

6/22/2017

Department of Consumer and Regulatory Affairs

Permit # B1709931 Date 09/27/17

[DC.gov Home](#)

All work must be done strictly in accordance herewith an approved plans. Approved plans shall be kept on the site until completion of the construction. No inspection will be made without approved plans on site. The approval does not prevent a field inspection from ordering corrections to meet codes when issues are noted during inspections

- Residents
- Business
- Government
- Visitors
- Education
- Jobs
- Online Services
- Mayor

[DC Home](#) > [DCRA Home](#)

Logged in as: David Landsman | [Collections \(1\)](#) | [Cart \(2\)](#) | [Account Management](#) | [Logout](#)

Search...

[Home](#) [Services](#) [Licenses](#)

Cart

- 1 Select item to pay
- 2 Payment information
- 3 Receipt/Record issuance

Step 1: Select item to pay

Click on the arrow in front of a row to display additional information. Items can be saved for a future checkout by clicking on the Save for later link.

PAY NOW

2320 S ST NW, 20008

1 Application(s) | \$22,000.00

▶ Addition Alteration Repair Permit
17TMP-019419

\$22,000.00

[Edit](#)

[Save for later](#)

[Remove](#)

4009 48TH ST NW, 20016

1 Application(s) | \$1.43

▶ New Building Permit
17TMP-019415

\$1.43

[Edit](#)

[Save for later](#)

[Remove](#)

Total amount to be paid: \$22,001.43

Note: This does not include additional fees which may be assessed later.

[Checkout »](#) [Continue Shopping »](#)

Renovation/ Addition to SFD

District News

- Mayor's Public Schedule
- Citywide News
- Subscribe to Receive Emails
- Subscribe to Text Alerts
- Online Chats
- DC.Gov Social Networks
- Connect DC
- Government Closures

Information Centers

- 72hours Emergency Planning
- Business
- Consumer Protection
- Education
- Health
- Social Services
- Residents
- Visitors

Community

- Citywide Calendar
- Great Streets
- DC Jobs
- DC Procurement
- Green DC
- DC One Card
- Age-Friendly DC
- One City Youth

About DC

- Mayor's Office
- Agency Directory
- Budget
- Emancipation
- Consumer Protection
- Contracts
- Property Quest
- Open DC
- Sustainability DC

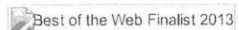
Contact Us

- Call 311
- Contact the Mayor
- Contact Agency Directors
- Send Feedback
- Grade DC
- Submit Service Requests
- Make FOIA Requests
- Report a Website Problem

[Accessibility](#) | [About DC.Gov](#) | [Privacy & Security](#) | [Terms & Conditions](#)

6/22/2017

Department of Consumer and Regulatory Affairs



Permit # B1709931 Date 09/27/17

All work must be done strictly in accordance herewith an approved plans. Approved plans shall be kept on the site until completion of the construction. No inspection will be made without approved plans on site. The approval does not prevent a field inspection from ordering corrections to meet codes when issues are noted during inspections

6/22/2017

Department of Consumer and Regulatory Affairs

Permit # B1709931 Date 09/27/17

[DC.gov Home](#)

All work must be done strictly in accordance herewith an approved plans. Approved plans shall be kept on the site until completion of the construction. No inspection will be made without approved plans on site. The approval does not prevent a field inspection from ordering corrections to meet codes when issues are noted during inspections

[Residents](#) | [Business](#) | [Government](#) | [Visitors](#) | [Education](#) | [Jobs](#) | [Online Services](#) | [Mayor](#)

[DC Home](#) > [DCRA Home](#)

Logged in as: [David Landsman](#) | [Collections \(1\)](#) | [Cart \(2\)](#) | [Account Management](#) | [Logout](#)

Search...

[Home](#) | [Services](#) | [Licenses](#)

[Request a Building Permit, Shop Drawing Approval, or Survey Plat](#)

Addition Alteration Repair Permit

1 2 3 **Step 3** 4 **Step 4** 5 Review 6 Pay Fees 7 Record Issuance

Step 5: Review

[Continue Application »](#)

[Save and resume later](#) 

Please review all information below. Click the "Edit" buttons to make changes to sections or "Continue Application" to move on.

Record Type

Addition Alteration Repair Permit

Address

[Edit](#)

If you search for and select the address of the first lot, the Parcel will be automatically retrieved in the property ID.

2320 S ST NW
20008

Parcel

[Edit](#)

You must provide the correct Square, Suffix and Lot for the first lot in your request. If you are not certain about the Square and Lot numbers, you may search for them by address from the [PIVS](#) < <https://pivsservices.dcrd.dc.gov/PIVS/Search.aspx> > website.

Square Suffix Lot : 2517 0046

Owner

[Edit](#)

THE CHERRY REVOCABLE TRUSTE UNDER TRUST AGREEMENT

Cell Phone: [REDACTED]
Email: [REDACTED]

Agent Authorization

AUTHORIZED AGENT

[Edit](#)

Is an Agent authorized to act on behalf of the Owner?: Yes

Applicant

[Edit](#)

To edit applicant information, click on Edit button on title bar.

David C Landsman
CAS Engineering
1001 Connecticut Avenue, NW
Suite 401
Washington, DC, 20036

Phone #: [REDACTED]
Fax: [REDACTED]
E-mail: [REDACTED]

Description of Work

[Edit](#)

Detailed Interior renovations on all levels to existing building to a single-family dwelling with updated systems and finishes and to Description: renovate existing detached sub-grade garage. Construct rear addition, elevators, terraces, walks, retaining walls, utilities, stormwater management, pergola, drainage and associated appurtenances.

General Information

[Edit](#)

General Information

6/22/2017

Department of Consumer and Regulatory Affairs

Permit # B1709931 Date 09/27/17

Enter all floors involved in proposed construction.: 1, 2, 3, 4
 Square Feet of Site Disturbed: 34900
 Is this Property located in a FloodPlain Zone?: No
 Is this Project being submitted for a 3rd Party Review?: No

All work must be done strictly in accordance herewith an approved plans. Approved plans shall be kept on the site until completion of the construction. No inspection will be made without approved plans on site. The approval does not prevent a field inspection from ordering corrections to meet codes when issues are noted during inspections

Engineer Edit

To edit applicant information, click on Edit button on title bar.

Christopher Cobb
1200 Architectural Engineers, PLLC
210 N Lee Street
Alexandria, VA, 22314

Phone #: [REDACTED]

Architect Edit

Anthony S Barnes
Barnes Vanze Architects, Inc.
1000 Potomac Street, NW
Suite L-2
Washington, 20008

Phone #: [REDACTED]
Architect -3844
abarnes@barnesvanze.com

Contractor Edit

George Fritz
Horizon Builders of Washington, LLC
2131 Espey Court
Suite 3
Crofton, 21114

Phone #: [REDACTED]
Contractor -69010520
[REDACTED]

Permit Information

ADDITION / ALTERATION & REPAIR	Edit
Existing Use of Building or Property:	Museums - A-3
Existing Number of Stories of Building:	3
Existing Stories Plus:	Cellar
Existing Penthouse:	No
Existing Number of Dwelling Units:	1
Proposed Use of Building or Property:	Single Family Dwelling - R-3
Proposed Number of Stories of Building:	3
Proposed Stories Plus:	Cellar
Proposed Penthouse:	No
Proposed Number of Dwelling Units:	1
Starting Date (mm/dd/yyyy):	08/01/2017
Completion Date of Work (mm/dd/yyyy):	08/01/2019
Method for Removing Construction Debris:	Pick-Up Truck
Does the proposed work involve disturbing the earth or razing a building?:	Yes - Answer Question A
Is the area of disturbed earth more than 50 Sqft.?:	Yes - Answer Questions (B and C)
Soil Erosion Control Methods:	Silt Fence
Area of offsite drainage:	0
Number of Footings or Columns:	1
Size of Footings or Columns:	24
Is the area of disturbed earth more than 5,000 Sqft.?:	Yes
Fire Suppression:	Fully Sprinklered
Total Lot - Area:	34125
Lot area percentage - Building:	26.9
Lot area percentage - Paved Area:	23
Lot area percentage - Greenery:	50.1
Present gross floor area of the building:	1
Proposed gross floor area of the building:	1
Floors involved with this permit:	4
Is projection beyond building line:	No - Skip Questions (A thru E)
Water or sewer excavation?:	Yes
Driveway construction:	No
Sheeting or shoring necessary:	No
Elevators involved?:	Yes
No of Elevators:	2
Plans certified by engineer:	Yes
Alteration and Repair cost:	11640000
Total Valuation cost:	360000
Length:	62.5

6/22/2017

Department of Consumer and Regulatory Affairs

Permit # B1709931 Date 09/27/17

Width: 167.1
 Height: 40
 Total Number of Floors: 4
 Was the Structure Built Before 1978?: Yes

All work must be done strictly in accordance herewith an approved plans. Approved plans shall be kept on the site until completion of the construction. No inspection will be made without approved plans on site. The approval does not prevent a field inspection from ordering corrections to meet codes when issues are noted during inspections

Permit Information

GREEN BUILDING Edit

Is the Project Publicly-Owned or Financed?: No

Questions

DDOE ENVIRONMENTAL QUESTIONS Edit

- Will the work to be performed involve the installation, removal, close-in-place now, or repair of Underground Storage Tank (UST) system?: No
- Will the work to be performed involve assessment of soil, soil-vapor or cleanup of soil associated with the released material from an underground storage tank (UST)?: No
- Will the work to be performed involve assessment or cleanup of groundwater associated with the released material from an underground storage tank (UST)?: No
- Will proposed work involve the installation of drilling of wells other than for the purposes stated in the previous questions?: No
- Will the proposed project involve installation or drilling of well using air rotary drilling methods or any method discharging gases or dust into the air?: No
- Will the proposed project involve the generation, treatment, storage, disposal or transportation of chemicals or other substances which may be considered hazardous?: No
- Will the proposed use involve the construction of a facility for the handling, transfer, storage, disposal or treatment of solid waste, medical waste, or recyclable materials?: No
- Will the proposed project involve construction which will result in a discharge or release to or withdrawal from a river, stream, wetland, or groundwater or disturb the sediment in rivers, streams or wetlands?: No
- Will the proposed project involve construction which may affect aquatic or terrestrial biota, their habitat, or water quality?: No
- Does the project site contain a species of plant or animal that is federally protected?: No
- Will the proposed project result in the discharge into the air of gases or dust or the creation of any objectionable odors?: No
- Will the proposed project or the work to be performed be within a Special Flood Hazard Area or 100-year floodplain area (i.e., Zone A or AE)?: No
- Will the proposed project result in the construction or installation of any equipment that burns fuel such as, but not limited to, stationary generators (any size) and boilers with heat input ratings greater than 5 million BTU/hr?: No
- Will the proposed project result in the construction or installation of any other stationary pollution emitting equipment?: No

Attachment Edit

Upload the required documents.

If you are applying for a Certificate of Occupancy click on the following link for requirements : [Certificate of Occupancy Check List and Process](#)

If you are applying for a Construction Permit, or Shop Drawing approval, **DO NOT** upload your plans here; you will receive an email notification with instructions on how to upload the plans.

Building Plat requests do not require attached documents.

The maximum file size allowed is 10 MB.
 html;htm;mht;mhtml are disallowed file types to upload.

<u>Doc Name</u>	<u>Upload Date</u>	<u>Description</u>	<u>Type</u>
No records found.			

I hereby certify that the name provided in this application has the authority as the owner of the property, or as an agent for the owner, to submit this application. I certify that the information provided is complete and correct to the best of my knowledge. I understand that the name provided will be the name printed on the application.

False statements may be subject to fines and prosecution as applicable by statute. If the District of Columbia government learns that the person submitting this application is not authorized to do so, any permits or licensing affiliated with this application may be revoked or suspended. By checking the box below, I understand and agree that I am electronically signing and filing this application.

By checking this box, I agree to the above certification.

Date: 06/22/2017

[Continue Application »](#)

Save and resume later 

6/22/2017

Department of Consumer and Regulatory Affairs

Permit # B1709931 Date 09/27/17

All work must be done strictly in accordance herewith an approved plans. Approved plans shall be kept on the site until completion of the construction. No inspection will be made without approved plans on site. The approval does not prevent a field inspection from ordering corrections to meet codes when issues are noted during inspections

District News	Information Centers	Community	About DC	Contact Us
Mayor's Public Schedule	72hours Emergency Planning	Citywide Calendar	Mayor's Office	Call 311
Citywide News	Business	Great Streets	Agency Directory	Contact the Mayor
Subscribe to Receive Emails	Consumer Protection	DC Jobs	Budget	Contact Agency Directors
Subscribe to Text Alerts	Education	DC Procurement	Emancipation	Send Feedback
Online Chats	Health	Green DC	Consumer Protection	Grade DC
DC.Gov Social Networks	Social Services	DC One Card	Contracts	Submit Service Requests
Connect DC	Residents	Age-Friendly DC	Property Quest	Make FOIA Requests
Government Closures	Visitors	One City Youth	Open DC	Report a Website Problem
			Sustainability DC	

[Accessibility](#) | [About DC.Gov](#) | [Privacy & Security](#) | [Terms & Conditions](#)





Department of Consumer and Regulatory Affairs

Permit Operations Division

1100 4th Street SW

Washington DC 20024

Tel. - Fax -



B

BUILDING PERMIT

THIS PERMIT MUST ALWAYS BE CONSPICUOUSLY DISPLAYED AT THE ADDRESS OF WORK UNTIL WORK IS COMPLETED AND APPROVED

Issue Date: 10/11/2017

PERMIT NO. B1709931

Expiration Date: 10/11/2018

Address of Project: 2320 - 2330 S ST NW	Zone: R-1-B	Ward: 2	Square: 2517	Suffix:	Lot: 0046
--	----------------	------------	-----------------	---------	--------------

Description Of Work: Interior renovations on all levels to existing building to a single-family dwelling with updated systems and finishes and to renovate existing detached sub-grade garage. Construct rear addition, elevators, terraces, walks, retaining walls, utilities, stormwater management, pergola, drainage and associated appurtenances.

***DEMO, FOUNDATION, ADDITION POP BACK, ALTERATION LEVEL 3

Permission Is Hereby Granted To: The Cherry Revocable Truste Under Trust A	Owner Address: 5301 WISCONSIN AVE NW STE 710 WASHINGTON, DC 200152040	PERMIT FEE: \$148,587.32
---	---	-----------------------------

Permit Type: Addition Alteration Repair	Existing Use: Museums - A-3	Proposed Use: Single Family Dwelling - R-3	Plans:
--	--------------------------------	---	--------

Agent Name: David C Landsman	Agent Address: 1001 Connecticut Avenue, NW Suite 401 Washington, DC 20036	Existing Dwell Units: 1	Proposed Dwell Units: 1	No. of Stories: 3	Floor(s) Involved: 4
---------------------------------	--	----------------------------	----------------------------	----------------------	-------------------------

Conditions/ Restrictions:

A Wall Test Report is required before the wall reaches a height of 1 foot above footer, or in the case of other vertical construction, when a template or form is located and noted (12 DCMR 109.3.1.2). 1. Gas fired appliances shall be provided combustion air and venting, in accordance with the requirements of Sections G2407 & G2427 of the 2012 IRC. Termination locations to comply with the referenced sections. All IRC section E3706.3 requirements must be met for all panel boards. Motors and appliances rated 18th HP or more shall be provided with disconnects per IRC section E4101.5. Branch circuits cannot be loaded past 80%. New outlets in habitable spaces shall be AFCI per IRC section E3902.12. GFI per IRC section E3902.

This Permit Expires if no Construction is Started Within 1 Year or if the Inspection is Over 1 Year.

All Construction Done According To The Current Building Codes And Zoning Regulations;

As a condition precedent to the issuance of this permit, the owner agrees to conform with all conditions set forth herein, and to perform the work authorized hereby in accordance with the approved application and plans on file with the District Government and in accordance with all applicable laws and regulations of the District of Columbia. The District of Columbia has the right to enter upon the property and to inspect all work authorized by this permit and to require any change in construction which may be necessary to ensure compliance with the permit and with all the applicable regulations of the District of Columbia. Work authorized under this Permit must start within one(1) year of the date appearing on this permit or the permit is automatically void. If work is started, any application for partial refund must be made within six months of the date appearing on this permit.

Lead Paint Abatement

Whenever any such work related to this Permit could result in the disturbance of lead based paint, the permit holder shall abide by all applicable paint activities provisions of the 'Lead Hazard Prevention and Elimination Act of 2008' and the EPA 'Lead Renovation, Repair and Painting rule' regarding lead-based include adherence to lead-safe work practices. For more information, go to http://ddoe.dc.gov, Lead and Healthy Housing.

Director: Melinda Bolling	Permit Clerk: Gwendolyn Owens
------------------------------	----------------------------------



Department of Consumer and Regulatory Affairs

Permit Operations Division
1100 4th Street SW
Washington DC 20024
Tel. [REDACTED] - [REDACTED] Fax [REDACTED]

Permit Source Document
Date: 10/11/2017 9:58 AM
Office: DCRA Term: WFE02-9450
Batch: 52326 Batch Date 10/11/2017
Cashier: OFT08
Trans #: 8

Date: September 29, 2017

INVOICE

Invoice Number: 2491665




DEPARTMENT OF CONSUMER & Rcpt: 02314671
Comment/Document: b1709931
Payment Total: \$128,587.32
Payment Distribution:
6710 CRO (3012) 60300-ops20 \$9,043.87
6710 CRO (3012) 60300-ops20 \$119,543.4
CK Tendered: \$128,587.3

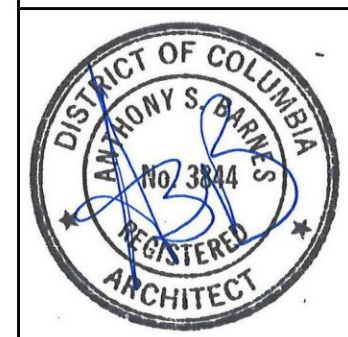
Customer:	THE CHERRY REVOCABLE TRUSTE UNDER TRUST AGREEMENT	
Mailing Address:	5301 WISCONSIN AVE NW STE 710 WASHINGTON, DC 200152040	
Address of Work:	2320 - 2330 S ST NW WASHINGTON, DC 20008	
Permit:	B1709931	
Type of Permit:	Addtion Alteration Repair	
Acct Code:	Fees:	Description:
[REDACTED]	\$106,857.68	Addition / Alteration & Repair Fee
[REDACTED]	\$2,000.00	Enhanced Service Fee - Filing Fee
[REDACTED]	\$8,221.70	Green Building Fee
[REDACTED]	\$10,685.77	Enhanced Services Fee - Permit Fee
3012-30 [REDACTED] 0	\$822.17	Enhanced Service Fee - Green Building
Invoice Total:	\$128,587.32	

Antonio Jones

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for field inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical, Plumbing, etc.

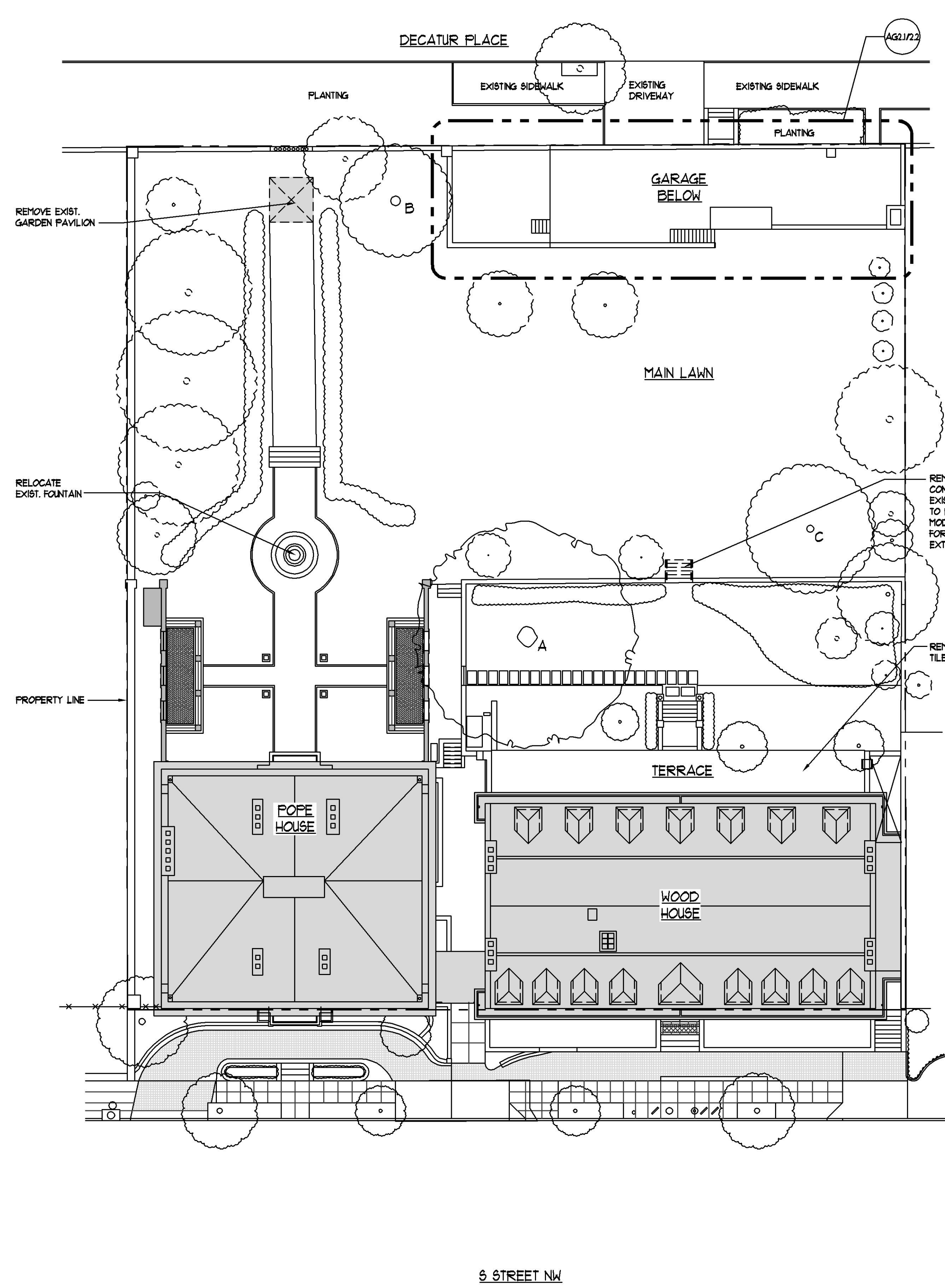
1666

 BARNES VANZE
 ARCHITECTS INC.
 1000 Potomac Street, N.W., Suite L-2
 Washington, D.C. 20007
 TELE: 
 FAX: 



2320 S STREET
 RESIDENCE
 2320-2330 S ST. NW,
 WASHINGTON, DC 20008

DRAWING: ARCHITECTURAL SITE PLANS
 ISSUED: 07/09/17
 PERMIT

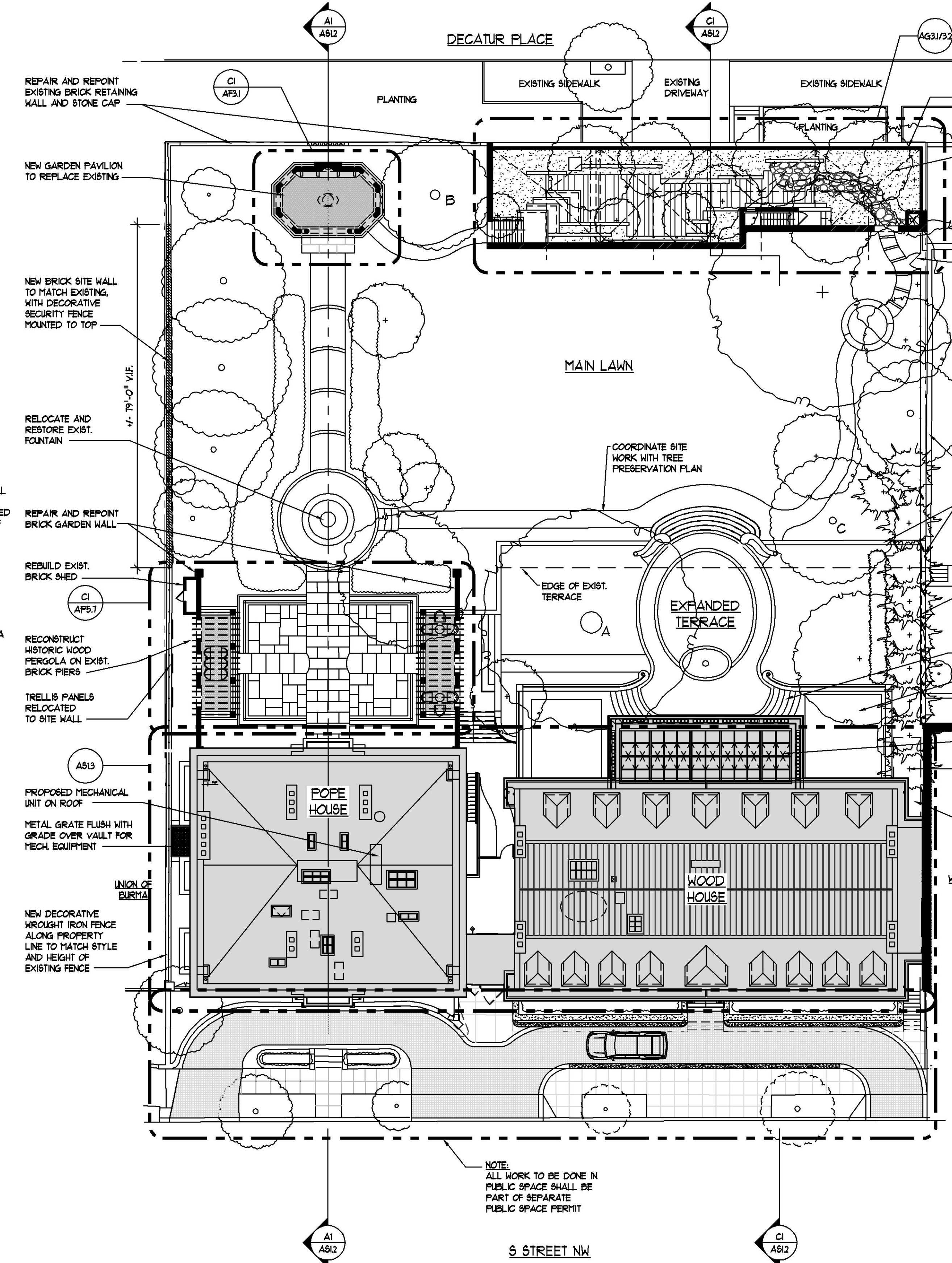
AS1.1



C1
 AS1.1
 DEMOLITION SITE PLAN
 DRAWING SCALE: 1/16" = 1'-0"



DEMOLITION SITE PLAN



C2
 AS1.1
 PROPOSED SITE PLAN
 DRAWING SCALE: 1/16" = 1'-0"



PROPOSED SITE PLAN

NOTE:
 ALL WORK TO BE DONE IN PUBLIC SPACE SHALL BE PART OF SEPARATE PUBLIC SPACE PERMIT

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

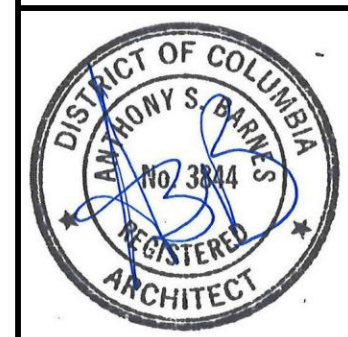
HPRB Review - Steve Callcott - 09-27-2017
 Structural Review - Abdul Muzikr - 09-27-2017
 Elevator Review - Luchi Lu - 09-27-2017
 Fire Review - Luchi Lu - 09-27-2017
 DOEE SE-SW Review - Charles Edwards - 09-27-2017
 Mechanical Review - Alec Petrillo-Groh - 09-27-2017
 Plumbing Review - Alec Petrillo-Groh - 09-27-2017
 Energy Review - Robert Campbell - 09-27-2017
 Electrical Review - Saima Dar - 09-27-2017

1666

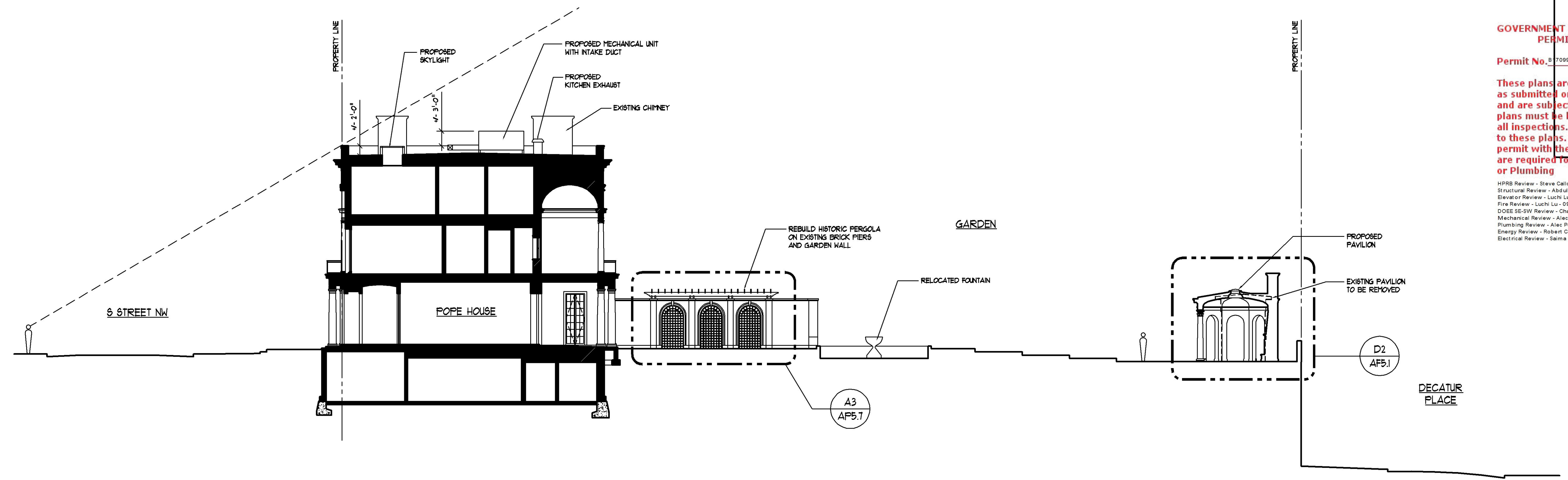


BARNES VANZE
ARCHITECTS INC.
 1000 Potomac Street, N.W.,
 Suite L-2
 Washington, D.C. 20007

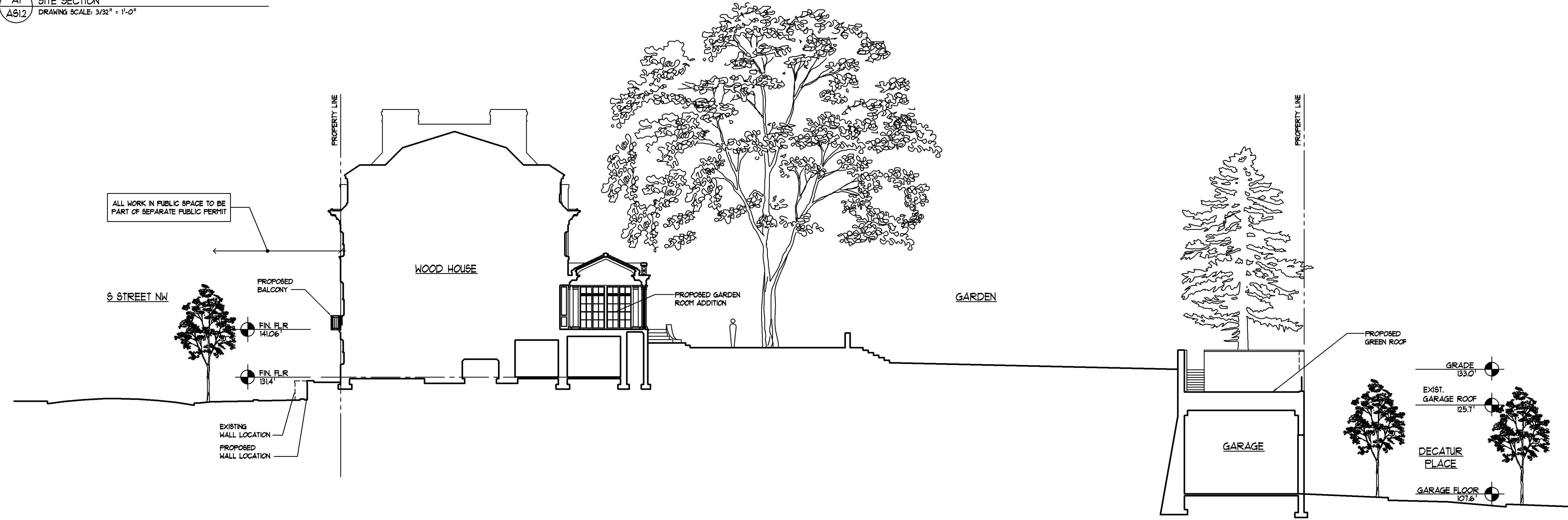
TELE:
 FAX:



**2320 S STREET
 RESIDENCE**
 2320-2330 S ST. NW,
 WASHINGTON, DC 20008



A1 SITE SECTION
 A312 DRAWING SCALE: 3/32" = 1'-0"



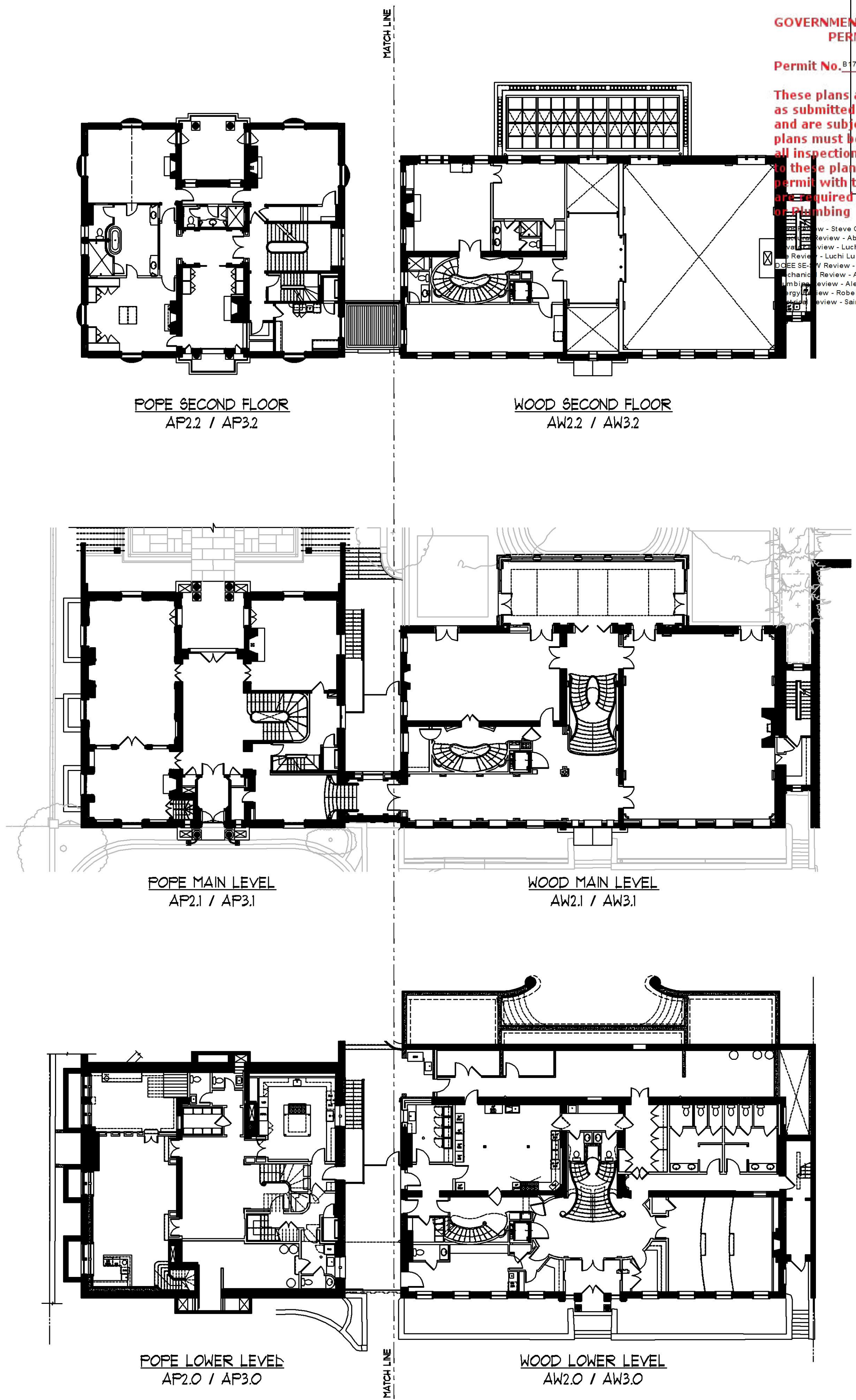
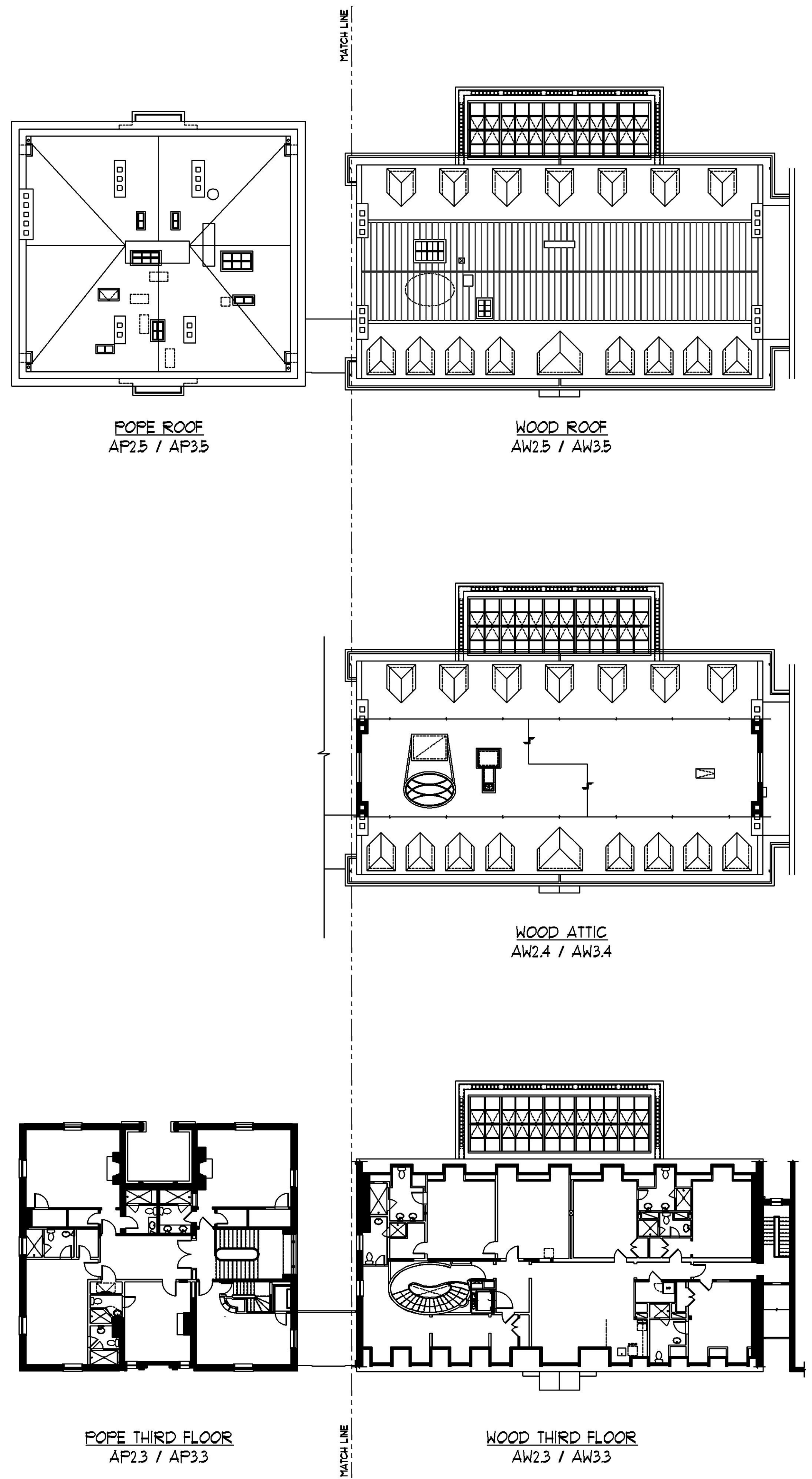
C1 SITE SECTION
 A312 DRAWING SCALE: 3/32" = 1'-0"

ALL WORK IN PUBLIC SPACE TO BE PART OF SEPARATE PUBLIC PERMIT

DRAWING: SITE SECTIONS

ISSUED:	07/09/17
PERMIT:	

A312



GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. B 709931 Date 09/27/17

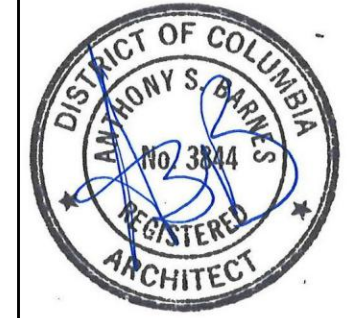
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical, Plumbing

- Review - Steve Callcott - 09-27-2017
- Review - Abdul Muzikr - 09-27-2017
- Review - Luchi Lu - 09-27-2017
- Review - Luchi Lu - 09-27-2017
- Review - Charles Edwards - 09-27-2017
- Review - Alec Petrillo-Groh - 09-27-2017
- Review - Alec Petrillo-Groh - 09-27-2017
- Review - Robert Campbell - 09-27-2017
- Review - Saima Dar - 09-27-2017

1666

BARNES VANZE
ARCHITECTS INC.
1000 Potomac Street, N.W.,
Suite L-2
Washington, D.C. 20007

TELE:
FAX:



**2320 S STREET
RESIDENCE**
2320-2330 S ST. NW,
WASHINGTON, DC 20008

DRAWING: ARCHITECTURAL KEY PLANS	
ISSUED: 07/09/17	
PERMIT	

AS1.3

DOOR SCHEDULE - POPE HOUSE

Table with columns: DOOR, DOOR SIZE, TYPE, MATERIAL, BILL, INTERIOR FINISH, EXTERIOR FINISH, HARDWARE FUNCTION, NOTES. Includes sections for LOWER LEVEL, FIRST FLOOR, and SECOND FLOOR.

DOOR SCHEDULE - POPE HOUSE - CONTINUED

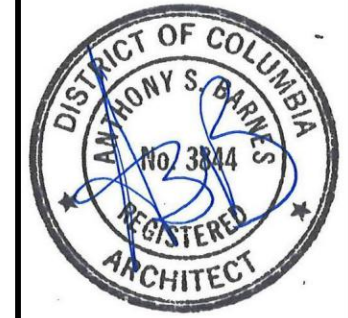
Table with columns: DOOR, DOOR SIZE, TYPE, MATERIAL, BILL, INTERIOR FINISH, EXTERIOR FINISH, HARDWARE FUNCTION, NOTES. Includes sections for THIRD FLOOR, DOOR TYPE LEGEND, GENERAL NOTES, INTERIOR DOOR DESCRIPTION, EXTERIOR DOOR DESCRIPTION, and HARDWARE NOTES.

