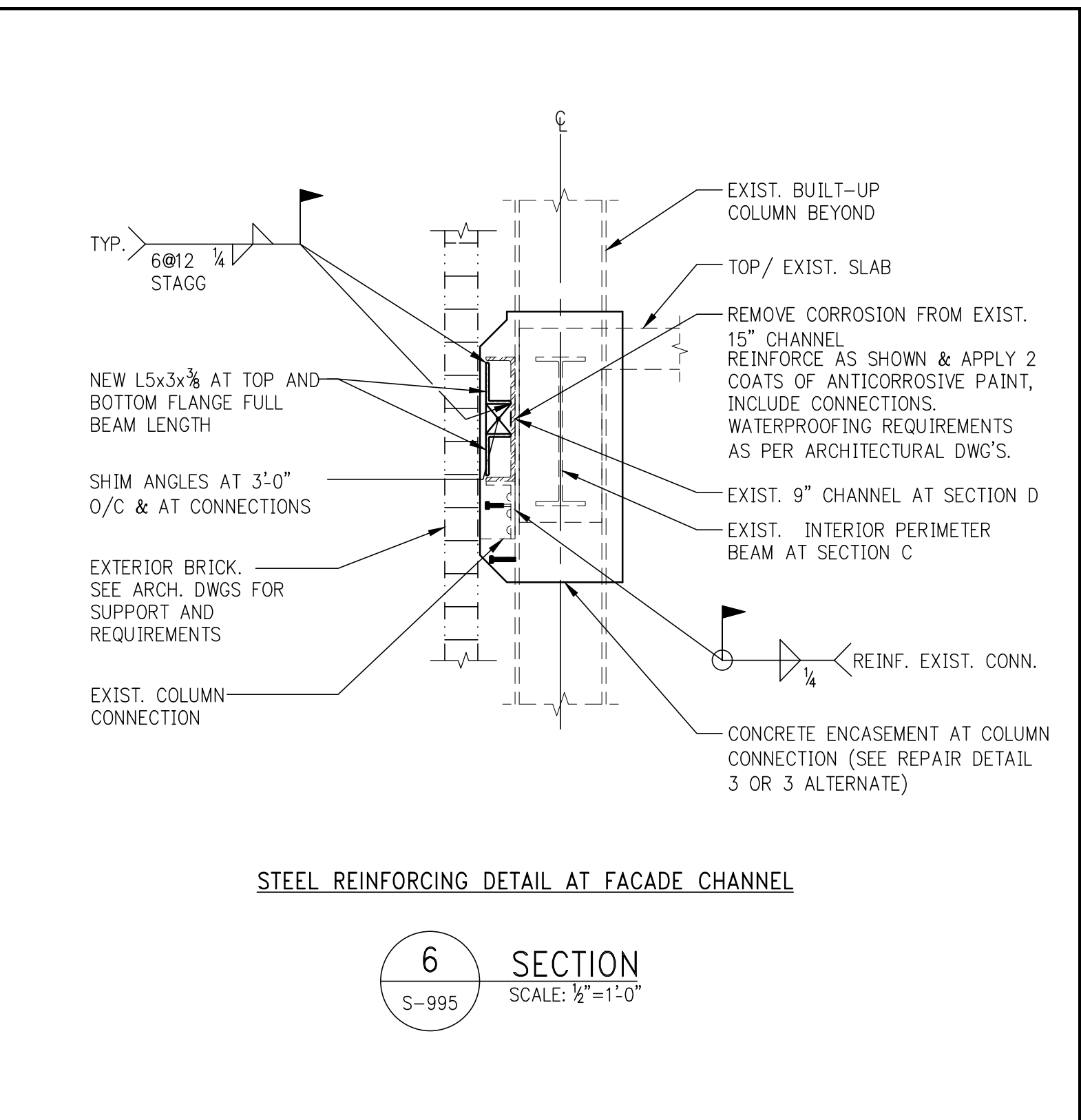
2A SECTION
SCALE: 3/8"=1'-0"