GOVERNMENT OF THE DISTRICT OF COLUMBIA PERMIT OPERATIONS DIVISION PLANS APPROVED Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRE Review - Steve Callcott - 09-27-2017 Structural Review - Abdul Muzikr - 09-27-2017 Elevator Review - Lucretia Lu - 09-27-2017 Fire Review - Lucretia Lu - 09-27-2017 DOEE SE-SW Review - Charles Edwards - 09-27-2017 Mechanical Review - Alec Petrillo-Groh - 09-27-2017 Plumbing Review - Alec Petrillo-Groh - 09-27-2017 Energy Review - Robert Campbell - 09-27-2017 Electrical Review - Saima Dar - 09-27-2017

1666 BARNES VANZE ARCHITECTS INC. 1000 Potomac Street, N.W. Suite L-2 Washington, D.C. 20007 TELE: FAX:



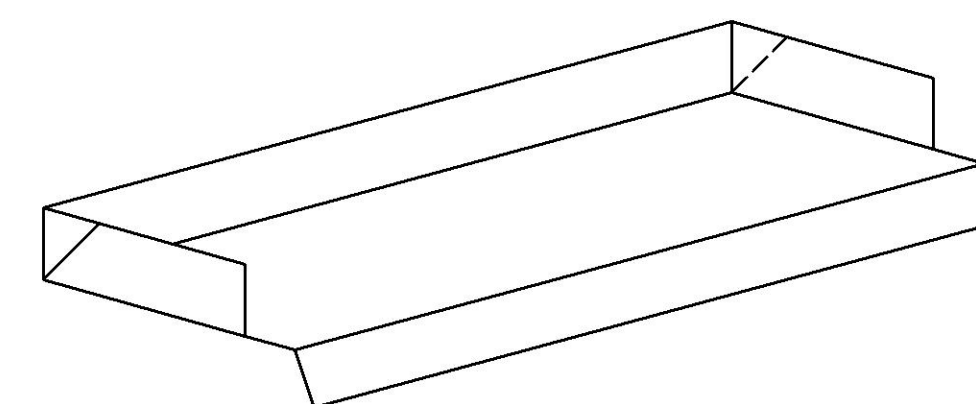
2320 S STREET RESIDENCE 2320-2330 S ST. N.W. WASHINGTON, DC 20008

DRAWING: DOOR SCHEDULE - POPE ISSUED: 07/02/17 PERMIT

WINDOW SCHEDULE - POPE HOUSE											
WINDOW	SASH SIZE	TYPE	MATERIAL	INTERIOR FINISH	EXTERIOR FINISH	SILL	CODE NOTES	HARDWARE	HEAD/JAMB/SILL DETAILS	NOTES	
LOWER LEVEL											
P001	(2) 2'-0" x 3'-5"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
P002	(2) 2'-0" x 3'-5"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
P003	2'-2" x 2'-7"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
P004a	(2) 2'-0" x 3'-3"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
P004b	(2) 2'-0" x 3'-2 1/2"		WOOD	PTD	PTD					DECORATIVE WINDOWS, SEE INTERIOR ELEVATIONS	
P005a	(2) 2'-0" x 3'-3"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
P005b	(2) 2'-0" x 3'-3"		WOOD	PTD	PTD					DECORATIVE WINDOWS, SEE INTERIOR ELEVATIONS	
P006a	(2) 2'-2" x 3'-10"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
P006b	(2) 2'-2" x 3'-10"		WOOD	PTD	PTD					DECORATIVE WINDOWS, SEE INTERIOR ELEVATIONS	
P007a	(2) 3'-2" x 3'-10"	DOUBLE HUNG	WOOD	PTD	PTD					NEW WINDOWS TO REPLACE DOOR/WINDOW COMBO UNIT.	
P007b	(2) 3'-2" x 3'-10"		WOOD	PTD	PTD					DECORATIVE WINDOWS, SEE INTERIOR ELEVATIONS	
P008	2'-0" x 4'-6"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
P009	2'-0" x 4'-6"	DOUBLE HUNG	WOOD	PTD	PTD					NEW LARGER WINDOW IN EXIST. OPENING. REMOVE TRANSOM	
P010	(3) 1'-4" x 2'-9"		WOOD	PTD	PTD					DECORATIVE WINDOWS, SEE INTERIOR ELEVATIONS	
FIRST FLOOR											
F101	4'-8" x 10'-2"	DOUBLE HUNG	WOOD	PTD	PTD					BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE #7	
F102	1'-4" x 4'-0"	CASEMENT	WOOD	PTD	PTD					SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE #7	
F103	1'-4" x 4'-0"	CASEMENT	WOOD	PTD	PTD					SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE #7	
F104	4'-8" x 10'-2"	DOUBLE HUNG	WOOD	PTD	PTD					BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE #7	
F105	NOT USED										
F106	(2) 2'-2" x 3'-9"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F107	4'-8" x 10'-2"	DOUBLE HUNG	WOOD	PTD	PTD					REPAIR MISSING GLASS PANE	
F108	4'-8" x 10'-2"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F109	4'-8" x 10'-2"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F110	4'-8" x 10'-2"	DOUBLE HUNG	WOOD	PTD	PTD					BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE #7, REPAIR MISSING GLASS PANE.	
F111	4'-8" x 10'-2"	DOUBLE HUNG	WOOD	PTD	PTD					BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE #7, REPAIR MISSING GLASS PANE.	
F112	4'-8" x 10'-2"	DOUBLE HUNG	WOOD	PTD	PTD					BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE #7, REPAIR MISSING GLASS PANE.	
SECOND FLOOR											
F201	4'-8" x 8'-10"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F202	1'-4" x 8'-8"	CASEMENT	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F203	5'-0" x 8'-8"	CASEMENT	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F204	1'-4" x 8'-8"	CASEMENT	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F205	4'-8" x 8'-10"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F206	4'-8" x 8'-10"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F207	5'-0" x 4'-9" w/ 1'-5" SIDELITES	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F208	4'-8" x 8'-10"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F209	4'-8" x 8'-10"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F210	2'-8" x 4'-5"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F211	2'-8" x 4'-5"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F212	4'-8" x 8'-10"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F213	4'-8" x 8'-10"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F214	2'-10" x 4'-9"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F215	2'-10" x 4'-9"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F216	4'-8" x 8'-10"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
THIRD FLOOR											
F301	3'-10" x 5'-1"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F302	2'-0" x 3'-0"	OVAL CASEMENT	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F303	2'-0" x 3'-0"	OVAL CASEMENT	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F304	3'-10" x 5'-1"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F305	3'-10" x 5'-1"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F306	4'-2" x 4'-5" w/ 1'-2" SIDELITES		WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F307	3'-10" x 5'-1"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F308	3'-10" x 5'-1"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F309	3'-10" x 5'-1"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F310	3'-10" x 5'-1"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F311	3'-6" x 4'-9"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
F312	3'-10" x 5'-1"	DOUBLE HUNG	WOOD	PTD	PTD					EXISTING, VERIFY SIZE IN FIELD	
ROOF											
R401	2'-0" x 4'-0"	SKYLIGHT	-	PTD	PTD					WITH NEW CUSTOM PTD. WD. LAYLIGHT	
R402	2'-0" x 4'-0"	SKYLIGHT	-	PTD	PTD					WITH NEW CUSTOM PTD. WD. LAYLIGHT	
R403	4'-8" x 6'-8"	SKYLIGHT	-	PTD	PTD					WITH NEW CUSTOM PTD. WD. LAYLIGHT	
R404	5'-0" x 7'-0"	SKYLIGHT	-	PTD	PTD					WITH NEW CUSTOM PTD. WD. LAYLIGHT	
R405	3'-1" x 4'-9"	SKYLIGHT	-	PTD	PTD					WITH NEW CUSTOM PTD. WD. LAYLIGHT	
R406	2'-0" x 4'-0"	SKYLIGHT	-	PTD	PTD					WITH NEW CUSTOM PTD. WD. LAYLIGHT	
R407	2'-8" x 4'-9"	SKYLIGHT	-	PTD	PTD					WITH NEW CUSTOM PTD. WD. LAYLIGHT	

C1 WINDOW SCHEDULE - POPE HOUSE
A13 N.T.S.

WINDOW SCHEDULE - POPE HOUSE CONTINUED	
GENERAL NOTES: SEE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION	
1	SEE SPECIFICATIONS FOR WINDOW ALLOWANCES, IF ANY.
2	WINDOWS ARE TO BE RESTORED TO OPERABLE UNLESS OTHERWISE NOTED.
3	WINDOWS AND EXTERIOR DOORS SHALL BE PROVIDED BY THE SAME MANUFACTURER.
4	CONTRACTOR IS RESPONSIBLE FOR COORDINATING REQUIRED JAMB DEPTHS AND FOR PROVIDING JAMB EXTENSIONS WHERE NECESSARY FOR WALL THICKNESS SHOWN.
5	SIZES ARE GIVEN FOR REFERENCE ONLY AND SHOULD BE VERIFIED IN FIELD.
6	ALL HISTORIC FABRIC IS TO BE PROTECTED AND LEFT INTACT WHERE POSSIBLE.
7	WINDOW TO HAVE FIXED INTERIOR STEEL SECURITY SHUTTER WITH SECURITY GLASS.
8	RESET ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8" PER FOOT SLOPE TO EXTERIOR.
9	REMOVE ALL EXISTING WINDOWS, EXTERIOR DOORS, AND FRAMES. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8" SLOPE TO EXTERIOR. LINE OPENINGS WITH VAPOR SEMI-IMPERMEABLE FLUID WATER CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, EXTERIOR DOORS, AND FRAMES.
10	ALL GLASS TO BE STANDARD CLEAR, DOUBLE-PANE INSULATED, TEMPERED, ARGON FILLED, LOW "E" (0.35 "U" VALUE MINIMUM, TYP)
11	ALL SKYLIGHT GLAZING TO HAVE A 0.35 "U" VALUE, AND AN SOLAR HEAT GAIN COEFFICIENT (SHGC) VALUE OF 0.30
12	FENESTRATION IN THERMALLY ISOLATED SUNROOMS TO HAVE A MAXIMUM "U" VALUE OF 0.45, ALL OTHER SUNROOM FENESTRATION TO MEET CODE REQUIREMENTS.
13	SKYLIGHTS IN A THERMALLY ISOLATED SUNROOM TO HAVE A MAXIMUM "U" VALUE OF 0.7, ALL OTHER SUNROOM SKYLIGHTS TO MEET CODE REQUIREMENTS.
14	FENESTRATION WILL MEET AAMA/MDMA/CESA 101/18, 2/4440 OR DOES NOT EXCEED CODE LIMITS PER NFRC 400.
WINDOW DESCRIPTION	
1	ALL WINDOW DETAILS, INCLUDING CASING AND MUNTIN STYLE, SHALL MATCH EXISTING.
2	PROVIDE PRICING FOR TISCHLER 052 SERIES, MG, ASSELIN, HOPES, OR EQ CUSTOM MAHOGANY WINDOWS TME WHERE REQUIRED AT REPLACEMENTS.
HARDWARE NOTES	
1	ALL WINDOW HARDWARE IS TO BE CLEANED AND MADE OPERABLE. HARDWARE SHALL BE REPLACED WHERE IT IS MISSING TME.
2	PROVIDE SAMPLES OF ALL HARDWARE FOR ARCHITECT AND OWNER REVIEW AND APPROVAL PRIOR TO FABRICATION.



FLASHING W/ THREE SIDES TURNED UP TO FORM PAN

C2 DETAIL OF SILL FLASHING
A13 NOT TO SCALE

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 8709931 Date 09/27/17
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision stamped with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

HPRB Review - Steve Callcott - 09-27-2017
Structural Review - Abdul Muzikr - 09-27-2017
Elevator Review - Luchi Lu - 09-27-2017
Fire Review - Luchi Lu - 09-27-2017
DOE SE-SW Review - Charles Edwards - 09-27-2017
Mechanical Review - Alec Petrillo-Groh - 09-27-2017
Plumbing Review - Alec Petrillo-Groh - 09-27-2017
Energy Review - Robert Campbell - 09-27-2017
Electrical Review - Saima Dar - 09-27-2017

1666
BARNES VANZE
ARCHITECTS INC.
1000 Potomac Street, N.W.
Suite L-2
Washington, D.C. 20007
TELE: [REDACTED]
FAX: [REDACTED]



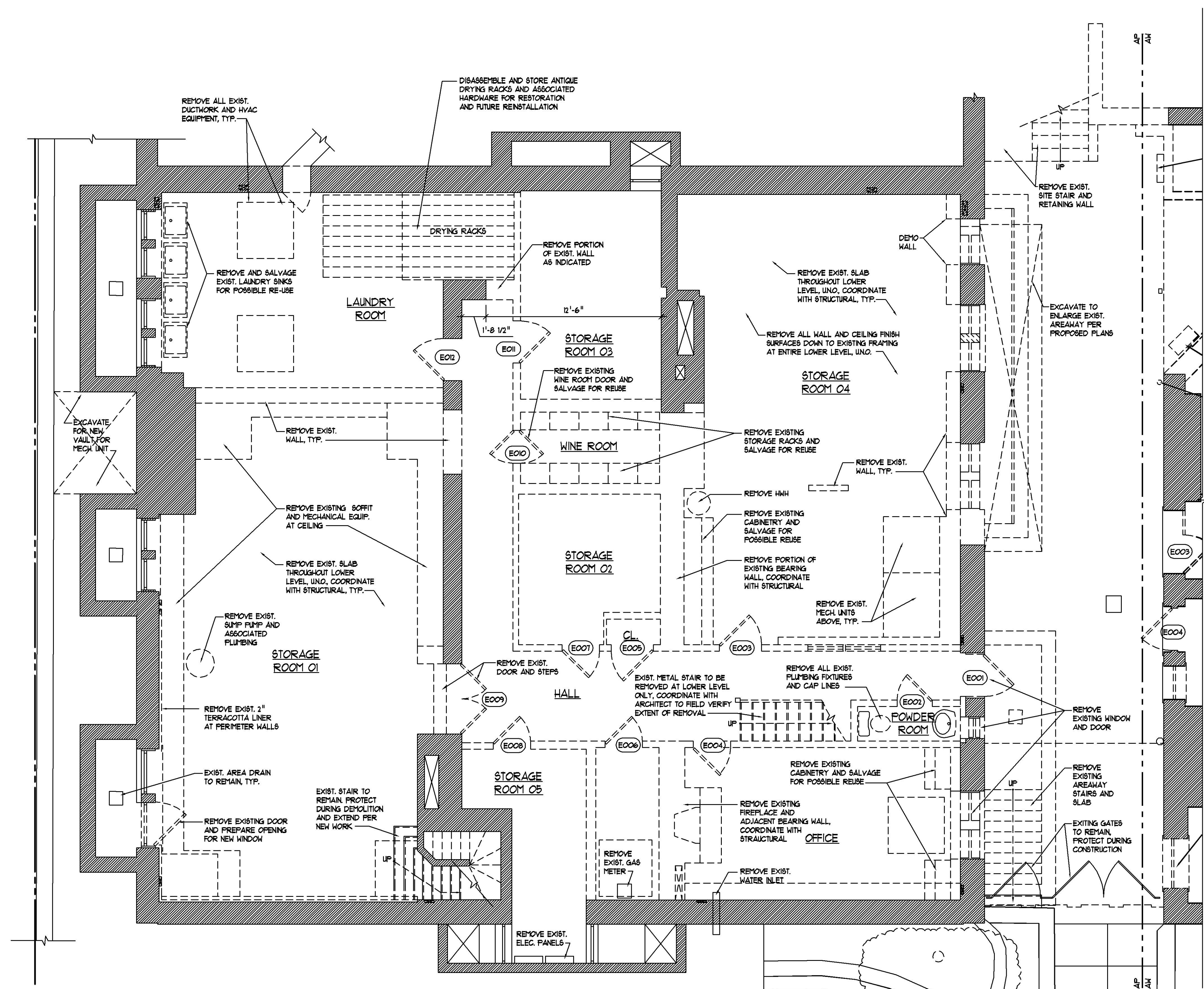
2320 S STREET
RESIDENCE
2320-2330 S ST. NW.
WASHINGTON, DC 20008

DRAWING: WINDOW SCHEDULE - POPE
ISSUED: 07/05/17

AP1.3

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8 709931 Date 09/27/17

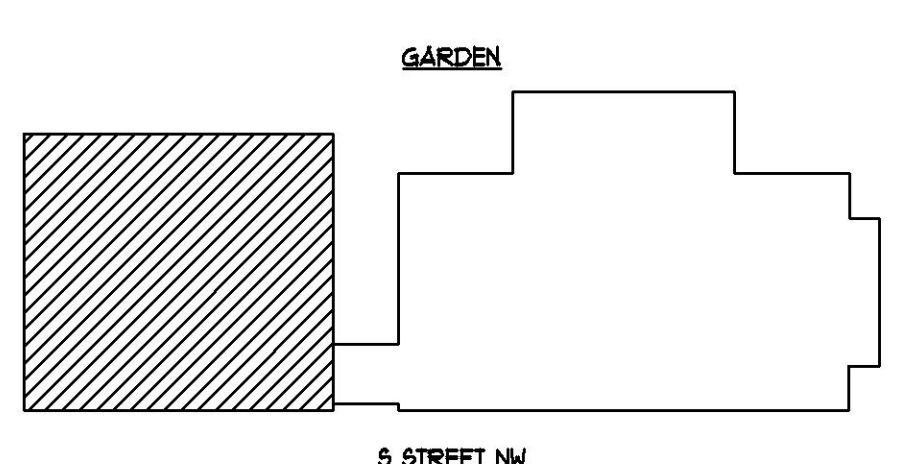
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing



DEMOLITION LEGEND:

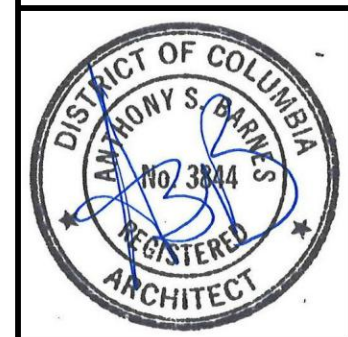
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED

- DEMOLITION NOTES:**
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION MEANS & METHODS, JOB SAFETY, & CONFORMANCE TO CODES
 - GENERAL CONTRACTOR SHALL BRING TO ARCHITECT'S OR OWNER'S ATTENTION ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWING INTENT
 - REMOVE ALL UNUSED PLUMBING LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE
 - REMOVE ALL UNUSED ELECTRICAL LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE
 - GENERAL CONTRACTOR SHALL LOCATE ALL WATER SHUT-OFFS AND CUT OFF TO ALL PLUMBING FIXTURES TO BE DEMOLISHED
 - SUPPLY, VENT AND WASTE LINES IN WALLS TO BE DEMOLISHED AND CAPPED
 - REMOVE ALL EXISTING WALL AND CEILING FINISHES DOWN TO EXISTING FRAMING
 - REMOVE ALL EXISTING HVAC DUCTS AND EQUIPMENT
 - REMOVE SOIL AS REQUIRED TO ALLOW 6" GRAVEL BASE BELOW ALL NEW CONCRETE SLABS
 - SALVAGE ALL EXISTING INTERIOR DOORS BEING REMOVED FOR POSSIBLE REUSE (POPE HOUSE ONLY).
 - PROTECT ALL HISTORIC FABRIC, AREAS AND FIXTURES SLATED TO REMAIN DURING ALL PHASES OF CONSTRUCTION. COORDINATE WITH ARCHITECT.
 - REMOVE ALL EXISTING CONCRETE SLABS AT LOWER LEVELS OF POPE HOUSE AND WOOD HOUSE. COORDINATE WITH STRUCTURAL DRAWINGS FOR EXTENT OF REMOVAL REQUIRED FOR UNDERPINNING OF EXISTING LOWER LEVEL WALLS.
 - REMOVE EXISTING 2" TERRACOTTA TILE WALL LINER ALONG PERIMETER WALL, COORDINATE WITH STRUCTURAL
 - REMOVE ALL EXISTING WINDOWS, EXTERIOR DOORS, AND FRAMES. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8" TO 1/2" SLOPE TO EXTERIOR. LINE OPENINGS WITH VAPOR SEMI-IMPERMEABLE FLUID WATER CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, DOORS, AND FRAMES.



1666

BARNES VANZE ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007
 TELE: [REDACTED]
 FAX: [REDACTED]



2320 S STREET RESIDENCE
 2320-2330 S ST. NW.
 WASHINGTON, DC 20008

CI LOWER LEVEL DEMOLITION PLAN - POPE HOUSE
 DRAWING SCALE: 1/4" = 1'-0"

DRIVING: DEMOLITION PLAN - LOWER LEVEL POPE
 ISSUED: 07/09/17
 PERMIT

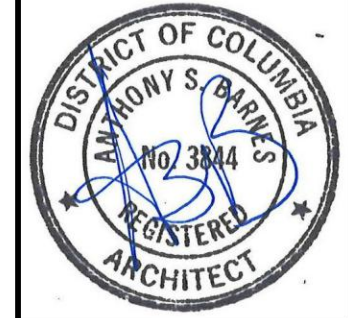
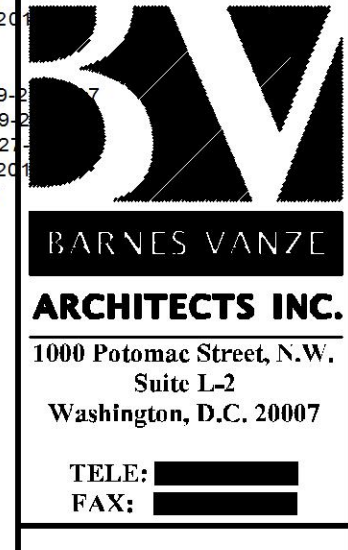
DEMOLITION POPE HOUSE LOWER LEVEL

AP2.0

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

1666

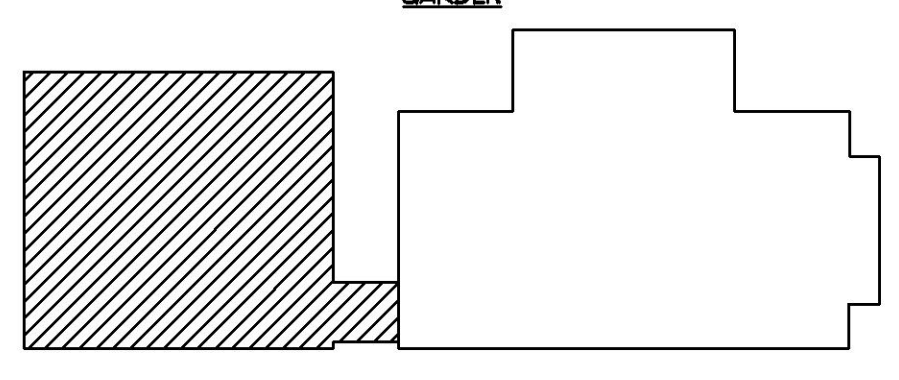


2320 S STREET
RESIDENCE
2320-2330 S ST. NW.
WASHINGTON, DC 20008

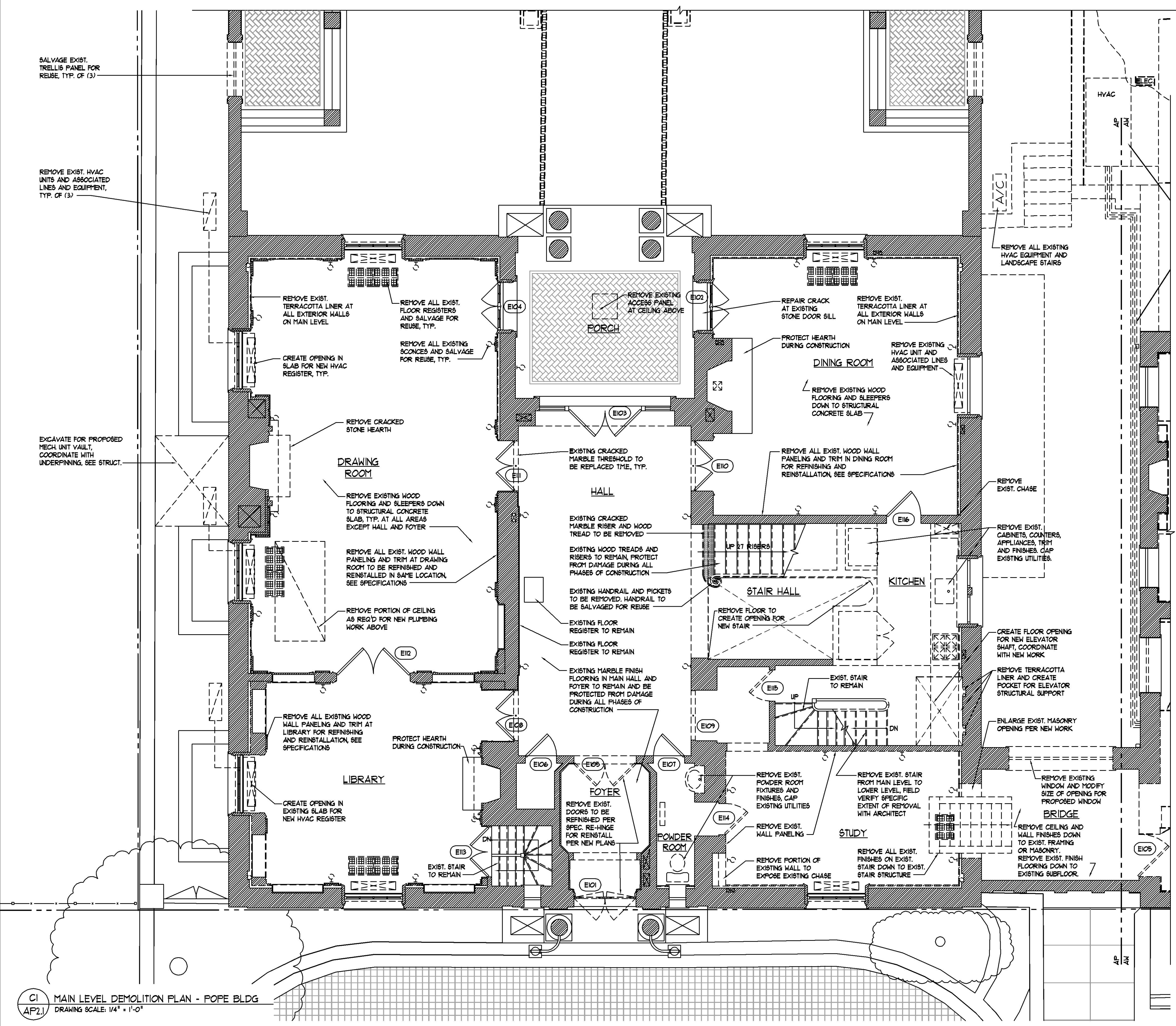
DEMOLITION LEGEND:

	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED

- DEMOLITION NOTES:**
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION MEANS & METHODS, JOB SAFETY, & CONFORMANCE TO CODES
 - GENERAL CONTRACTOR SHALL BRING TO ARCHITECT'S OR OWNER'S ATTENTION ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWING INTENT
 - REMOVE ALL UNUSED PLUMBING LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE
 - REMOVE ALL UNUSED ELECTRICAL LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE
 - GENERAL CONTRACTOR SHALL LOCATE ALL WATER SHUT-OFFS AND CUT OFF TO ALL PLUMBING FIXTURES TO BE DEMOLISHED
 - REMOVE SUPPLY, VENT AND WASTE LINES IN HALLS TO BE DEMOLISHED AND CAP
 - REMOVE ALL EXISTING HVAC DUCTS AND EQUIPMENT. SAVE HVAC REGISTERS FOR POSSIBLE REUSE
 - REMOVE SOIL AS REQUIRED TO ALLOW 6" GRAVEL BASE BELOW ALL NEW CONCRETE SLABS
 - SALVAGE ALL EXISTING INTERIOR DOORS BEING REMOVED FOR POSSIBLE REUSE (POPE HOUSE ONLY).
 - PROTECT ALL HISTORIC FABRIC, AREAS AND FIXTURES SLATED TO REMAIN DURING ALL PHASES OF CONSTRUCTION. COORDINATE WITH ARCHITECT.
 - PROTECT ALL EXISTING FIREPLACE MANTELS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION. FIELD VERIFY CONDITION OF ALL FIREPLACE HEARTHES AND FLUES. COORDINATE WITH DESIGN TEAM FOR REPLACEMENT WHERE REQUIRED, TYP.
 - REMOVE ALL EXISTING WINDOWS, EXTERIOR DOORS, AND FRAMES. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8" TO 1/2" SLOPE TO EXTERIOR. LINE OPENINGS WITH VAPOR SEMI-IMPERMEABLE FLUID WATER CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, DOORS, AND FRAMES.



DEMOLITION POPE HOUSE
MAIN LEVEL



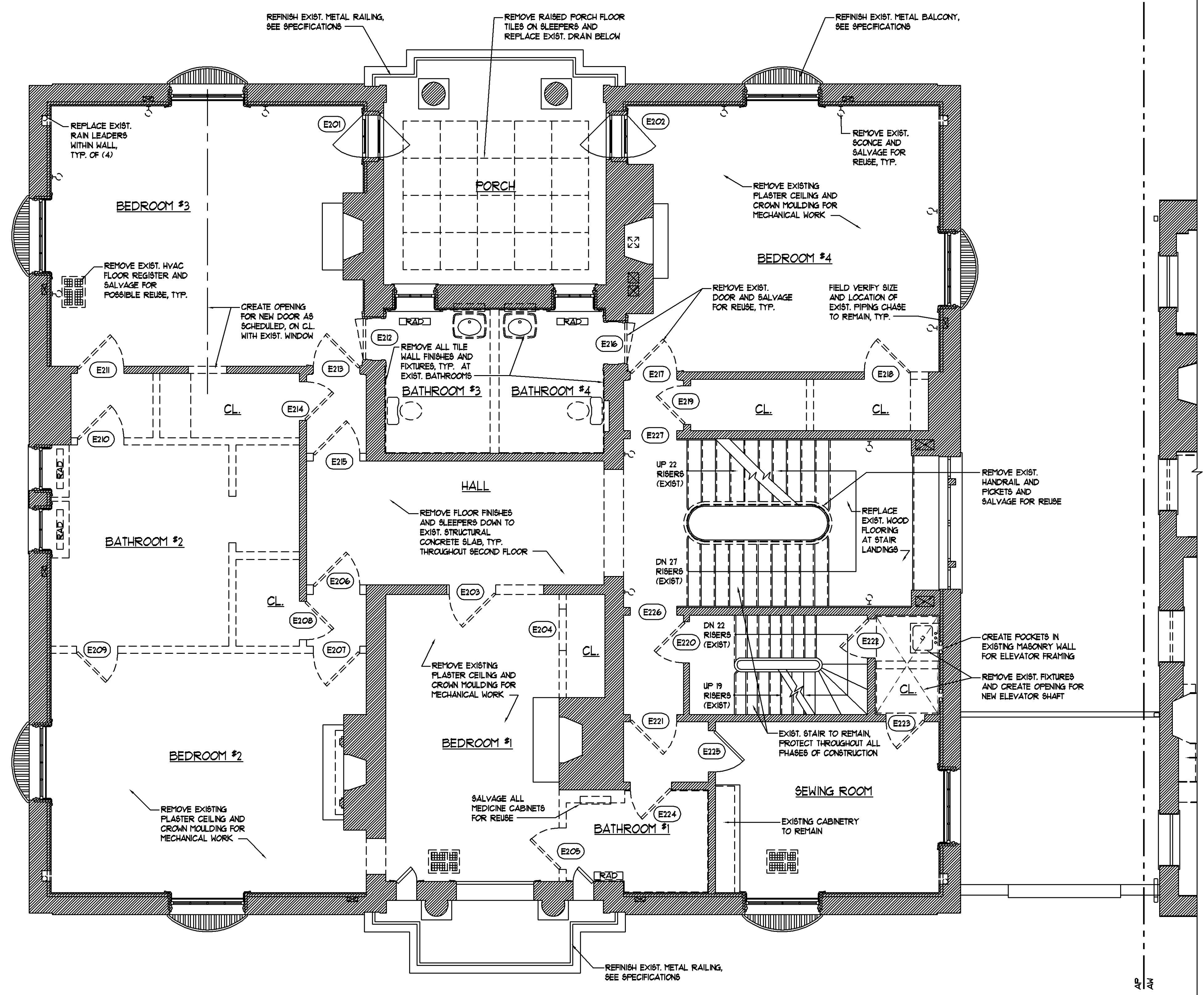
C1 MAIN LEVEL DEMOLITION PLAN - POPE BLDG
AP2.1 DRAWING SCALE: 1/4" = 1'-0"

DRAWING: DEMOLITION PLAN - MAIN LEVEL POPE
ISSUED: 07/09/17
PERMIT

AP2.1

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8709931 Date 09/27/17

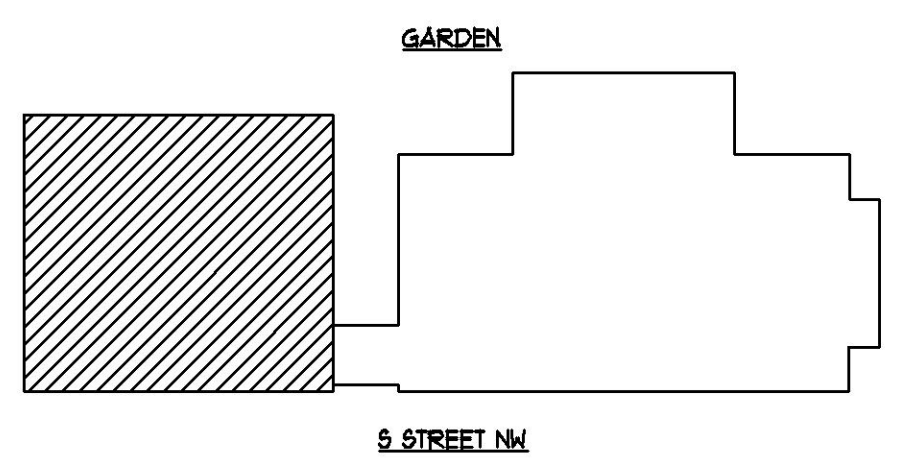
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing



DEMOLITION LEGEND:

	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED

- DEMOLITION NOTES:**
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION MEANS & METHODS, JOB SAFETY, & CONFORMANCE TO CODES
 - GENERAL CONTRACTOR SHALL BRING TO ARCHITECT'S OR OWNER'S ATTENTION ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWING INTENT
 - REMOVE ALL UNUSED PLUMBING LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE
 - REMOVE ALL UNUSED ELECTRICAL LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE
 - GENERAL CONTRACTOR SHALL LOCATE ALL WATER SHUT-OFFS AND CUT OFF TO ALL PLUMBING FIXTURES TO BE DEMOLISHED
 - REMOVE SUPPLY, VENT AND WASTE LINES IN WALLS TO BE DEMOLISHED AND CAP
 - REMOVE ALL EXISTING PEDESTAL SINKS AND MEDICINE CABINETS AND SALVAGE FOR REUSE
 - REMOVE ALL EXISTING HVAC DUCTS AND EQUIPMENT
 - SALVAGE ALL EXISTING INTERIOR DOORS BEING REMOVED FOR POSSIBLE REUSE (POPE HOUSE ONLY)
 - PROTECT ALL HISTORIC FABRIC, AREAS AND FIXTURES SLATED TO REMAIN DURING ALL PHASES OF CONSTRUCTION. COORDINATE WITH ARCHITECT.
 - REMOVE TILE IN ALL BATHROOMS. EXISTING WOOD AND PLASTER TRIM TO REMAIN
 - PROTECT ALL TRIM IN PLACE WHERE OPENINGS ARE TO REMAIN
 - REMOVE ALL EXISTING FLOOR FINISHES AND SLEEPERS DOWN TO EXISTING STRUCTURAL CONCRETE SLAB UND.
 - PROTECT EXISTING BASE AND CEILING TRIM FROM DAMAGE WHERE WALLS ARE TO REMAIN
 - REMOVE ALL EXISTING WINDOWS, EXTERIOR DOORS, AND FRAMES. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8" SLOPE TO EXTERIOR. LINE OPENINGS WITH VAPOR SEMI-IMPERMEABLE FLUID WATER CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, DOORS, AND FRAMES.
 - FIELD VERIFY CONDITION OF ALL FIREPLACE HEARTHES AND FLUES. COORDINATE WITH DESIGN TEAM FOR REPLACEMENT WHERE REQUIRED, TYP.

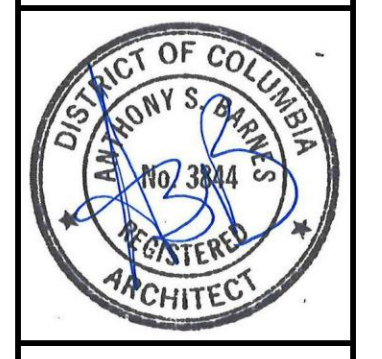


CI SECOND FLOOR DEMOLITION PLAN - POPE HOUSE
 AF2.2 DRAWING SCALE: 1/4" = 1'-0"

DEMOLITION POPE HOUSE
 SECOND FLOOR

1666

ARCHITECTS INC.
 1000 Potomac Street, N.W., Suite L-2
 Washington, D.C. 20007
 TELE: [REDACTED]
 FAX: [REDACTED]



2320 S STREET RESIDENCE
 2320-2330 S ST. NW.
 WASHINGTON, DC 20008

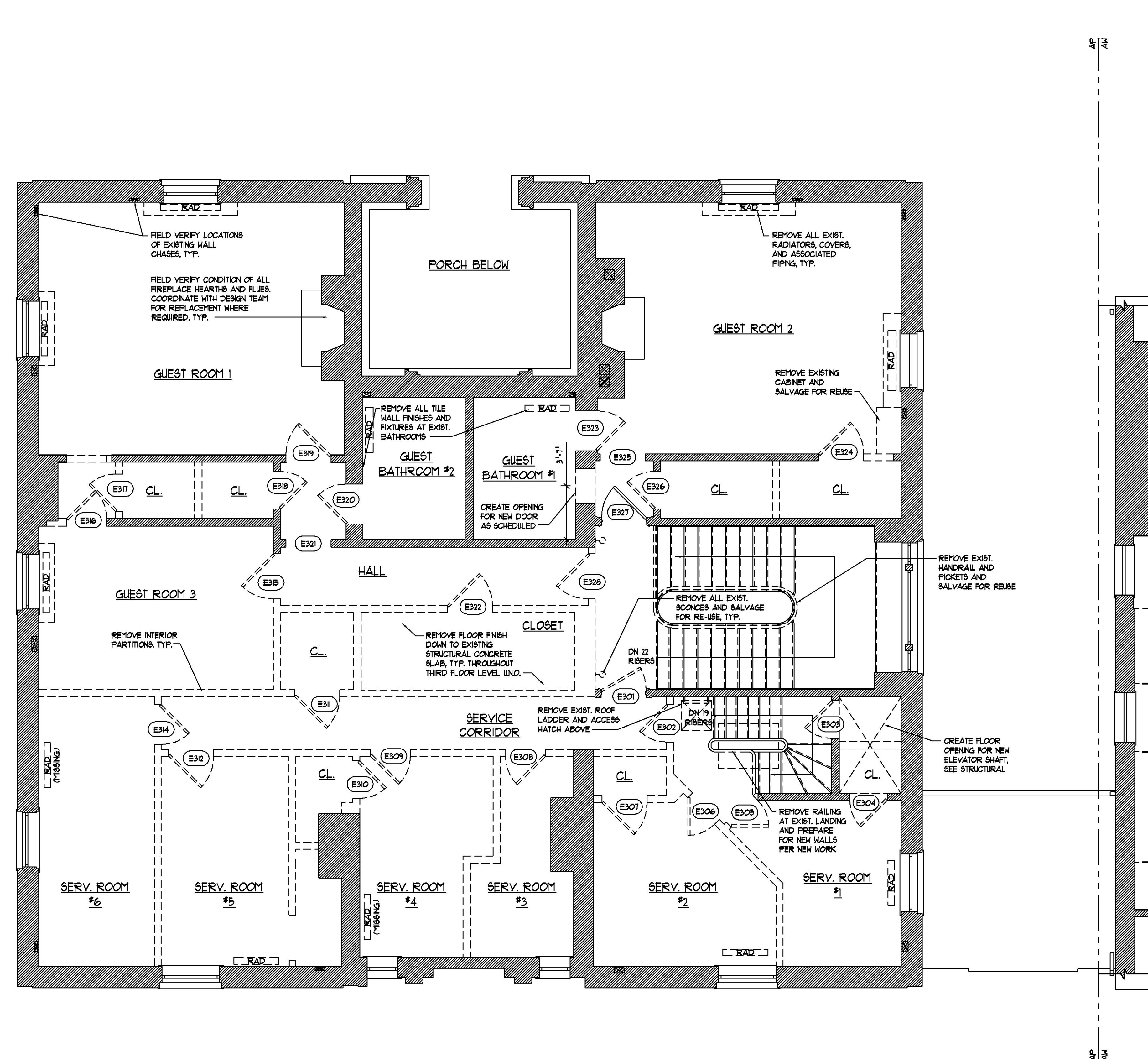
DRAWING: DEMOLITION PLAN - SECOND FLOOR POPE

ISSUED:	07/09/17
PERMIT:	

AP2.2

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8 709931 Date 09/27/17

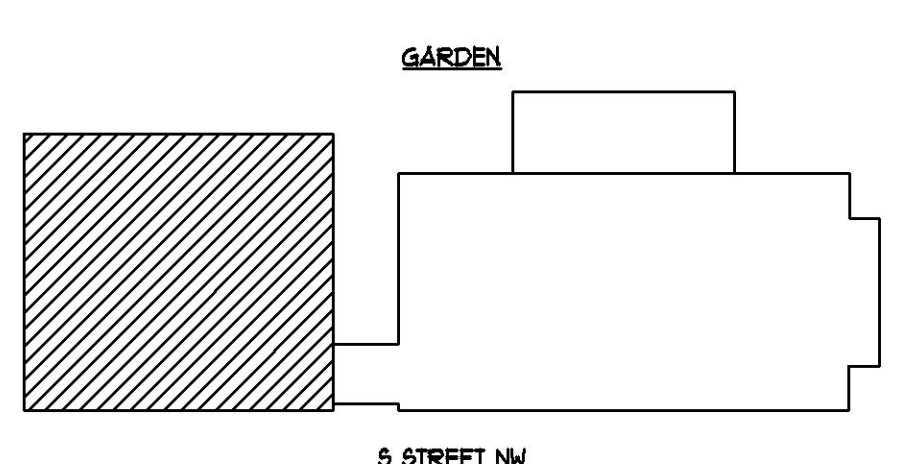
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing



DEMOLITION LEGEND:

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED

- DEMOLITION NOTES:**
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION MEANS & METHODS, JOB SAFETY, & CONFORMANCE TO CODES
 - GENERAL CONTRACTOR SHALL BRING TO ARCHITECT'S OR OWNER'S ATTENTION ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWING INTENT
 - REMOVE ALL UNUSED PLUMBING LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE
 - REMOVE ALL UNUSED ELECTRICAL LINES AND SURFACE MOUNTED WIRING WHERE ACCESSIBLE AND PROPERLY TERMINATE
 - GENERAL CONTRACTOR SHALL LOCATE ALL WATER SHUT-OFFS AND CUT OFF TO ALL PLUMBING FIXTURES TO BE DEMOLISHED
 - EXIST. SUPPLY, VENT AND WASTE LINES IN WALLS TO BE DEMOLISHED AND CAPPED
 - REMOVE ALL EXISTING HVAC DUCTS AND EQUIPMENT.
 - SALVAGE ALL EXISTING INTERIOR DOORS BEING REMOVED FOR POSSIBLE REUSE (POPE HOUSE ONLY).
 - PROTECT ALL HISTORIC FABRIC, AREAS, FIXTURES, AND TRIM AT ALL LOCATIONS NOTED TO REMAIN, DURING ALL PHASES OF CONSTRUCTION. COORDINATE WITH ARCHITECT.
 - REMOVE TILE IN ALL BATHROOMS. EXISTING WOOD AND PLASTER TRIM TO REMAIN.
 - REMOVE ALL FLOOR FINISHES AND SLEEPERS TO EXISTING STRUCTURAL CONCRETE SLAB, TYP. THROUGHOUT POPE HOUSE THIRD FLOOR LEVEL UNO.
 - REMOVE ALL EXISTING WINDOWS, EXTERIOR DOORS, AND FRAMES. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE DRAINAGE INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8" TO 1/2" SLOPE TO EXTERIOR. LINE OPENINGS WITH VAPOR SEMI-IMPERMEABLE FLUID WATER CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, DOORS, AND FRAMES.
 - FIELD VERIFY CONDITION OF ALL FIREPLACE HEARTHES AND FLUES. COORDINATE WITH DESIGN TEAM FOR REPLACEMENT WHERE REQUIRED, TYP.

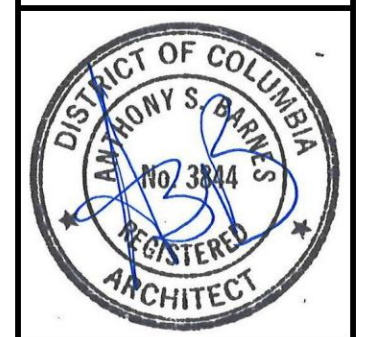


CI THIRD FLOOR DEMOLITION PLAN - POPE BLDG
 AF2.3 DRAWING SCALE: 1/4" = 1'-0"

DEMOLITION
 POPE HOUSE
 THIRD FLOOR

1666

BARNES VANZE
ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007
 TELE:
 FAX:



2320 S STREET
RESIDENCE
 2320-2330 S ST. NW.
 WASHINGTON, DC 20008




DRAWING: DEMOLITION PLAN - THIRD FLOOR POPE

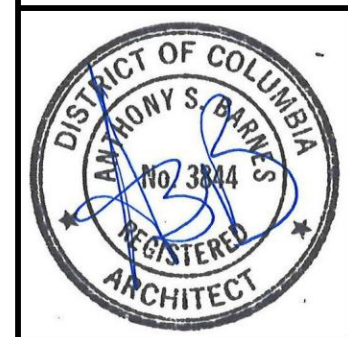
ISSUED:	07/09/17
PERMIT:	

AP2.3

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8 709931 Date 09/27/17


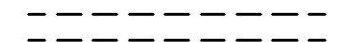



These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

1666

 BARNES VANZE
 ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007
 TELE: 
 FAX: 

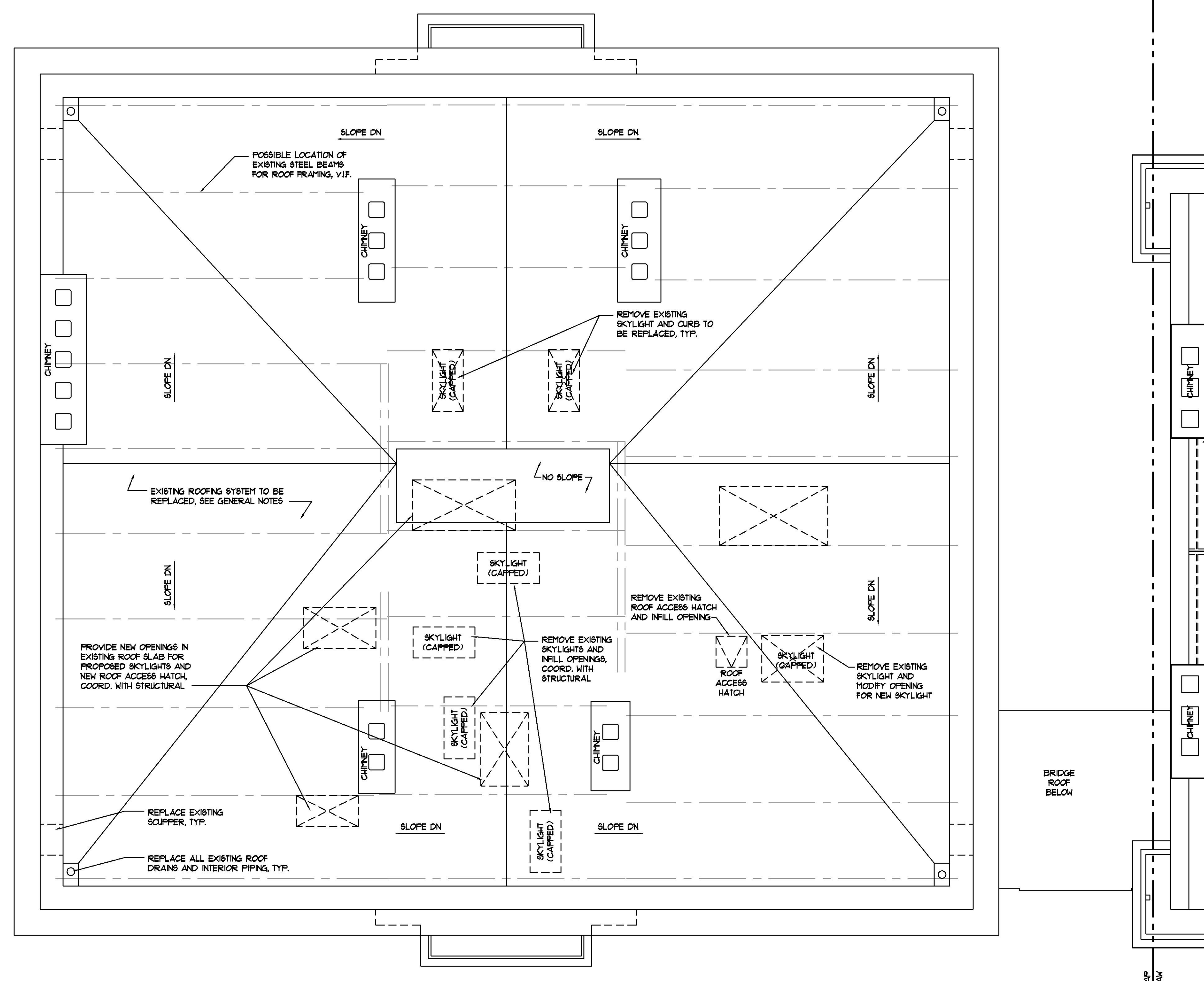


2320 S STREET
 RESIDENCE
 2320-2330 S ST. NW.
 WASHINGTON, DC 20008


DEMOLITION LEGEND:

	EXISTING ROOF TO BE DEMOLISHED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED

- DEMOLITION NOTES:**
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION MEANS & METHODS, JOB SAFETY, & CONFORMANCE TO CODES
 - GENERAL CONTRACTOR SHALL BRING TO ARCHITECT'S OR OWNER'S ATTENTION ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWING INTENT
 - REMOVE ALL UNUSED PLUMBING LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE
 - REMOVE ALL UNUSED ELECTRICAL LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE
 - REMOVE ALL EXISTING HVAC EQUIPMENT
 - SALVAGE ALL EXISTING DOORS AND SKYLIGHTS BEING REMOVED FOR POSSIBLE REUSE
 - PROTECT ALL HISTORIC FABRIC, AREAS, AND FIXTURES SLATED TO REMAIN DURING ALL PHASES OF CONSTRUCTION. COORDINATE WITH ARCHITECT.
 - EXISTING ROOF SYSTEM AT POPE HOUSE TO BE REPLACED IN ITS ENTIRETY, INCLUDING ALL BALLAST, ROOF MEMBRANE, DRAINS, AND SHEATHING DOWN TO EXISTING ROOF SLAB. EXISTING INTERIOR ROOF DRAIN PIPING TO BE REPLACED IN ITS ENTIRETY.
 - REMOVE ALL EXISTING WINDOWS, EXTERIOR DOORS, AND FRAMES. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8" TO 1/2" SLOPE TO EXTERIOR. LINE OPENINGS WITH VAPOR SEMI-PERMEABLE FLUID WATER CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, DOORS, AND FRAMES.
 - REPLACE ROOF MEMBRANES AND REHABILITATE ASSOCIATED FLASHINGS. INSULATE INTERNALLY WITH CLOSED CELL FOAM.



CI ROOF DEMOLITION PLAN - POPE BLDG
 AP2.5 DRAWING SCALE: 1/4" = 1'-0"

 DEMOLITION POPE HOUSE ROOF

DRAWING: DEMOLITION PLAN - ROOF POPE
 ISSUED: 07/09/17
 PERMIT

AP2.5

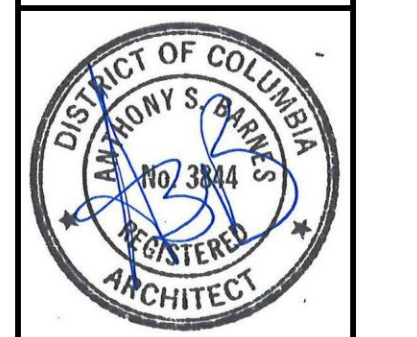
GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

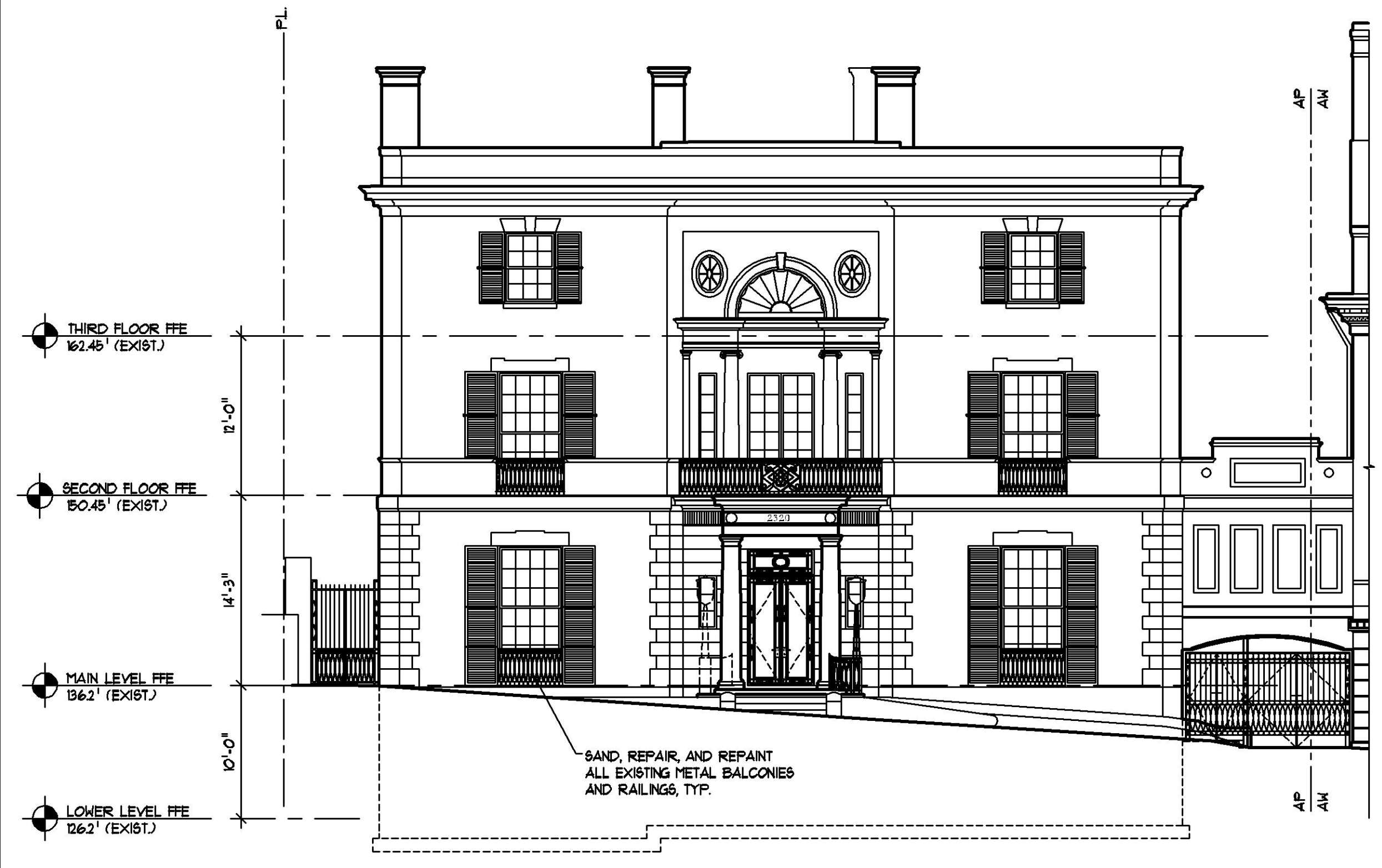
HPRB Review - Steve Callcott - 09-27-2017
 Structural Review - Abdul Muzikr - 09-27-2017
 Elevator Review - Luchi Lu - 09-27-2017
 Fire Review - Luchi Lu - 09-27-2017
 DOEE SE-SW Review - Charles Edwards - 09-27-2017
 Mechanical Review - Alec Petrilko-Groh - 09-27-2017
 Plumbing Review - Alec Petrilko-Groh - 09-27-2017
 Energy Review - Robert Campbell - 09-27-2017
 Electrical Review - Saima Dar - 09-27-2017

1666

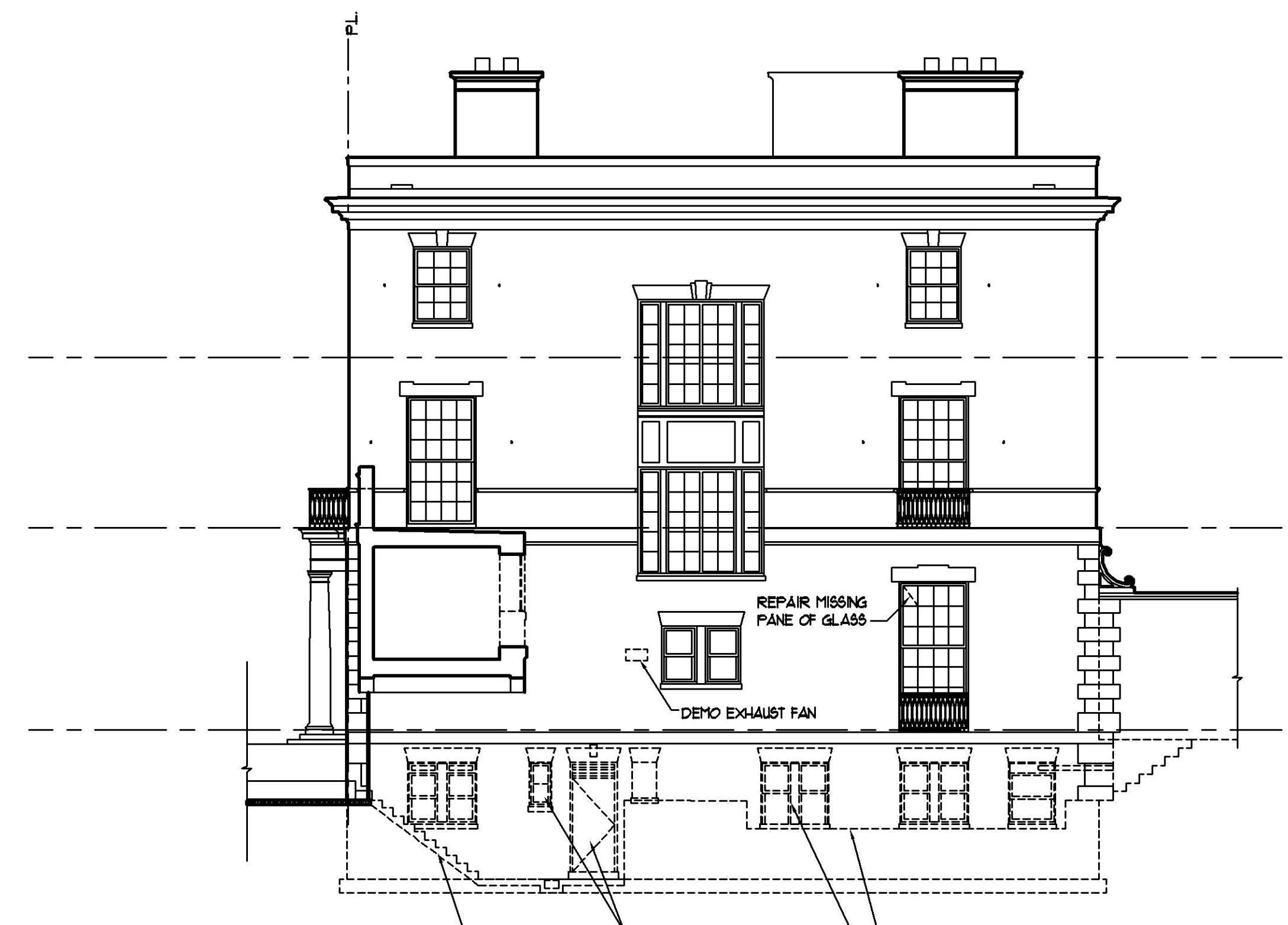
 BARNES VANZE
 ARCHITECTS INC.
 1000 Potomac Street, N.W.,
 Suite L-2
 Washington, D.C. 20007
 TELE: [REDACTED]
 FAX: [REDACTED]



2320 S STREET
 RESIDENCE
 2320-2330 S ST. NW,
 WASHINGTON, DC 20008



A1 S STREET ELEVATION - POPE HOUSE
 AP2.6 DRAWING SCALE: 1/8" = 1'-0"



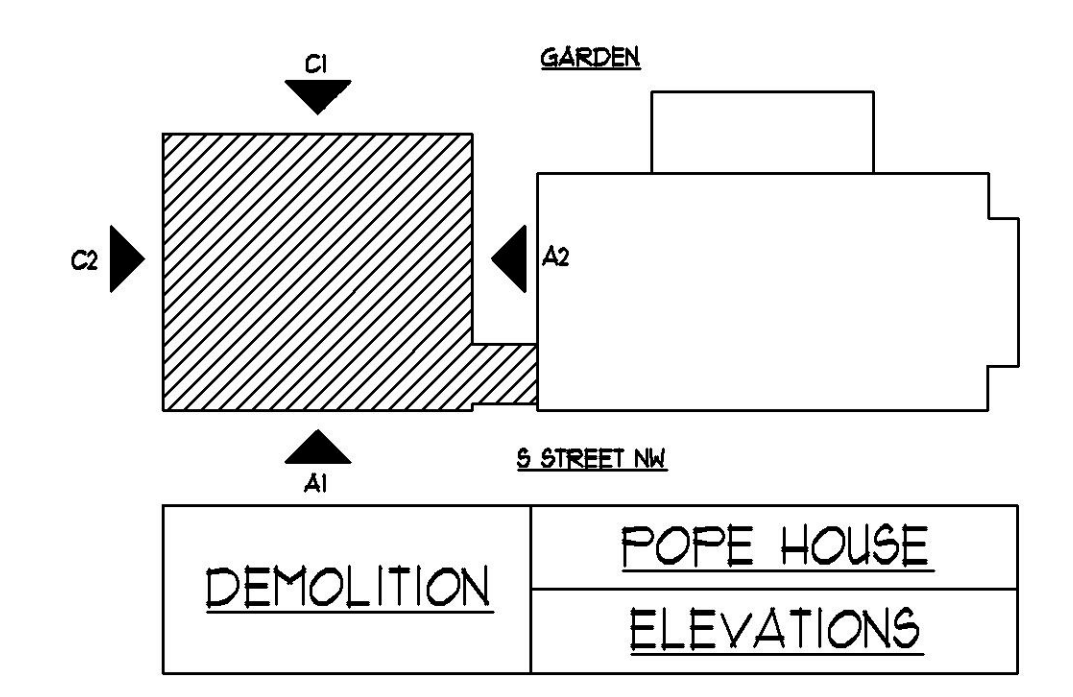
A2 SIDE ELEVATION - POPE HOUSE
 AP2.6 DRAWING SCALE: 1/8" = 1'-0"



C1 GARDEN ELEVATION - POPE HOUSE
 AP2.6 DRAWING SCALE: 1/8" = 1'-0"



C2 SIDE ELEVATION - POPE HOUSE
 AP2.6 DRAWING SCALE: 1/8" = 1'-0"



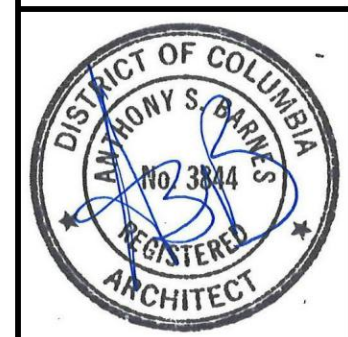
DRAWING: DEMOLITION ELEVATIONS - POPE
 ISSUED: 07/09/17
 PERMIT

AP2.6

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

1666
BARNES VANZEL
 ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007
 TELE: [REDACTED]
 FAX: [REDACTED]

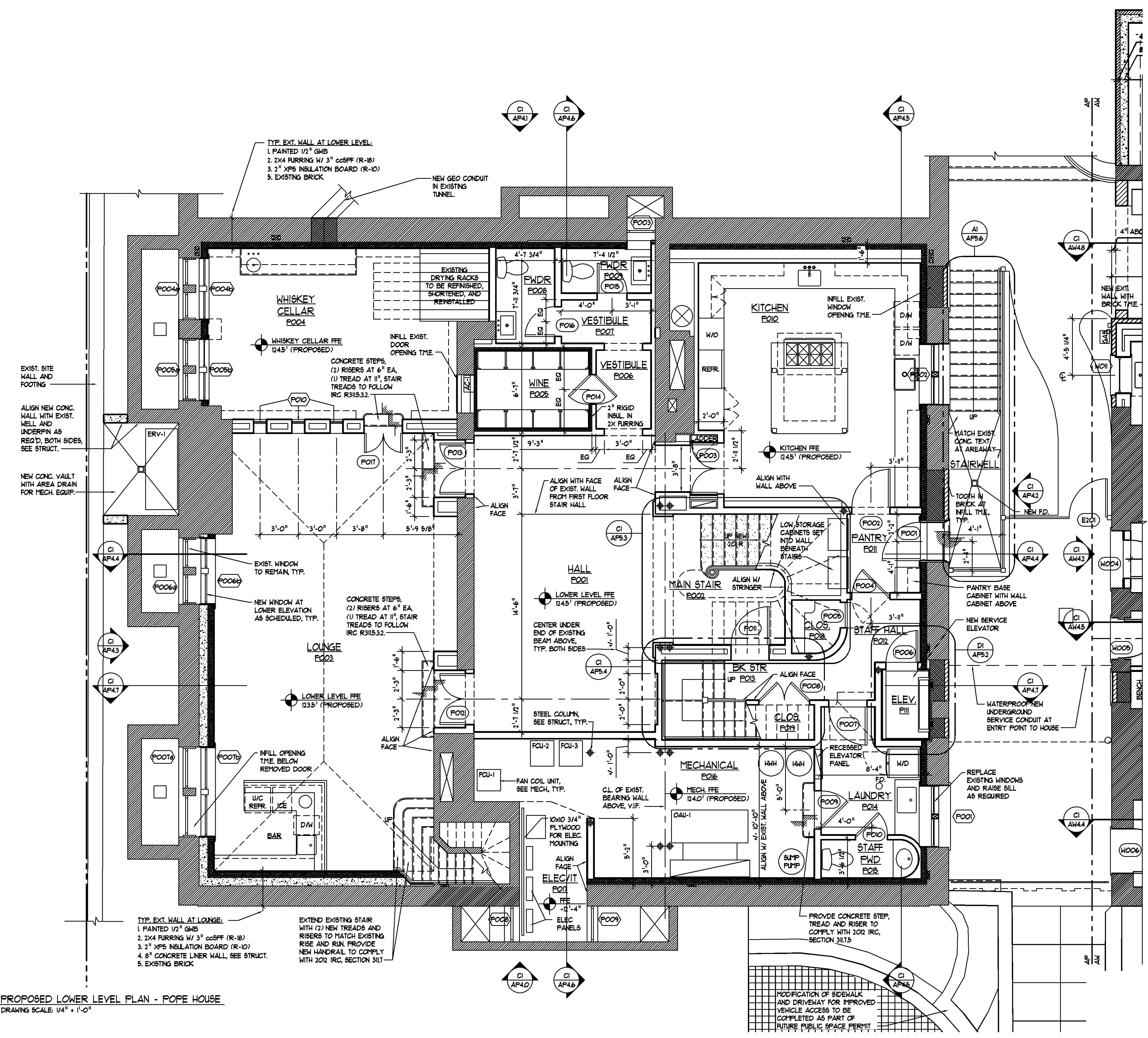


2320 S STREET
 RESIDENCE
 2320-2330 S ST. NW,
 WASHINGTON, DC 20008

CONSTRUCTION LEGEND:

[Symbol]	POURED CONCRETE
[Symbol]	EXISTING DOOR TO REMAIN
[Symbol]	NEW DOOR
[Symbol]	EXISTING WINDOW TO REMAIN
[Symbol]	NEW WINDOW
[Symbol]	FRAMING DIMENSIONS (TO STUD OR MASONRY BEARING UNO.)
[Symbol]	FINISH DIMENSION

- CONSTRUCTION NOTES:**
- FINISHED GRADES ARE INDICATED TO SHOW DESIGN INTENT. GENERAL CONTRACTOR SHALL DETERMINE CUT/FILL REQUIREMENTS
 - ALL EXTERIOR BRICK WORK SHALL MATCH EXISTING.
 - REMOVE ALL EXISTING WINDOWS, EXTERIOR DOORS, AND FRAMES. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8" SLOPE TO EXTERIOR. LINE OPENINGS WITH VAPOR SEMI-IMPERMEABLE FLUID WATER CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, DOORS, AND FRAMES.



CI AP3.0 PROPOSED LOWER LEVEL PLAN - POPE HOUSE
 DRAWING SCALE: 1/4" = 1'-0"

PROPOSED POPE HOUSE LOWER LEVEL

DRAWING: PROPOSED PLAN - LOWER LEVEL POPE
 ISSUED: 07/05/17
 PERMIT

AP3.0

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8 709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

1666
BARNES VANZE
 ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007
 TELE:
 FAX:

CONSTRUCTION LEGEND:

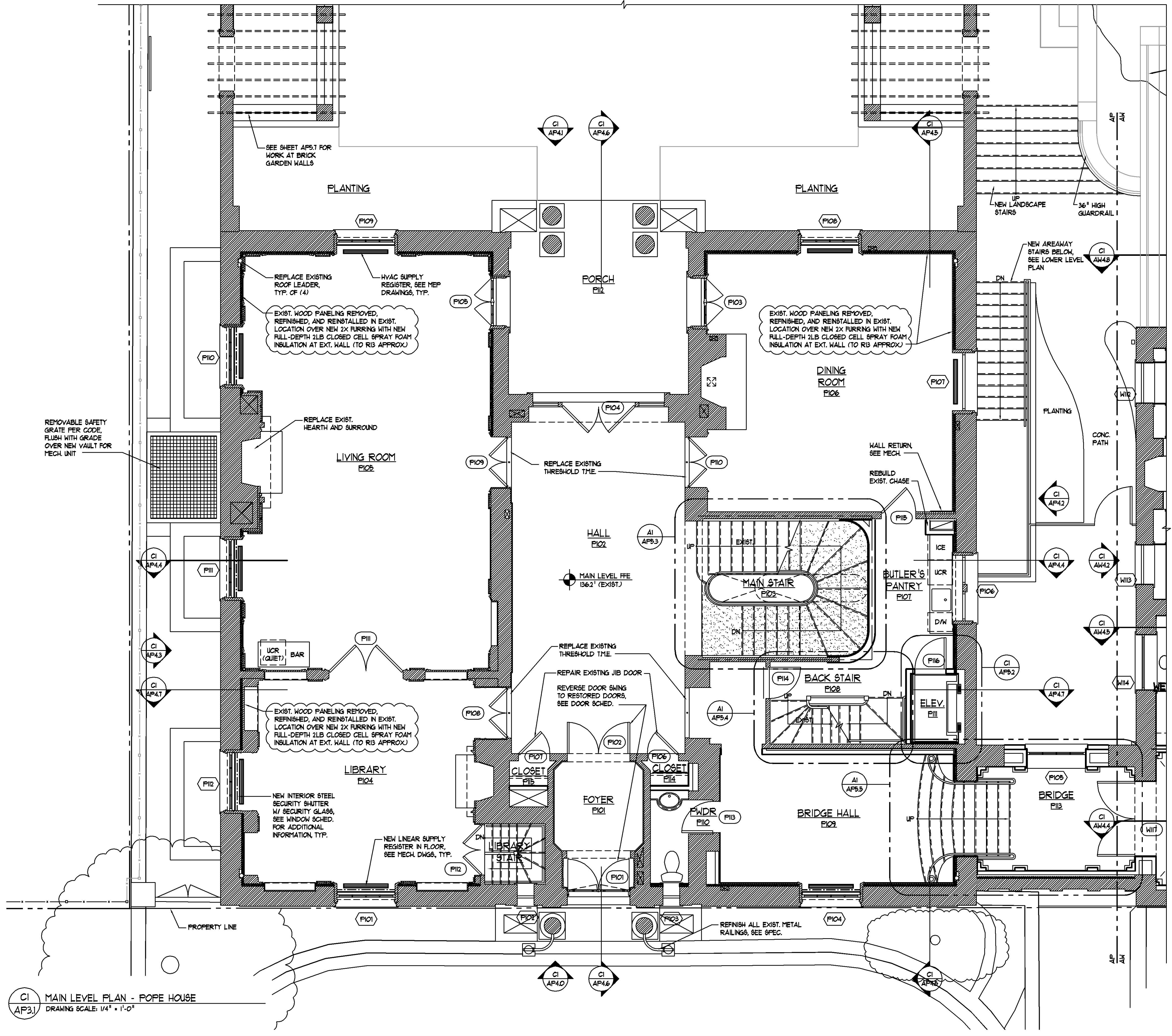
- EXISTING CONCRETE
- POURED CONCRETE
- EXISTING DOOR TO REMAIN
- NEW DOOR
- EXISTING WINDOW TO REMAIN
- NEW WINDOW
- FRAMING DIMENSIONS (TO STUD OR MASONRY BEARING, UNO.)
- FINISH DIMENSION
- PARTITION TYPE

CONSTRUCTION NOTES:

- PROTECT ALL HISTORIC FIRE SLATED TO REMAIN.
- INSPECT AND RESTORE ALL EXISTING CHIMNEYS AND FLUES TO OPERABLE CONDITION.
- ALL WOOD BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS AND OUTDOOR AIR FOR COMBUSTION. AN AIR BARRIER SHALL BE INSTALLED ON FIREPLACE WALLS. FIREPLACES SHALL HAVE GASKETED DOORS.
- PROTECT EXISTING STAIRS SLATED TO REMAIN DURING CONSTRUCTION.
- REMOVE ALL EXISTING WINDOWS, EXTERIOR DOORS, AND FRAMES. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8" TO 1/2" SLOPE TO EXTERIOR. LINE OPENINGS WITH VAPOR SEMI-IMPERMEABLE FLUID WATER CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, DOORS, AND FRAMES.

2320 S STREET
 RESIDENCE
 2320-2330 S ST., NW.
 WASHINGTON, DC 20008

DRAWING:	PROPOSED PLAN - FIRST FLOOR POPE
ISSUED:	07/09/17
	08/15/17
	PERMIT RESPONSE



CI MAIN LEVEL PLAN - POPE HOUSE
 AP3.1
 DRAWING SCALE: 1/4" = 1'-0"

NORTH

GARDEN

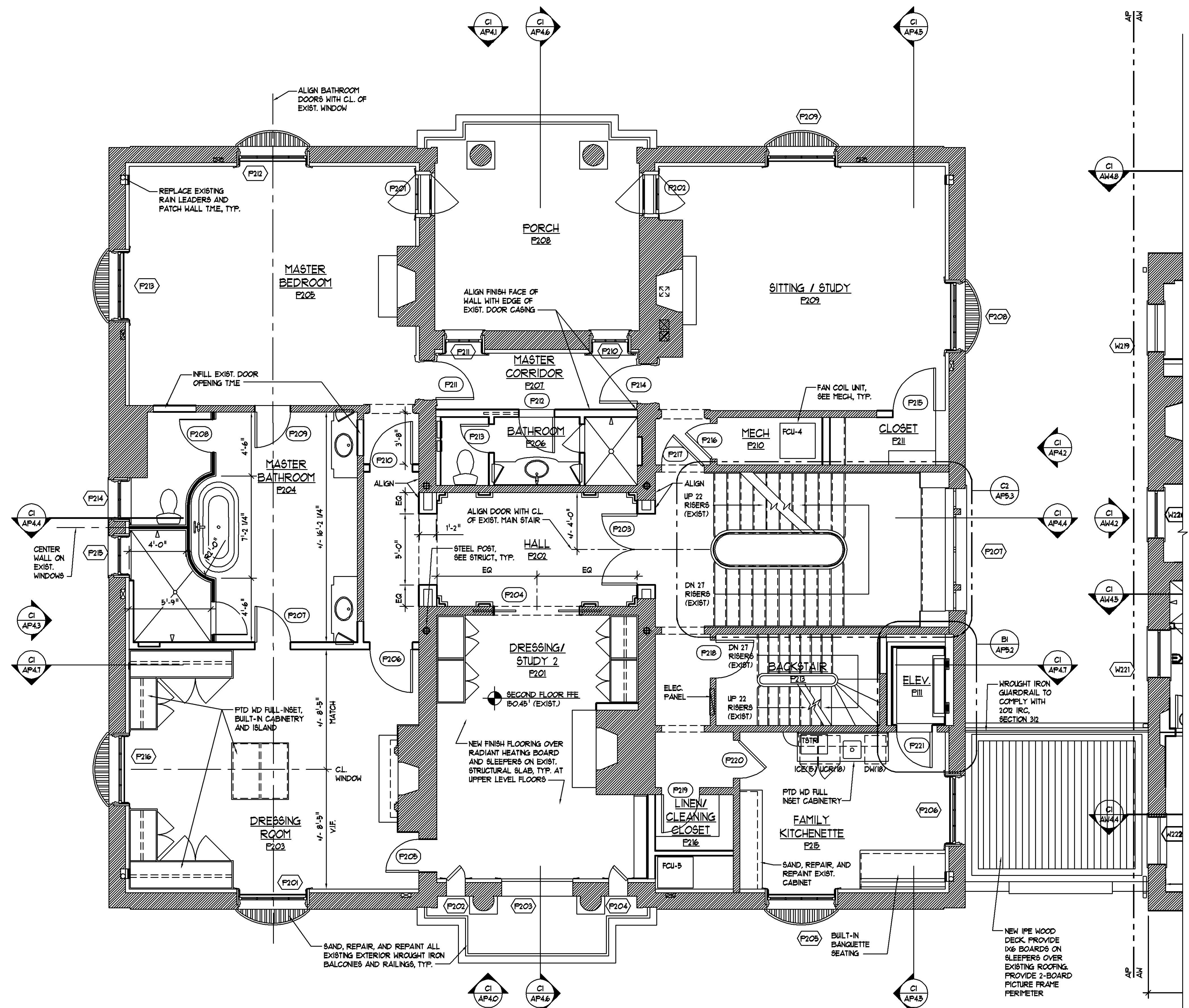
5 STREET NW

PROPOSED POPE HOUSE MAIN LEVEL

AP3.1

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8 709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing



CONSTRUCTION LEGEND:

	EXISTING TO REMAIN
	POURED CONCRETE
	EXISTING DOOR TO REMAIN
	NEW DOOR
	EXISTING WINDOW TO REMAIN
	NEW WINDOW
	FRAMING DIMENSIONS (TO STUD OR MASONRY BEARING, UNO.)
	FINISH DIMENSION

- CONSTRUCTION NOTES:**
- REMOVE ALL EXISTING WINDOWS, EXTERIOR DOORS, AND FRAMES. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8" SLOPE TO EXTERIOR. LINE OPENINGS WITH VAPOR SEMI-IMPERMEABLE FLUID WATER CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, DOORS, AND FRAMES.
 - INSPECT AND RESTORE ALL FIREPLACE CHIMNEYS AND FLUES TO OPERABLE CONDITION.
 - ALL WOOD BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS AND OUTDOOR AIR FOR COMBUSTION. AN AIR BARRIER SHALL BE INSTALLED ON FIREPLACE WALLS. FIREPLACES SHALL HAVE GASKETED DOORS.

CI AP3.3 SECOND FLOOR PLAN - POPE HOUSE
 DRAWING SCALE: 1/4" = 1'-0"

PROPOSED POPE HOUSE SECOND FLOOR

1666

ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007
 TELE: [REDACTED]
 FAX: [REDACTED]

DISTRICT OF COLUMBIA
 ARCHITECT

2320 S STREET
 RESIDENCE
 2320-2330 S ST. N.W.
 WASHINGTON, DC 20008

DRAWING: PROPOSED PLAN - SECOND FLOOR POPE

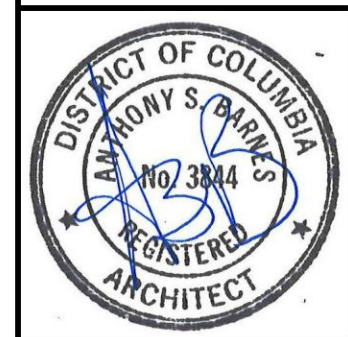
ISSUED:	07/09/17	PERMIT
	09/15/17	PERMIT RESPONSE

AP3.2

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8 709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

1666
BARNES VANZE
ARCHITECTS INC.
 1000 Potomac Street, N.W.,
 Suite L-2
 Washington, D.C. 20007
 TELE: [REDACTED]
 FAX: [REDACTED]

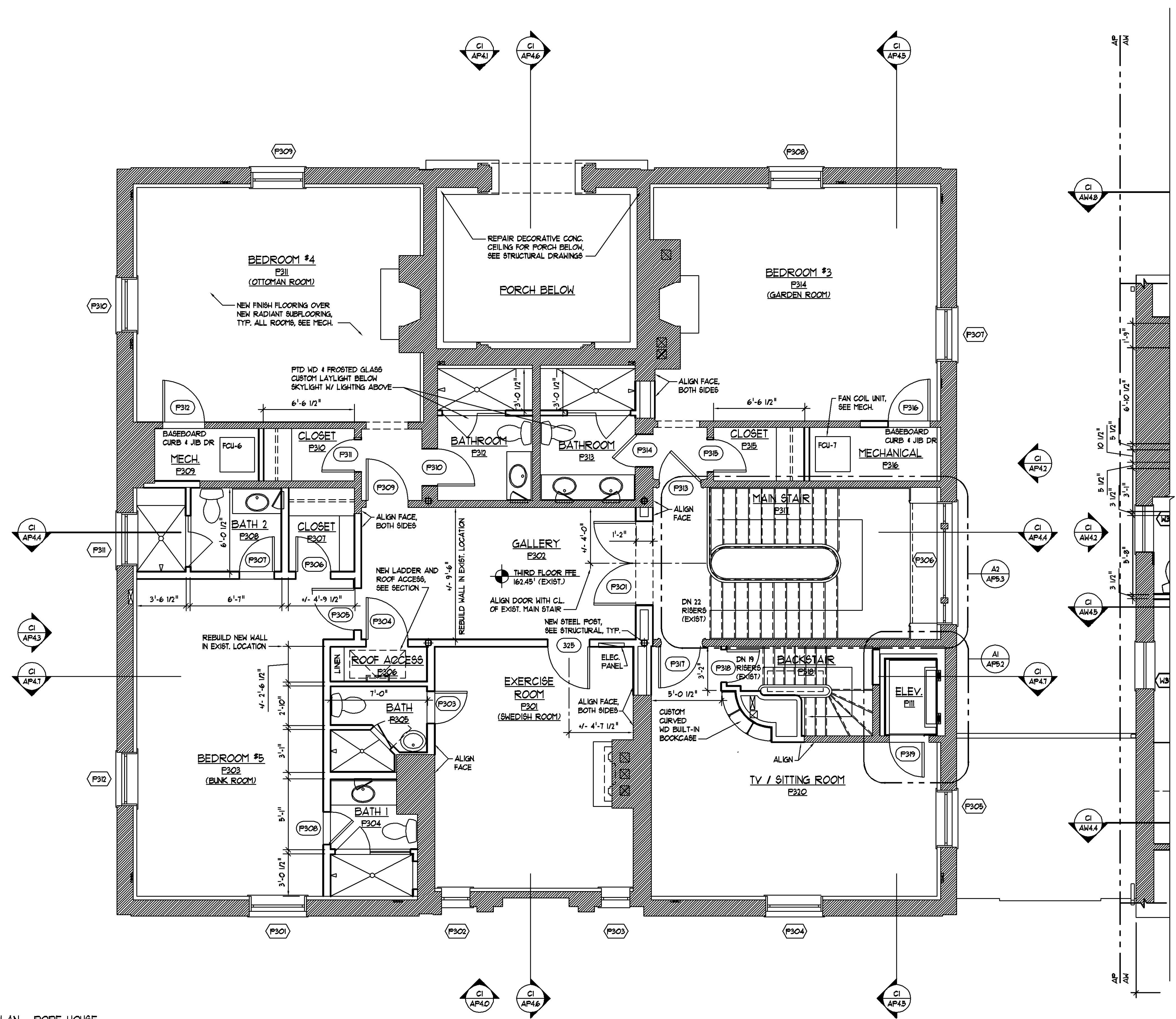


2320 S STREET
 RESIDENCE
 2320-2330 S ST. NW,
 WASHINGTON, DC 20008

CONSTRUCTION LEGEND:

- EXISTING TO REMAIN
- NEW BRID WALLS - ROOF FINISH
- 2x6 SILLING (TYP.)
- 2x6 @ 16" O.C. INT. WALLS, UNO.
- POURED CONCRETE
- EXISTING DOOR TO REMAIN
- NEW DOOR
- EXISTING WINDOW TO REMAIN
- NEW WINDOW
- FRAMING DIMENSIONS (TO STUD OR MASONRY BEARING, UNO.)
- FINISH DIMENSION

- CONSTRUCTION NOTES:**
- INSPECT AND RESTORE ALL FIREPLACE CHIMNEYS AND FLUES TO OPERABLE CONDITION.
 - ALL WOOD BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS AND OUTDOOR AIR FOR COMBUSTION. AN AIR BARRIER SHALL BE INSTALLED ON FIREPLACE WALLS. FIREPLACES SHALL HAVE GASKETED DOORS.
 - REMOVE ALL EXISTING WINDOWS, EXTERIOR DOORS, AND FRAMES. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8", 1/2" SLOPE TO EXTERIOR. LINE OPENINGS WITH VAPOR SEMI-IMPERMEABLE FLUID WATER CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, DOORS, AND FRAMES.