2 STEEL REPAIR DETAIL (ELEVATION LOOKING SOUTH)
SCALE: 3/8"=1'-0"

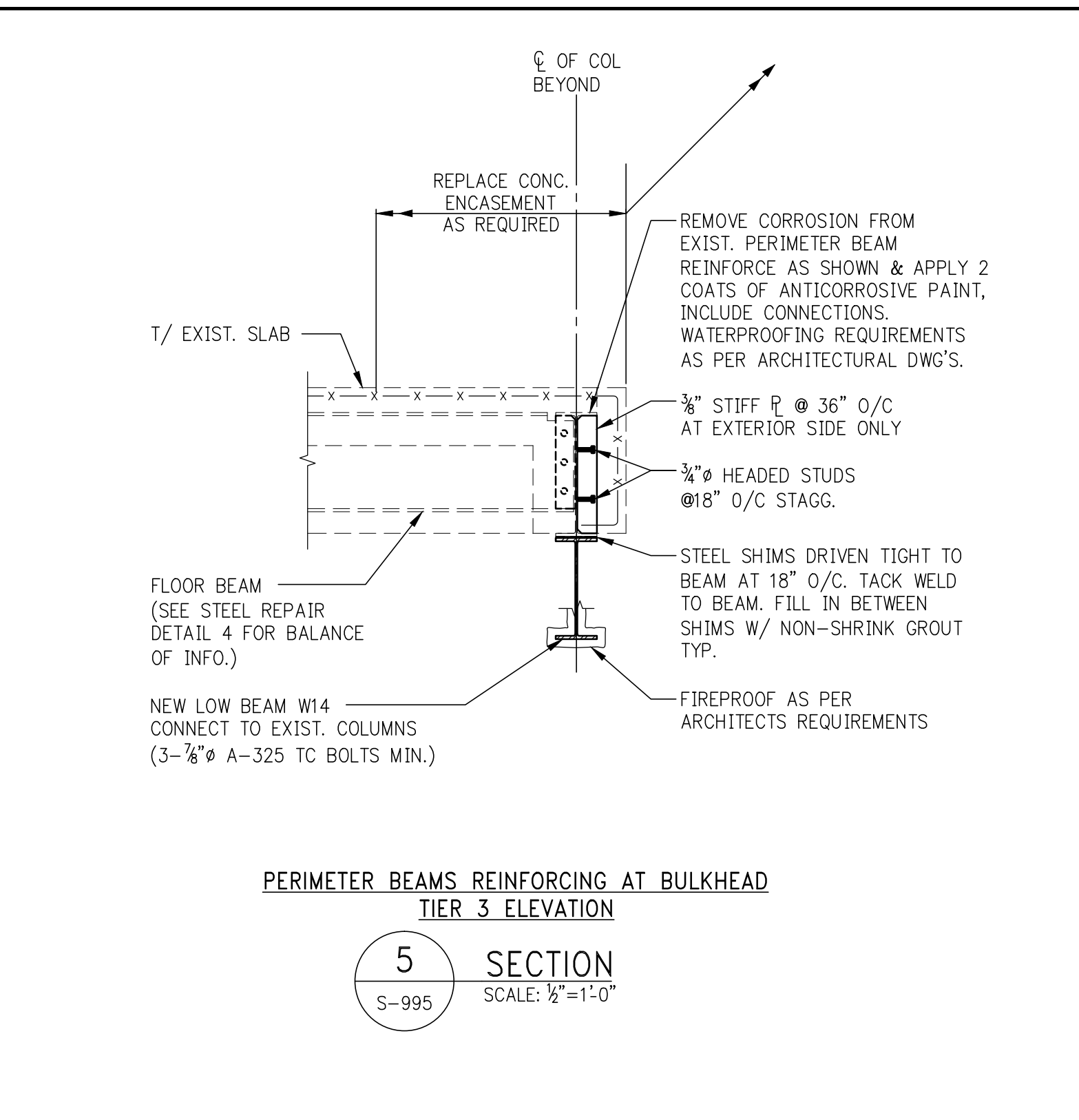