CI AP3.3 THIRD FLOOR PLAN - POPE HOUSE
 DRAWING SCALE: 1/4" = 1'-0"

GARDEN

S STREET NW

PROPOSED POPE HOUSE
 THIRD FLOOR

NORTH

DRAWING: PROPOSED PLAN - THIRD FLOOR POPE

ISSUED:	07/09/17
PERMIT:	09/15/17
PERMIT RESPONSE:	

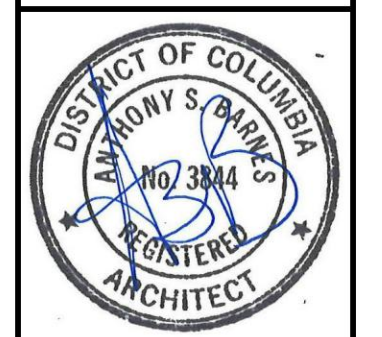
AP3.3

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 8709931 Date 09/27/17

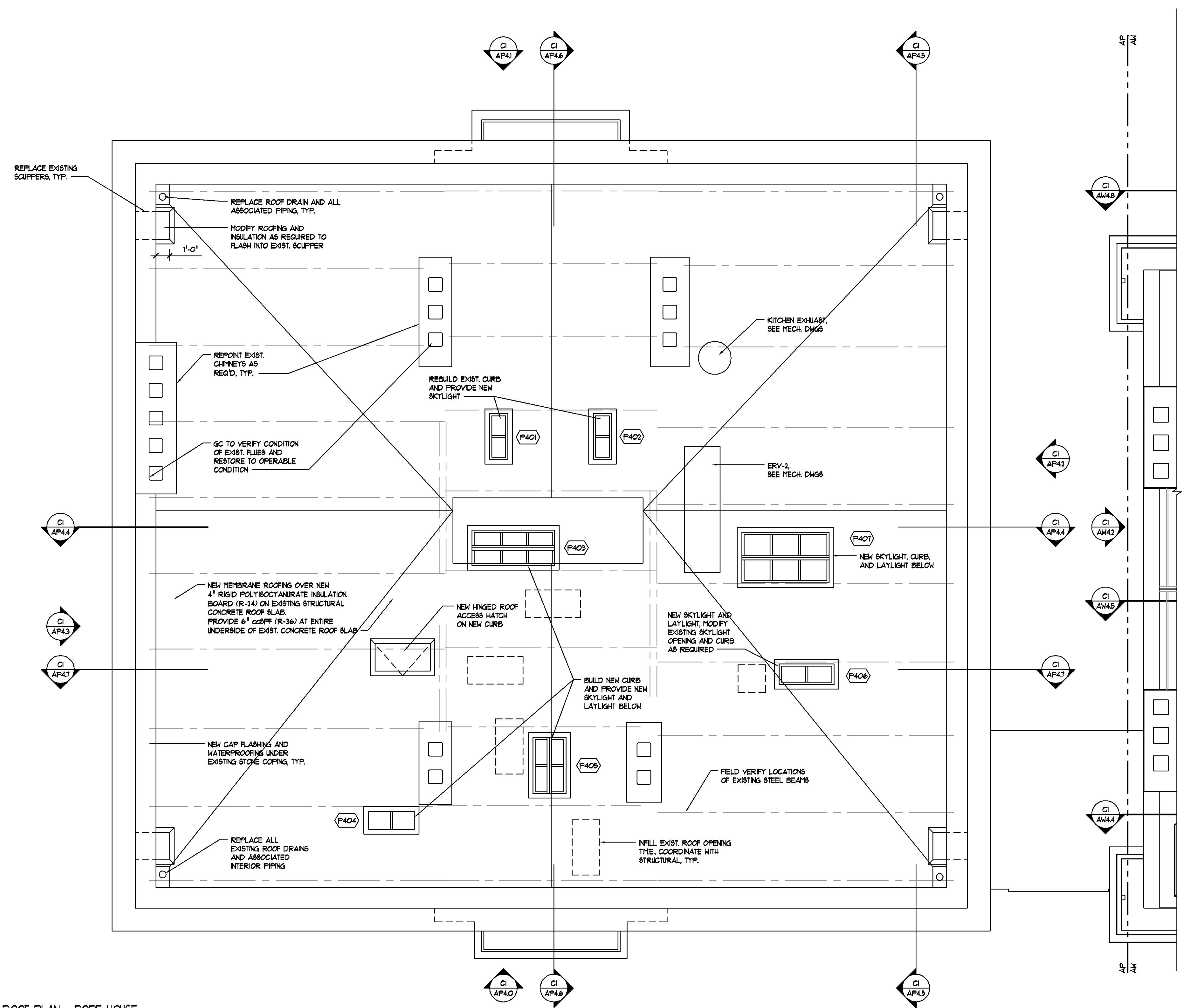
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRB Review - Steve Callcott - 09-27-2017
Structural Review - Abdul Muzikr - 09-27-2017
Elevator Review - Luchi Lu - 09-27-2017
Fire Review - Luchi Lu - 09-27-2017
DOEE SE-SW Review - Charles Edwards - 09-27-2017
Mechanical Review - Alec Petrillo-Groh - 09-27-2017
Plumbing Review - Alec Petrillo-Groh - 09-27-2017
Energy Review - Robert Campbell - 09-27-2017
Electrical Review - Saima Dar - 09-27-2017

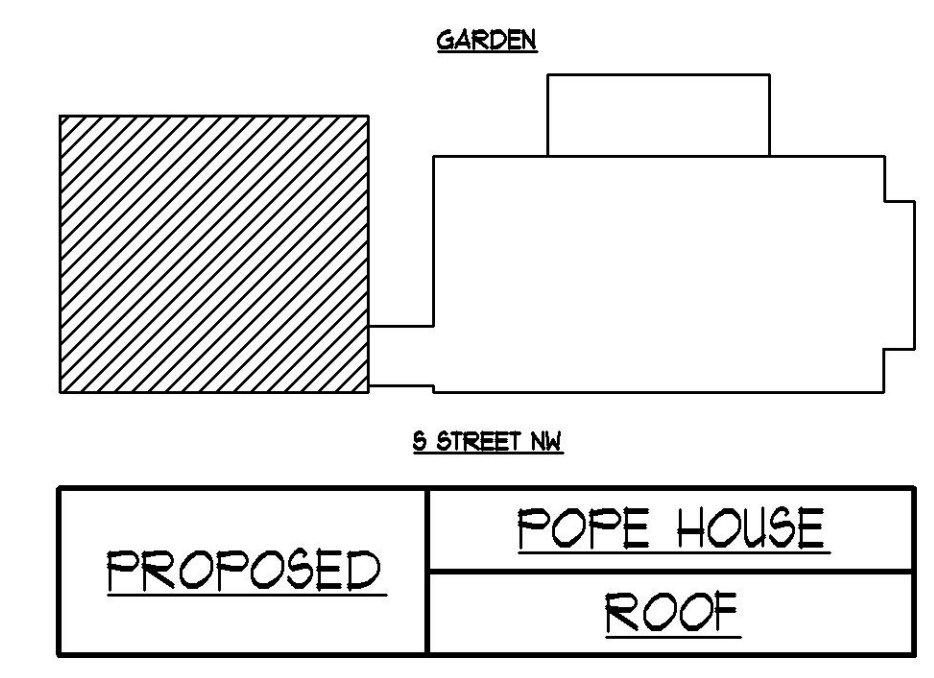
1666
BARNES VANZEL
ARCHITECTS INC.
1000 Potomac Street, N.W.
Suite L-2
Washington, D.C. 20007
TELE:
FAX:
No. 3844
REGISTERED ARCHITECT



2320 S STREET RESIDENCE
2320-2330 S ST. NW,
WASHINGTON, DC 20008



CI AP3.5 PROPOSED ROOF PLAN - POPE HOUSE
DRAWING SCALE: 1/4" = 1'-0"



DRAWING: PROPOSED PLAN - ROOF POPE
ISSUED: 07/09/17
PERMIT

AP3.5

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRB Review - Steve Callcott - 09-27-2017
Structural Review - Abdul Muzikr - 09-27-2017
Elevator Review - Luchi Lu - 09-27-2017
Fire Review - Luchi Lu - 09-27-2017
DOEE SE-SW Review - Charles Edwards - 09-27-2017
Mechanical Review - Alec Petrillo-Groh - 09-27-2017
Plumbing Review - Alec Petrillo-Groh - 09-27-2017
Energy Review - Robert Campbell - 09-27-2017
Electrical Review - Saima Dar - 09-27-2017

1666
BARNES VANZE
ARCHITECTS INC.
1000 Potomac Street, N.W.,
Suite L-2
Washington, D.C. 20007
TELE:
FAX:

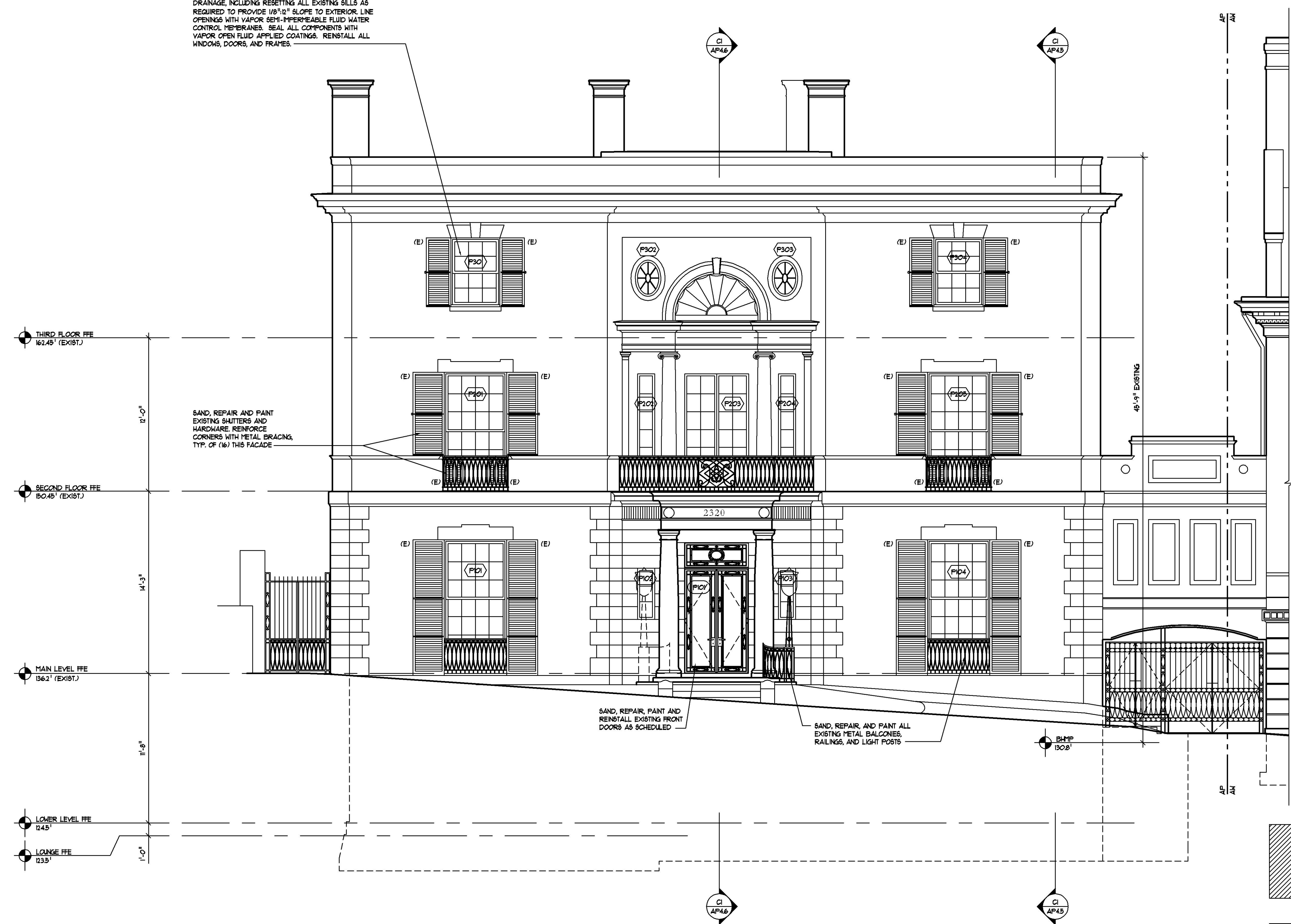
2320 S STREET
RESIDENCE
2320-2330 S ST. NW,
WASHINGTON, DC 20008

REMOVE ALL EXISTING WINDOWS, EXTERIOR DOORS, AND FRAMES. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8" TO 1/2" SLOPE TO EXTERIOR. LINE OPENINGS WITH VAPOR SEMI-IMPERMEABLE FLUID WATER CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, DOORS, AND FRAMES.

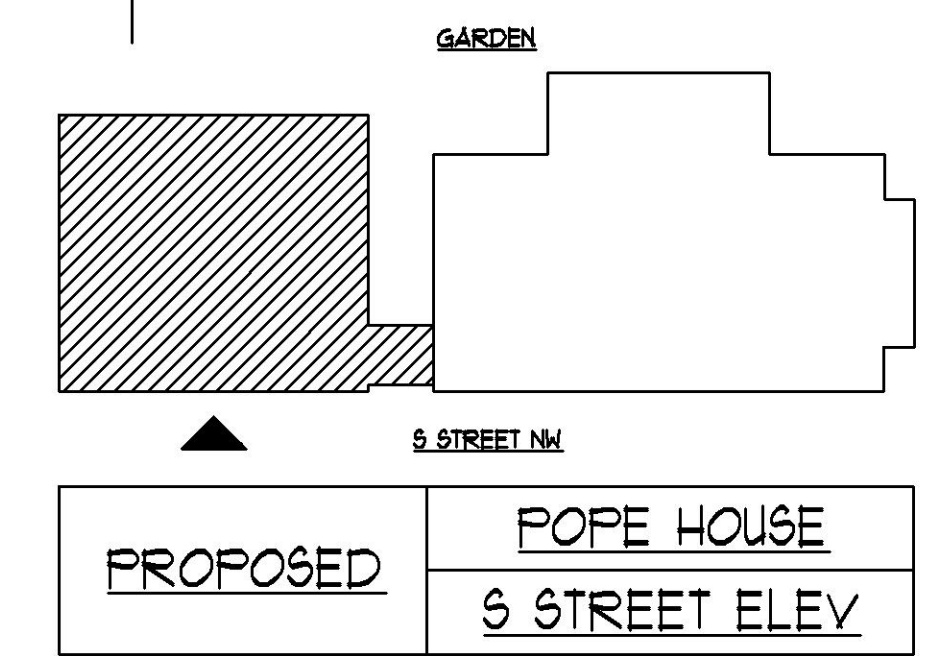
SAND, REPAIR AND PAINT EXISTING SHUTTERS AND HARDWARE. REINFORCE CORNERS WITH METAL BRACING, TYP. OF (16) THIS FACADE

SAND, REPAIR, PAINT AND REINSTALL EXISTING FRONT DOORS AS SCHEDULED

SAND, REPAIR, AND PAINT ALL EXISTING METAL BALCONIES, RAILINGS, AND LIGHT POSTS



CI AP4.0 S STREET ELEVATION - POPE HOUSE
DRAWING SCALE: 1/4" = 1'-0"



DRAWING: EXTERIOR ELEVATION - POPE FRONT
ISSUED: 07/09/17
PERMIT

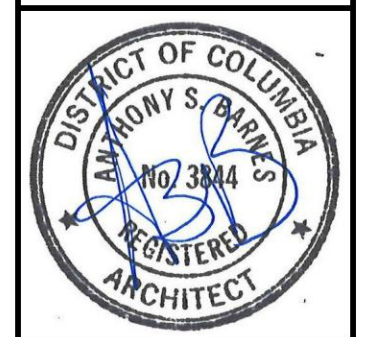
AP4.0

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 8709931 Date 09/27/17

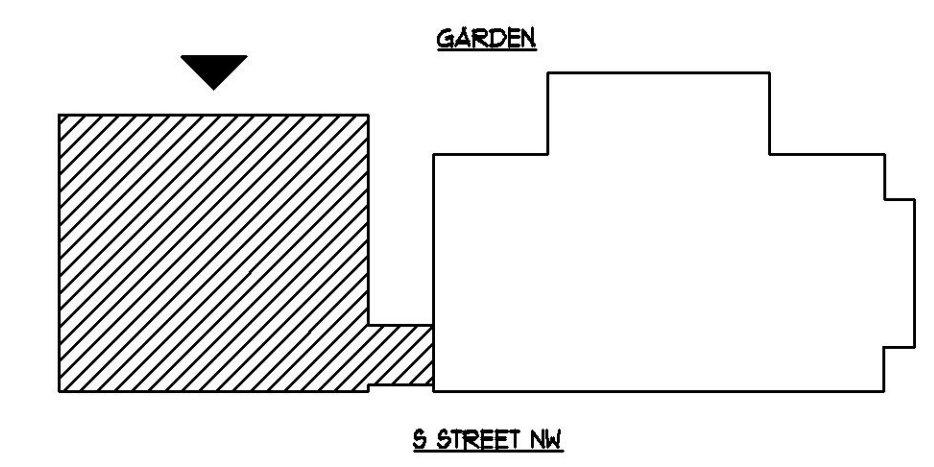
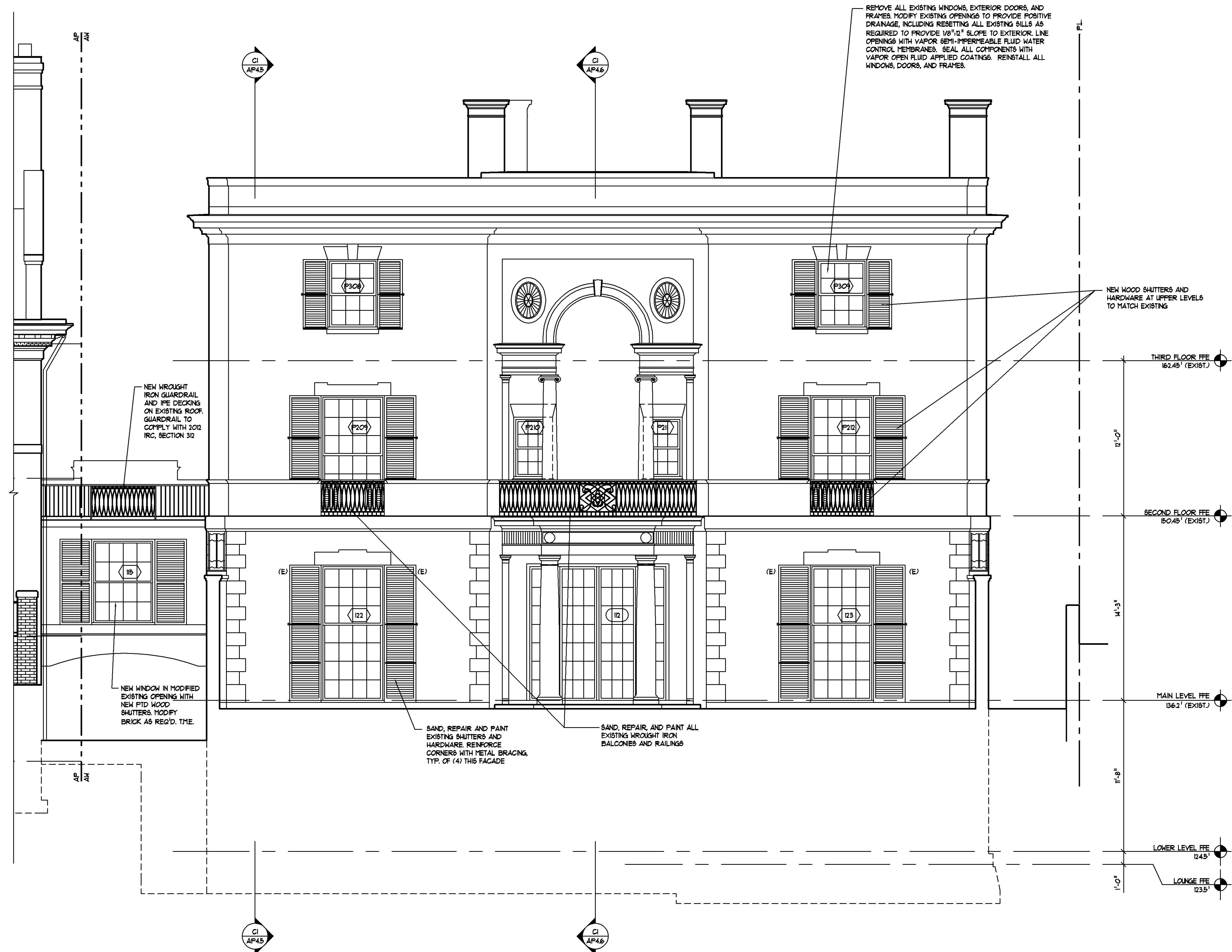
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRB Review - Steve Callcott - 09-27-2017
Structural Review - Abdul Muzikr - 09-27-2017
Elevator Review - Luchi Lu - 09-27-2017
Fire Review - Luchi Lu - 09-27-2017
DOEE SE-SW Review - Charles Edwards - 09-27-2017
Mechanical Review - Alec Petrillo-Groh - 09-27-2017
Plumbing Review - Alec Petrillo-Groh - 09-27-2017
Energy Review - Robert Campbell - 09-27-2017
Electrical Review - Saima Dar - 09-27-2017

1666
BV
BARNES VANZE
ARCHITECTS INC.
1000 Potomac Street, N.W.
Suite L-2
Washington, D.C. 20007
TELE:
FAX:



2320 S STREET
RESIDENCE
2320-2330 S ST. NW.
WASHINGTON, DC 20008



CI AP4.1 GARDEN ELEVATION - POPE HOUSE
DRAWING SCALE: 1/4" = 1'-0"

PROPOSED	POPE HOUSE GARDEN ELEV
----------	---------------------------

DRAWING: EXTERIOR ELEVATION - POPE REAR
ISSUED: 07/09/17
PERMIT

AP4.1

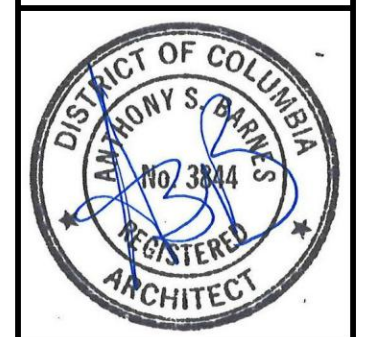
GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

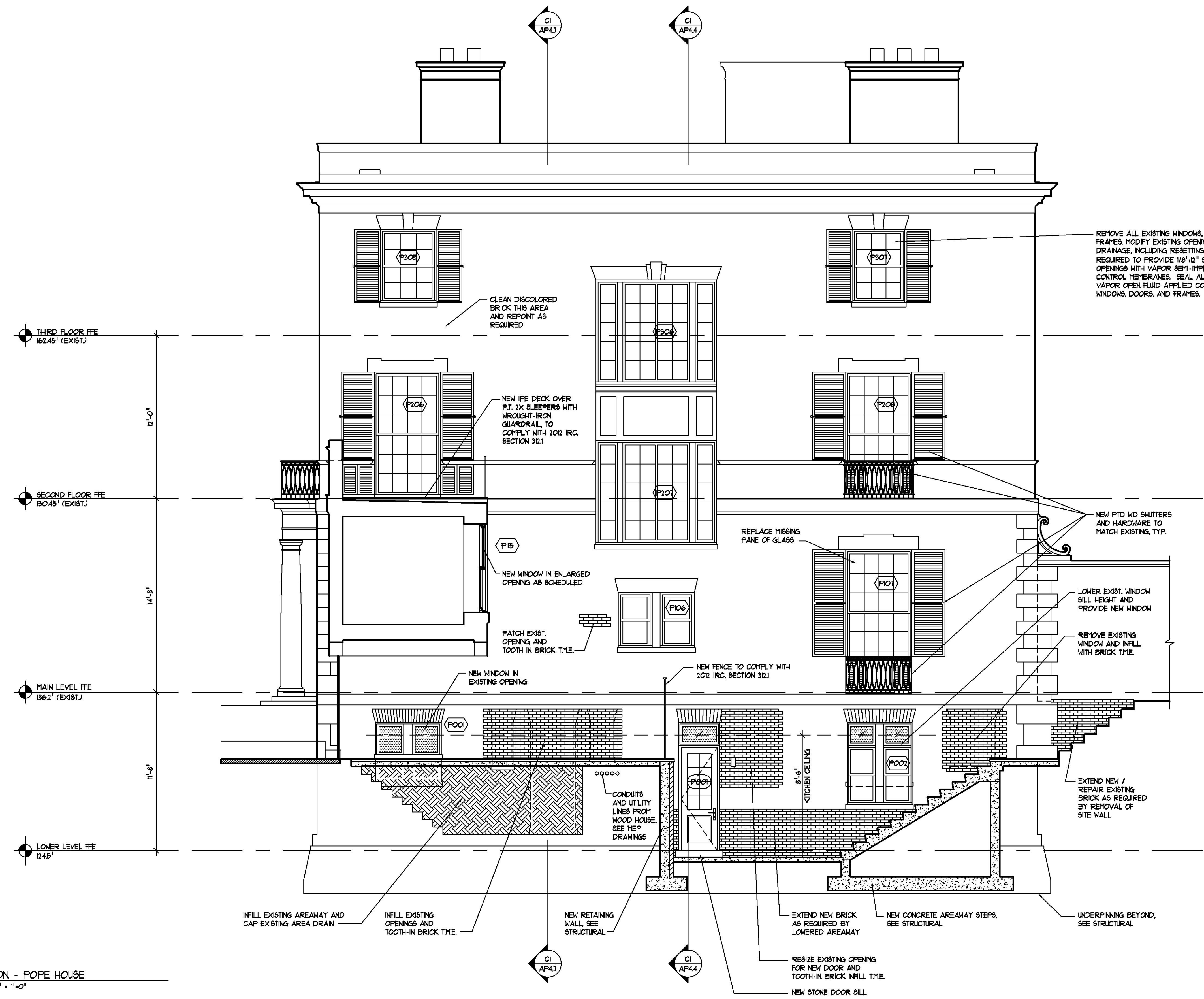
HPRB Review - Steve Callcott - 09-27-2017
 Structural Review - Abdul Muzikr - 09-27-2017
 Elevator Review - Luchi Lu - 09-27-2017
 Fire Review - Luchi Lu - 09-27-2017
 DOEE SE-SW Review - Charles Edwards - 09-27-2017
 Mechanical Review - Alec Petrilto-Groh - 09-27-2017
 Plumbing Review - Alec Petrilto-Groh - 09-27-2017
 Energy Review - Robert Campbell - 09-27-2017
 Electrical Review - Saima Dar - 09-27-2017

1666

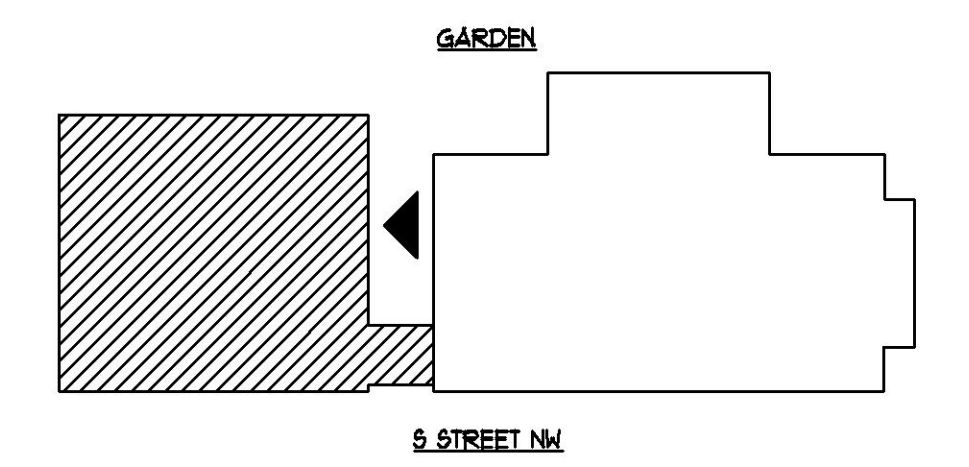
 BARNES VANZE
 ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007
 TELE: 
 FAX: 



2320 S STREET
 RESIDENCE
 2320-2330 S ST. NW.
 WASHINGTON, DC 20008



THIRD FLOOR FFE
 162.45' (EXIST.)
 12'-0"
 SECOND FLOOR FFE
 150.45' (EXIST.)
 14'-3"
 MAIN LEVEL FFE
 136.2' (EXIST.)
 11'-8"
 LOWER LEVEL FFE
 124.5'



PROPOSED POPE HOUSE
 SIDE ELEVATION

CI AP4.2 SIDE ELEVATION - POPE HOUSE
 DRAWING SCALE: 1/4" = 1'-0"

DRAWING: EXTERIOR ELEVATION - POPE SIDE
 ISSUED: 07/09/17

AP4.2

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

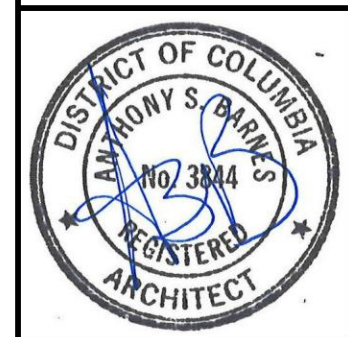
HPRB Review - Steve Callcott - 09-27-2017
 Structural Review - Abdul Muzikr - 09-27-2017
 Elevator Review - Luchi Lu - 09-27-2017
 Fire Review - Luchi Lu - 09-27-2017
 DOEE SE-SW Review - Charles Edwards - 09-27-2017
 Mechanical Review - Alec Petrillo-Groh - 09-27-2017
 Plumbing Review - Alec Petrillo-Groh - 09-27-2017
 Energy Review - Robert Campbell - 09-27-2017
 Electrical Review - Saima Dar - 09-27-2017

1666

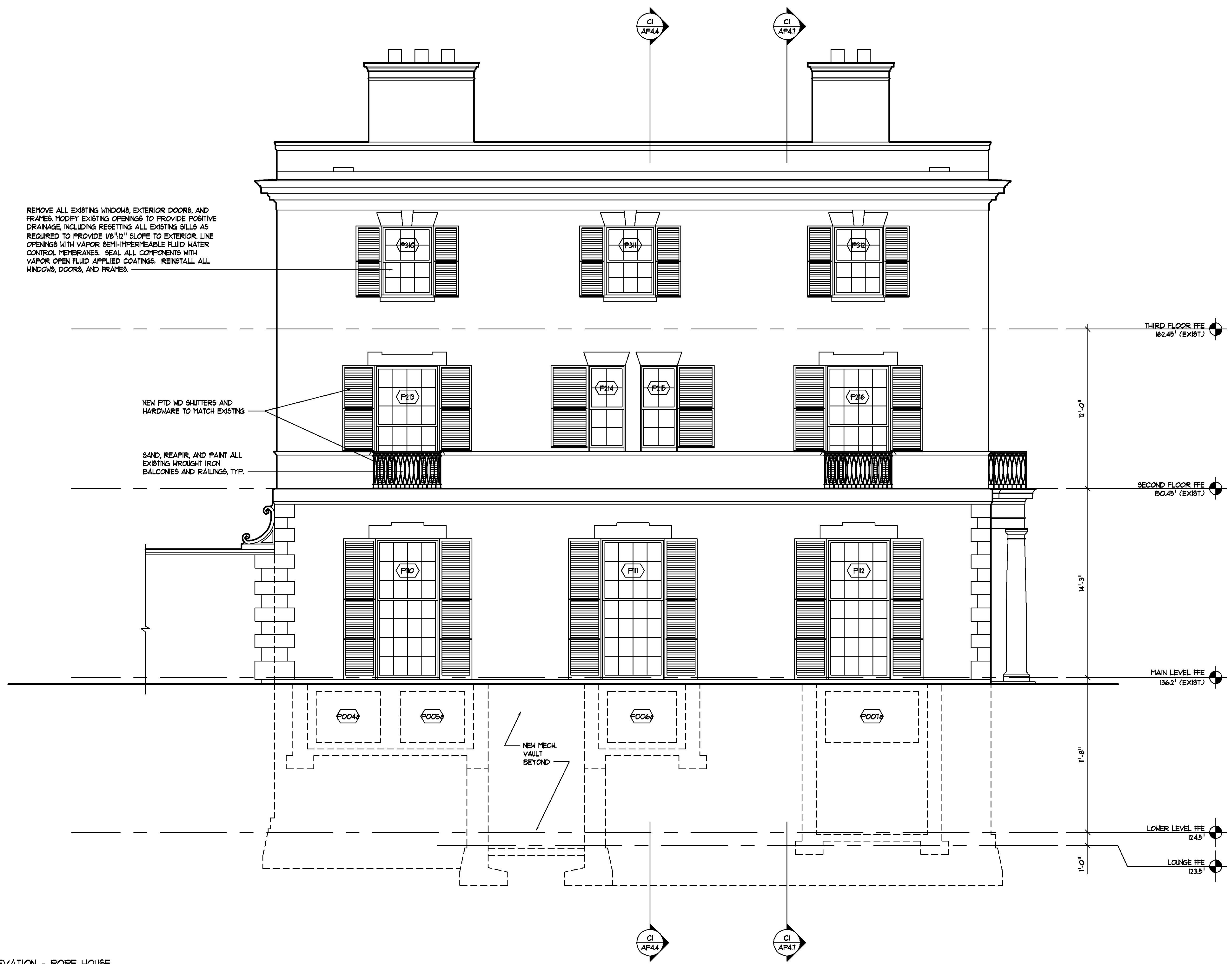


BARNES VANZE
ARCHITECTS INC.
 1000 Potomac Street, N.W.,
 Suite L-2
 Washington, D.C. 20007

TELE: [REDACTED]
 FAX: [REDACTED]



**2320 S STREET
 RESIDENCE**
 2320-2330 S ST. NW,
 WASHINGTON, DC 20008

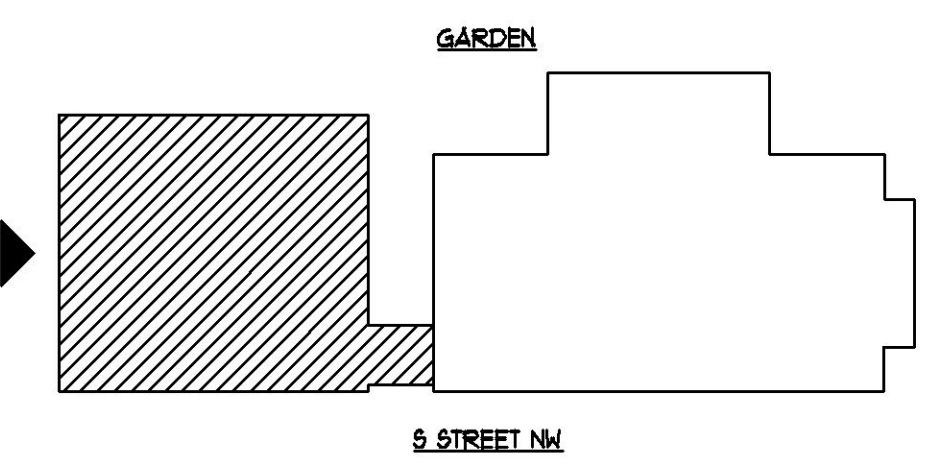


REMOVE ALL EXISTING WINDOWS, EXTERIOR DOORS, AND FRAMES. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8" SLOPE TO EXTERIOR. LINE OPENINGS WITH VAPOR SEMI-IMPERMEABLE FLUID WATER CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, DOORS, AND FRAMES.

NEW PTD WD SHUTTERS AND HARDWARE TO MATCH EXISTING

SAND, REPAIR, AND PAINT ALL EXISTING WROUGHT IRON BALCONIES AND RAILINGS, TYP.

NEW MECH VAULT BEYOND



PROPOSED POPE HOUSE
 SIDE ELEVATION

CI SIDE ELEVATION - POPE HOUSE
 AP43 DRAWING SCALE: 1/4" = 1'-0"




DRAWING: EXTERIOR ELEVATION - POPE SIDE
 ISSUED: 07/09/17
 PERMIT

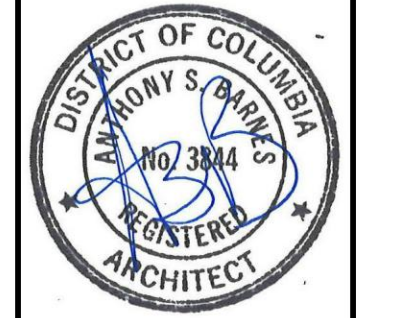
AP4.3

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8 709931 Date 09/27/17

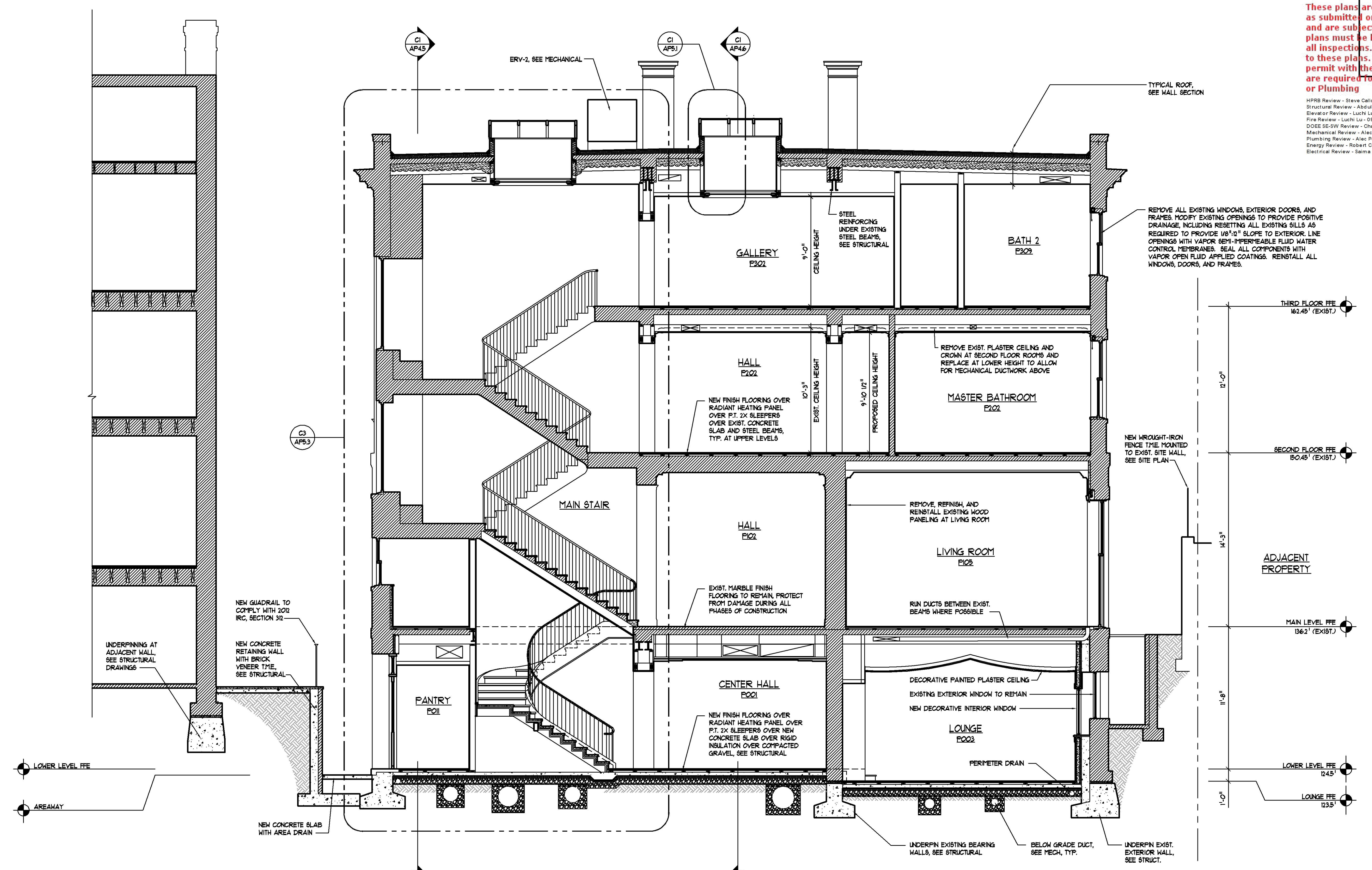
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRB Review - Steve Callcott - 09-27-2017
 Structural Review - Abdul Muzikr - 09-27-2017
 Elevator Review - Luchi Lu - 09-27-2017
 Fire Review - Luchi Lu - 09-27-2017
 DOEE SE-SW Review - Charles Edwards - 09-27-2017
 Mechanical Review - Alec Petritto-Groh - 09-27-2017
 Plumbing Review - Alec Petritto-Groh - 09-27-2017
 Energy Review - Robert Campbell - 09-27-2017
 Electrical Review - Saima Dar - 09-27-2017

1666

 BARNES VANZEL
 ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007
 TELE: 
 FAX: 



2320 S STREET
 RESIDENCE
 2320-2330 S ST. NW,
 WASHINGTON, DC 20008



CI AP4.4 BUILDING SECTION
 DRAWING SCALE: 1/4"=1'-0"

DRAWING: BUILDING SECTION - POPE

ISSUED:	07/09/17
PERMIT:	

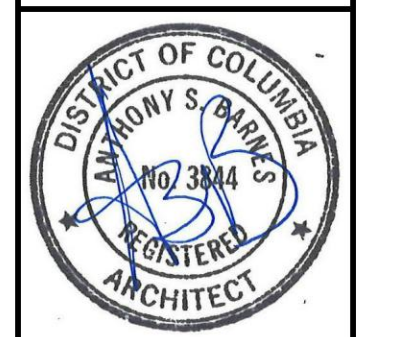
AP4.4

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 8709931 Date 09/27/17

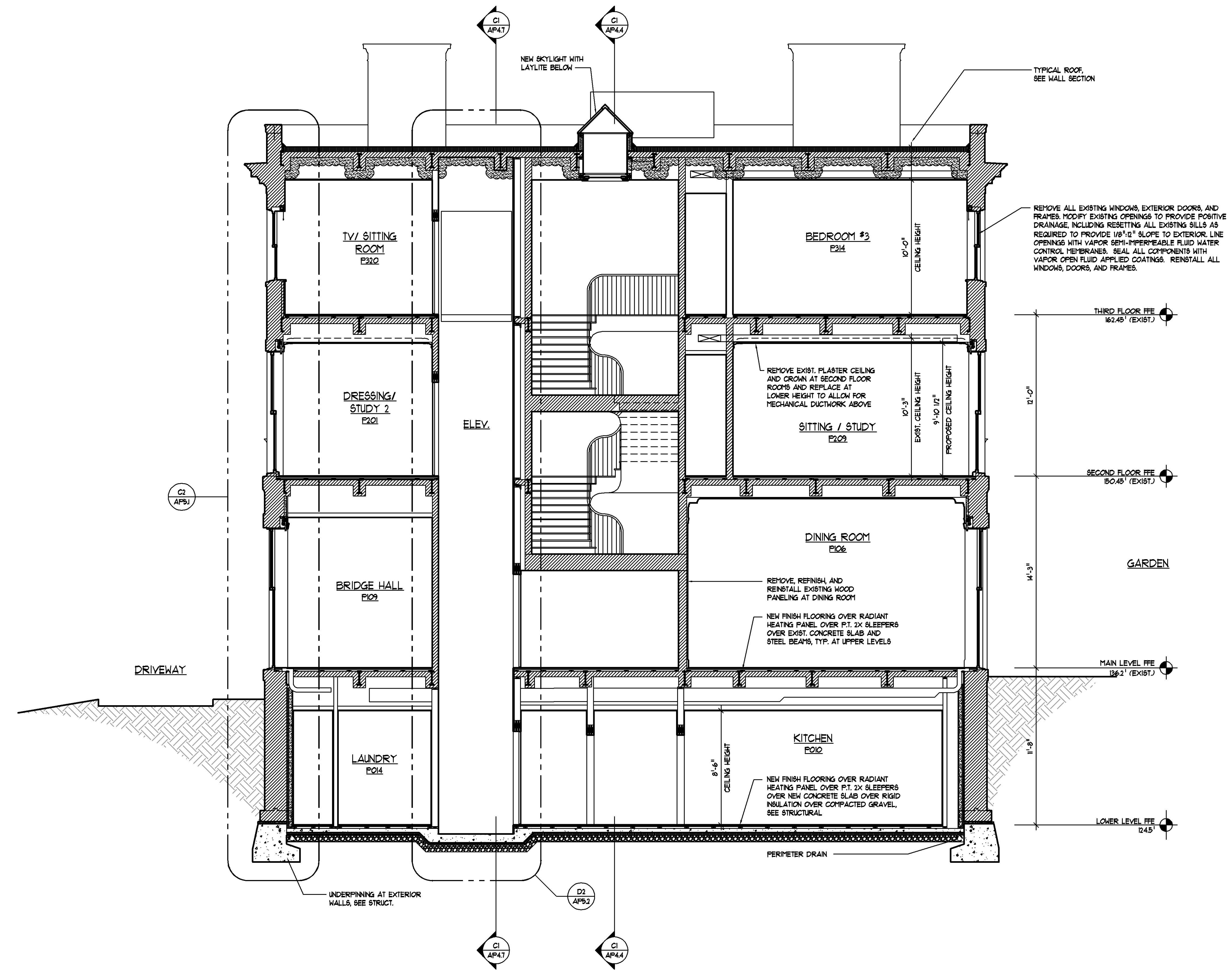
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRB Review - Steve Callcott - 09-27-2017
Structural Review - Abdul Muzikr - 09-27-2017
Elevator Review - Luchi Lu - 09-27-2017
Fire Review - Luchi Lu - 09-27-2017
DOEE SE-SW Review - Charles Edwards - 09-27-2017
Mechanical Review - Alec Petritto-Groh - 09-27-2017
Plumbing Review - Alec Petritto-Groh - 09-27-2017
Energy Review - Robert Campbell - 09-27-2017
Electrical Review - Saima Dar - 09-27-2017

1666
BARNES VANZEL
ARCHITECTS INC.
1000 Potomac Street, N.W.
Suite L-2
Washington, D.C. 20007
TELE:
FAX:



**2320 S STREET
RESIDENCE**
2320-2330 S ST. NW,
WASHINGTON, DC 20008



C1 BUILDING SECTION
AP4.5
DRAWING SCALE: 1/4"=1'-0"




DRAWING: BUILDING SECTION - POPE
ISSUED: 07/05/17
PERMIT

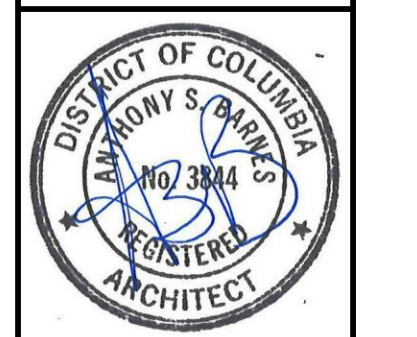
AP4.5

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8 709931 Date 09/27/17

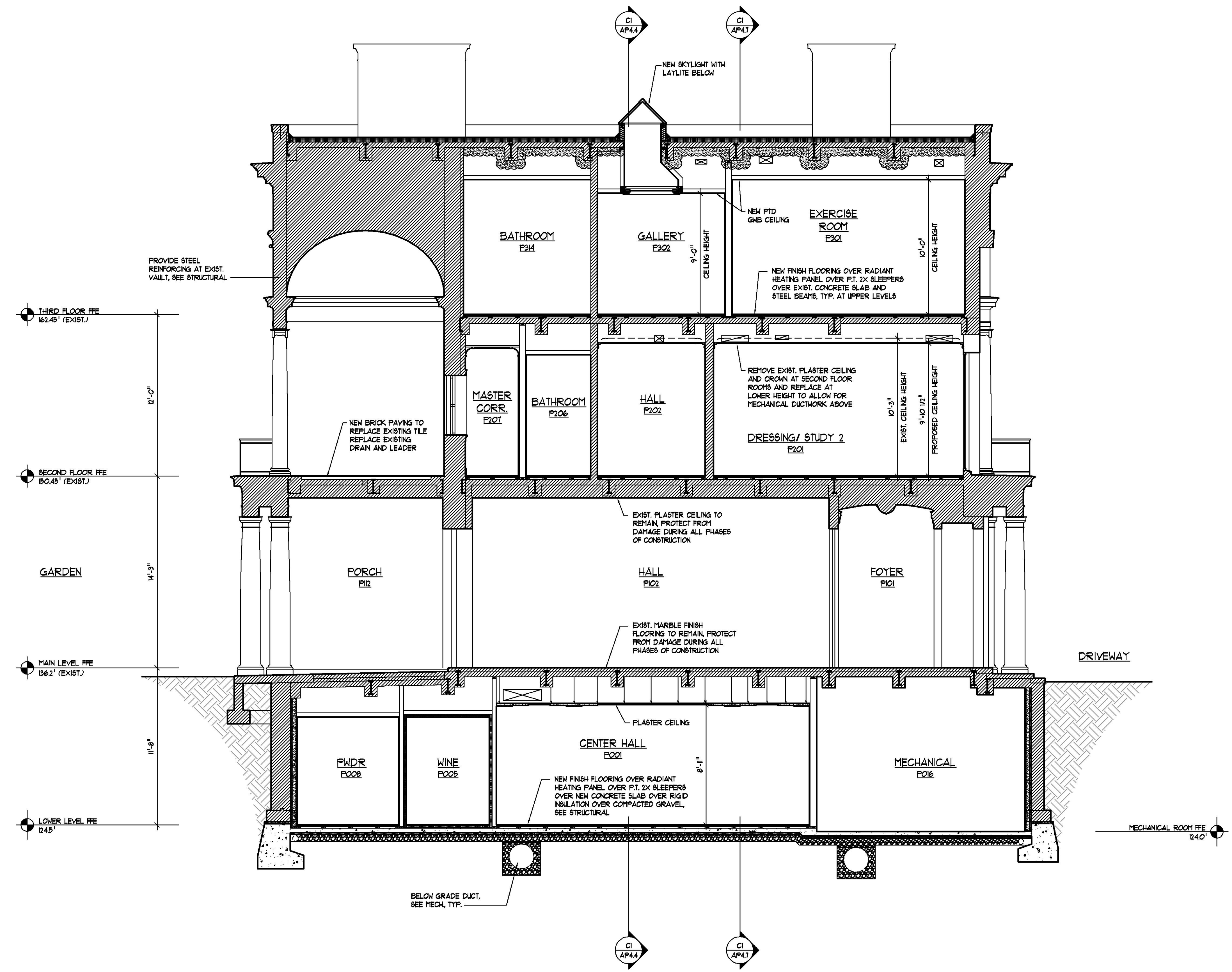
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRB Review - Steve Callcott - 09-27-2017
 Structural Review - Abdul Muzikr - 09-27-2017
 Elevator Review - Luchi Lu - 09-27-2017
 Fire Review - Luchi Lu - 09-27-2017
 DOEE SE-SW Review - Charles Edwards - 09-27-2017
 Mechanical Review - Alec Petrilto-Groh - 09-27-2017
 Plumbing Review - Alec Petrilto-Groh - 09-27-2017
 Energy Review - Robert Campbell - 09-27-2017
 Electrical Review - Saima Dar - 09-27-2017