1 STEEL REPAIR DETAIL (PLAN VIEW)
SCALE: 3/8"=1'-0"



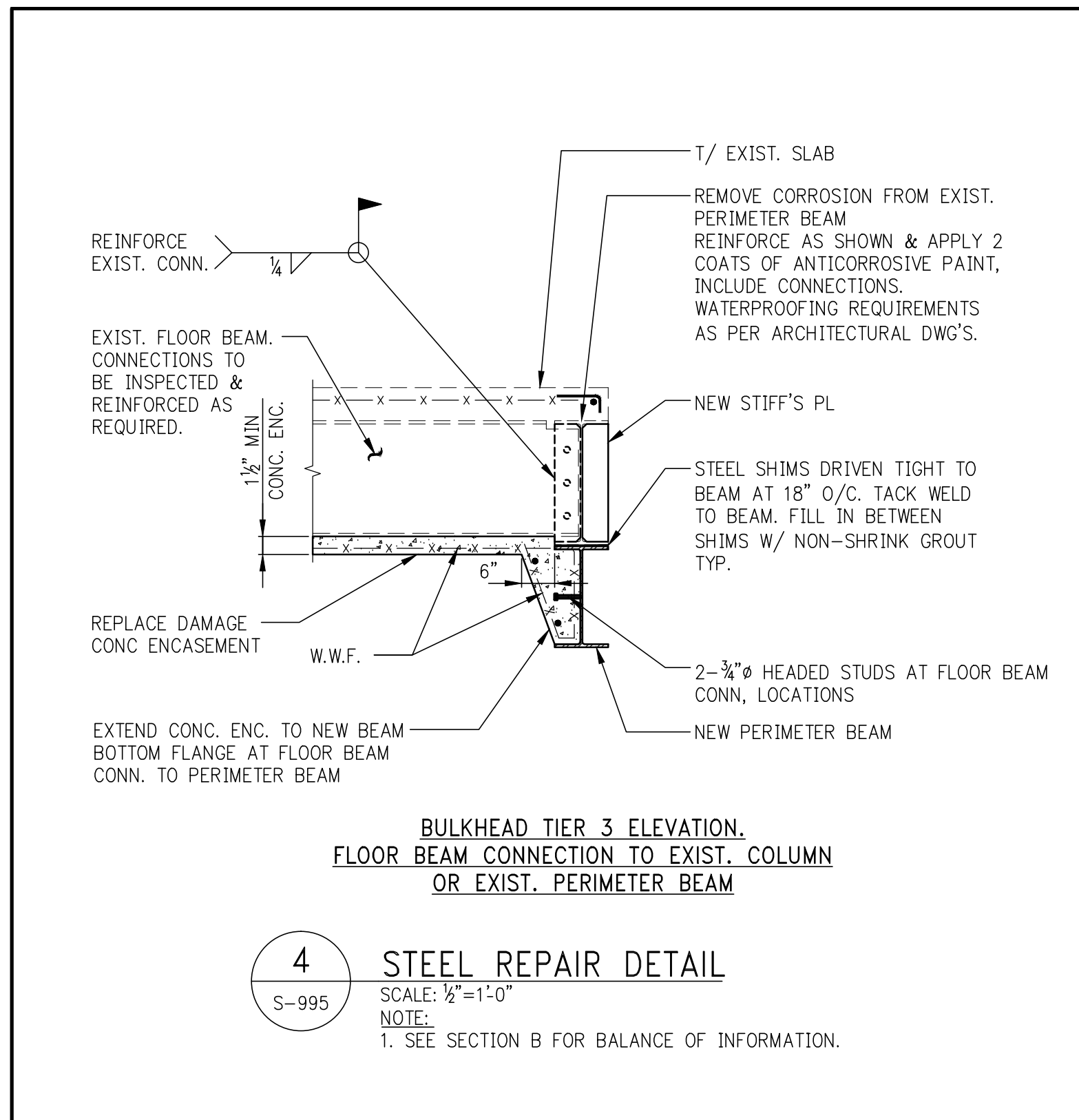
STEEL REINFORCING DETAIL AT FACADE CHANNEL

6 SECTION
SCALE: 3/8"=1'-0"



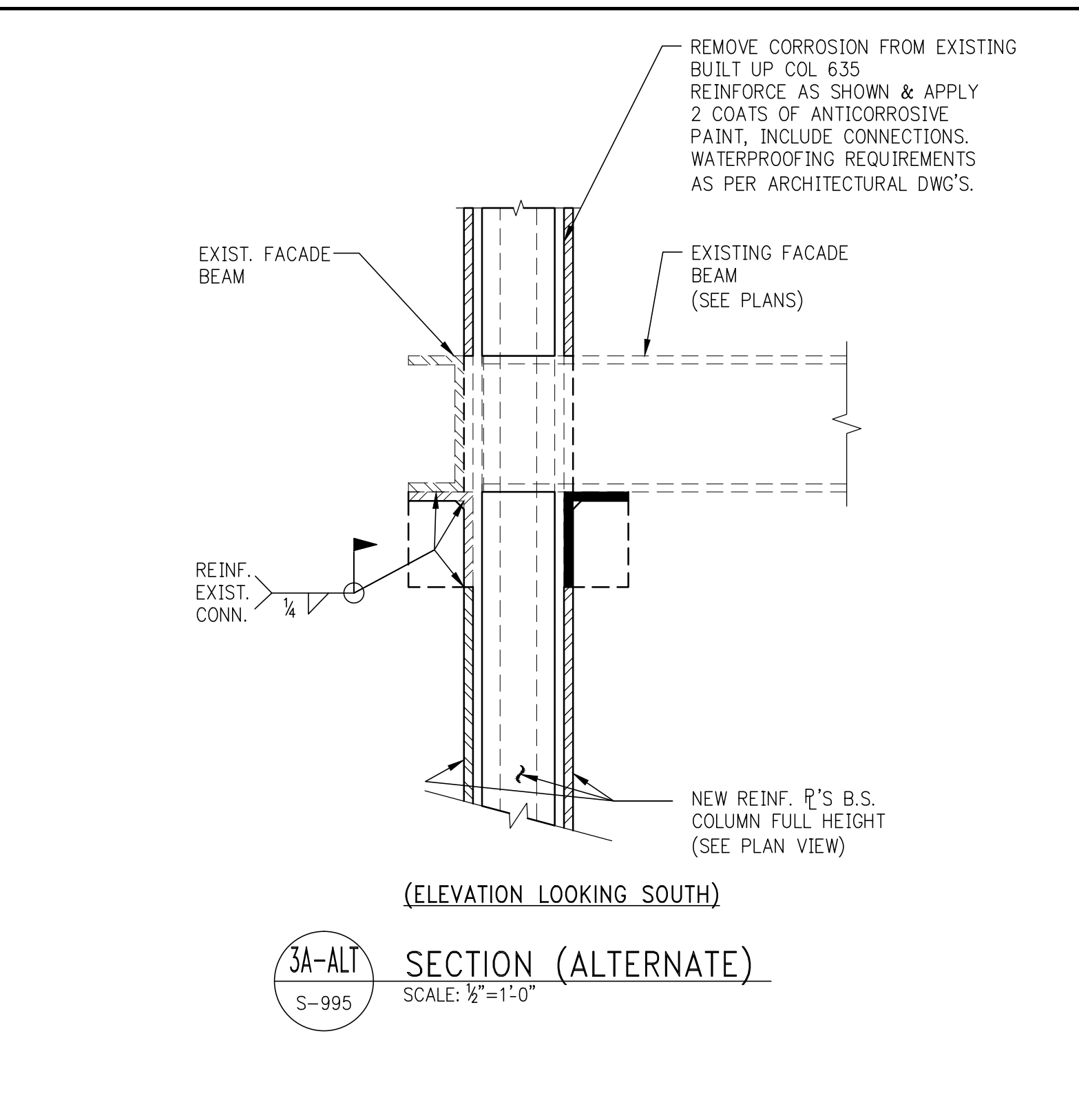
PERIMETER BEAMS REINFORCING AT BULKHEAD TIER 3 ELEVATION

5 SECTION
SCALE: 3/8"=1'-0"

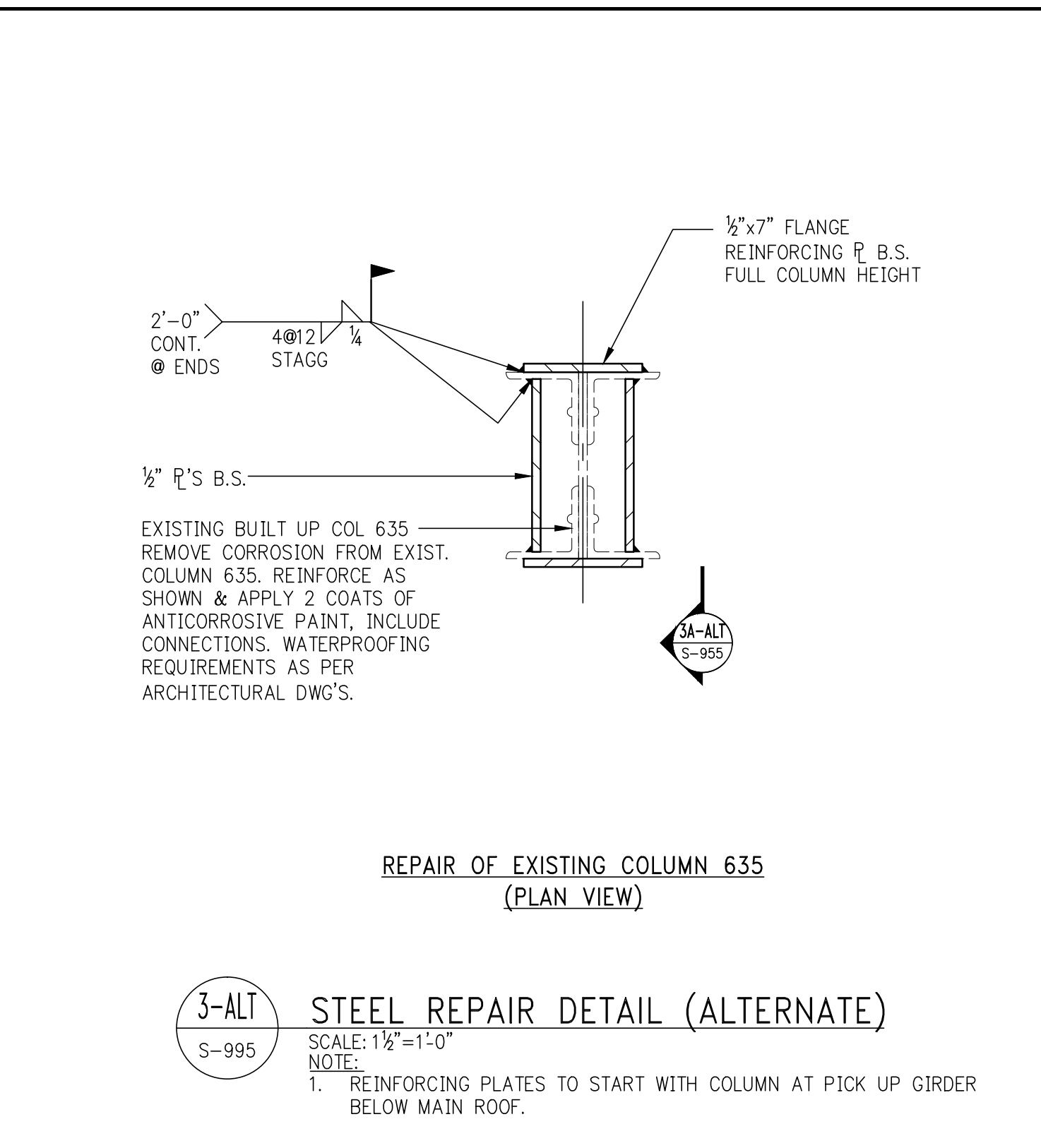