1666

 BARNES VANZEL
 ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007
 TELE: 
 FAX: 



2320 S STREET
 RESIDENCE
 2320-2330 S ST. NW,
 WASHINGTON, DC 20008



CI BUILDING SECTION
 AP4.6
 DRAWING SCALE: 1/4"=1'-0"

DRAWING: BUILDING SECTION - POPE	
ISSUED: 07/09/17	
PERMIT	

AP4.6

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

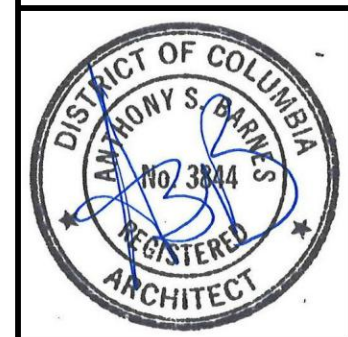
HPRB Review - Steve Callcott - 09-27-2017
Structural Review - Abdul Muzikr - 09-27-2017
Elevator Review - Luchi Lu - 09-27-2017
Fire Review - Luchi Lu - 09-27-2017
DOEE SE-SW Review - Charles Edwards - 09-27-2017
Mechanical Review - Alec Petrillo-Groh - 09-27-2017
Plumbing Review - Alec Petrillo-Groh - 09-27-2017
Energy Review - Robert Campbell - 09-27-2017
Electrical Review - Saima Dar - 09-27-2017

1666

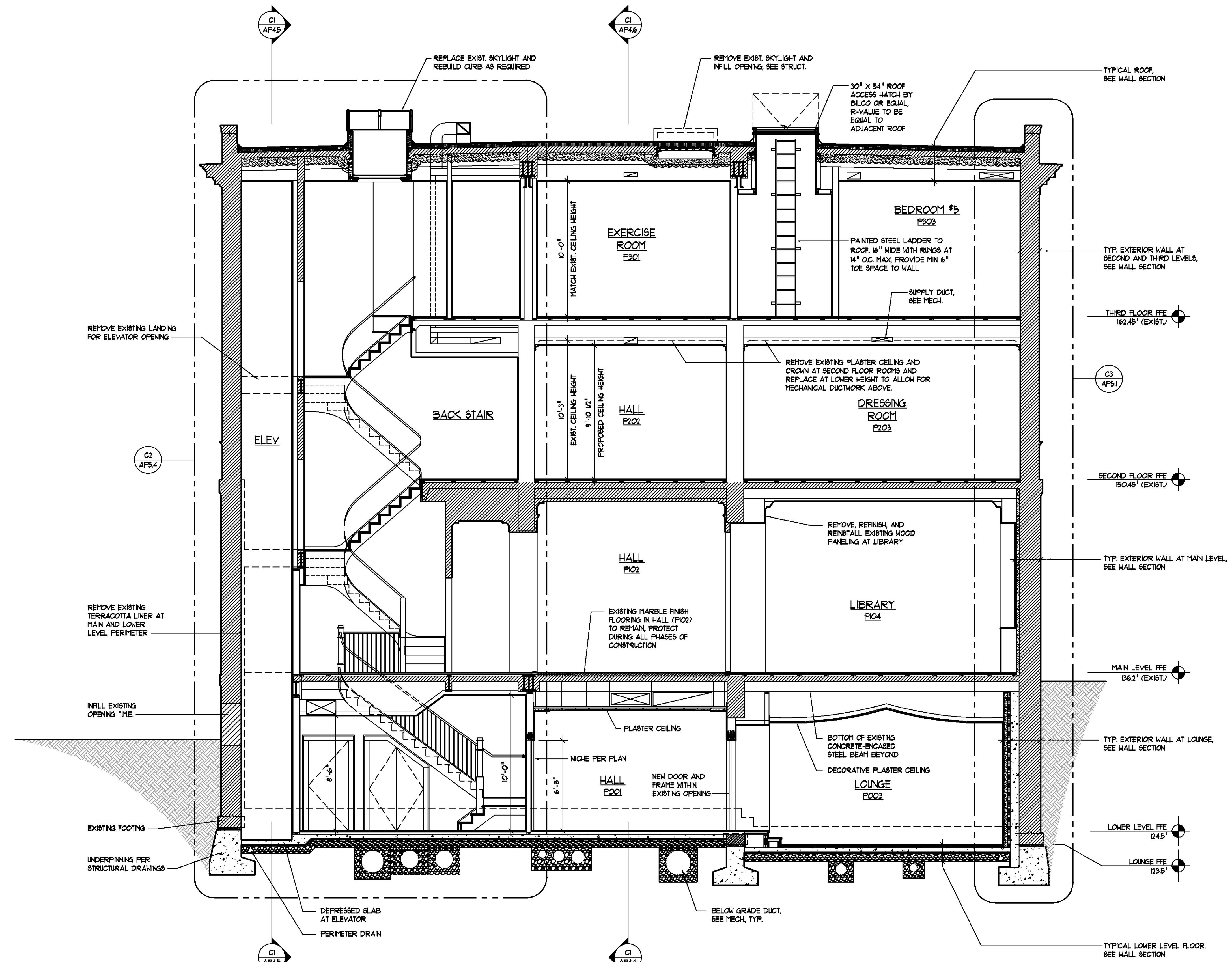


BARNES VANZE
ARCHITECTS INC.
1000 Potomac Street, N.W.
Suite L-2
Washington, D.C. 20007

TELE: [REDACTED]
FAX: [REDACTED]



2320 S STREET
RESIDENCE
2320-2330 S ST. NW.
WASHINGTON, DC 20008



C1 BUILDING SECTION
AP4.7 DRAWING SCALE: 1/4"=1'-0"

DRAWING: BUILDING SECTION - POPE
ISSUED: 07/09/17
PERMIT

AP4.7

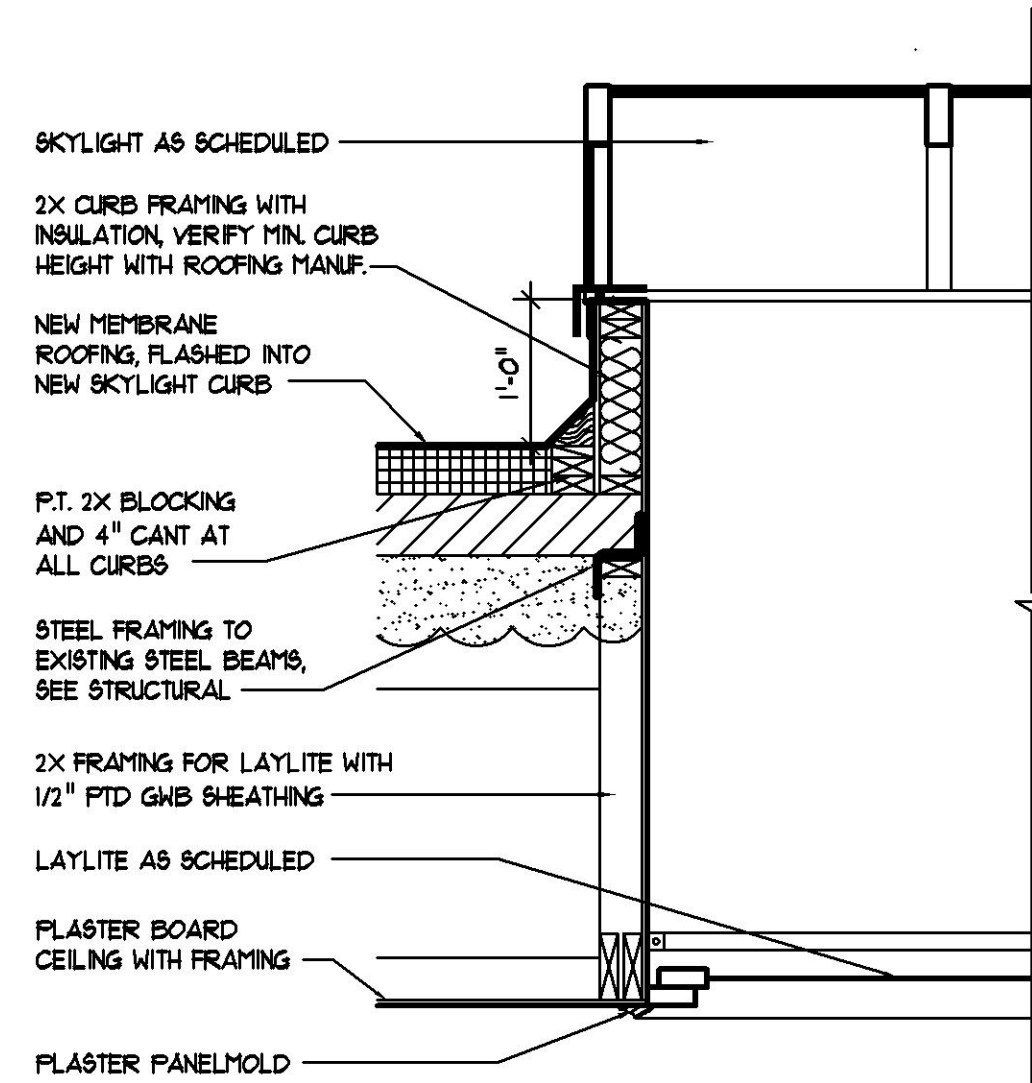
**TABLE R402.4.1.1
AIR BARRIER AND INSULATION INSTALLATION**

COMPONENT	CRITERIA (a)
Air barrier and thermal barrier	A continuous air barrier shall be installed in the building envelope. Exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed. Air-permeable insulation shall not be used as a sealing material.
Ceiling/attic	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier sealed. Access openings, drop down stair or knee wall doors to unconditioned attic spaces shall be sealed.
Walls	Corners and headers shall be insulated and the junction of the foundation and sill plate shall be sealed. The junction of the top plate and top of exterior walls shall be sealed. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier. Knee walls shall be sealed.
Windows, skylights and doors	The space between window/door jambs and framing and skylights and framing shall be sealed.
Rim joists	Rim joists shall be insulated and include air barrier.
Floors (including above-garage and cantilevered floors)	Insulation shall be installed to maintain permanent contact with underside of subfloor decking. The air barrier shall be installed at any exposed edge of insulation.
Crawl space walls	Where provided in lieu of floor insulation, insulation shall be permanently attached to the crawlspace walls. Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.
Narrow cavities	Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be air tight, IC rated, and sealed to the drywall.
Plumbing and wiring	Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to available space shall extend behind piping and wiring.
Shower/tub on exterior wall	Exterior walls adjacent to showers and tubs shall be insulated and the air barrier installed separation them from the showers and tubs.
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes or air sealed boxes shall be installed.
HVAC register boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.
Fireplace	An air barrier shall be installed on fireplace walls. Fireplaces shall have gasketed doors.

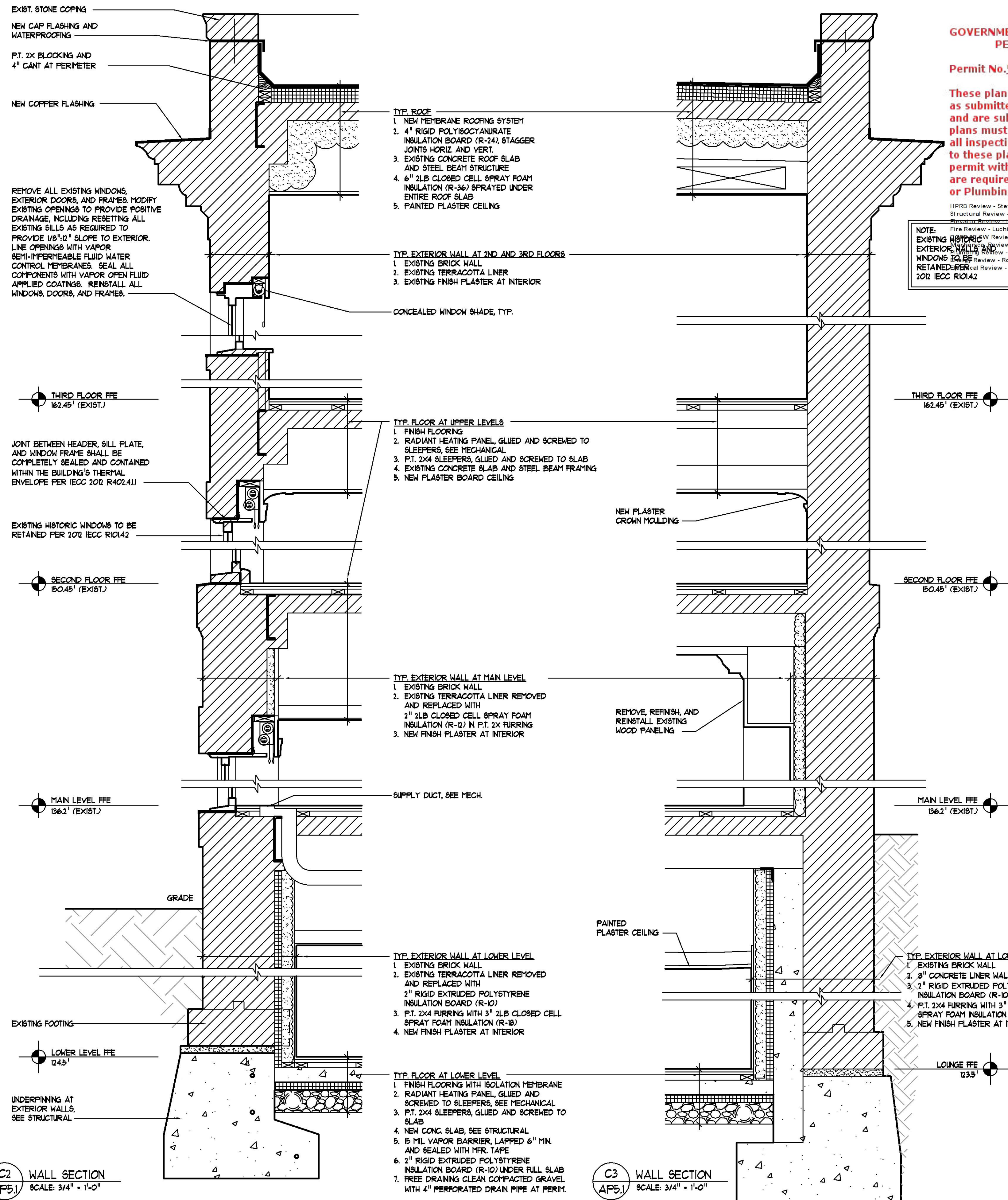
a. In addition, inspection of log walls shall be in accordance with the provisions of ICC-400.

INSTALLATION NOTES:

- ALL MATERIALS, SYSTEMS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND THE INTERNATIONAL RESIDENTIAL CODE, 2012 IECC R303.2
- THE THICKNESS OF BLOW-IN OR SPRAYED INSULATION SHALL BE WRITTEN IN INCHES IN MARKERS AND THE R-VALUE SHALL BE LISTED ON CERTIFICATE PROVIDED BY THE INSULATION INSTALLER, IN ACCORDANCE WITH 2012 IECC R303.1.1
- A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE PER TABLE R402.4.1.1. ALL CORNERS, BUILDING JOINTS, RIM JOISTS, SOFFITS, SHALL BE SEALED CONTINUOUSLY WITHIN THE PACKAGE. THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION IN THE PACKAGE. AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.



C1 SKYLIGHT SECTION
SCALE: 3/4" = 1'-0"



C2 WALL SECTION
SCALE: 3/4" = 1'-0"

C3 WALL SECTION
SCALE: 3/4" = 1'-0"

**GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED**
Permit No. 8709931 Date 09/27/17

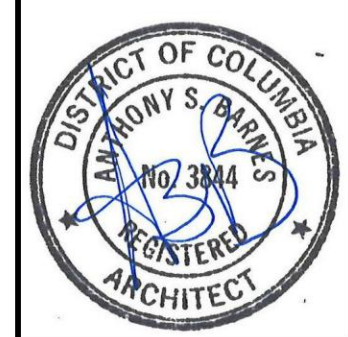
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

NOTE:
EXISTING HISTORIC WINDOWS TO BE RETAINED PER 2012 IECC R101.4.2

- HPRB Review - Steve Calcott - 09-27-2017
- Structural Review - Abdul Muzikr - 09-27-2017
- Fire Review - Luchi Lu - 09-27-2017
- Fire Review - Charles Edwards - 09-27-2017
- Fire Review - Lec Patillo-Groh - 09-27-2017
- Fire Review - Alec Patillo-Groh - 09-27-2017
- Fire Review - Robert Campbell - 09-27-2017
- Fire Review - Sama Dar - 09-27-2017

1666

BARNES VANZE ARCHITECTS INC.
1000 Potomac Street, N.W., Suite L-2
Washington, D.C. 20007
TELE: [REDACTED]
FAX: [REDACTED]

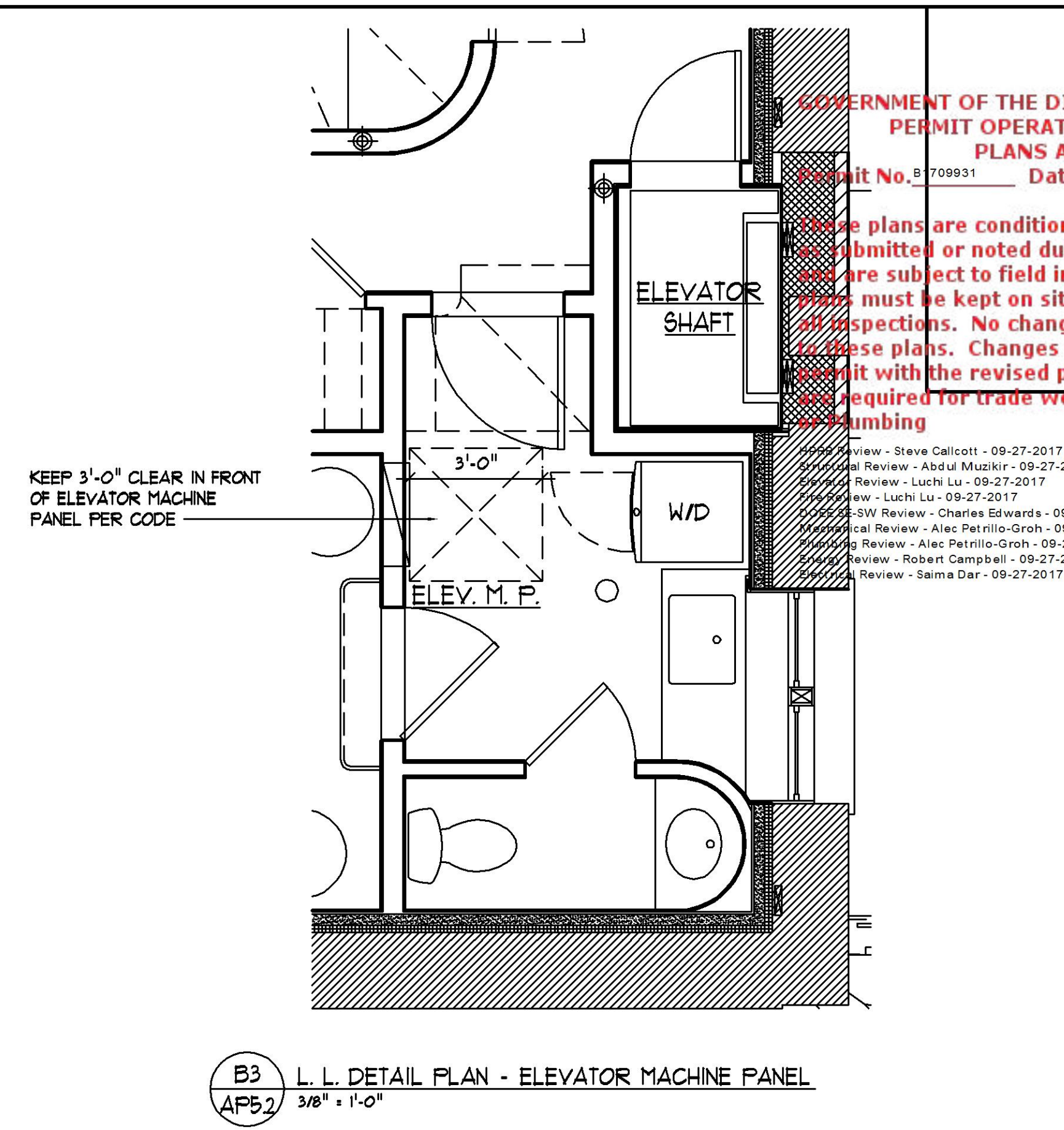
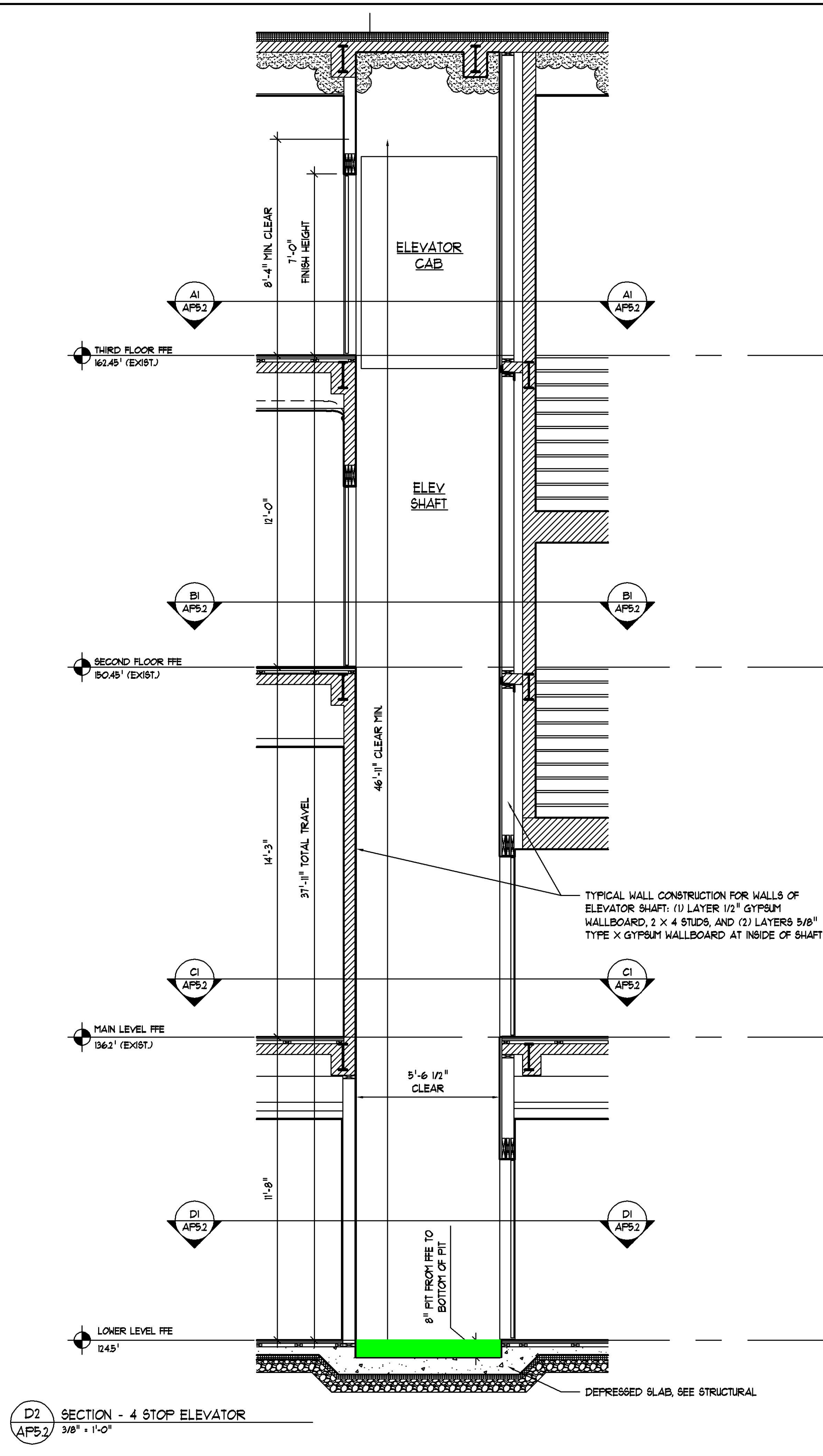
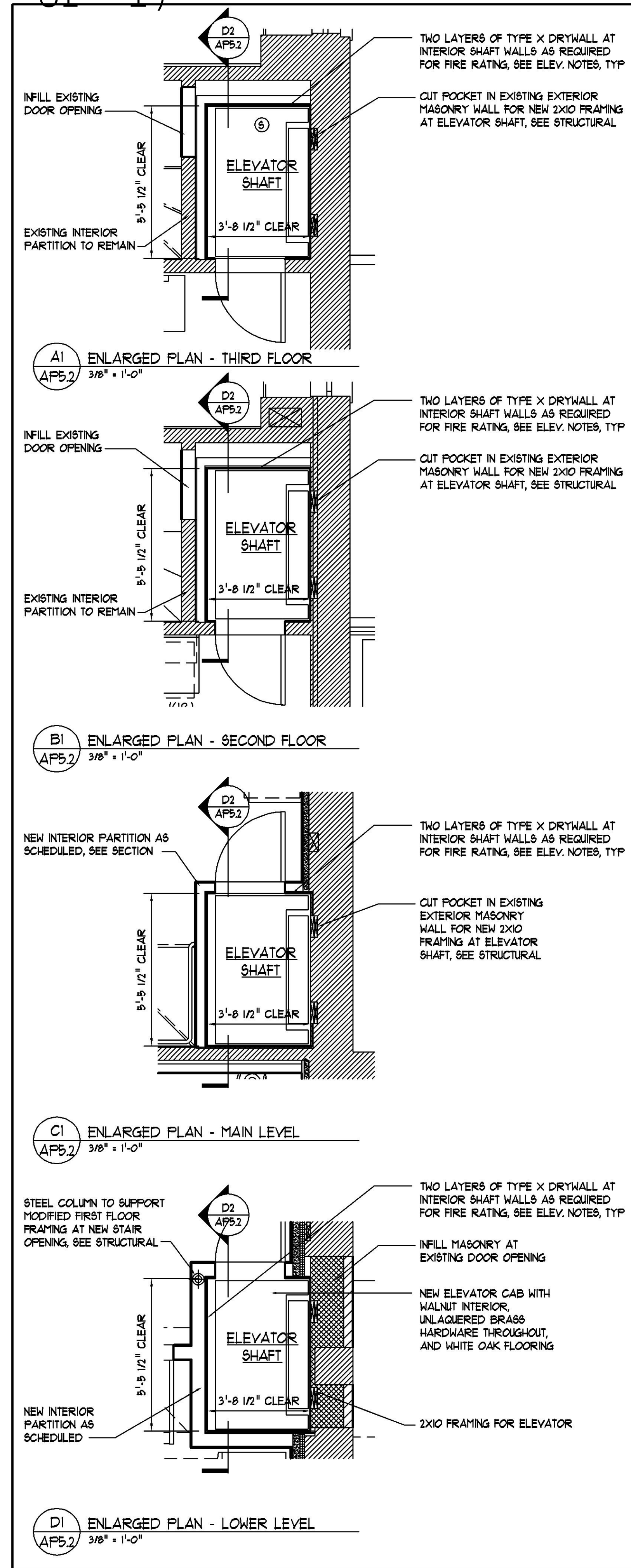


2320 S STREET RESIDENCE
2320-2330 S ST. NW.
WASHINGTON, DC 20008

DRAWING: WALL SECTIONS - ROPE

ISSUED:	07/09/17
PERMIT:	

AP5.1



- ELEVATOR NOTES:**
- ELEVATOR SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ASME A17.1, SAFETY CODE FOR ELEVATORS AND ESCALATORS
 - RESIDENTIAL "ECLIPSE" WINDING DRUM ELECTRIC ELEVATOR BY SAVARIA, INSTALLED PER MANUF. REC. VERIFY ALL CLEARANCE REQUIREMENTS PRIOR TO CONSTRUCTING SHAFT.
 - CONTRACTOR TO COORDINATE ELEVATOR WITH MANUFACTURER'S SHOP DRAWINGS
 - HARD-WIRED SMOKE DETECTOR SHALL BE INSTALLED IN THE ELEVATOR MACHINE ROOM
 - IF HOISTWAY IS NOT FULLY ENCLOSED, THE PIT SHALL BE GUARDED BY A SOLID ENCLOSURE AT LEAST 84" HIGH
 - PROVIDE 2 LAYERS 5/8" TYPE 'X' GWB ON INTERIOR SURFACES OF SHAFT WALLS AND CEILING, TYPICAL
 - THE MIN. ILLUMINATION AT CAR THRESHOLD, WITH DOOR CLOSED, SHALL NOT BE LESS THAN 50 LX.
 - ELEVATOR TO COMPLY WITH IRC 2012
 - ELEVATOR CAB TO HAVE WOOD FLOORING, TO MATCH ADJACENT, PAINTED WOOD WALLS W/ PTD WD PANELMOULD AND STICKING, AND LIGHT.
 - PROVIDE SMOKE DETECTOR ON EACH FLOOR LEVEL ADJACENT TO THE ELEVATOR DOOR OPENING FOR ELEVATOR RECALL OPERATION PER CODE.
 - SEE PLUMBING RISER DIAGRAM FOR ELEVATOR PIT DRAINAGE PROVISION.
 - HALL BUTTON NEEDED AT ALL STOPS.

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8709931 Date 09/27/17
 These plans are conditionally approved and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical, Plumbing

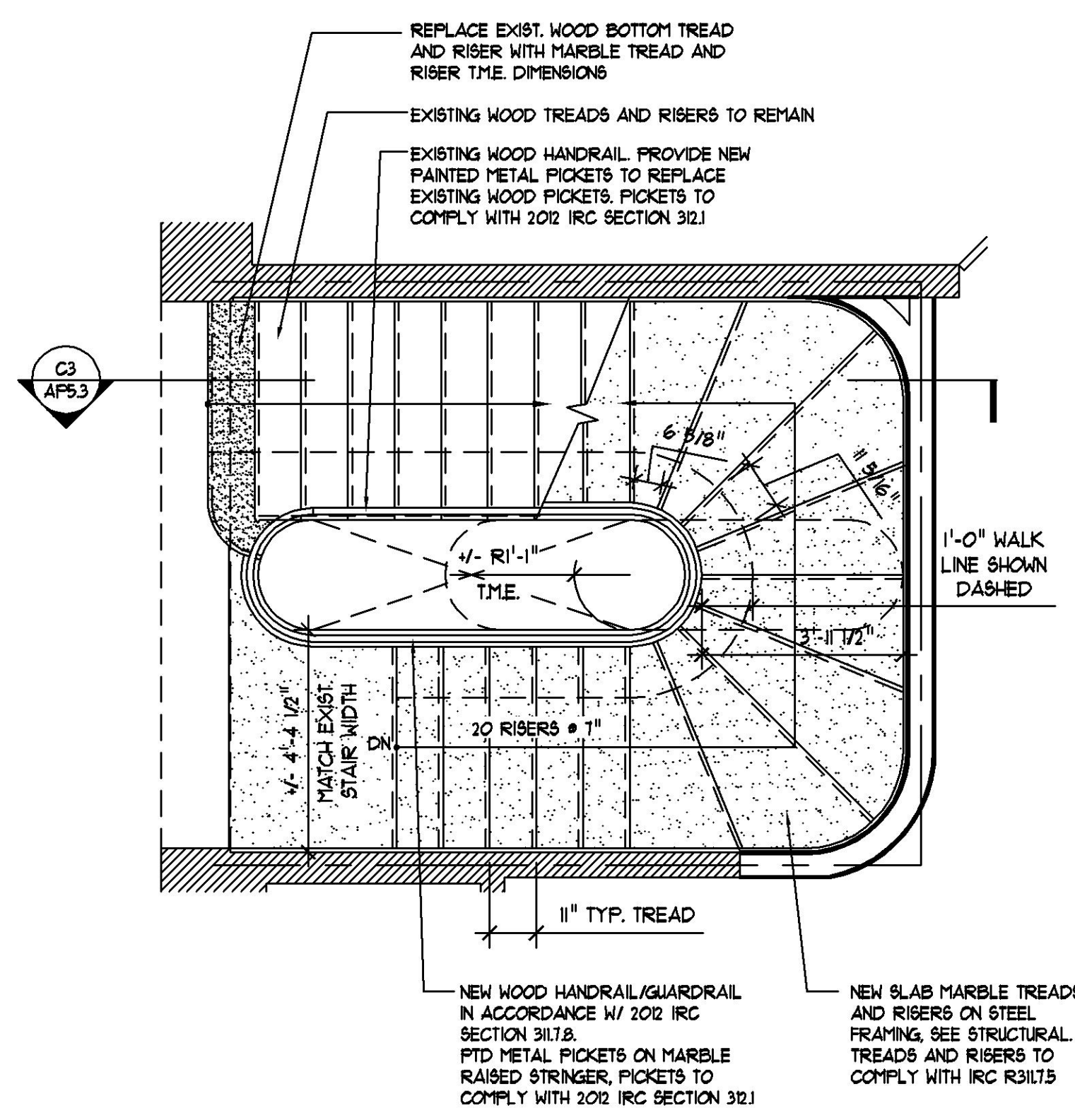
1666
BARNES VANZE ARCHITECTS INC.
 1000 Potomac Street, N.W., Suite L-2
 Washington, D.C. 20007
 TELE: [REDACTED]
 FAX: [REDACTED]

DISTRICT OF COLUMBIA
 ARCHITECT
 REGISTERED ARCHITECT

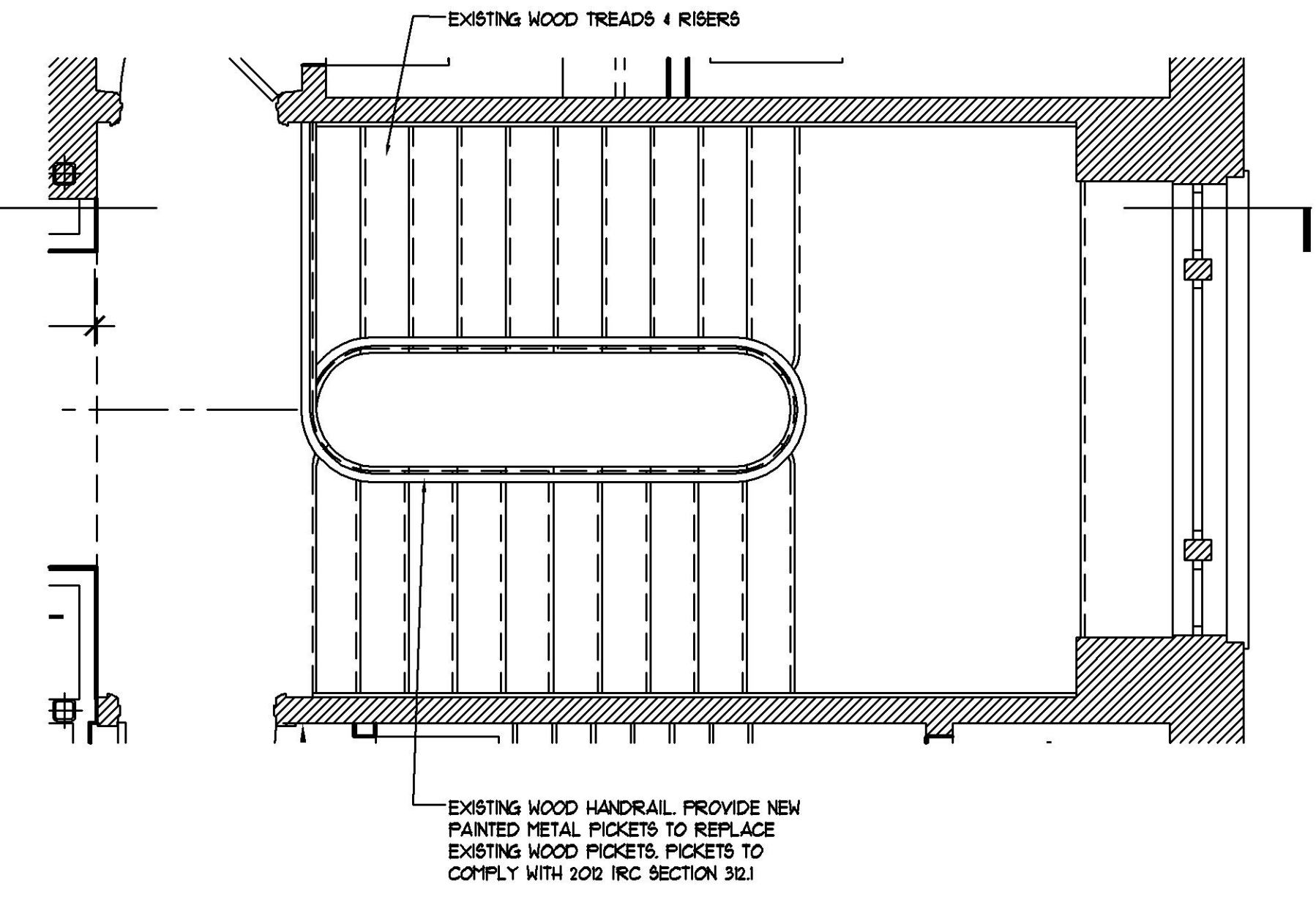
2320 S STREET RESIDENCE
 2320-2330 S ST. NW.
 WASHINGTON, DC 20008

DRAWING: ENLARGED PLAN - ELEVATOR	ISSUED: 07/09/17	PERMIT			
-----------------------------------	------------------	--------	--	--	--

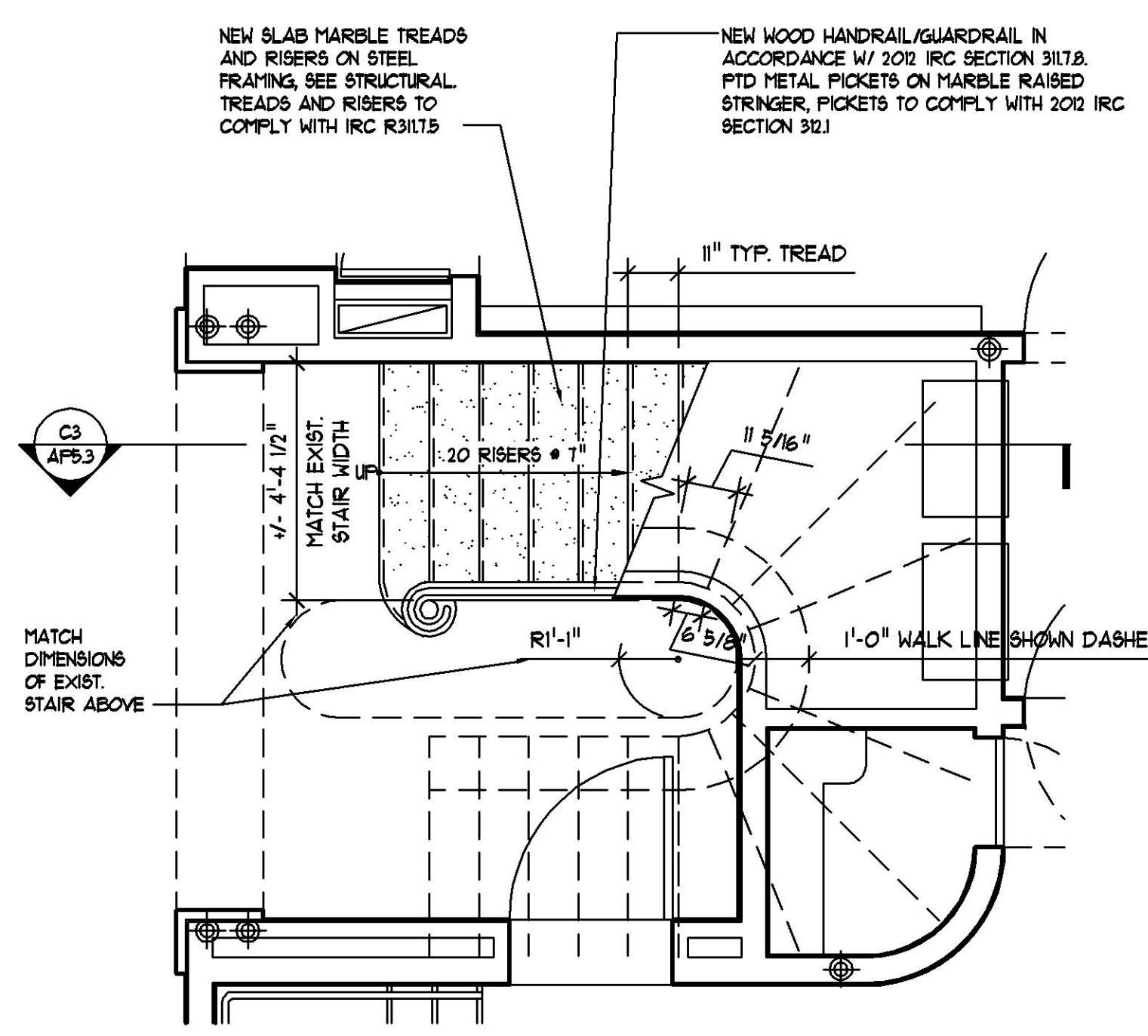
AP5.2



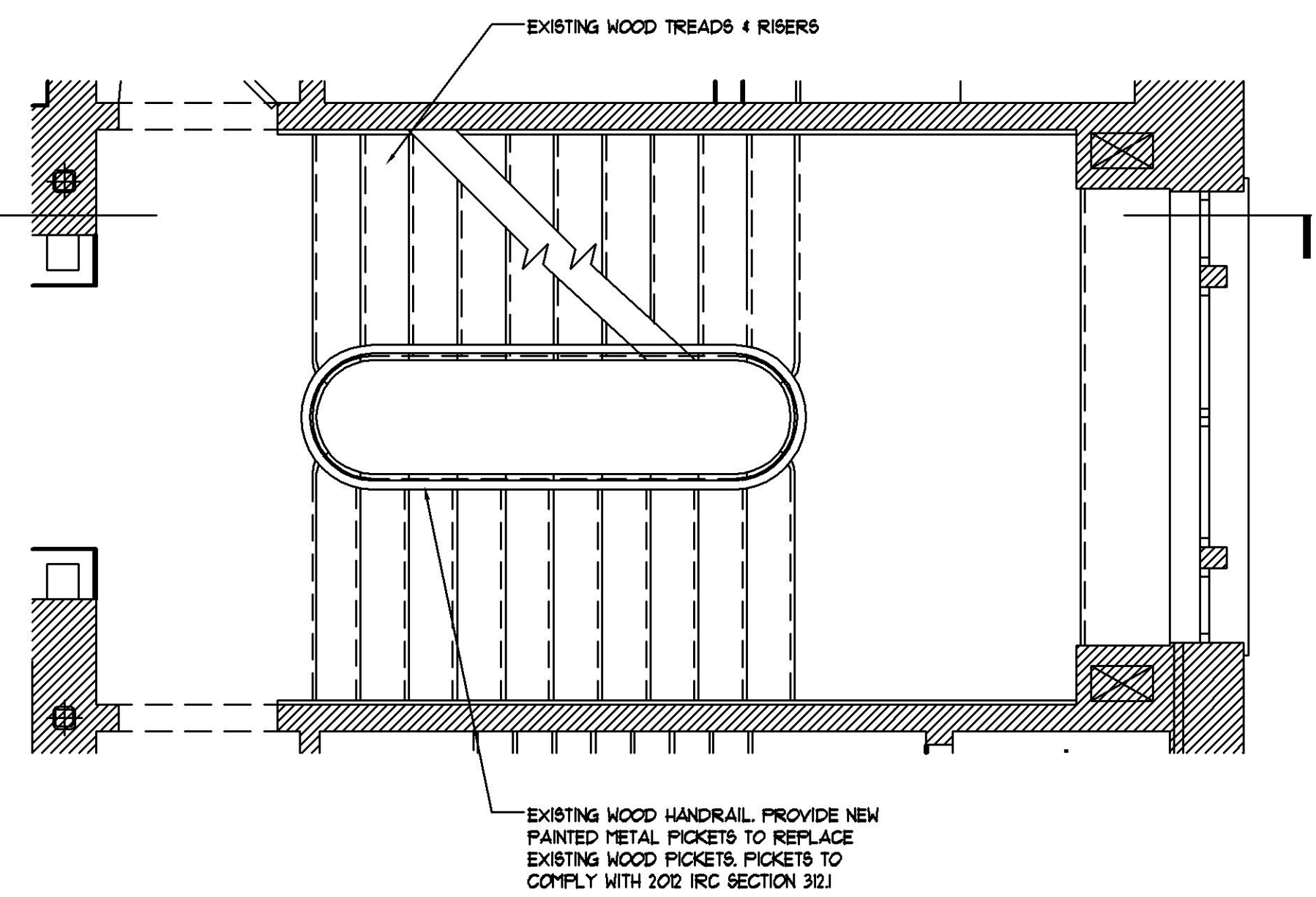
A1 ENLARGED PLAN - MAIN LEVEL
3/8" = 1'-0"