BULKHEAD TIER 3 ELEVATION, FLOOR BEAM CONNECTION TO EXIST. COLUMN OR EXIST. PERIMETER BEAM

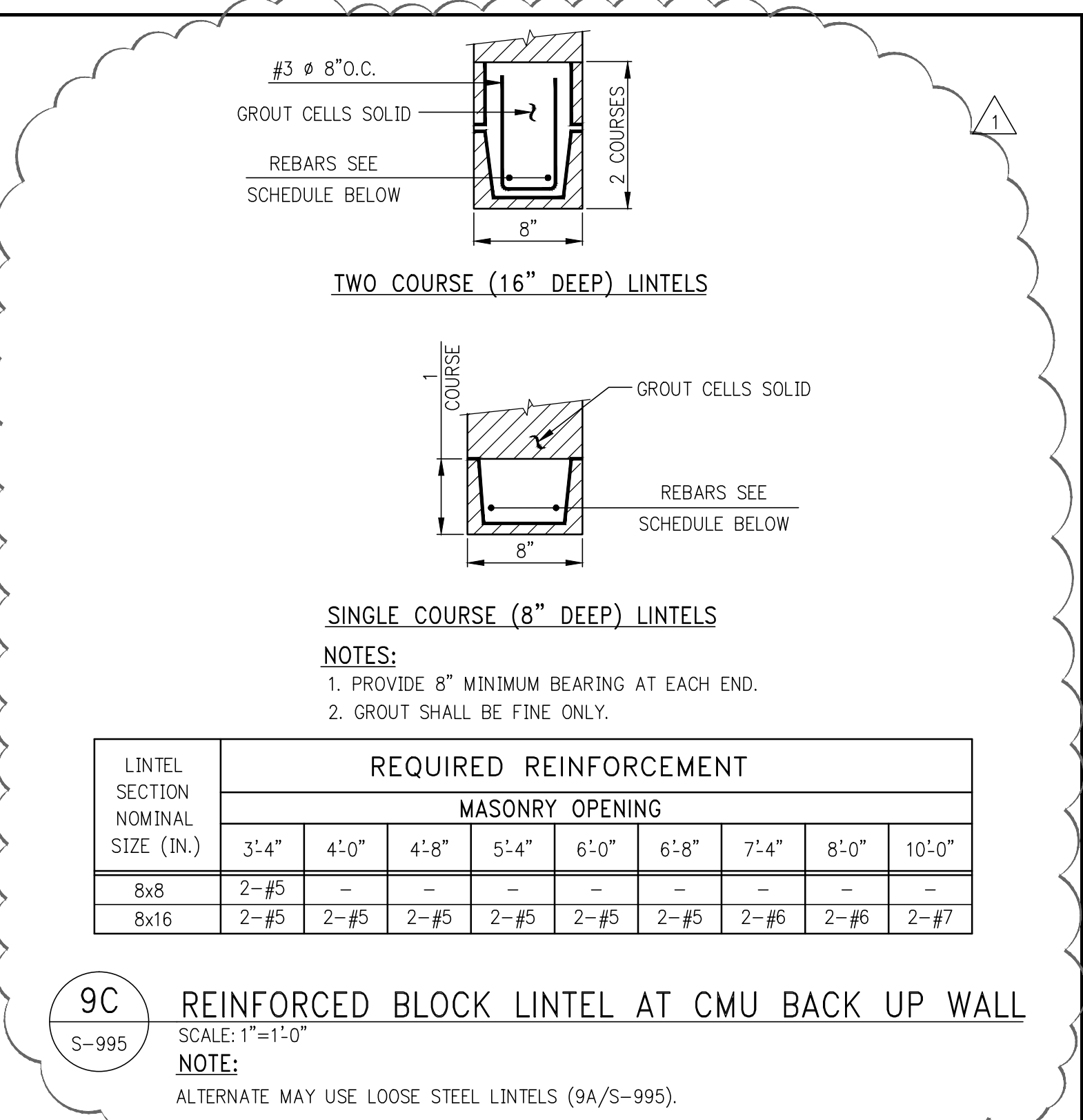
4 STEEL REPAIR DETAIL
SCALE: 3/8"=1'-0"



3A-ALT SECTION (ALTERNATE)
SCALE: 3/8"=1'-0"

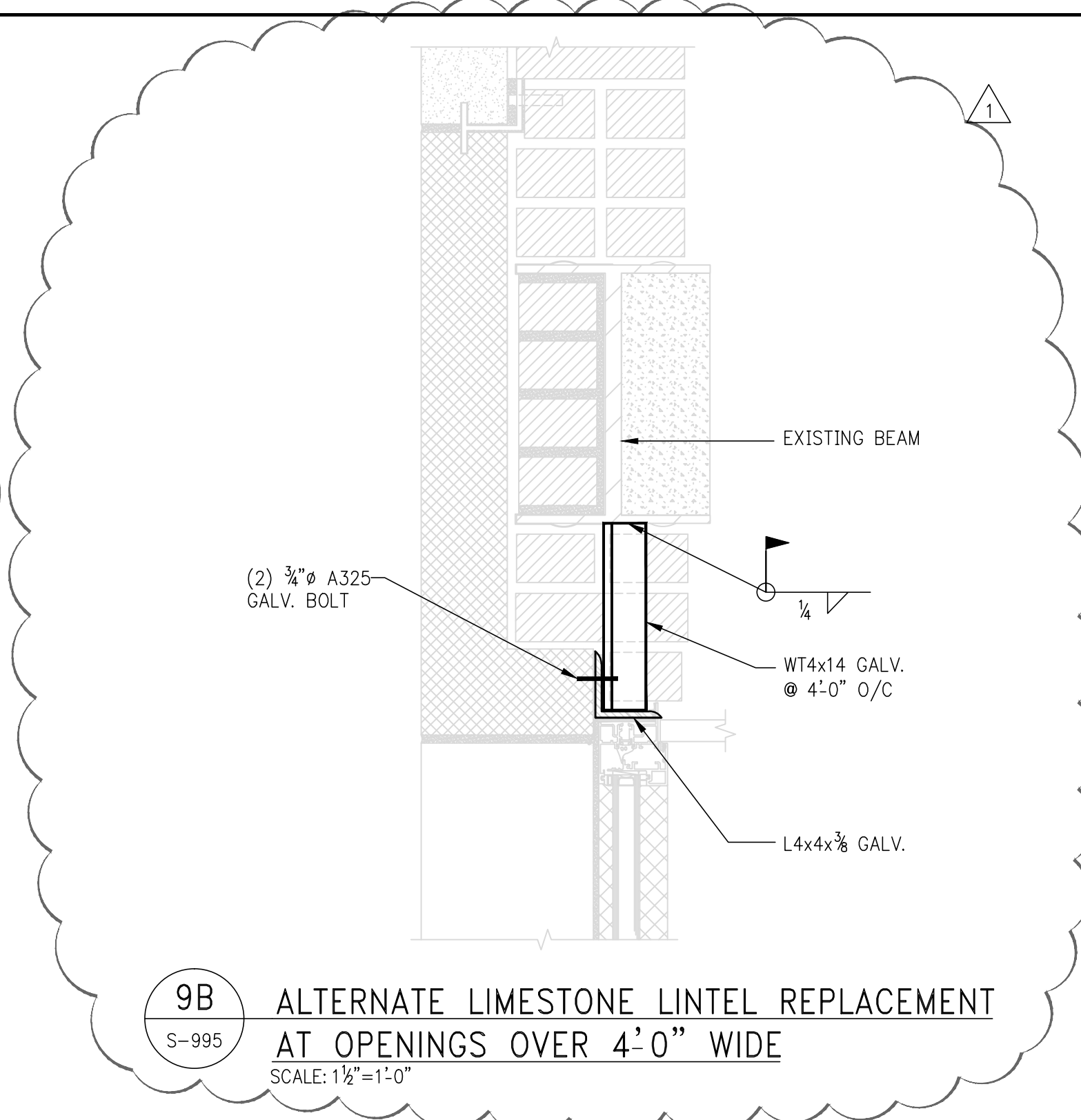


3-ALT STEEL REPAIR DETAIL (ALTERNATE)
SCALE: 3/8"=1'-0"



REINFORCED BLOCK LINTEL AT CMU BACK UP WALL

9C SECTION
SCALE: 1/2"=1'-0"