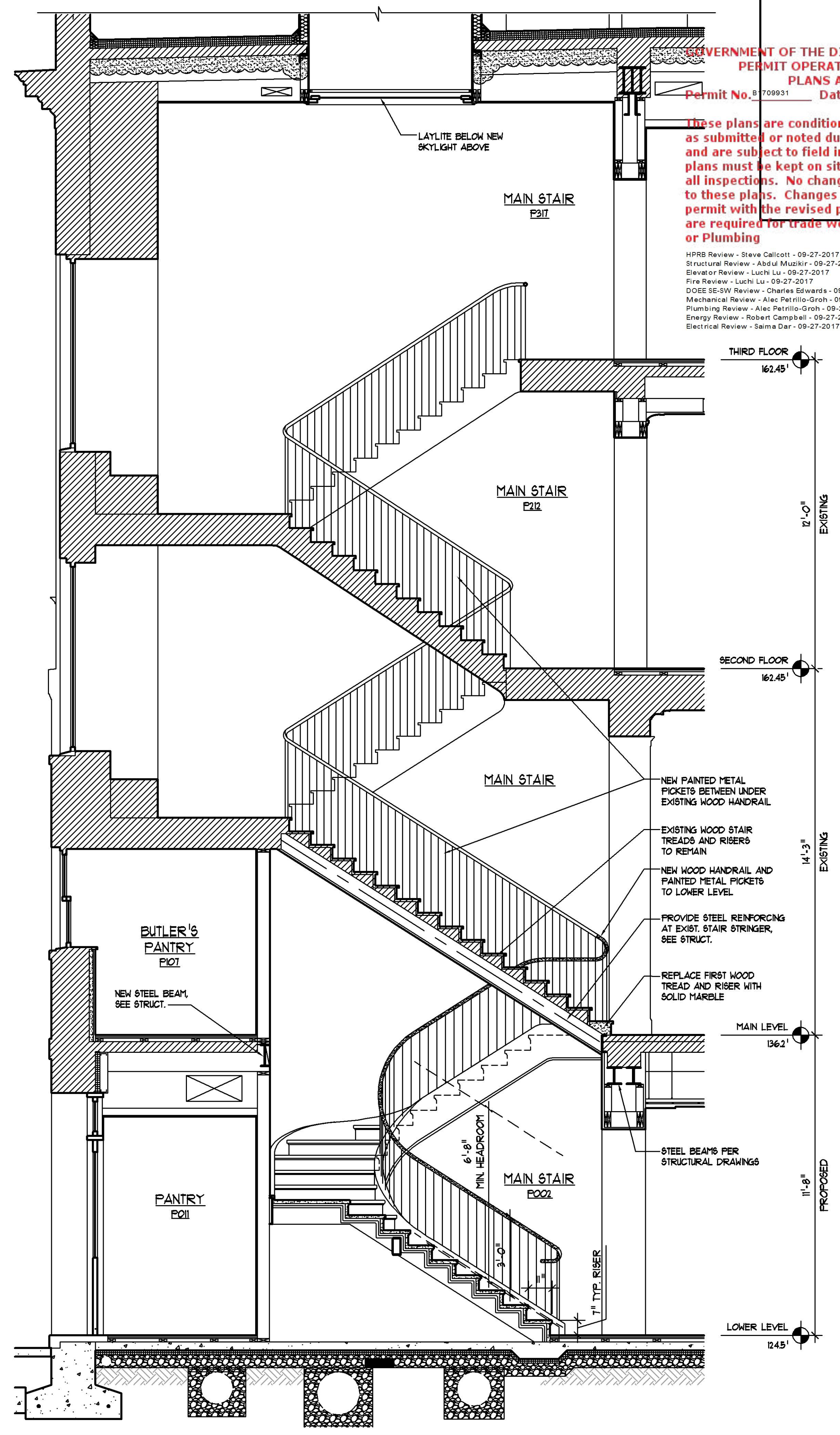
A2 ENLARGED PLAN - THIRD FLOOR
3/8" = 1'-0"



C1 ENLARGED PLAN - LOWER LEVEL
3/8" = 1'-0"



C2 ENLARGED PLAN - SECOND FLOOR
3/8" = 1'-0"



C3 SECTION THROUGH STAIR
3/8" = 1'-0"

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

- HPRB Review - Steve Callcott - 09-27-2017
- Structural Review - Abdul Muzikr - 09-27-2017
- Elevator Review - Luchi Lu - 09-27-2017
- Fire Review - Luchi Lu - 09-27-2017
- DOEE SE-SW Review - Charles Edwards - 09-27-2017
- Mechanical Review - Alec Petrillo-Groh - 09-27-2017
- Plumbing Review - Alec Petrillo-Groh - 09-27-2017
- Energy Review - Robert Campbell - 09-27-2017
- Electrical Review - Saima Dar - 09-27-2017

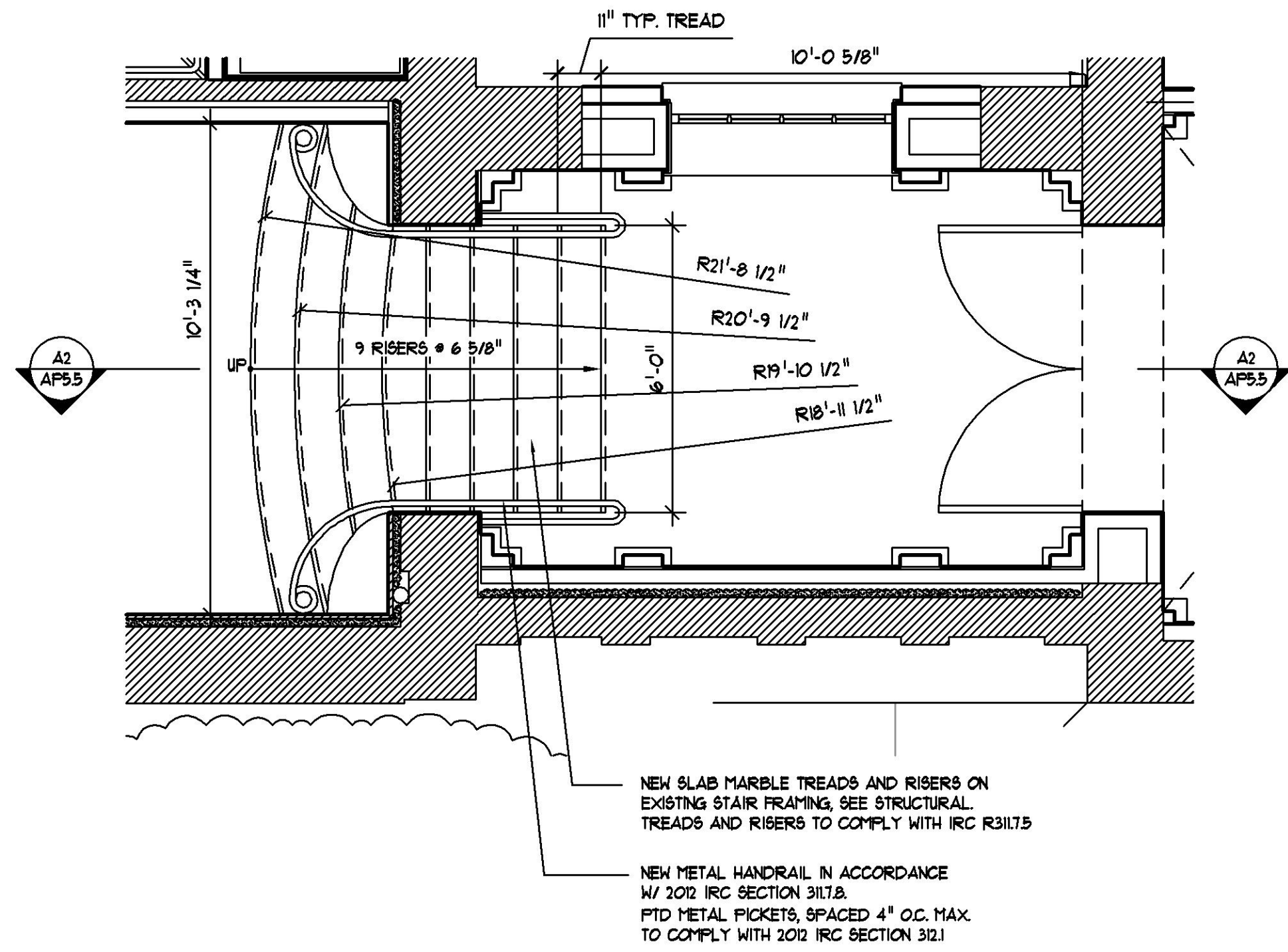
1666

BARNES VANZE ARCHITECTS INC.
1000 Potomac Street, N.W.
Suite L-2
Washington, D.C. 20007
TELE: [REDACTED]
FAX: [REDACTED]

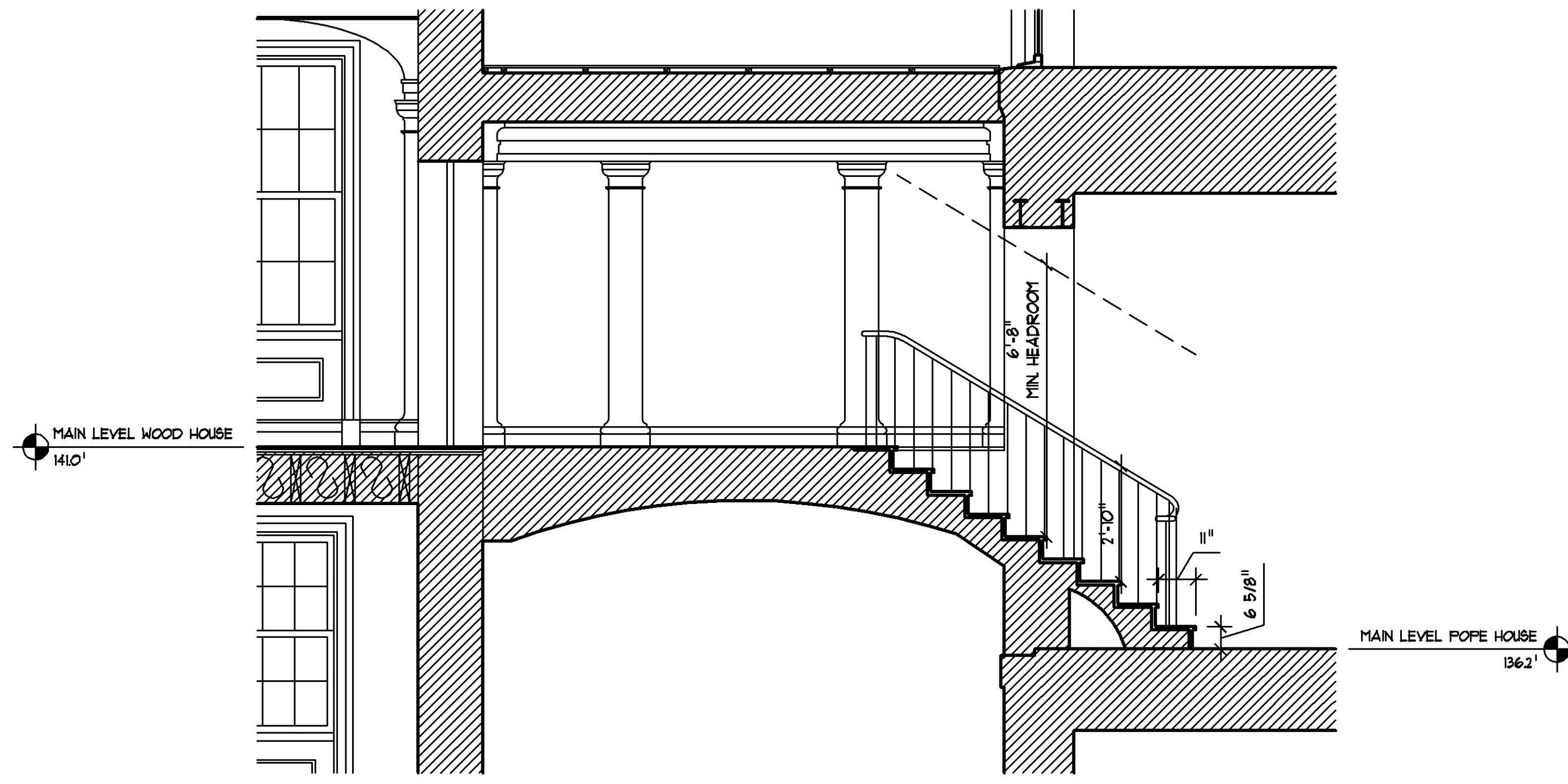
2320 S STREET RESIDENCE
2320-2330 S ST. NW.
WASHINGTON, DC 20008

DRAWING: ENLARGED PLAN - MAIN STAIR
ISSUED: 07/09/17
PERMIT

AP5.3



A1 ENLARGED PLAN - MAIN LEVEL
AP5.5 3/8" = 1'-0"



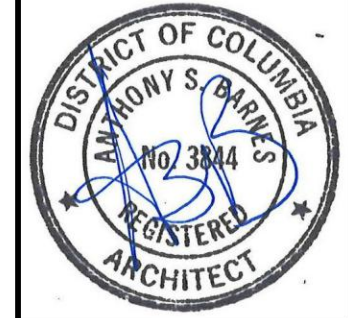
A2 SECTION THROUGH STAIR
AP5.5 3/8" = 1'-0"

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRB Review - Steve Callcott - 09-27-2017
Structural Review - Abdul Muzikr - 09-27-2017
Elevator Review - Luchi Lu - 09-27-2017
Fire Review - Luchi Lu - 09-27-2017
DOEE SE-SW Review - Charles Edwards - 09-27-2017
Mechanical Review - Alec Petrilko-Groh - 09-27-2017
Plumbing Review - Alec Petrilko-Groh - 09-27-2017
Energy Review - Robert Campbell - 09-27-2017
Electrical Review - Saima Dar - 09-27-2017

1666
BV
BARNES VANZE
ARCHITECTS INC.
1000 Potomac Street, N.W.,
Suite L-2
Washington, D.C. 20007
TELE: [REDACTED]
FAX: [REDACTED]



2320 S STREET
RESIDENCE
2320-2330 S ST. NW,
WASHINGTON, DC 20008

DRAWING: ENLARGED PLAN - BRIDGE STAIR				
ISSUED: 07/09/17	PERMIT			


AP5.5



GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8709931 Date 09/27/17

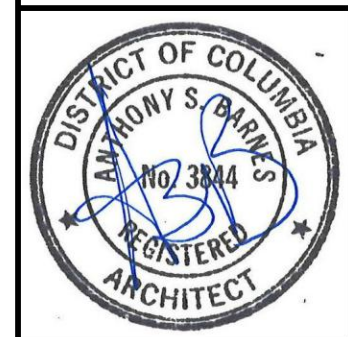
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRB Review - Steve Callcott - 09-27-2017
 Structural Review - Abdul Muzikr - 09-27-2017
 Elevator Review - Luchi Lu - 09-27-2017
 Fire Review - Luchi Lu - 09-27-2017
 DOEE SE-SW Review - Charles Edwards - 09-27-2017
 Mechanical Review - Alec Petrilto-Groh - 09-27-2017
 Plumbing Review - Alec Petrilto-Groh - 09-27-2017
 Energy Review - Robert Campbell - 09-27-2017
 Electrical Review - Saima Dar - 09-27-2017

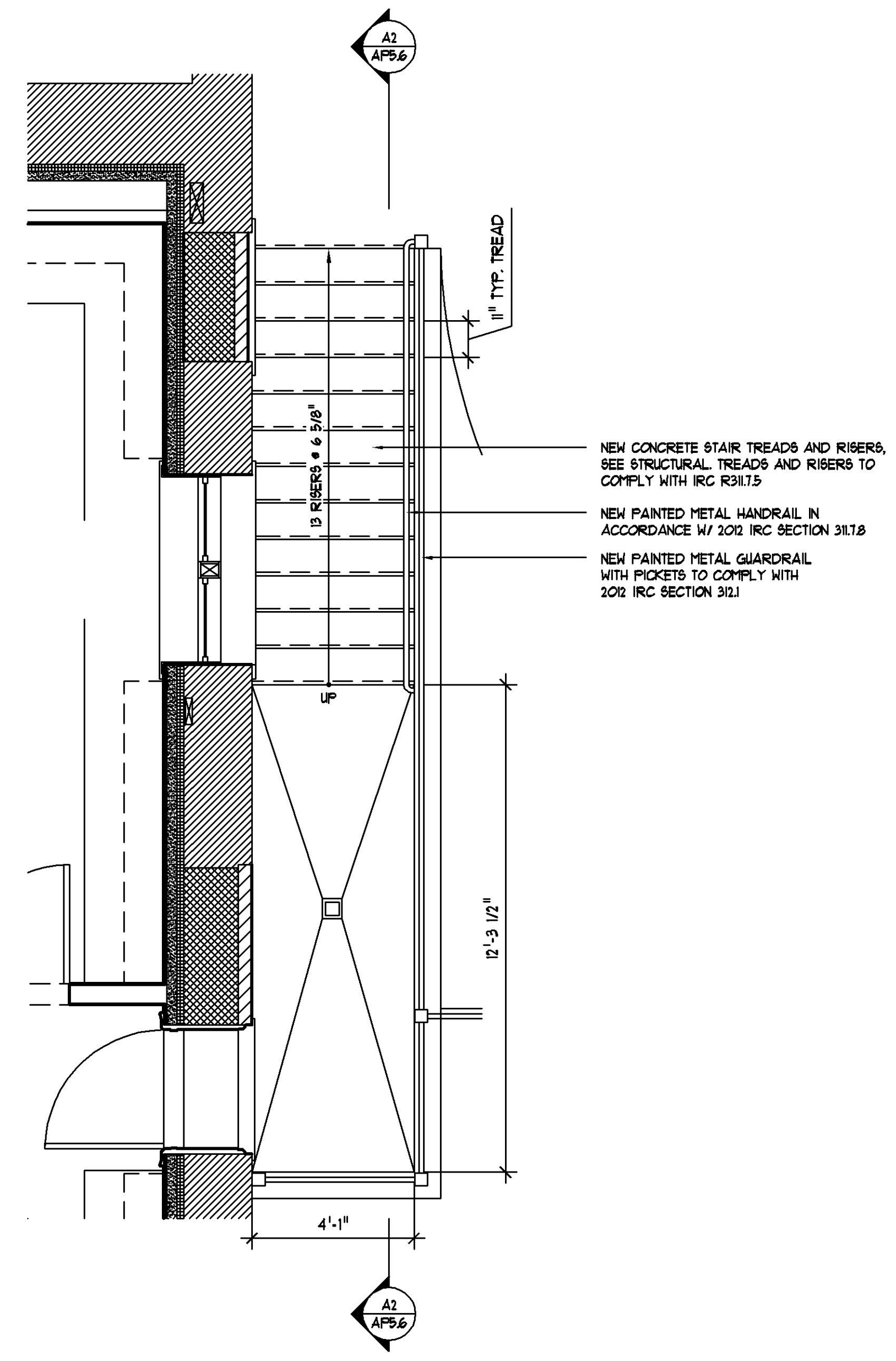
1666



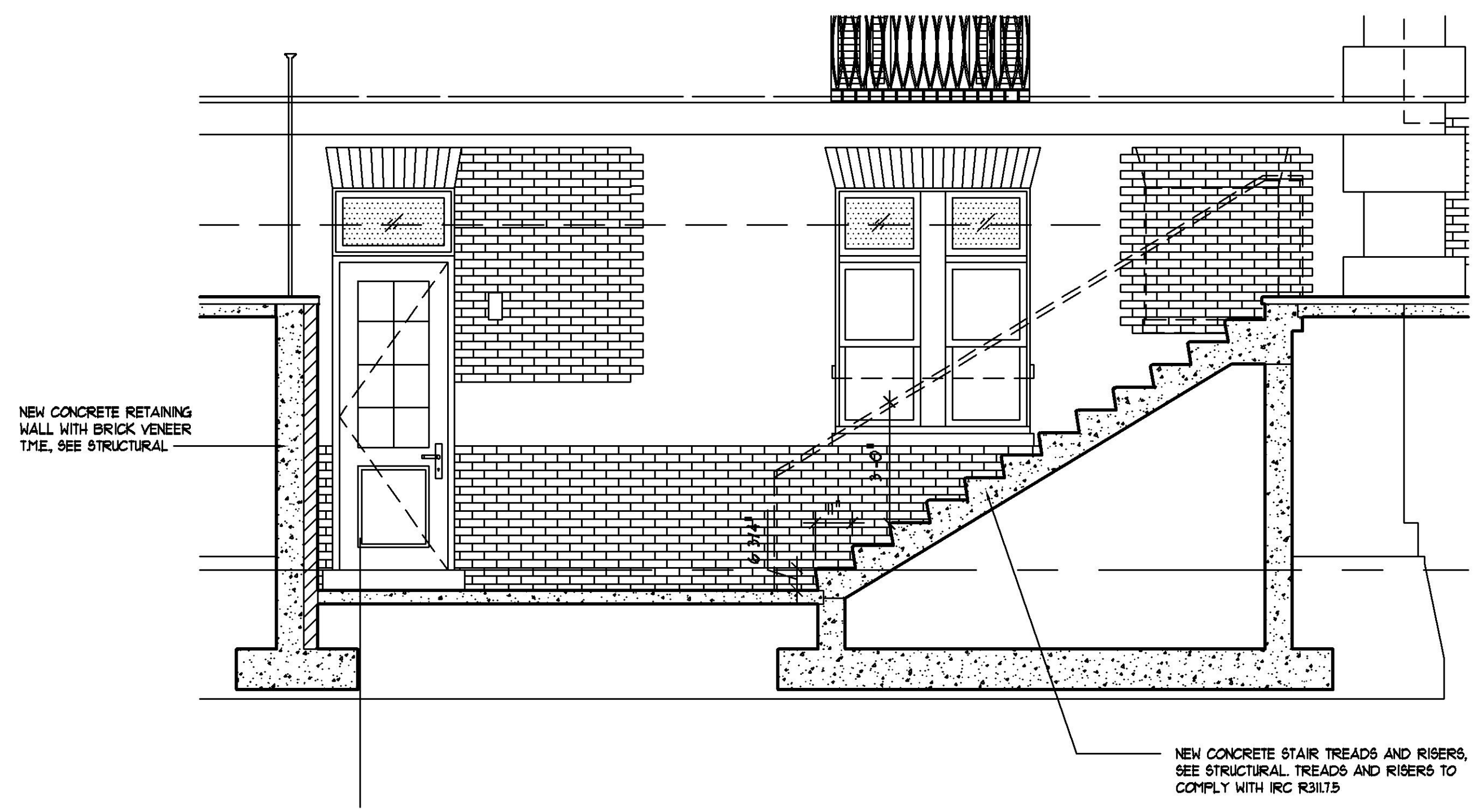
BARNES VANZE
ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007
 TELE: 
 FAX: 



**2320 S STREET
 RESIDENCE**
 2320-2330 S ST. NW,
 WASHINGTON, DC 20008



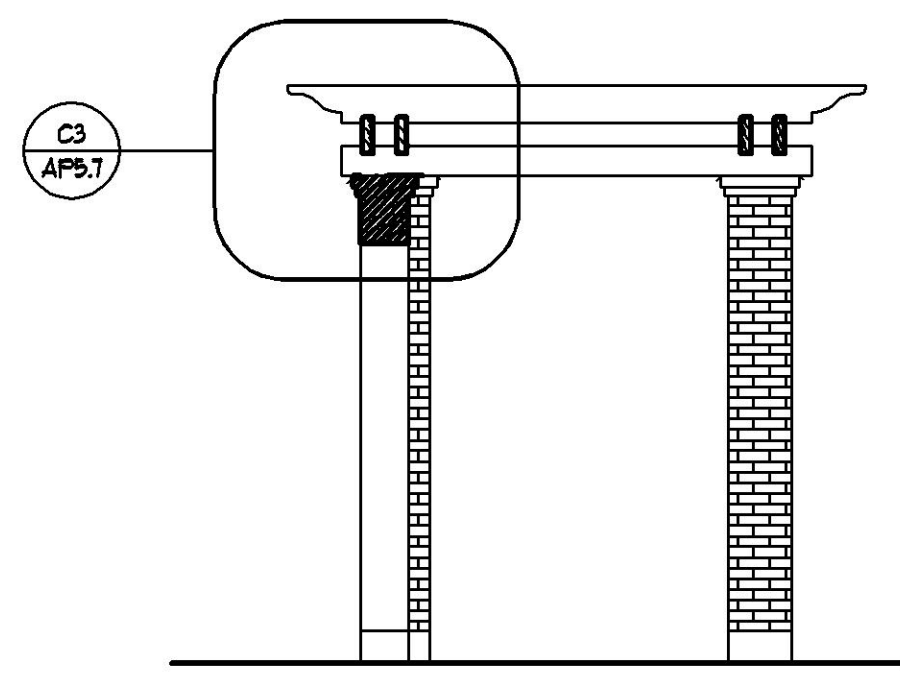
A1 ENLARGED PLAN - MAIN LEVEL
 AP5.6 3/8" = 1'-0"



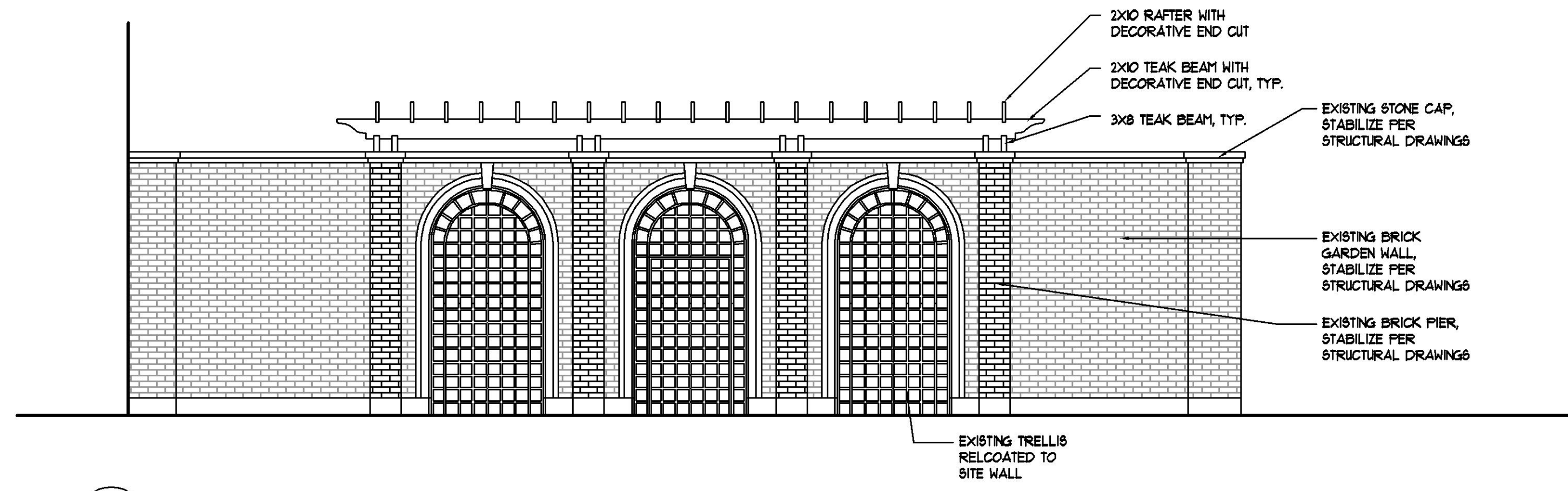
A1 ENLARGED PLAN - MAIN LEVEL
 AP5.6 3/8" = 1'-0"

DRAWING: ENLARGED PLAN - AREAWAY STAIR	
ISSUED: 07/09/17	PERMIT

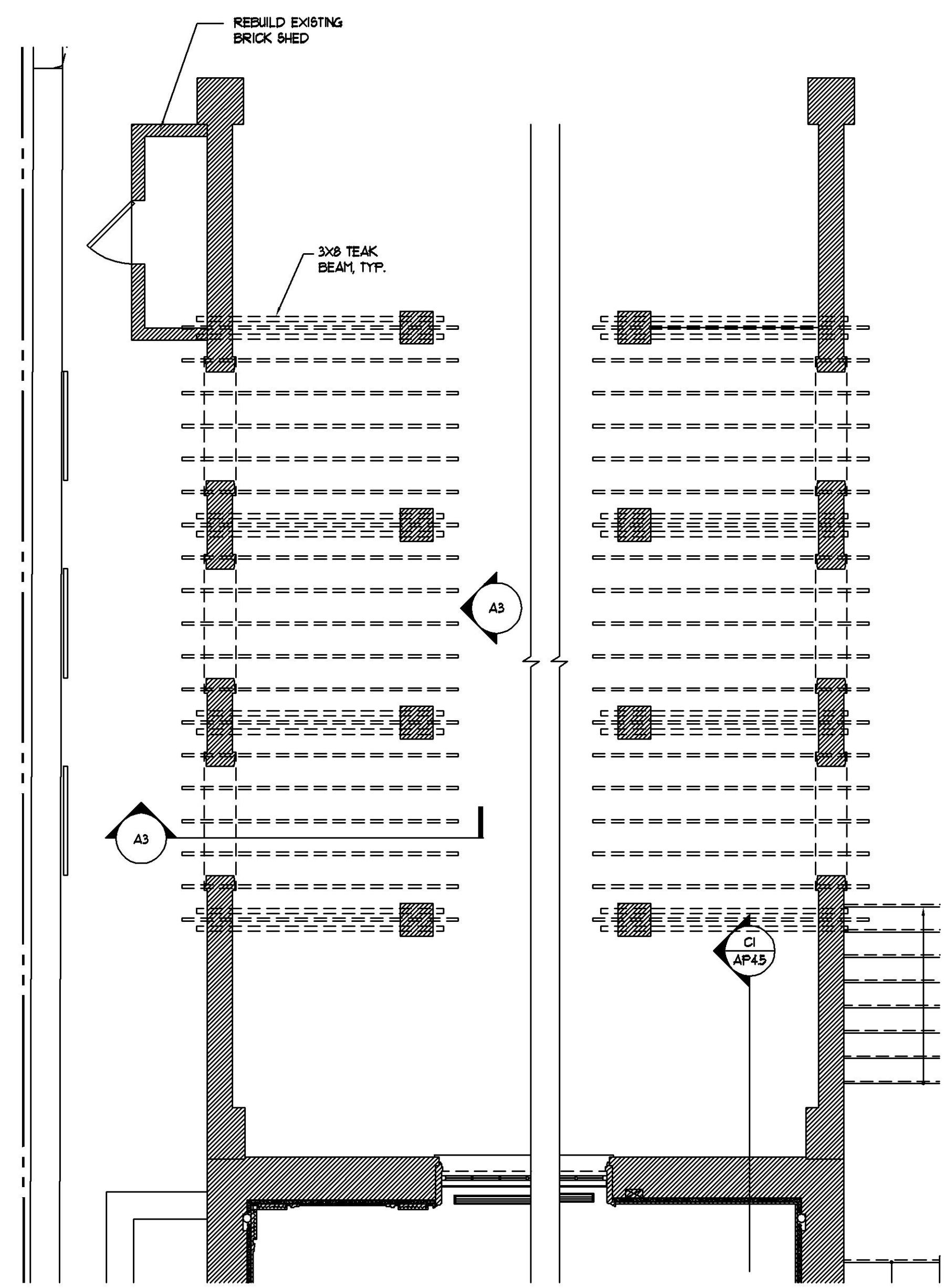
AP5.6



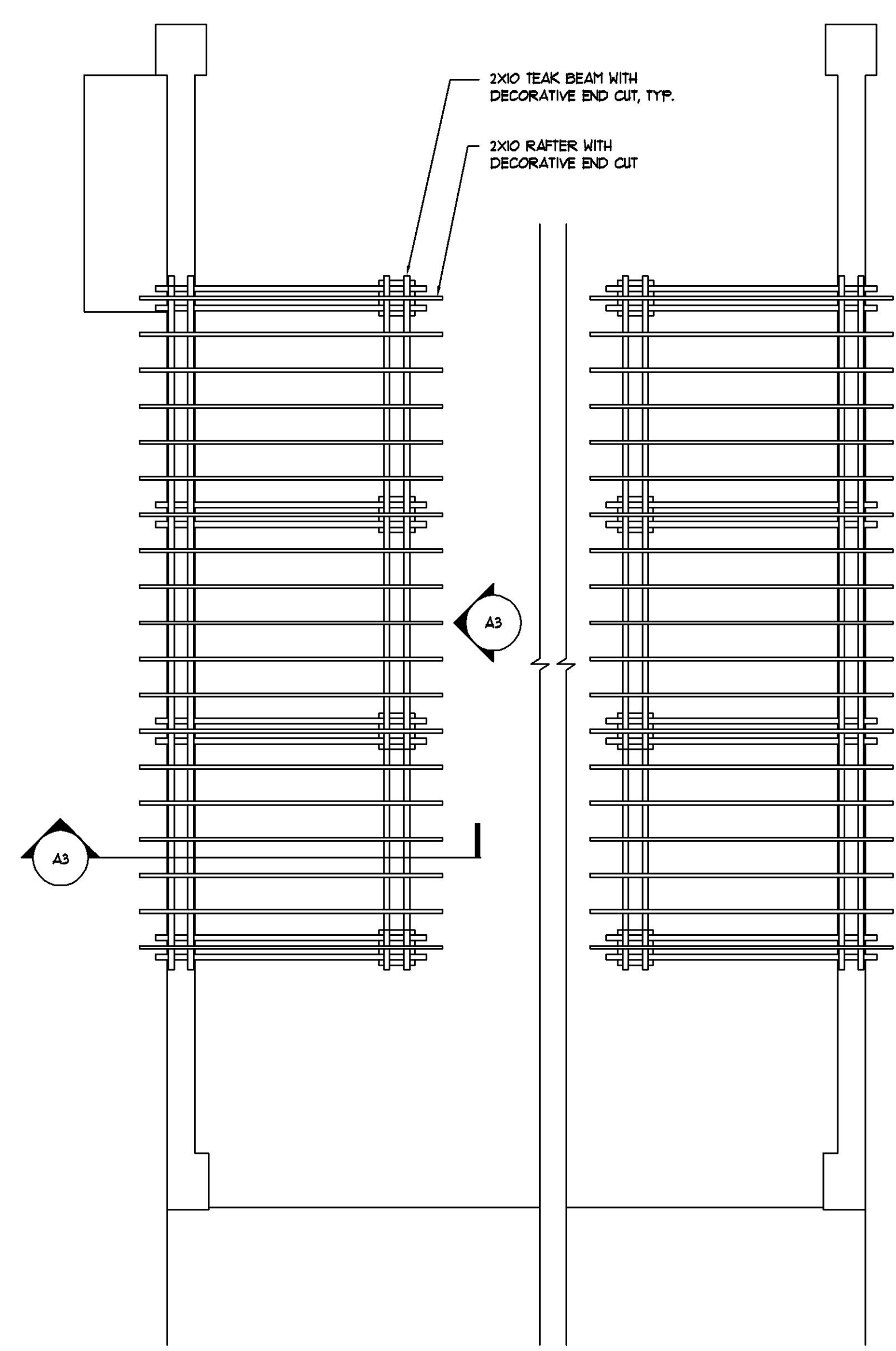
A1 SECTION
AP5.7 DRAWING SCALE: 1/4" = 1'-0"



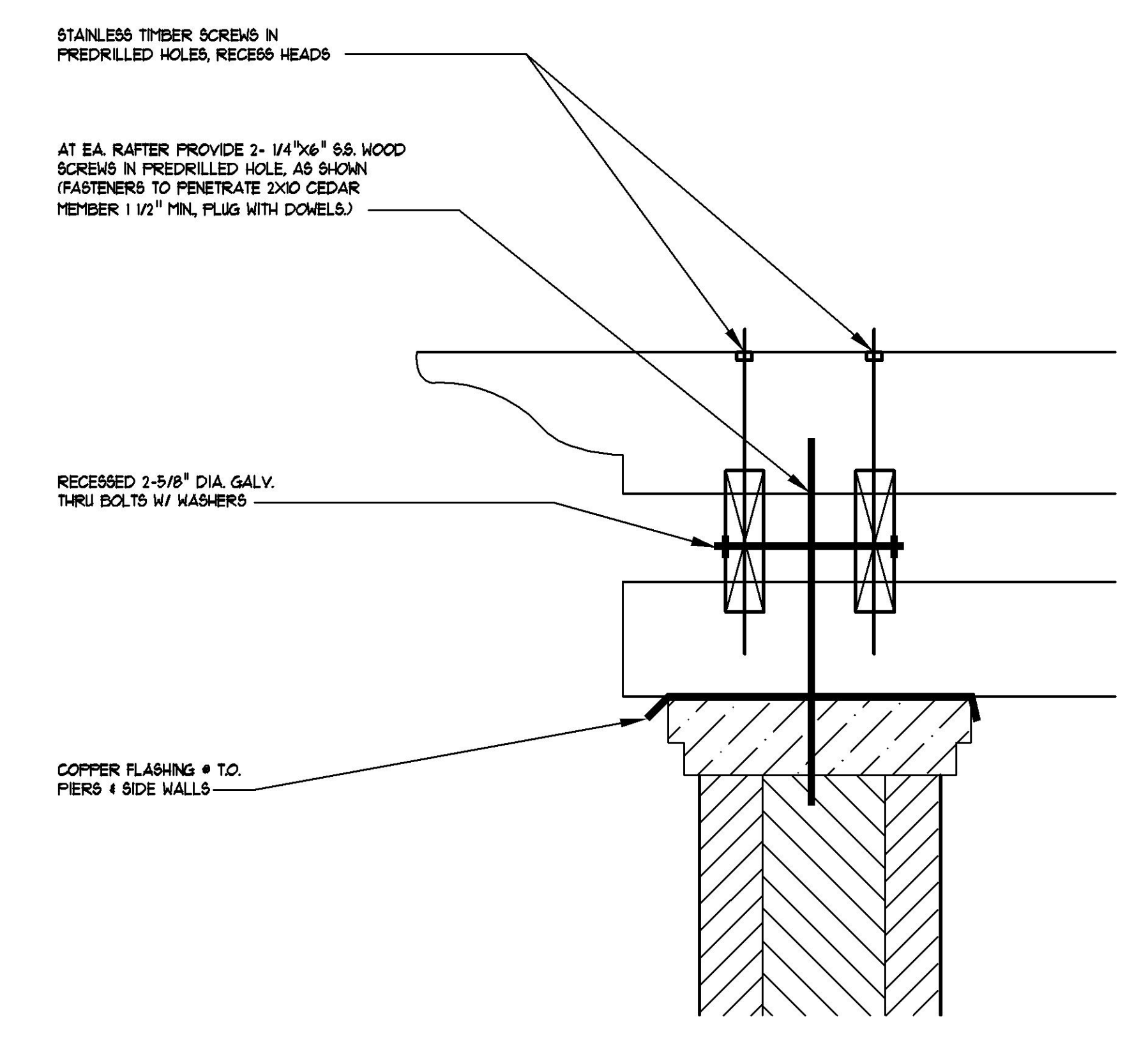
A3 ELEVATION
AP5.7 DRAWING SCALE: 1/4" = 1'-0"



C1 PLAN
AP5.7 DRAWING SCALE: 1/4" = 1'-0"



C2 ROOF PLAN
AP5.7 DRAWING SCALE: 1/4" = 1'-0"



C3 DETAIL
AP5.7 DRAWING SCALE: 1-1/2" = 1'-0"

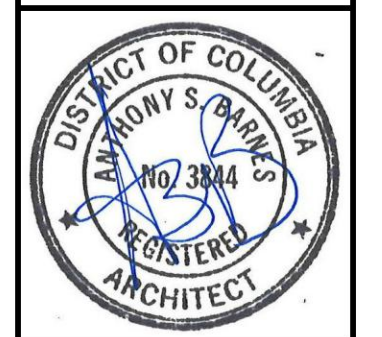
GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRB Review - Steve Callcott - 09-27-2017
Structural Review - Abdul Muzikr - 09-27-2017
Elevator Review - Luchi Lu - 09-27-2017
Fire Review - Luchi Lu - 09-27-2017
DOEE SE-SW Review - Charles Edwards - 09-27-2017
Mechanical Review - Alec Petrillo-Groh - 09-27-2017
Plumbing Review - Alec Petrillo-Groh - 09-27-2017
Energy Review - Robert Campbell - 09-27-2017
Electrical Review - Saima Dar - 09-27-2017

1666

BARNES VANZE ARCHITECTS INC.
1000 Potomac Street, N.W., Suite L-2
Washington, D.C. 20007
TELE: [REDACTED]
FAX: [REDACTED]



2320 S STREET RESIDENCE
2320-2330 S ST. NW.
WASHINGTON, DC 20008

DRAWING: POPE FERGOLA	
ISSUED: 07/09/17	PERMIT

AP5.7

DOOR SCHEDULE - WOOD HOUSE									
DOOR	DOOR SIZE	TYPE	MATERIAL	BILL	INTERIOR FINISH	EXTERIOR FINISH	HARDWARE FUNCTION	NOTES	
LOWER LEVEL									
W001	(2) 2'-6" x 7'-4"	A	METAL/GLASS		PTD	PTD	ENTRY	REFURBISH EXISTING HISTORIC DOORS AND HARDWARE	
W002	3'-4" x 7'-4"	A	WOOD/GLASS		PTD	PTD		REFURBISH EXISTING HISTORIC DOORS AND HARDWARE	
W003	3'-0" x 7'-0"	X	METAL		PTD	PTD		-	
W004	3'-0" x 7'-0"	B	WOOD/GLASS		PTD	PTD		-	
W005	3'-0" x 7'-0"	B	WOOD/GLASS		PTD	PTD		-	
W006	3'-6" x 7'-0"	B	WOOD/GLASS		PTD	PTD		-	
W007	(2) 2'-6" x 7'-0"	B	WOOD/GLASS		PTD	PTD		CUSTOM BRONZE GRILLE MOUNTED TO GLASS	
W008	2'-8" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY	-	
W009	2'-6" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY	X	
W010	3'-0" x 7'-0"	F	WOOD		PTD	PTD		LOCKED ELEVATOR MACHINE ROOM DOOR TO CODE	
W011	3'-0" x 7'-0"	F	WOOD		PTD	PTD		X	
W012	2'-8" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY	X	
W013	3'-8" x 7'-0"	F	WOOD		PTD	PTD		ELEVATOR DOOR	
W014	3'-0" x 7'-0"	F	WOOD		PTD	PTD		BI-SWINGING DOOR	
W015	3'-0" x 7'-0"	F	WOOD		PTD	PTD		BI-SWINGING DOOR	
W016	2'-8" x 7'-0"	F	WOOD		PTD	PTD	PASSAGE	-	
W017	3'-0" x 7'-0"	F	WOOD		PTD	PTD	PASSAGE	-	
W018	3'-0" x 7'-0"	F	WOOD		PTD	PTD	PASSAGE	-	
W019	3'-0" x 7'-0"	F	WOOD		PTD	PTD	PASSAGE	-	
W020	3'-0" x 7'-0"	F	WOOD		PTD	PTD	PASSAGE	BI-SWINGING DOOR	
W021	2'-4" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY	-	
W022	2'-4" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY	-	
W023	3'-0" x 7'-0"	F	WOOD		PTD	PTD	PASSAGE	BI-SWINGING DOOR	
W024	(2) 2'-0" x 7'-0"	F	WOOD		PTD	PTD		-	
W025	(2) 2'-6" x 7'-0"	F	WOOD		PTD	PTD		-	
W026	3'-0" x 7'-0"	F	WOOD		PTD	PTD			
W027	2'-8" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
W028	2'-4" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
W029	2'-4" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
W030	3'-4" x 7'-0"	F	WOOD		PTD	PTD			
W031	2'-4" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
W032	2'-8" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
W033	2'-8" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
W034	3'-0" x 7'-0"	D	WOOD		PTD	PTD		REFURBISH EXISTING HISTORIC DOOR	
W035	(2) 2'-6" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
W036	2'-6" x 7'-0"	F	WOOD		PTD	PTD	DUMMY		
W037	3'-0" x 7'-0"	F	WOOD		PTD	PTD		DUTCH DOOR WITH SHELF	
W038	(2) 3'-0" x 7'-0"	F	WOOD		PTD	PTD			
W039	3'-0" x 7'-0"	D	WOOD		PTD	PTD		REFURBISH EXISTING HISTORIC DOOR	
W040	3'-0" x 7'-0"	F	WOOD		PTD	PTD			
W041	3'-0" x 7'-0"	F	WOOD		PTD	PTD	DUMMY		
W042	(2) 3'-0" x 7'-0"	F	WOOD		PTD	PTD	DUMMY		
W043	3'-0" x 7'-0"	F	WOOD		PTD	PTD	PASSAGE		
FIRST FLOOR									
W101A	(2) 2'-6" x 7'-0"	B	WOOD/GLASS		PTD	PTD	X	X	
W101B	(2) 2'-6" x 7'-0"	B	WOOD/GLASS		PTD	PTD	X	X	
W102	(2) 2'-6" x 7'-0"	C	BRONZE		-	-	OPERABLE	W/ 1'-8" TALL TRANSOM	
W103	(2) 2'-6" x 7'-0"	C	BRONZE		-	-	FIXED	W/ 1'-8" TALL TRANSOM	
W104	(2) 2'-6" x 7'-0"	C	BRONZE		-	-	FIXED	W/ 1'-8" TALL TRANSOM	
W105	(3) 2'-6" x 7'-0"	C	BRONZE		-	-	FIXED	W/ 1'-8" TALL TRANSOM	
W106	(2) 2'-6" x 7'-0"	C	BRONZE		-	-	FIXED	W/ 1'-8" TALL TRANSOM	
W107	(2) 2'-6" x 7'-0"	C	BRONZE		-	-	FIXED	W/ 1'-8" TALL TRANSOM	
W108	(3) 2'-6" x 7'-0"	C	BRONZE		-	-	FIXED	W/ 1'-8" TALL TRANSOM	
W109	(2) 2'-6" x 7'-0"	C	BRONZE		-	-	FIXED	W/ 1'-8" TALL TRANSOM	
W110	(2) 2'-6" x 7'-0"	C	BRONZE		-	-	OPERABLE	W/ 1'-8" TALL TRANSOM	
W111	(2) 2'-6" x 7'-0"	E	WOOD/GLASS		PTD	PTD			
W112	(4) 2'-6" x 7'-0"	C	BRONZE		-	-		DOUBLE FOLDING DOORS	
W113	(2) 2'-6" x 7'-0"	E	WOOD/GLASS		PTD	PTD			
W114	(2) 2'-6" x 7'-0"	E	WOOD/GLASS		PTD	PTD			
W115	(2) 2'-6" x 7'-0"	E	WOOD/GLASS		PTD	PTD			
W116	(2) 2'-6" x 7'-0"	E	WOOD/GLASS		PTD	PTD			
W117	(2) 3'-0" x 7'-0"	B	WOOD/GLASS		PTD	PTD		W/ CUSTOM BRONZE GRILLE	
W118	3'-8" x 7'-0"	E	WOOD		PTD	PTD		ELEVATOR DOOR	
W119	3'-0" x 7'-0"	E	WOOD		PTD	PTD		BI-SWING DOOR	
W120	3'-0" x 7'-0"	E	WOOD		PTD	PTD			
W121	2'-0" x 7'-0"	E	WOOD		PTD	PTD			
W122	2'-6" x 7'-0"	E	WOOD		PTD	PTD		BI-SWING DOOR	
W123	2'-4" x 7'-0"	E	WOOD		PTD	PTD		HIDDEN JIB DOOR AND HARDWARE	
W124	2'-10" x 7'-0"	E	WOOD		PTD	PTD			
W125	3'-0" x 7'-0"	E	WOOD		PTD	PTD			

CI DOOR SCHEDULE - WOOD HOUSE
A12 NTS

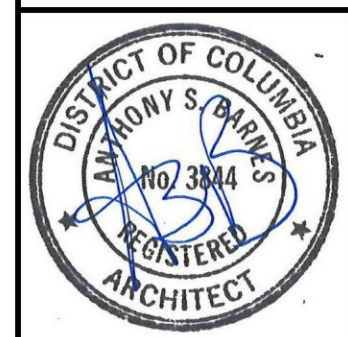
DOOR SCHEDULE - WOOD HOUSE - CONTINUED									
DOOR	DOOR SIZE	TYPE	MATERIAL	BILL	INTERIOR FINISH	EXTERIOR FINISH	HARDWARE FUNCTION	NOTES	
SECOND FLOOR									
W201	(2) 2'-6" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
W202	3'-8" x 7'-0"	F	WOOD		PTD	PTD		ELEVATOR DOOR	
W203	3'-0" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
W204	3'-0" x 7'-0"	F	WOOD		PTD	PTD	PASSAGE		
W205	(2) 2'-6" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
W206	2'-4" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
W207	(2) 2'-0" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
W208	2'-6" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
W209	2'-0" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
W210	2'-6" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
THIRD FLOOR									
W301	2'-8" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
W302	3'-0" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
W303	3'-8" x 7'-0"	F	WOOD		PTD	PTD		ELEVATOR DOOR	
W304	2'-8" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
W305	(2) 2'-0" x 7'-0"	F	WOOD		PTD	PTD	DUMMY		
W306	2'-0" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
W307	2'-6" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
W308	2'-6" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
W309	2'-8" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
W310	2'-8" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
W311	(2) 2'-0" x 7'-0"	F	WOOD		PTD	PTD	DUMMY		
W312	2'-0" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
W313	2'-8" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
W314	(2) 2'-0" x 7'-0"	F	WOOD		PTD	PTD	DUMMY		
W315	2'-0" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
W316	2'-8" x 7'-0"	F	WOOD		PTD	PTD	DUMMY		
W317	2'-8" x 7'-0"	F	WOOD		PTD	PTD	PASSAGE		
W318	2'-8" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
W319	(2) 2'-0" x 7'-0"	F	WOOD		PTD	PTD	DUMMY		
W320	2'-8" x 7'-0"	F	WOOD		PTD	PTD	PRIVACY		
DOOR TYPE LEGEND									
A	EXTERIOR DOOR: REFURBISH EXISTING								
B	EXTERIOR DOOR: NEW MAHOGANY DOOR TO MATCH EXISTING								
C	EXTERIOR DOOR: NEW BRONZE DOOR								
D	INTERIOR DOOR: REFURBISH EXISTING								
E	INTERIOR DOOR: NEW 2 PANEL DOOR, DETAILS TME								
F	INTERIOR DOOR: 6 PANEL DOOR, REFURBISH EXISTING OR NEW TME								
GENERAL NOTES									
1	SEE SPECIFICATIONS FOR DOOR ALLOWANCES, IF ANY.								
2	ENTRANCE DOORS ARE CUSTOM MAHOGANY (OR BRONZE) PER ELEVATIONS AND NOTES. PROVIDE PRICING FROM REILEY.								
3	PROVIDE ALT. PRICING FOR TISCHLER OS2 SERIES, HQ, ASSELIN, HOPES, OR EQ CUSTOM MAHOGANY DOORS (OR BRONZE AS NOTED)								
4	WINDOWS AND EXTERIOR DOORS SHALL BE PROVIDED BY THE SAME MANUFACTURER.								
5	CONTRACTOR IS RESPONSIBLE FOR COORDINATING REQUIRED JAMB DEPTHS, AND FOR PROVIDING JAMB EXTENSIONS WHERE NECESSARY FOR WALL THICKNESS SHOWN.								
6	RESET ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8" PER FOOT SLOPE TO EXTERIOR.								
7	REMOVE ALL EXISTING WINDOWS, EXTERIOR DOORS, AND FRAMES. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8" SLOPE TO EXTERIOR LINE OPENINGS WITH VAPOR SEMI-IMPERMEABLE FLUID WATER CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, EXTERIOR DOORS, AND FRAMES.								
INTERIOR DOOR DESCRIPTION									
1	INTERIOR DOORS SHALL BE SOLID WOOD, 1 3/8" THICK, RAISED-PANEL, PAINTED.								
2	ALL DETAILS ON INTERIOR DOORS, INCLUDING HARDWARE AND CASING, SHALL MATCH EXISTING.								
3	ALL NEW INTERIOR OPENINGS THAT DO NOT RECEIVE A DOOR SHALL BE CASED TO MATCH THE DOORS, UNLESS NOTED OTHERWISE ON THE PLANS.								
EXTERIOR DOOR DESCRIPTION									
1	ENTRANCE DOOR EXTERIORS SHALL BE MAHOGANY, HIGH-PERFORMANCE FACTORY-PRIMED, AND FIELD-PAINTED.								
2	ENTRANCE DOOR INTERIORS SHALL BE MAHOGANY, AND FIELD-STAINED.								
3	ENTERTAINING LEVEL DOORS TO BE MAHOGANY AND FIELD STAINED.								
4	ALL GLASS SHALL BE CLEAR, DOUBLE-PANE INSULATED, TEMPERED, ARGON FILLED, LOW "E" (0.36 "U" VALUE MINIMUM, TYP), LAMINATED. SAFETY GLAZING WHERE REQUIRED BY CODE.								
5	GRILLES SHALL BE TRUE DIVIDED LIGHTS, WITH MILL FINISH ALUMINUM CHAMPAGNE SPACER BAR.								
6	GRILLE AND GLAZING BEAD PROFILE SHALL MATCH EXISTING.								
7	ENTRANCE AND SWING PATIO DOORS SHALL HAVE CUSTOM BRASS INTERLOCKING SILLS AND COMPRESSIBLE WEATHERSTRIPPING.								
8	ALL DETAILS ON EXTERIOR DOORS, INCLUDING HARDWARE, CASING AND HUNTIN STYLE, SHALL MATCH EXISTING.								
9	GLAZING SOLAR HEAT GAIN COEFFICIENT (SHGC) VALUE OF 0.40, TYP.								
HARDWARE NOTES									
1	SEE SPECIFICATIONS FOR DOOR HARDWARE ALLOWANCE								

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRE Review - Steve Callcott - 09-27-2017
Structural Review - Abdul Muzikr - 09-27-2017
Elevator Review - Luchi Lu - 09-27-2017
Fire Review - Luchi Lu - 09-27-2017
DOEE SE-SW Review - Charles Edwards - 09-27-2017
Mechanical Review - Alec Petritto-Groh - 09-27-2017
Plumbing Review - Alec Petritto-Groh - 09-27-2017
Energy Review - Robert Campbell - 09-27-2017
Electrical Review - Saima Dar - 09-27-2017

1666
BARNES VANZE
ARCHITECTS INC.
1000 Potomac Street, N.W.
Suite L-2
Washington, D.C. 20007
TELE: [REDACTED]
FAX: [REDACTED]



2320 S STREET
RESIDENCE
2320-2330 S ST. NW,
WASHINGTON, DC 20008

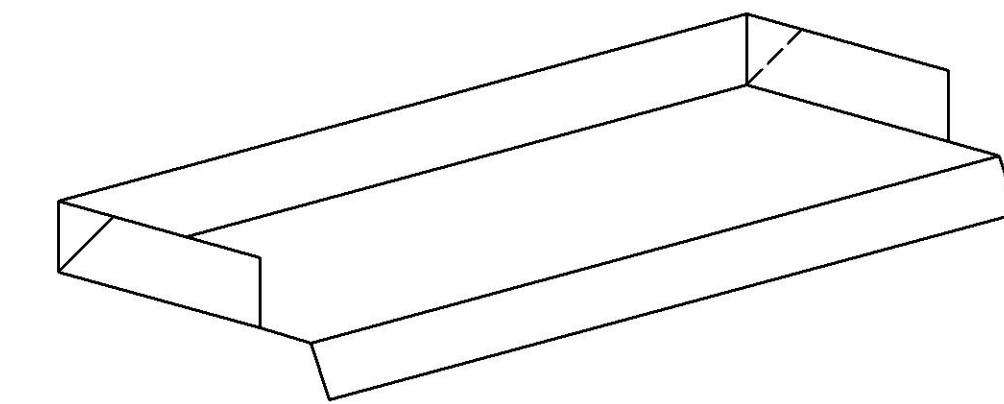
DRAWING: DOOR SCHEDULE - WOOD					
ISSUED: 07/05/17	PERMIT				

AW1.2

WINDOW SCHEDULE - WOOD HOUSE											
WINDOW	SASH SIZE	TYPE	MATERIAL	INTERIOR FINISH	EXTERIOR FINISH	SILL	CODE NOTES	HARDWARE	HEAD/JAMB/SILL DETAILS	NOTES	
LOWER LEVEL											
W001	3'-6" x 4'-10"	VJF. DOUBLE HUNG	WOOD	PTD	PTD					BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE #7	
W002	3'-6" x 4'-10"	VJF. DOUBLE HUNG	WOOD	PTD	PTD					BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE #7	
W003	3'-6" x 4'-10"	VJF. DOUBLE HUNG	WOOD	PTD	PTD					BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE #7	
W004	3'-6" x 4'-10"	VJF. DOUBLE HUNG	WOOD	PTD	PTD					BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE #7	
W005	2'-0" x 4'-6"	VJF. DOUBLE HUNG	WOOD	PTD	PTD					BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE #7	
W006	2'-0" x 4'-6"	VJF. DOUBLE HUNG	WOOD	PTD	PTD					BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE #7	
W007	3'-6" x 4'-10"	VJF. DOUBLE HUNG	WOOD	PTD	PTD					BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE #7	
W008	3'-6" x 4'-10"	VJF. DOUBLE HUNG	WOOD	PTD	PTD					BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE #7	
W009	3'-6" x 4'-10"	VJF. DOUBLE HUNG	WOOD	PTD	PTD					BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE #7	
W010	3'-6" x 4'-10"	VJF. DOUBLE HUNG	WOOD	PTD	PTD					BOTTOM SASH TO BE FIXED SHUT FOR SECURITY, SEE NOTE #7	
W011	2'-9" x 4'-10"	DOUBLE HUNG	WOOD	PTD	PTD					RESTORE EXISTING WINDOW LOCATION, T.M.E.	
FIRST FLOOR											
W101	4'-0" x 6'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W102	4'-0" x 6'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W103	4'-0" x 6'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W104	4'-0" x 6'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W105	4'-0" x 6'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD					W/ 1'-6" SIDELITES EACH SIDE	
W106	4'-0" x 6'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W107	4'-0" x 6'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W108	4'-0" x 6'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W109	4'-0" x 6'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W110	2'-2" x 6'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W111	2'-2" x 6'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W112	3'-3" x 6'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W113	3'-3" x 6'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W114	4'-5" x 6'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD					NEW WINDOW IN NEW SMALLER OPENING, TO MATCH WINDOW W13.	
SECOND FLOOR											
W201	3'-4" x 4'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W202	3'-4" x 4'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W203	3'-4" x 4'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W204	3'-4" x 4'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W205	1'-2" x 2'-9"	VJF. OVAL CASEMENT	WOOD	PTD	PTD						
W206	3'-4" x 4'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W207	3'-4" x 4'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W208	3'-4" x 4'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W209	3'-4" x 4'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W210	2'-2" x 4'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W211	2'-2" x 4'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W212	(3) 1'-10" x 8'-5"	VJF. CASEMENT	WOOD	PTD	PTD						
W213	(3) 1'-10" x 8'-5"	VJF. CASEMENT	WOOD	PTD	PTD						
W214	(3) 1'-10" x 8'-5"	VJF. CASEMENT	WOOD	PTD	PTD						
W215	3'-4" x 4'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W216	3'-4" x 4'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W217	3'-4" x 4'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W218	3'-4" x 4'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD					W/ 1'-3" SIDELITES EACH SIDE	
W219	3'-4" x 4'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W220	3'-4" x 4'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W221	3'-4" x 4'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W222	3'-4" x 4'-9"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
THIRD FLOOR											
W301	3'-4" x 4'-6"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W302	3'-4" x 4'-6"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W303	3'-4" x 4'-6"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W304	3'-4" x 4'-6"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W305	3'-4" x 4'-6"	VJF. DOUBLE HUNG	WOOD	PTD	PTD					W/ 1'-2" SIDELITES EACH SIDE, NEW WINDOW TO MATCH HISTORIC, MATCH DETAILS OF EXISTING WINDOWS	
W306	3'-4" x 4'-6"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W307	3'-4" x 4'-6"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W308	3'-4" x 4'-6"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W309	3'-4" x 4'-6"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W310	2'-10" x 2'-2"	VJF. CASEMENT	WOOD	PTD	PTD						
W311	3'-4" x 4'-6"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W312	3'-4" x 4'-6"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W313	3'-4" x 4'-6"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W314	3'-4" x 4'-6"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W315	3'-4" x 4'-6"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W316	3'-4" x 4'-6"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W317	3'-4" x 4'-6"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W318	3'-4" x 4'-6"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						
W319	3'-4" x 4'-6"	VJF. DOUBLE HUNG	WOOD	PTD	PTD						

C1 WINDOW SCHEDULE - WOOD HOUSE
A13 N.T.S.

WINDOW SCHEDULE - WOOD HOUSE CONTINUED											
WINDOW	SASH SIZE	TYPE	MATERIAL	INTERIOR FINISH	EXTERIOR FINISH	SILL	CODE NOTES	HARDWARE	HEAD/JAMB/SILL DETAILS	NOTES	
ATTIC											
W401	X	VJF. X	X	X	X					X	
W402	X	VJF. X	X	X	X					X	
ROOF											
W501	7'-0" x 5'-0"	X	X	X	X					X	
W502	4'-6" x 3'-8"	VJF. X	X	X	X					REFURBISH EXIST. SKYLIGHT AT ELEVATOR SHAFT	
GENERAL NOTES: SEE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION											
1	SEE SPECIFICATIONS FOR WINDOW ALLOWANCES, IF ANY.										
2	WINDOWS ARE TO BE RESTORED TO OPERABLE UNLESS OTHERWISE NOTED.										
3	WINDOWS AND EXTERIOR DOORS SHALL BE PROVIDED BY THE SAME MANUFACTURER.										
4	CONTRACTOR IS RESPONSIBLE FOR COORDINATING REQUIRED JAMB DEPTHS AND FOR PROVIDING JAMB EXTENSIONS WHERE NECESSARY FOR WALL THICKNESS SHOWN.										
5	SIZES ARE GIVEN FOR REFERENCE ONLY AND SHOULD BE VERIFIED IN FIELD.										
6	ALL HISTORIC FABRIC IS TO BE PROTECTED AND LEFT INTACT WHERE POSSIBLE.										
7	WINDOW TO HAVE FIXED INTERIOR STEEL SECURITY SHUTTER WITH SECURITY GLASS										
8	RESET ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8" PER FOOT SLOPE TO EXTERIOR.										
9	REMOVE ALL EXISTING WINDOWS, EXTERIOR DOORS, AND FRAMES. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8" PER FOOT SLOPE TO EXTERIOR. LINE OPENINGS WITH VAPOR SEMI-IMPERMEABLE FLUID WATER CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, EXTERIOR DOORS, AND FRAMES.										
10	ALL GLASS TO BE STANDARD CLEAR, DOUBLE-PANE INSULATED, TEMPERED, ARGON FILLED, LOW "E" (0.35 "U" VALUE MINIMUM, TYP)										
11	ALL SKYLIGHT GLAZING TO HAVE A 0.35 "U" VALUE, AND AN SOLAR HEAT GAIN COEFFICIENT (SHGC) VALUE OF 0.30										
12	FENESTRATION IN THERMALLY ISOLATED SUNROOMS TO HAVE A MAXIMUM "U" VALUE OF 0.45, ALL OTHER SUNROOM FENESTRATION TO MEET CODE REQUIREMENTS.										
13	SKYLIGHTS IN A THERMALLY ISOLATED SUNROOM TO HAVE A MAXIMUM "U" VALUE OF 0.7, ALL OTHER SUNROOM SKYLIGHTS TO MEET CODE REQUIREMENTS.										
14	FENESTRATION WILL MEET AAMA/MDMA/CSA 101/IS. 2/A440 OR DOES NOT EXCEED CODE LIMITS PER NFRC 400.										
WINDOW DESCRIPTION											
1	ALL WINDOW DETAILS, INCLUDING CASING AND MUNTIN STYLE, SHALL MATCH EXISTING.										
2	PROVIDE PRICING FOR TISCHLER 052 SERIES, MQ, ASSELIN, HOPES, OR EQ CUSTOM MAHOGANY WINDOWS T.M.E. WHERE REQUIRED AT REPLACEMENTS.										
HARDWARE NOTES											
1	ALL WINDOW HARDWARE IS TO BE CLEANED AND MADE OPERABLE. HARDWARE SHALL BE REPLACED WHERE IT IS MISSING T.M.E.										
2	PROVIDE SAMPLES OF ALL HARDWARE FOR ARCHITECT AND OWNER REVIEW AND APPROVAL PRIOR TO FABRICATION.										



FLASHING W/ THREE SIDES TURNED UP TO FORM PAN.

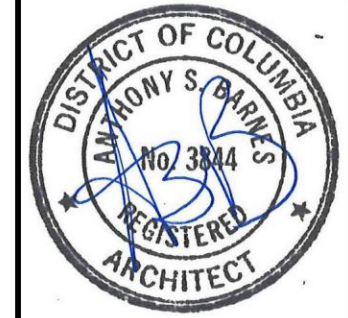
C2 DETAIL OF SILL FLASHING
A13 NOT TO SCALE

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRB Review - Steve Callcott - 09-27-2017
Structural Review - Abdul Muzikr - 09-27-2017
Elevator Review - Luchi Lu - 09-27-2017
Fire Review - Luchi Lu - 09-27-2017
DOEE SE-SW Review - Charles Edwards - 09-27-2017
Mechanical Review - Alec Petrillo-Groh - 09-27-2017
Plumbing Review - Alec Petrillo-Groh - 09-27-2017
Energy Review - Robert Campbell - 09-27-2017
Electrical Review - Saima Dar - 09-27-2017

1666
BARNES VANZE ARCHITECTS INC.
1000 Potomac Street, N.W.
Suite L-2
Washington, D.C. 20007
TELE: [REDACTED]
FAX: [REDACTED]



2320 S STREET
RESIDENCE
2320-2330 S ST. NW,
WASHINGTON, DC 20008

DRAWING: WINDOW SCHEDULE - WOOD					
ISSUED: 07/09/17					
PERMIT					

AW1.3

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8 709931 Date 09/27/17

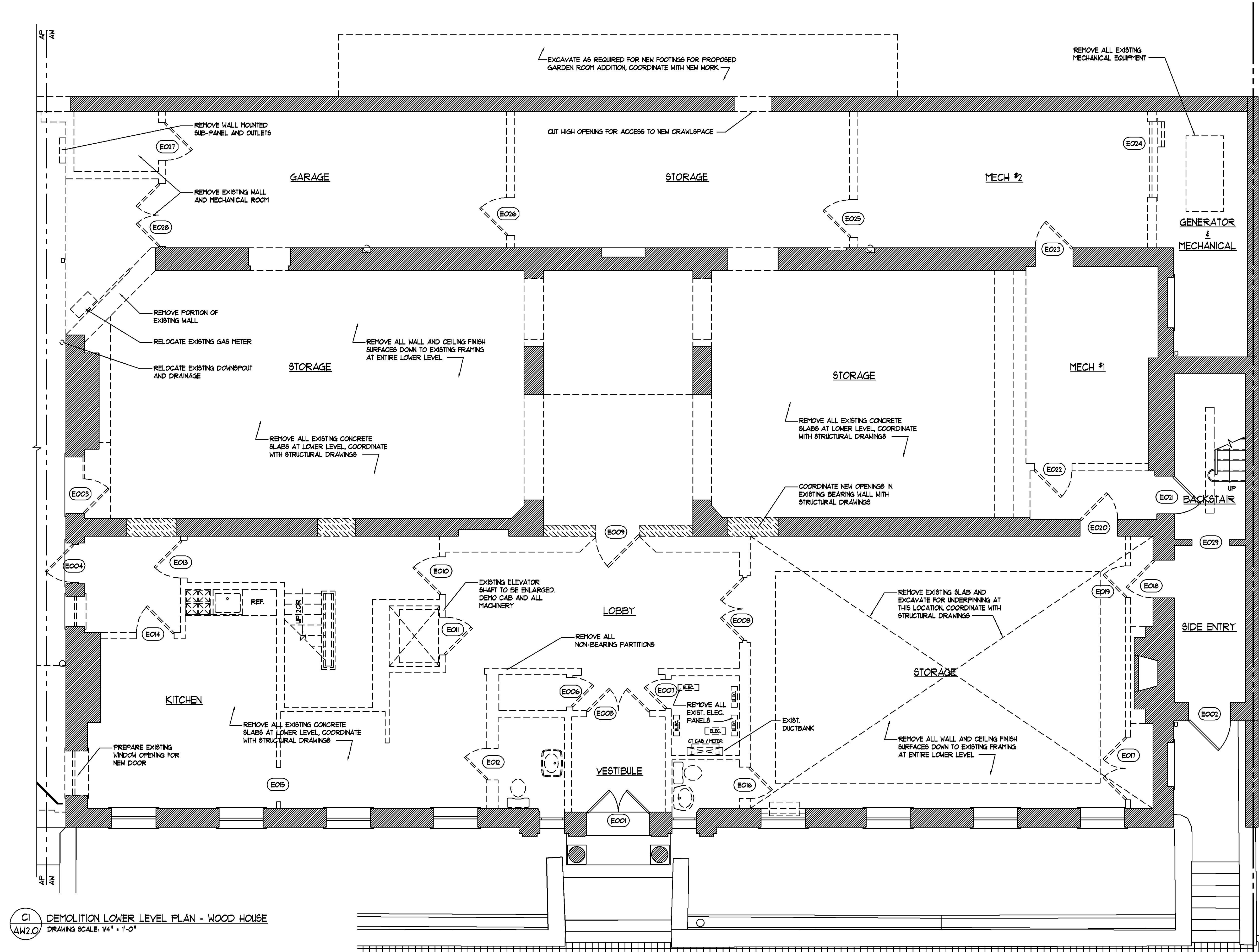
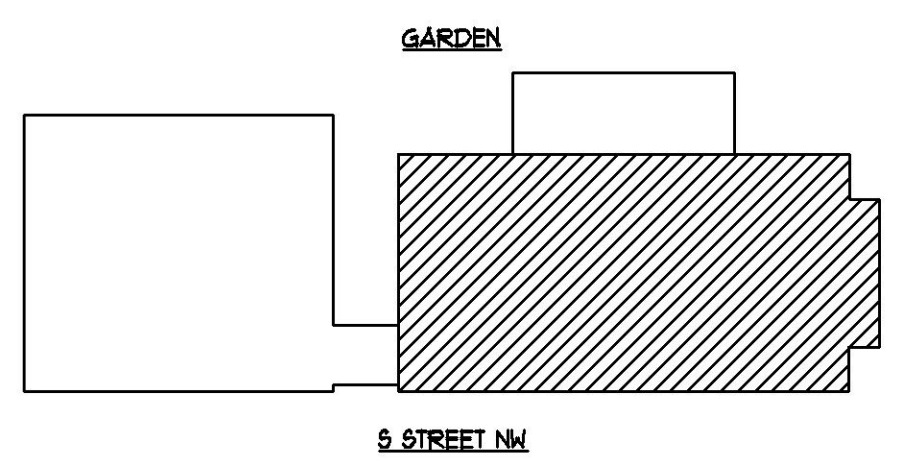
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

1666
BARNES VANZE
ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007
 TELE:
 FAX:
 DISTRICT OF COLUMBIA
 ARCHITECT
 2320 S STREET
 RESIDENCE
 2320-2330 S ST. NW.
 WASHINGTON, DC 20008

DEMOLITION LEGEND:

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED

- DEMOLITION NOTES:**
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION MEANS & METHODS, JOB SAFETY, & CONFORMANCE TO CODES
 - GENERAL CONTRACTOR SHALL BRING TO ARCHITECT'S OR OWNER'S ATTENTION ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWING INTENT
 - REMOVE ALL UNUSED PLUMBING LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE
 - REMOVE ALL UNUSED ELECTRICAL LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE
 - GENERAL CONTRACTOR SHALL LOCATE ALL WATER SHUT-OFFS AND CUT OFF TO ALL PLUMBING FIXTURES TO BE DEMOLISHED
 - SUPPLY, VENT AND WASTE LINES IN WALLS TO BE DEMOLISHED AND CAPPED
 - REMOVE ALL EXISTING WALL AND CEILING FINISHES DOWN TO EXISTING FRAMING
 - REMOVE ALL EXISTING HVAC DUCTS AND EQUIPMENT
 - REMOVE SOIL AS REQUIRED TO ALLOW 6" GRAVEL BASE BELOW ALL NEW CONCRETE SLABS
 - REMOVING ALL EXISTING INTERIOR DOORS BEING REMOVED FOR POSSIBLE REUSE (POPE HOUSE ONLY).
 - PROTECT ALL HISTORIC FABRIC, AREAS AND FIXTURES SLATED TO REMAIN DURING ALL PHASES OF CONSTRUCTION. COORDINATE WITH ARCHITECT.
 - REMOVE ALL EXISTING CONCRETE SLABS AT LOWER LEVELS OF POPE HOUSE AND WOOD HOUSE. COORDINATE WITH STRUCTURAL DRAWINGS FOR EXTENT OF REMOVAL REQUIRED FOR UNDERPINNING OF EXISTING LOWER LEVEL WALLS.
 - REMOVE EXISTING 2" TERRACOTTA TILE WALL LINER ALONG PERIMETER WALL, COORDINATE WITH STRUCTURAL
 - REMOVE ALL EXISTING WINDOWS, EXTERIOR DOORS, AND FRAMES. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8"-12" SLOPE TO EXTERIOR. LINE OPENINGS WITH VAPOR SEMI-IMPERMEABLE FLUID WATER CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, DOORS, AND FRAMES.



CI
 AW2.0
 DEMOLITION LOWER LEVEL PLAN - WOOD HOUSE
 DRAWING SCALE: 1/4" = 1'-0"



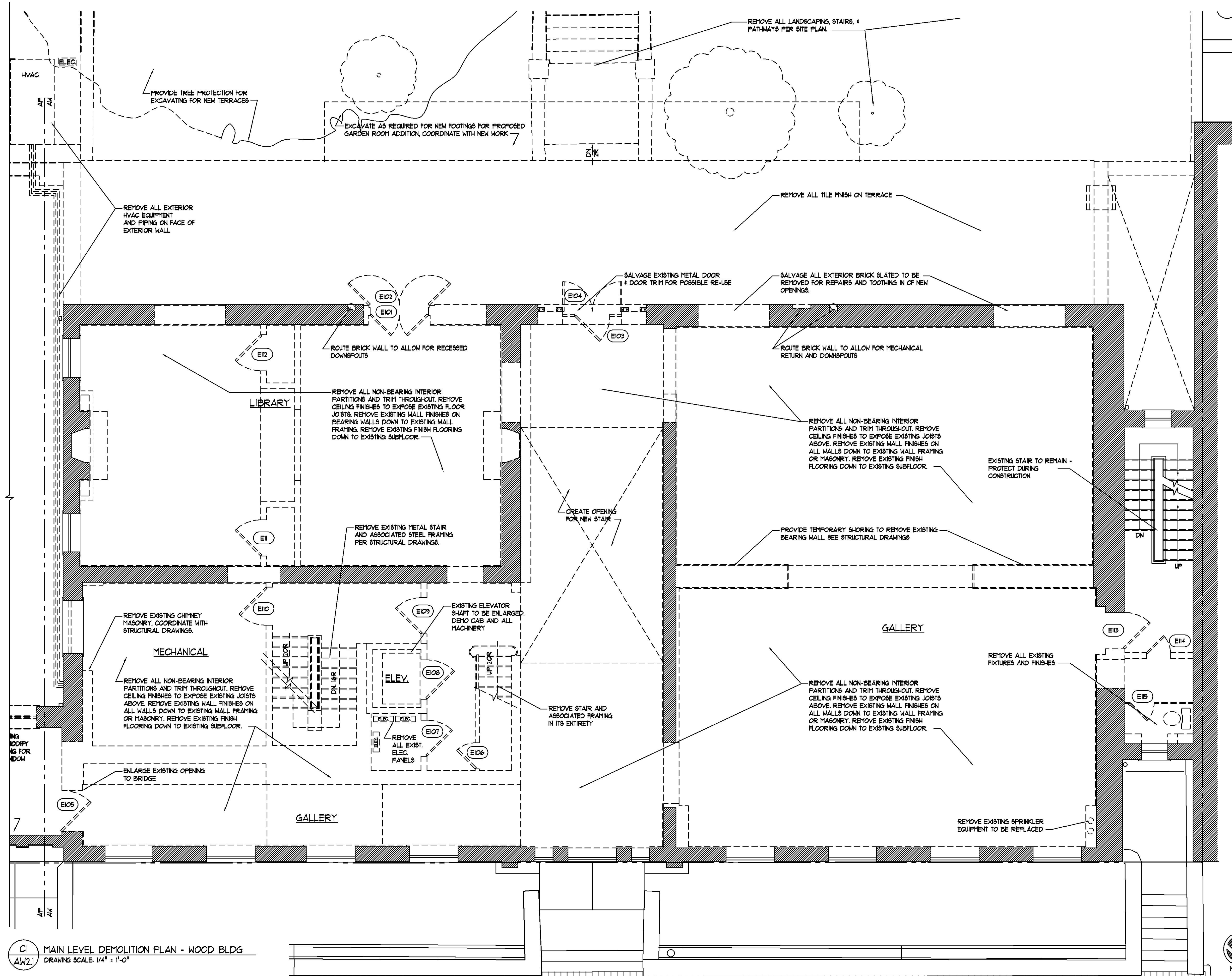
DEMOLITION
 WOOD HOUSE
 LOWER LEVEL

DRAWING: DEMOLITION PLAN - LOWER LEVEL WOOD HOUSE
 ISSUED: 07/09/17

AW2.0

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8 709931 Date 09/27/17

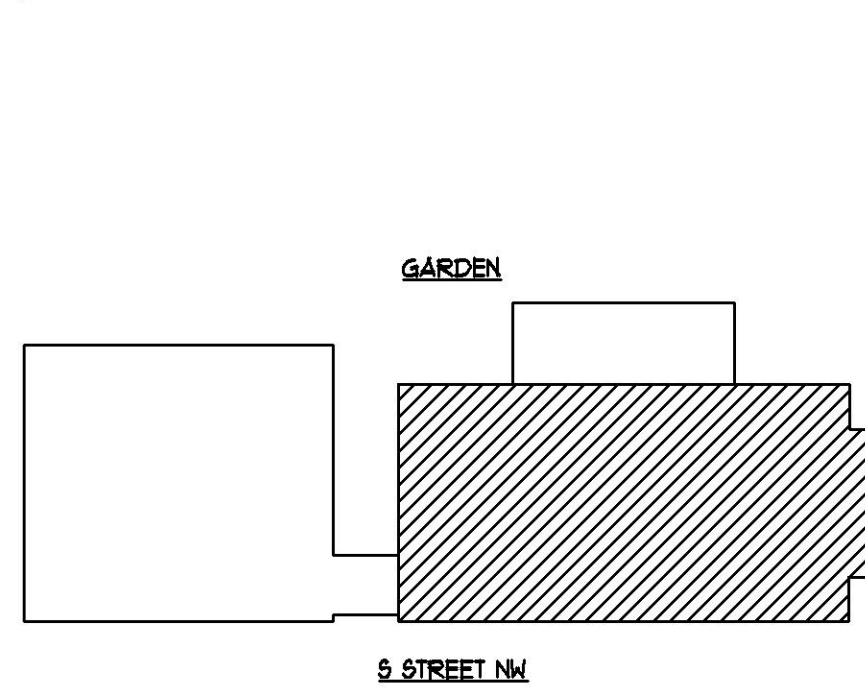
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing



DEMOLITION LEGEND:

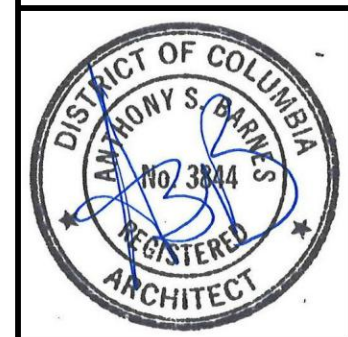
	EXISTING BRICK WALL TO REMAIN
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED

- DEMOLITION NOTES:**
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION MEANS & METHODS, JOB SAFETY, & CONFORMANCE TO CODES
 - GENERAL CONTRACTOR SHALL BRING TO ARCHITECT'S OR OWNER'S ATTENTION ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWING INTENT
 - REMOVE ALL UNUSED PLUMBING LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE
 - REMOVE ALL UNUSED ELECTRICAL LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE
 - GENERAL CONTRACTOR SHALL LOCATE ALL WATER SHUT-OFFS AND CUT OFF TO ALL PLUMBING FIXTURES TO BE DEMOLISHED
 - REMOVE SUPPLY, VENT AND WASTE LINES IN WALLS TO BE DEMOLISHED AND CAP
 - REMOVE ALL EXISTING HVAC DUCTS AND EQUIPMENT. SAVE HVAC REGISTERS FOR POSSIBLE REUSE
 - REMOVE SOIL AS REQUIRED TO ALLOW 6" GRAVEL BASE BELOW ALL NEW CONCRETE SLABS
 - SALVAGE ALL EXISTING INTERIOR DOORS BEING REMOVED FOR POSSIBLE REUSE (POPE HOUSE ONLY.)
 - PROTECT ALL HISTORIC FABRIC, AREAS AND FIXTURES SLATED TO REMAIN DURING ALL PHASES OF CONSTRUCTION. COORDINATE WITH ARCHITECT.
 - PROTECT ALL EXISTING FIREPLACE MANTELS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION. FIELD VERIFY CONDITION OF ALL FIREPLACE HEARTHES AND FLUES. COORDINATE WITH DESIGN TEAM FOR REPLACEMENT WHERE REQUIRED, TYP.
 - REMOVE ALL EXISTING WINDOWS, EXTERIOR DOORS, AND FRAMES. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8"=12" SLOPE TO EXTERIOR. LINE OPENINGS WITH VAPOR SEMI-IMPERMEABLE FLUID WATER CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, DOORS, AND FRAMES.



1666

ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007
 TELE:
 FAX:



**2320 S STREET
 RESIDENCE**
 2320-2330 S ST. NW.
 WASHINGTON, DC 20008

CI MAIN LEVEL DEMOLITION PLAN - WOOD BLDG
 AW2.1 DRAWING SCALE: 1/4" = 1'-0"

DEMOLITION
 WOOD HOUSE
 MAIN LEVEL

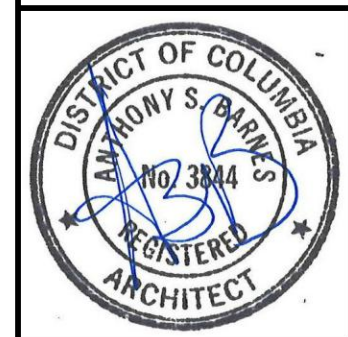
DRAWING: DEMOLITION PLAN - MAIN LEVEL - WOOD
 ISSUED: 07/09/17

AW2.1

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8 709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

1666
BV
 BARNES VANZE
 ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007
 TELE: [REDACTED]
 FAX: [REDACTED]

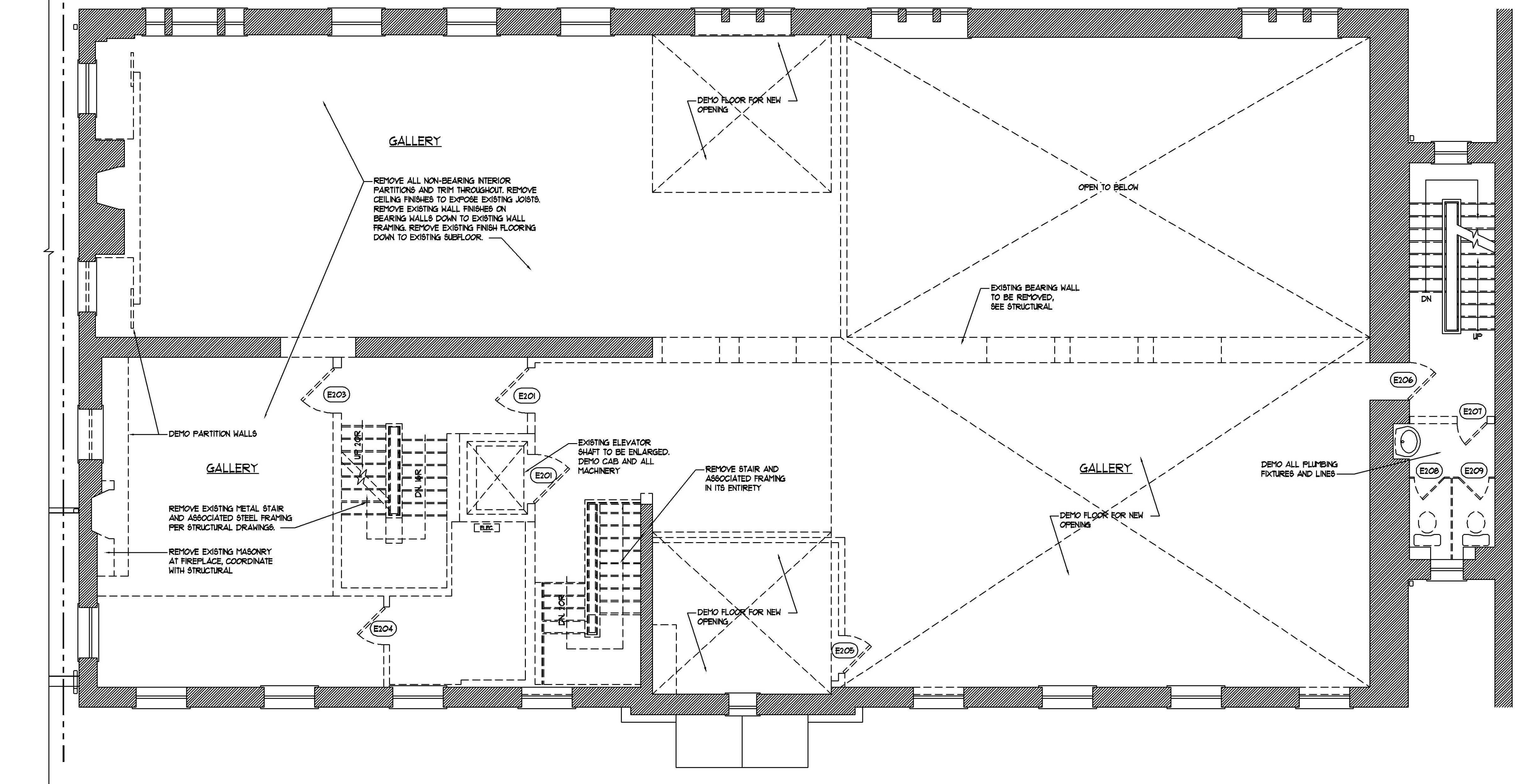
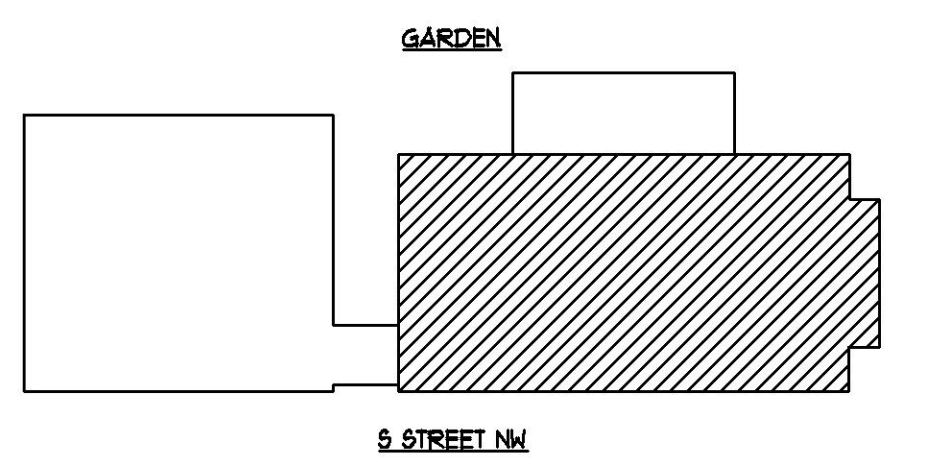


2320 S STREET
 RESIDENCE
 2320-2330 S ST. NW,
 WASHINGTON, DC 20008

DEMOLITION LEGEND:

	EXISTING TO REMAIN
	EXISTING TO BE DEMOLISHED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED

- DEMOLITION NOTES:**
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION MEANS & METHODS, JOB SAFETY, & CONFORMANCE TO CODES
 - GENERAL CONTRACTOR SHALL BRING TO ARCHITECT'S OR OWNER'S ATTENTION ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWING INTENT
 - REMOVE ALL UNUSED PLUMBING LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE
 - REMOVE ALL UNUSED ELECTRICAL LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE
 - GENERAL CONTRACTOR SHALL LOCATE ALL WATER SHUT-OFFS AND CUT OFF TO ALL PLUMBING FIXTURES TO BE DEMOLISHED
 - REMOVE SUPPLY, VENT AND WASTE LINES IN WALLS TO BE DEMOLISHED AND CAP
 - REMOVE ALL EXISTING PEDESTAL SINKS AND MEDICINE CABINETS AND SALVAGE FOR REUSE
 - REMOVE ALL EXISTING HVAC DUCTS AND EQUIPMENT.
 - SALVAGE ALL EXISTING INTERIOR DOORS BEING REMOVED FOR POSSIBLE REUSE (POPE HOUSE ONLY).
 - PROTECT ALL HISTORIC FABRIC, AREAS AND FIXTURES SLATED TO REMAIN DURING ALL PHASES OF CONSTRUCTION. COORDINATE WITH ARCHITECT.
 - REMOVE TILE IN ALL BATHROOMS. EXISTING WOOD AND PLASTER TRIM TO REMAIN.
 - PROTECT ALL TRIM IN PLACE WHERE OPENINGS ARE TO REMAIN.
 - REMOVE ALL EXISTING FLOOR FINISHES AND SLEEPERS DOWN TO EXISTING STRUCTURAL CONCRETE SLAB UNO.
 - PROTECT EXISTING BASE AND CEILING TRIM FROM DAMAGE WHERE WALLS ARE TO REMAIN.
 - REMOVE ALL EXISTING WINDOWS, EXTERIOR DOORS, AND FRAMES. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8"12" SLOPE TO EXTERIOR. LINE OPENINGS WITH VAPOR SEMI-IMPERMEABLE FLUID WATER CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, DOORS, AND FRAMES.
 - FIELD VERIFY CONDITION OF ALL FIREPLACE HEARTHES AND FLUES. COORDINATE WITH DESIGN TEAM FOR REPLACEMENT WHERE REQUIRED, TYP.