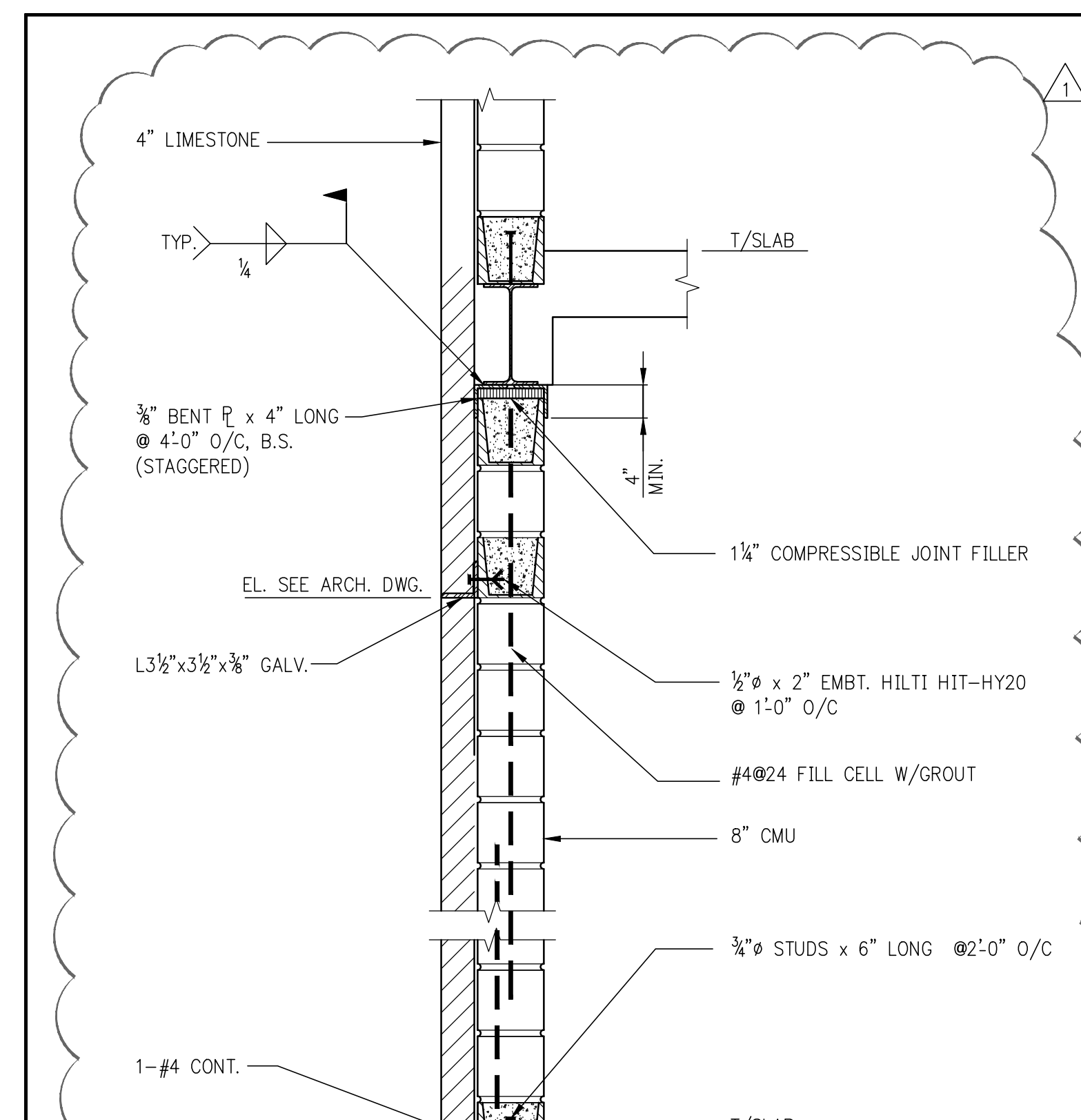
ALTERNATE LIMESTONE LINTEL REPLACEMENT AT OPENINGS OVER 4'-0" WIDE

9B SECTION
SCALE: 1/2"=1'-0"

LOOSE LINTEL SCHEDULE (ANGLES OR W-SHAPE PLUS PLATE)		
MASONRY OPENING	ANGLE SIZE PER EACH 4" WIDTH OF MASONRY (OR W + P)	REMARKS
UP TO 5'-0"	L4 x 4 x 3/8	SEE ALSO 98&9C/S-995
5'-1" TO 8'-0"	L6 x 4 x 3/8	SEE ALSO 98&9C/S-995
8'-1" TO 10'-8"	L6 x 4 x 3/8	SEE ALSO 98&9C/S-995
10'-9" TO 14'-0"	WB18 x BOTTOM FLANGE x 7 (WELD PLATE TO BOTTOM FLANGE)	SEE ALSO 98&9C/S-995

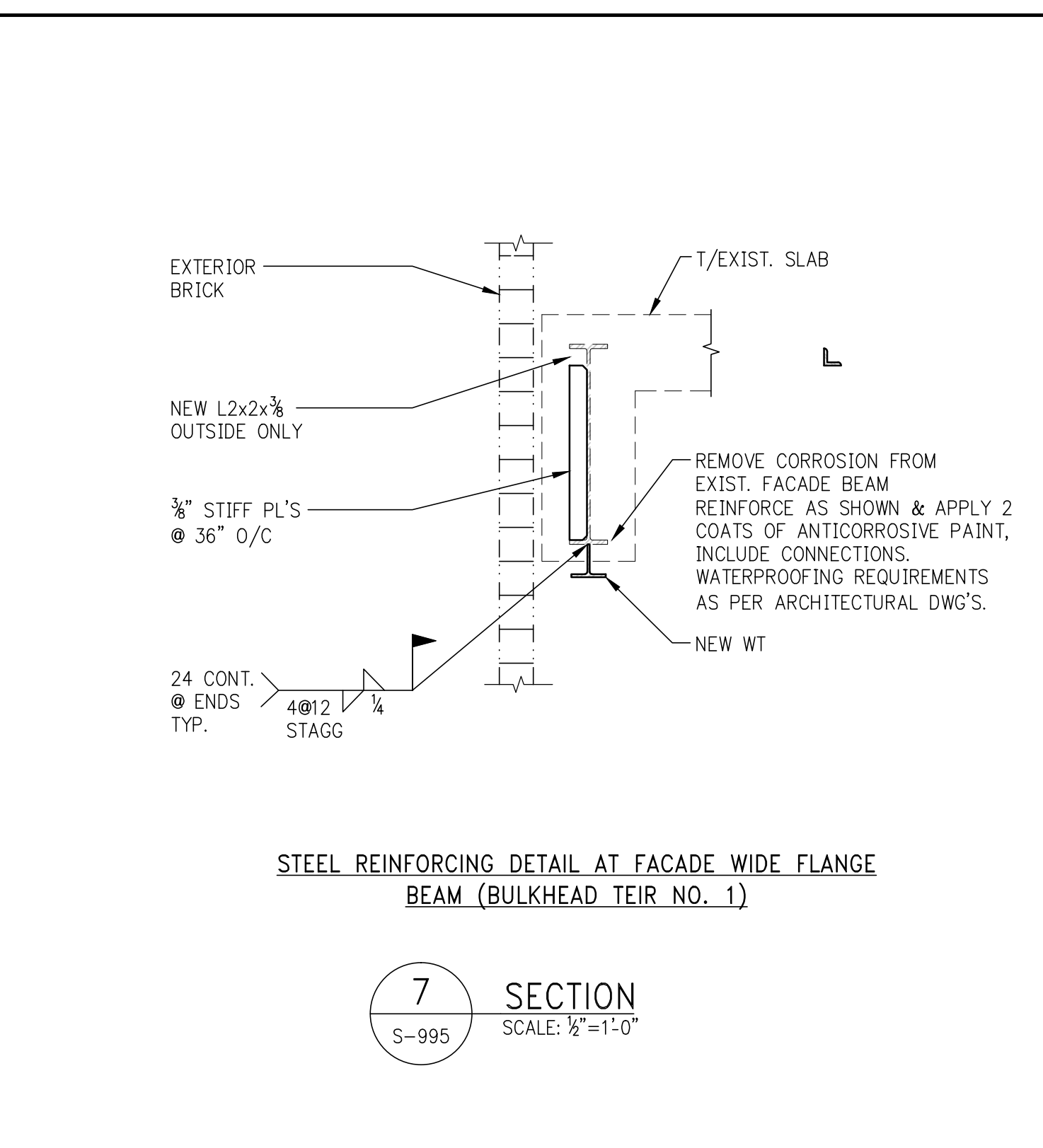
LOOSE LINTEL SCHEDULE
SCALE: 1"=1'-0"

NOTES:
1. ANGLE LENGTH = MASONRY OPENING PLUS 1'-0" (6" BEARING AT EACH END).
2. ANGLE LONG LEG IS VERTICAL.
3. WB + P TO BE USED AT 8" WIDE WALL ONLY.
4. PROVIDE EXTERIOR TYPE FIREPROOFING ON LINTELS FOR MASONRY OPENINGS GREATER THAN 4'-0". LINTELS OVER OPENINGS 4'-0" OR LESS IN WIDTH TO BE H.D. GALVANIZED.
5. JOINTS SHALL NOT BE LOCATED OVER THE MASONRY OPENING.



SECTION AT LIMESTONE VENEER WITH CMU BACK UP WALL
SCALE: 3/8"=1'-0"

NOTES:
1. CODE: MASONRY WALL CONSTRUCTION SHALL CONFORM TO THE NEW YORK CITY BUILDING CODE AND TO ACI 530/ASCE-5 AS REFERENCED BY THE NYC CODE.
2. MASONRY UNITS SHALL BE LIGHTWEIGHT HOLLOW LOAD BEARING CONCRETE MASONRY (CMU). COMPRESSIVE STRENGTH OF MASONRY FM SHALL BE A MINIMUM OF 1,800 PSI.
3. MORTAR SHALL BE TYPE M OR S.
4. HORIZONTAL JOINT REINFORCEMENT SHALL BE TRUSS TYPE GALVANIZED COLD-DRAWN STEEL WIRE CONFORMING TO ASTM A 951.
5. PROVIDE HORIZONTAL JOINT REINFORCEMENT IN EVERY OTHER JOINT (16" O.C. VERTICALLY) UNLESS PLANS OR DETAILS CALL FOR CLOSER SPACING OR ADDITIONAL REINFORCEMENT.
6. BAR REINFORCEMENT: ASTM A 615 GRADE 60, PER SCHEDULE. FOR ADDITIONAL REINFORCEMENT SEE WALL REINFORCEMENT ELEVATION.
7. ALL CELLS WITH REINFORCEMENT SHALL BE GROUTED SOLID FOR THE FULL EXTENT OF BAR, VERTICAL AND HORIZONTAL.
8. GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,000 PSI. GROUT SHALL BE "FINE" AS DEFINED BY ASTM C 476.
9. STEEL ANGLES: ASTM A 36. STEEL IN AN EXTERIOR WALL OR EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
10. CONTRACTOR SHALL COORDINATE ALL MASONRY WORK WITH ARCHITECTURAL DWG'S.



STEEL REINFORCING DETAIL AT FACADE WIDE FLANGE BEAM (BULKHEAD TIER NO. 1)

7 SECTION
SCALE: 3/8"=1'-0"