CI
 AW2.2
 SECOND FLOOR DEMOLITION PLAN - WOOD HOUSE
 DRAWING SCALE: 1/4" = 1'-0"



DEMOLITION
 WOOD HOUSE
 SECOND FLOOR

DRAWING: DEMOLITION PLAN - SECOND FLOOR WOOD


ISSUED:	07/09/17
PERMIT:	

AW2.2

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8 709931 Date 09/27/17

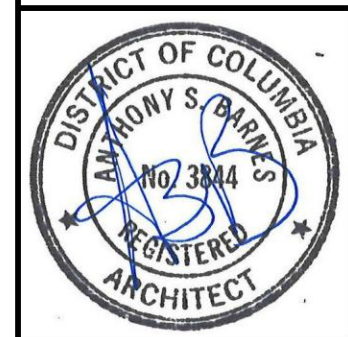
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

1666



BARNES VANZE
ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007

TELE:
 FAX:
 202.331.1666

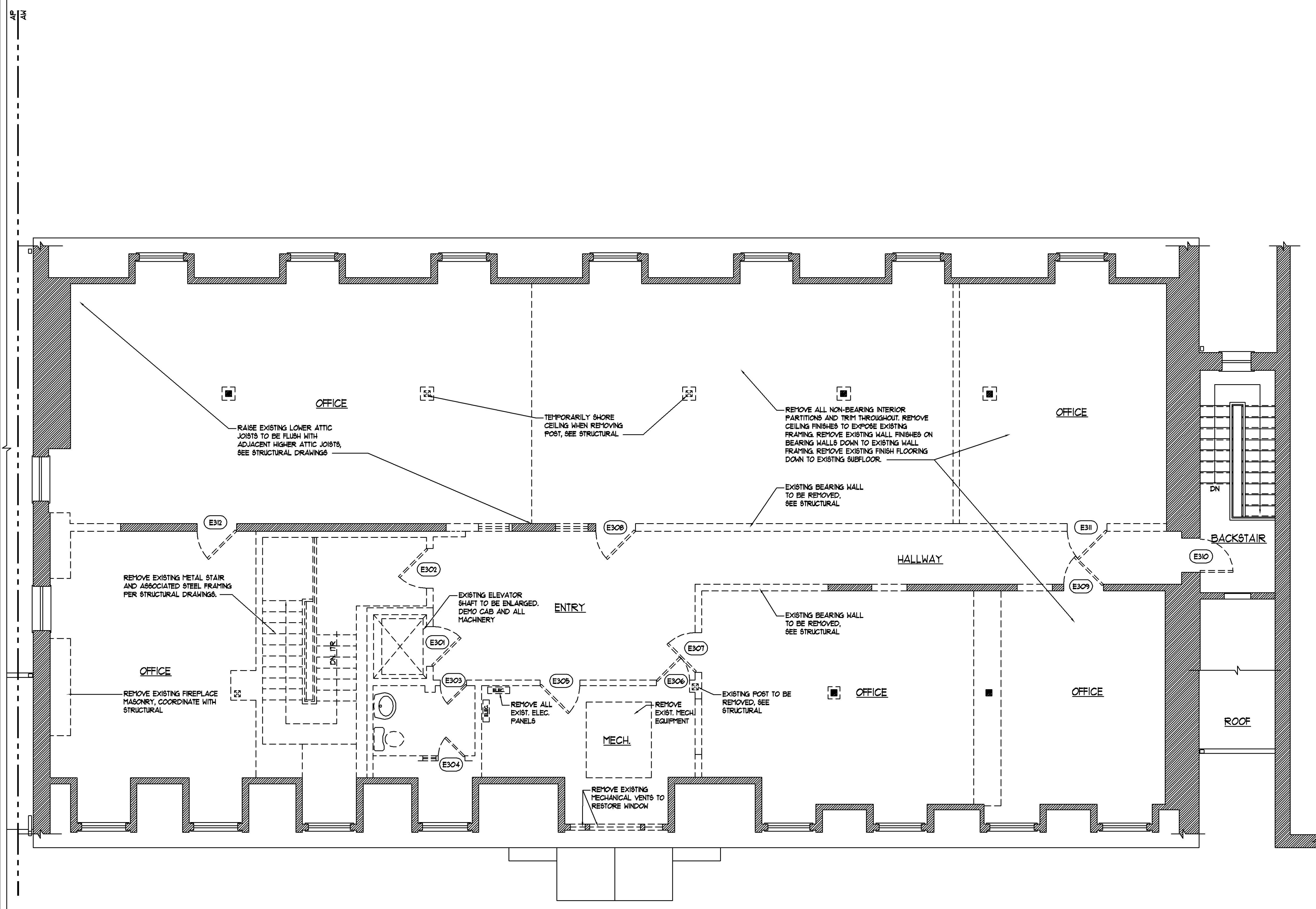


2320 S STREET
 RESIDENCE
 2320-2330 S ST. NW,
 WASHINGTON, DC 20008


DEMOLITION LEGEND:

	EXISTING TO REMAIN
	EXISTING TO BE DEMOLISHED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED

- DEMOLITION NOTES:**
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION MEANS & METHODS, JOB SAFETY, & CONFORMANCE TO CODES
 - GENERAL CONTRACTOR SHALL BRING TO ARCHITECT'S OR OWNER'S ATTENTION ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWING INTENT
 - REMOVE ALL UNUSED PLUMBING LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE
 - REMOVE ALL UNUSED ELECTRICAL LINES AND SURFACE MOUNTED WIRING WHERE ACCESSIBLE AND PROPERLY TERMINATE
 - GENERAL CONTRACTOR SHALL LOCATE ALL WATER SHUT-OFFS AND CUT OFF TO ALL PLUMBING FIXTURES TO BE DEMOLISHED
 - EXIST. SUPPLY, VENT AND WASTE LINES IN WALLS TO BE DEMOLISHED AND CAPPED
 - REMOVE ALL EXISTING HVAC DUCTS AND EQUIPMENT.
 - SALVAGE ALL EXISTING INTERIOR DOORS BEING REMOVED FOR POSSIBLE REUSE (POPE HOUSE ONLY).
 - PROTECT ALL HISTORIC FABRIC, AREAS, FIXTURES, AND TRIM AT ALL LOCATIONS NOTED TO REMAIN, DURING ALL PHASES OF CONSTRUCTION. COORDINATE WITH ARCHITECT.
 - REMOVE TILE IN ALL BATHROOMS. EXISTING WOOD AND PLASTER TRIM TO REMAIN.
 - REMOVE ALL FLOOR FINISHES AND SLEEPERS TO EXISTING STRUCTURAL CONCRETE SLAB, TYP. THROUGHOUT POPE HOUSE THIRD FLOOR LEVEL UNO.
 - REMOVE ALL EXISTING WINDOWS, EXTERIOR DOORS, AND FRAMES. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8"=1" SLOPE TO EXTERIOR. LINE OPENINGS WITH VAPOR SEMI-IMPERMEABLE FLUID WATER CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, DOORS, AND FRAMES.
 - FIELD VERIFY CONDITION OF ALL FIREPLACE HEARTHES AND FLUES. COORDINATE WITH DESIGN TEAM FOR REPLACEMENT WHERE REQUIRED, TYP.



C1 THIRD FLOOR DEMOLITION PLAN - WOOD BLDG.
 AW2.3 DRAWING SCALE: 1/4" = 1'-0"

 NORTH

DEMOLITION	WOOD HOUSE
	THIRD FLOOR

DRAWING: DEMOLITION PLAN - THIRD FLOOR WOOD

ISSUED:	07/09/17
PERMIT:	

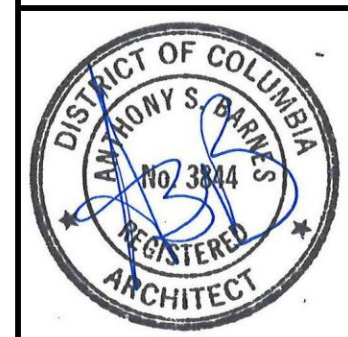
AW2.3

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

1666

BARNES VANZE ARCHITECTS INC.
1000 Potomac Street, N.W.
Suite L-2
Washington, D.C. 20007
TELE: [REDACTED]
FAX: [REDACTED]

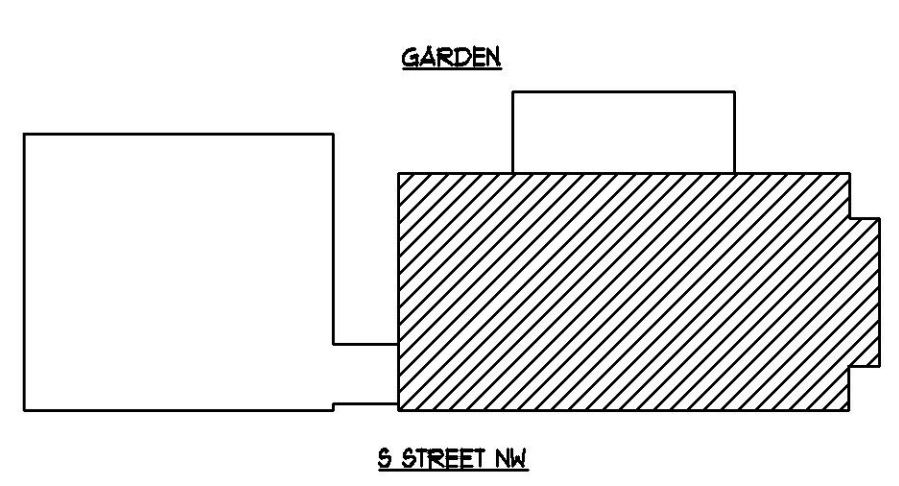


2320 S STREET
RESIDENCE
2320-2330 S ST. NW.
WASHINGTON, DC 20008

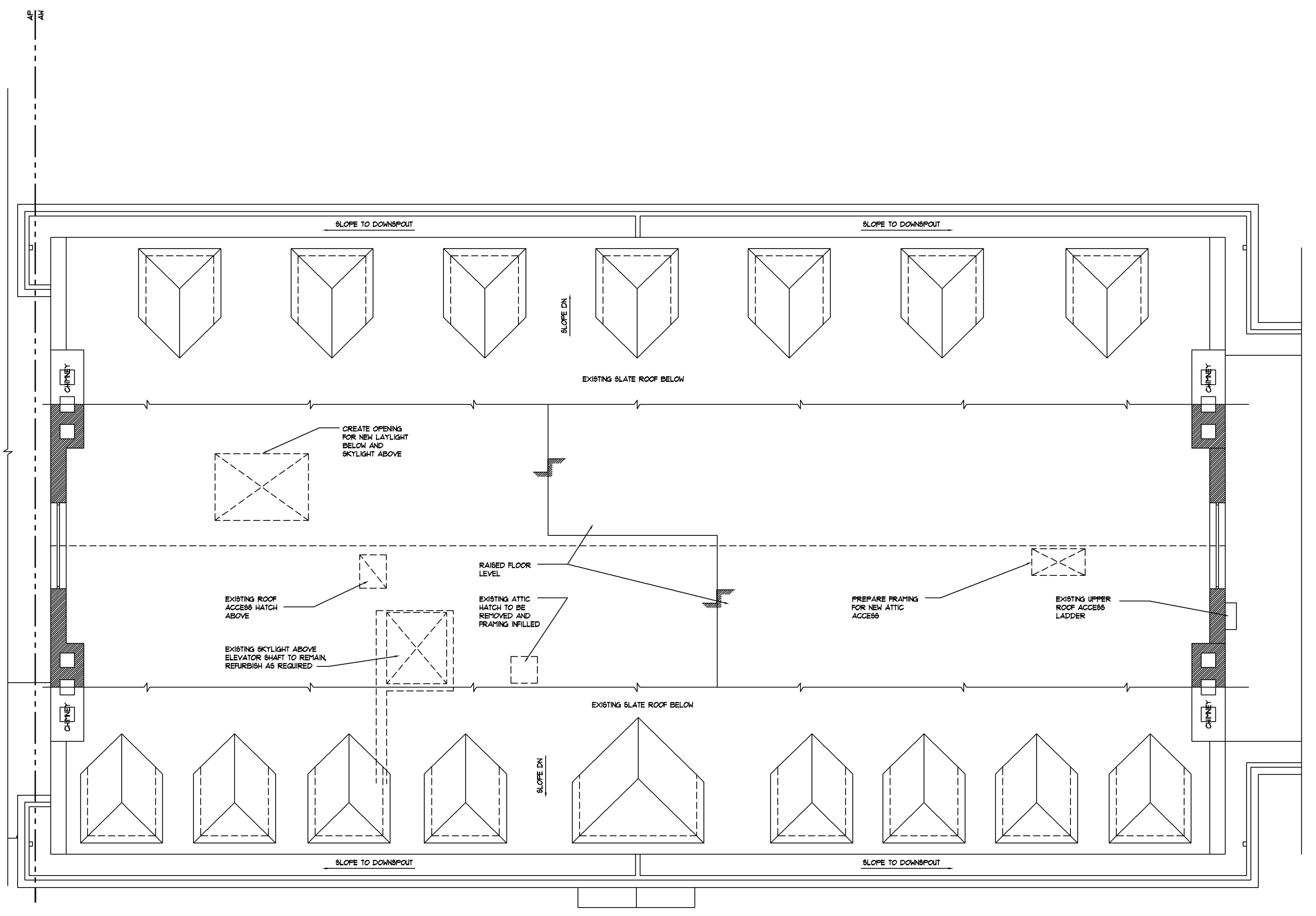
DEMOLITION LEGEND:

	EXISTING ROOF TO BE DEMOLISHED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED

- DEMOLITION NOTES:**
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION MEANS & METHODS, JOB SAFETY, & CONFORMANCE TO CODES
 - GENERAL CONTRACTOR SHALL BRING TO ARCHITECT'S OR OWNER'S ATTENTION ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWING INTENT
 - REMOVE ALL UNUSED PLUMBING LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE
 - REMOVE ALL UNUSED ELECTRICAL LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE
 - REMOVE & REPLACE ALL DETERIORATED CLAPBOARD, RAKES, SOFFITS AND ASSOCIATED TRIM
 - REMOVE ALL EXISTING HVAC EQUIPMENT
 - SALVAGE ALL EXISTING DOORS AND SKYLIGHTS BEING REMOVED FOR POSSIBLE REUSE
 - PROTECT ALL HISTORIC FABRIC, AREAS AND FIXTURES SLATED TO REMAIN DURING ALL PHASES OF CONSTRUCTION COORDINATE WITH ARCHITECT
 - EXISTING ROOF SYSTEM TO BE REPLACED IN ITS ENTIRETY, INCLUDING ALL BALLAST, ROOF MEMBRANE, DRAINS, AND SUBSTRATE. EXISTING INTERIOR ROOF DRAIN PIPING TO BE REPLACED IN ITS ENTIRETY.
 - REMOVE ALL WINDOWS AND EXTERIOR DOORS. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE DRAINAGE AND LINE THE OPENINGS WITH VAPOR SEMI-PERMEABLE FLUID WATER CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS AND DOORS.



DEMOLITION	WOOD HOUSE
	ATTIC



CI ATTIC DEMOLITION PLAN - WOOD BLDG
AW2.4 DRAWING SCALE: 1/4" = 1'-0"



DRAWING: DEMOLITION PLAN - ATTIC WOOD
ISSUED: 07/03/17
PERMIT

AW2.4

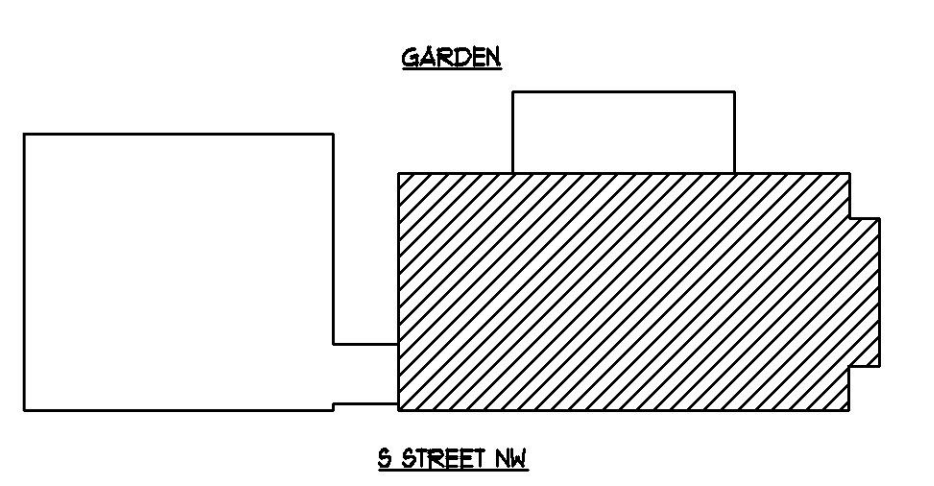
GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

DEMOLITION LEGEND:

	EXISTING ROOF TO BE DEMOLISHED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED

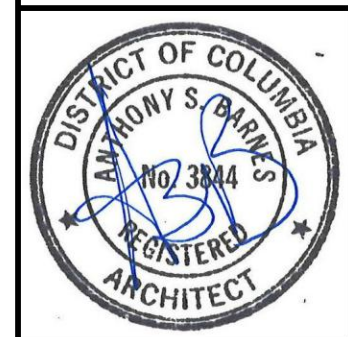
- DEMOLITION NOTES:**
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION MEANS & METHODS, JOB SAFETY, & CONFORMANCE TO CODES
 - GENERAL CONTRACTOR SHALL BRING TO ARCHITECT'S OR OWNER'S ATTENTION ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWING INTENT
 - REMOVE ALL UNUSED PLUMBING LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE.
 - REMOVE ALL UNUSED ELECTRICAL LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE.
 - REMOVE ALL EXISTING HVAC EQUIPMENT.
 - SALVAGE ALL EXISTING DOORS AND SKYLIGHTS BEING REMOVED FOR POSSIBLE REUSE.
 - PROTECT ALL HISTORIC FABRIC, AREAS AND FIXTURES SLATED TO REMAIN DURING ALL PHASES OF CONSTRUCTION. COORDINATE WITH ARCHITECT.
 - EXISTING ROOF SYSTEM AT POPE HOUSE TO BE REPLACED IN ITS ENTIRETY, INCLUDING ALL BALLAST, ROOF MEMBRANE, DRAINS, AND SHEATHING DOWN TO EXISTING ROOF SLAB. EXISTING INTERIOR ROOF DRAIN PIPING TO BE REPLACED IN ITS ENTIRETY.
 - REMOVE ALL EXISTING WINDOWS, EXTERIOR DOORS, AND FRAMES. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8" SLOPE TO EXTERIOR. LINE OPENINGS WITH VAPOR SEMI-PERMEABLE FLUID WATER CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, DOORS, AND FRAMES.
 - REPLACE ROOF MEMBRANES AND REHABILITATE ASSOCIATED FLASHINGS. INSULATE INTERNALLY WITH CLOSED CELL FOAM.



DEMOLITION	WOOD HOUSE
	ROOF

1666

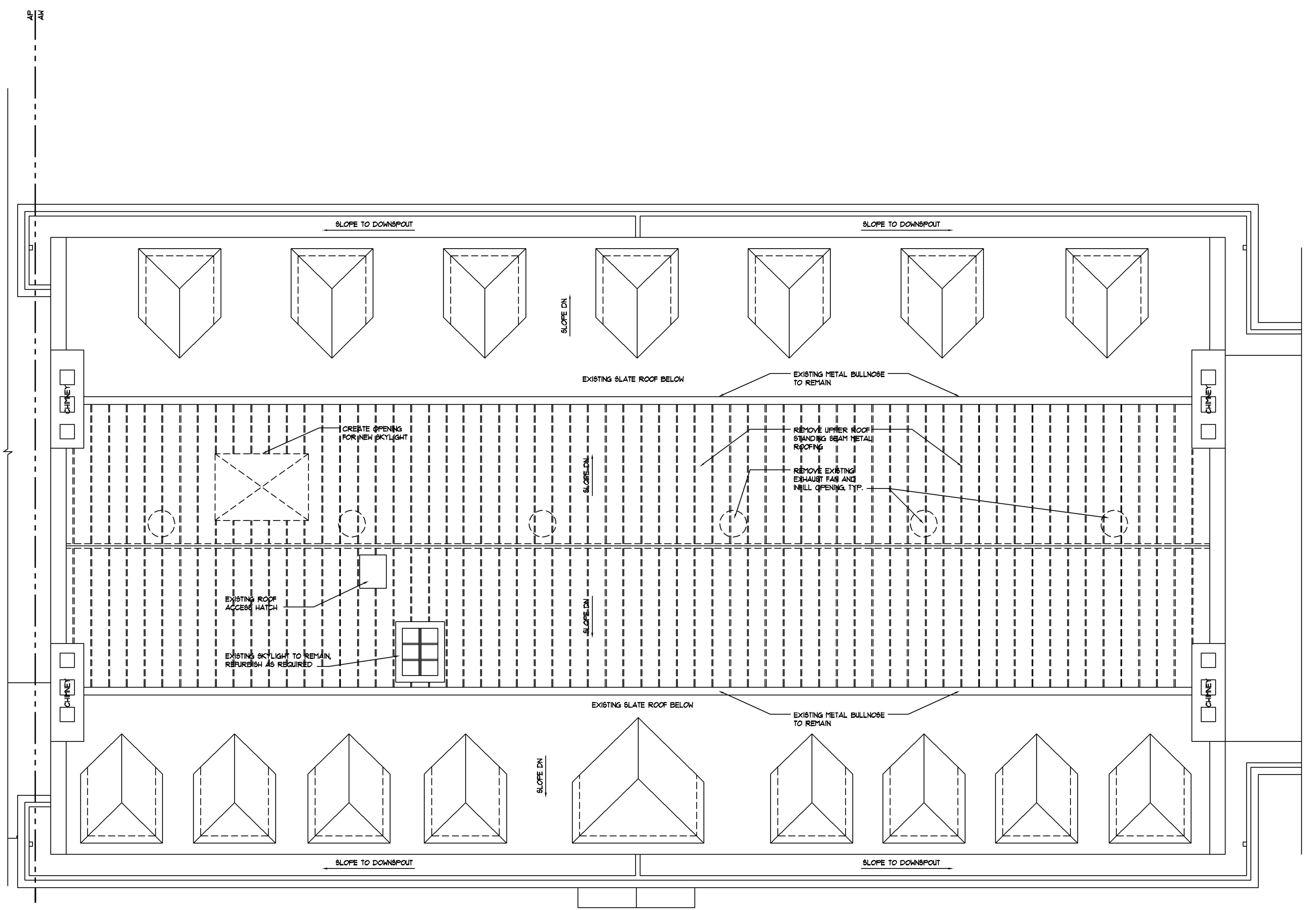
 BARNES VANZE
 ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007
 TELE: [REDACTED]
 FAX: [REDACTED]



2320 S STREET
 RESIDENCE
 2320-2330 S ST. NW,
 WASHINGTON, DC 20008

DRAWING: DEMOLITION PLAN - ROOF WOOD
 ISSUED: 07/09/17
 PERMIT

AW2.5

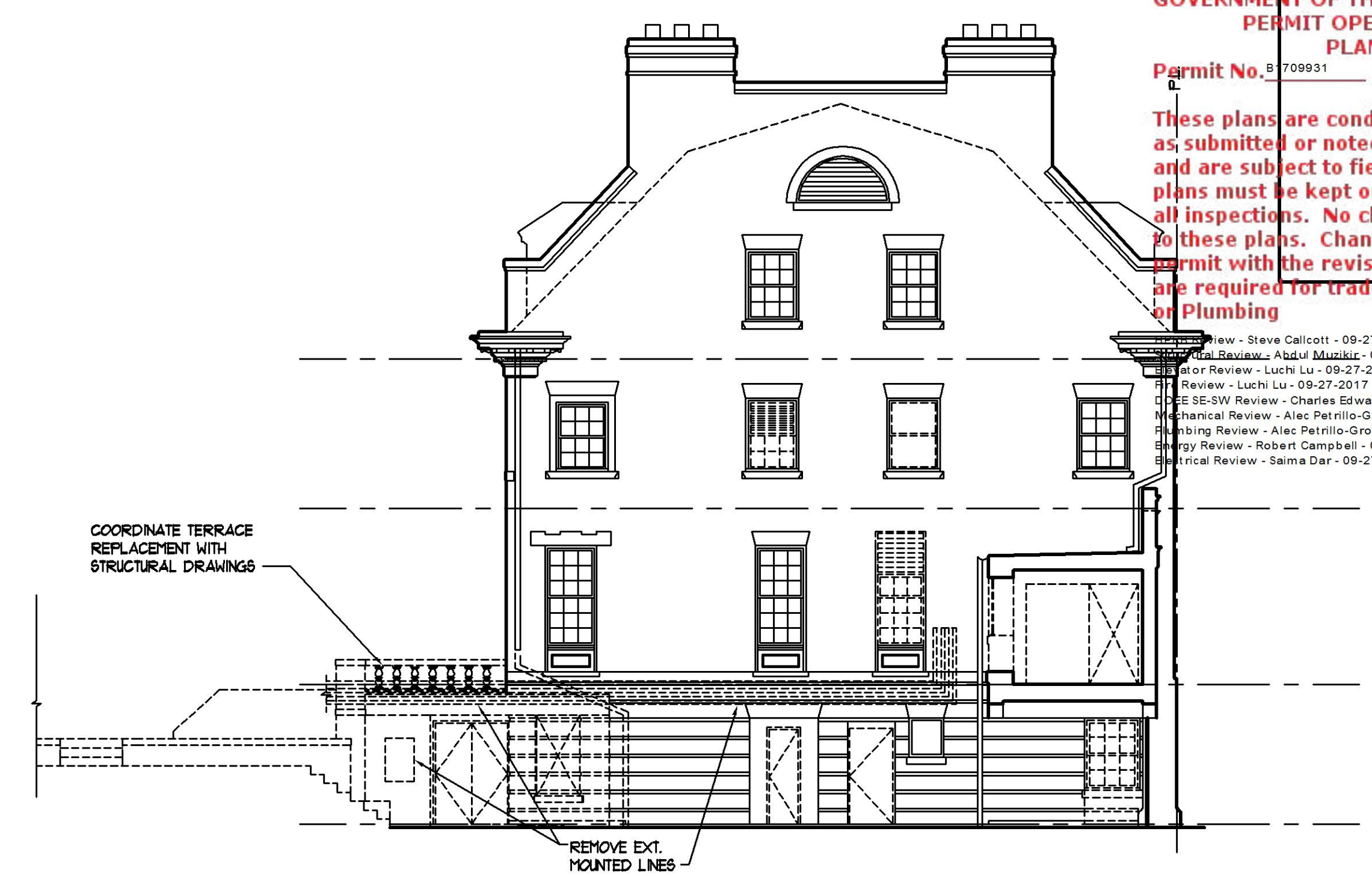


CI AW2.4 ROOF DEMOLITION PLAN - WOOD BLDG
 DRAWING SCALE: 1/4" = 1'-0"

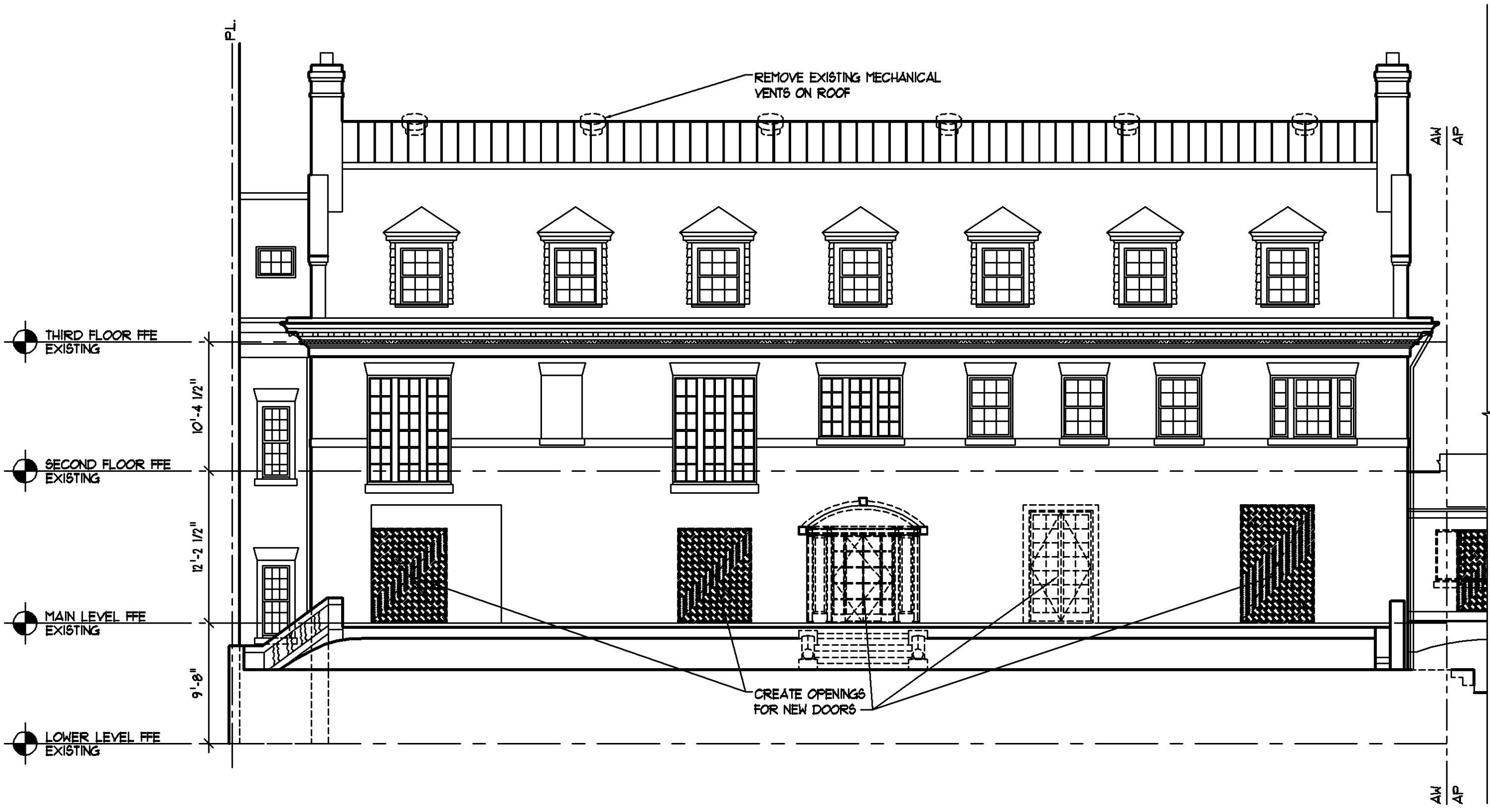




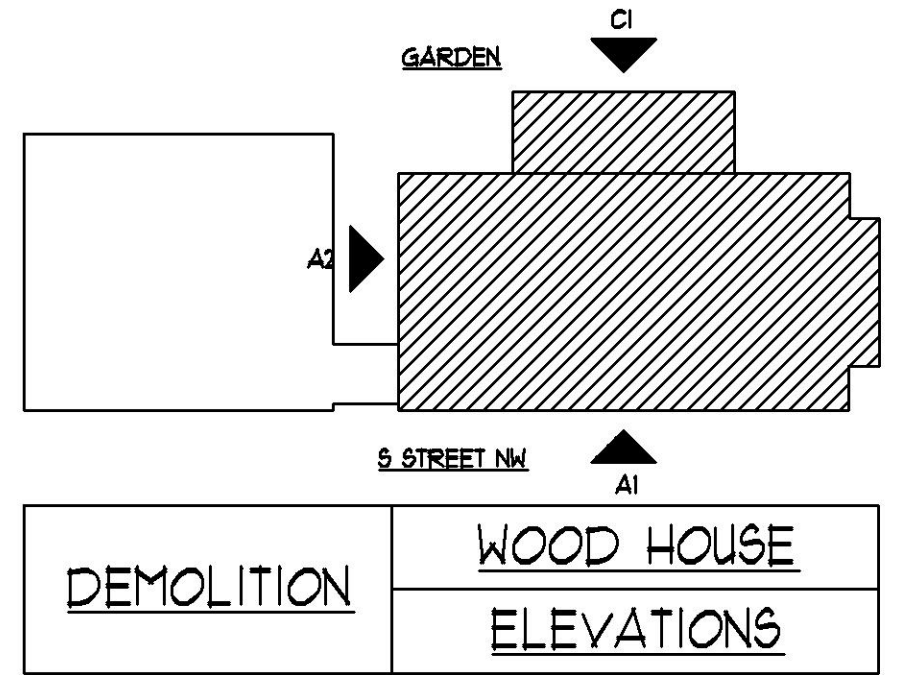
A1 S STREET ELEVATION - WOOD HOUSE
AW2.6 DRAWING SCALE: 1/8" = 1'-0"



A2 SIDE ELEVATION - WOOD HOUSE
AW2.6 DRAWING SCALE: 1/8" = 1'-0"

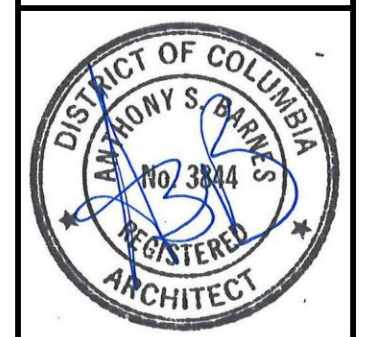


C1 GARDEN ELEVATION - WOOD HOUSE
AW2.6 DRAWING SCALE: 1/8" = 1'-0"



GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 8709931 Date 09/27/17
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

1666
BARNES VANZE
ARCHITECTS INC.
1000 Potomac Street, N.W.
Suite L-2
Washington, D.C. 20007
TELE: [REDACTED]
FAX: [REDACTED]



2320 S STREET
RESIDENCE
2320-2330 S ST. NW.
WASHINGTON, DC 20008

DRAWING: DEMOLITION ELEVATIONS - WOOD HOUSE
ISSUED: 07/09/17
PERMIT: [REDACTED]

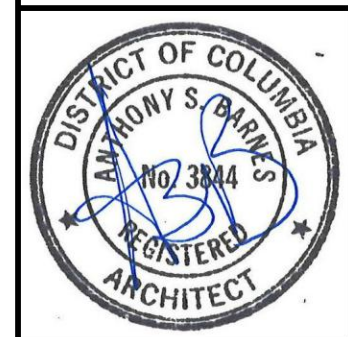
AW2.6

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

1666

BV
BARNES VANZE
ARCHITECTS INC.
1000 Potomac Street, N.W.
Suite L-2
Washington, D.C. 20007
TELE: [REDACTED]
FAX: [REDACTED]



2320 S STREET
RESIDENCE
2320-2330 S ST. NW.
WASHINGTON, DC 20008

CONSTRUCTION LEGEND:

- EXISTING TO REMAIN
- NEW BRICK WALLS, PORTLAND CEMENT MORTAR, 2X6 @ 16" O.C. INT. WALLS, UNO.
- POURED CONCRETE
- EXISTING DOOR TO REMAIN
- NEW DOOR
- EXISTING WINDOW TO REMAIN
- NEW WINDOW
- FRAMING DIMENSIONS (TO STUD OR MASONRY BEARING, UNO.)
- FINISH DIMENSION

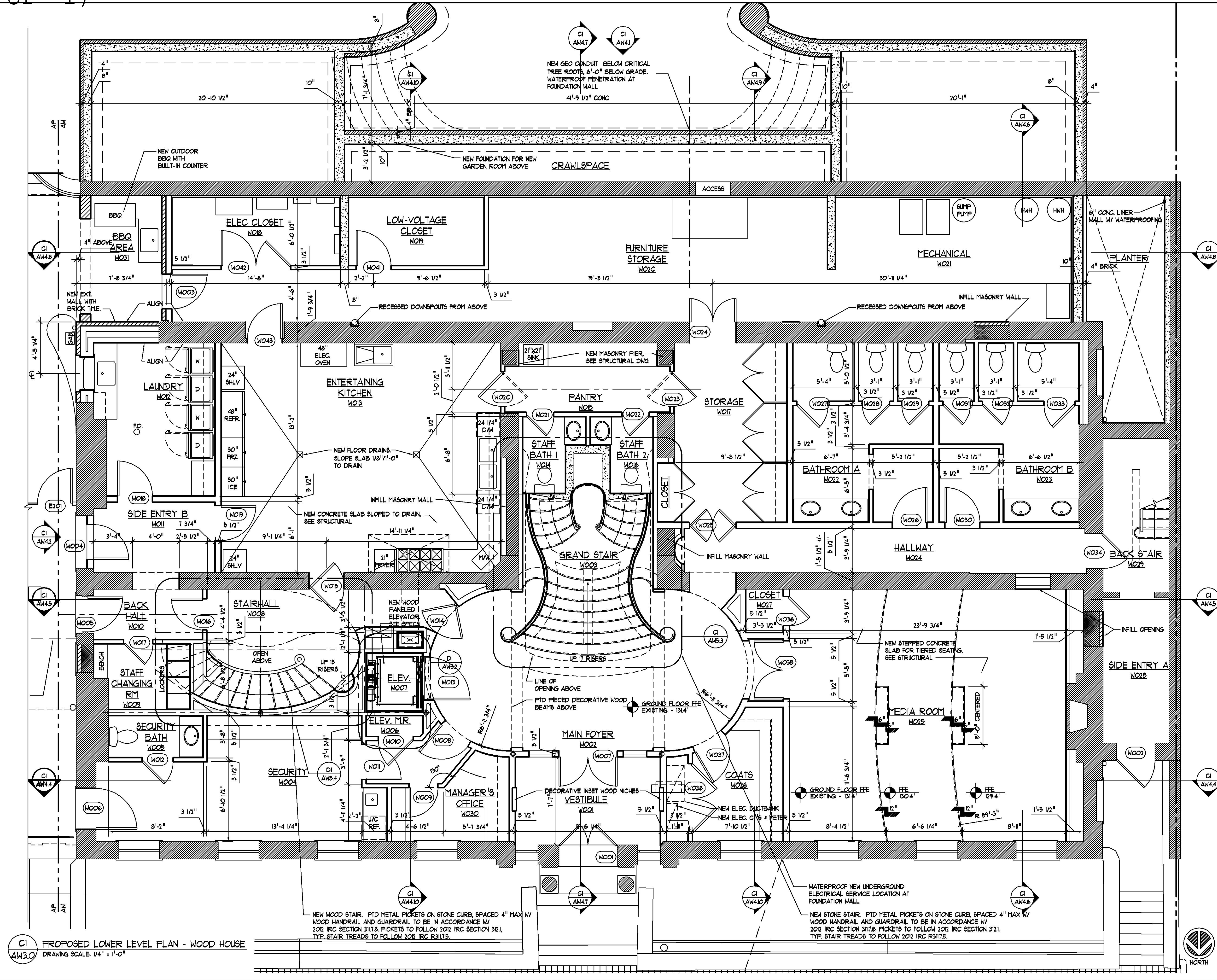
- CONSTRUCTION NOTES:**
- FINISHED GRADES ARE INDICATED TO SHOW DESIGN INTENT. GENERAL CONTRACTOR SHALL DETERMINE CUT/FILL REQUIREMENTS
 - ALL EXTERIOR BRICK WORK SHALL MATCH EXISTING
 - REMOVE ALL EXISTING WINDOWS, EXTERIOR DOORS, AND FRAMES. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8" SLOPE TO EXTERIOR. LINE OPENINGS WITH VAPOR SEMI-IMPERMEABLE FLUID WATER CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, DOORS, AND FRAMES.

GARDEN

5 STREET NW

PROPOSED WOOD HOUSE LOWER LEVEL

NORTH



CI AW3.0 PROPOSED LOWER LEVEL PLAN - WOOD HOUSE
DRAWING SCALE: 1/4" = 1'-0"

DRAWING: PROPOSED PLAN - LOWER LEVEL WOOD HOUSE

ISSUED:	07/09/17
PERMIT:	

AW3.0

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

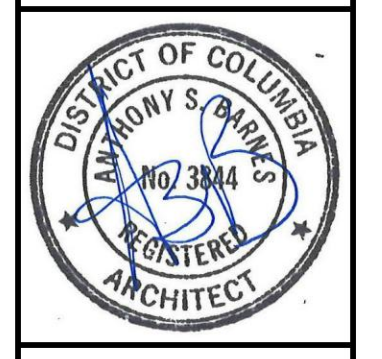
CONSTRUCTION LEGEND:

- POURED CONCRETE
- EXISTING DOOR TO REMAIN
- NEW DOOR
- EXISTING WINDOW TO REMAIN
- NEW WINDOW
- FRAMING DIMENSIONS (TO STUD OR MASONRY BEARING, UNO)
- FINISH DIMENSION
- PARTITION TYPE

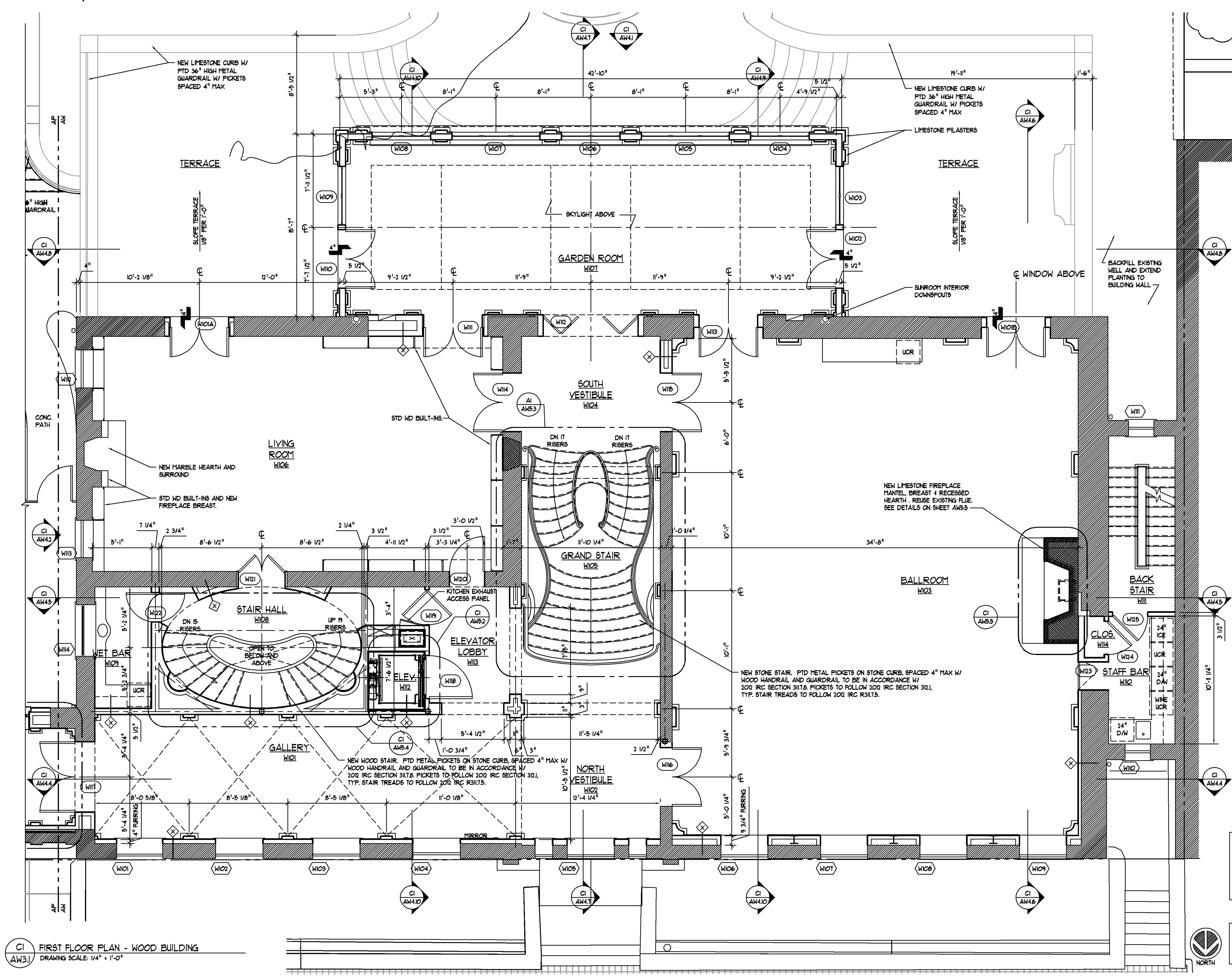
CONSTRUCTION NOTES:

- PROTECT ALL HISTORIC FABRIC SLATED TO REMAIN.
- INSPECT AND RESTORE ALL FIREPLACE CHIMNEYS AND FLUES TO OPERABLE CONDITION.
- PROTECT EXISTING STAIRS SLATED TO REMAIN DURING CONSTRUCTION.
- REMOVE ALL EXISTING WINDOWS, EXTERIOR DOORS, AND FRAMES. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8" slope TO EXTERIOR. LINE OPENINGS WITH VAPOR SEMI-IMPERMEABLE FLUID WATER CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, DOORS, AND FRAMES.

1666
BARNES VANZEL ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007
 TELE: [REDACTED]
 FAX: [REDACTED]



2320 S STREET RESIDENCE
 2320-2330 S ST. NW.
 WASHINGTON, DC 20008



CI AW3.1 FIRST FLOOR PLAN - WOOD BUILDING
 DRAWING SCALE: 1/4" = 1'-0"

GARDEN

5 STREET NW

PROPOSED WOOD HOUSE MAIN LEVEL

DRAWING: PROPOSED PLAN - FIRST FLOOR WOOD

ISSUED:	07/09/17
PERMIT:	

AW3.1

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8 709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

CONSTRUCTION LEGEND:

- POURED CONCRETE
- EXISTING DOOR TO REMAIN
- NEW DOOR
- EXISTING WINDOW TO REMAIN
- NEW WINDOW
- FRAMING DIMENSIONS (TO STUD OR MASONRY BEARING, UNO.)
- FINISH DIMENSION

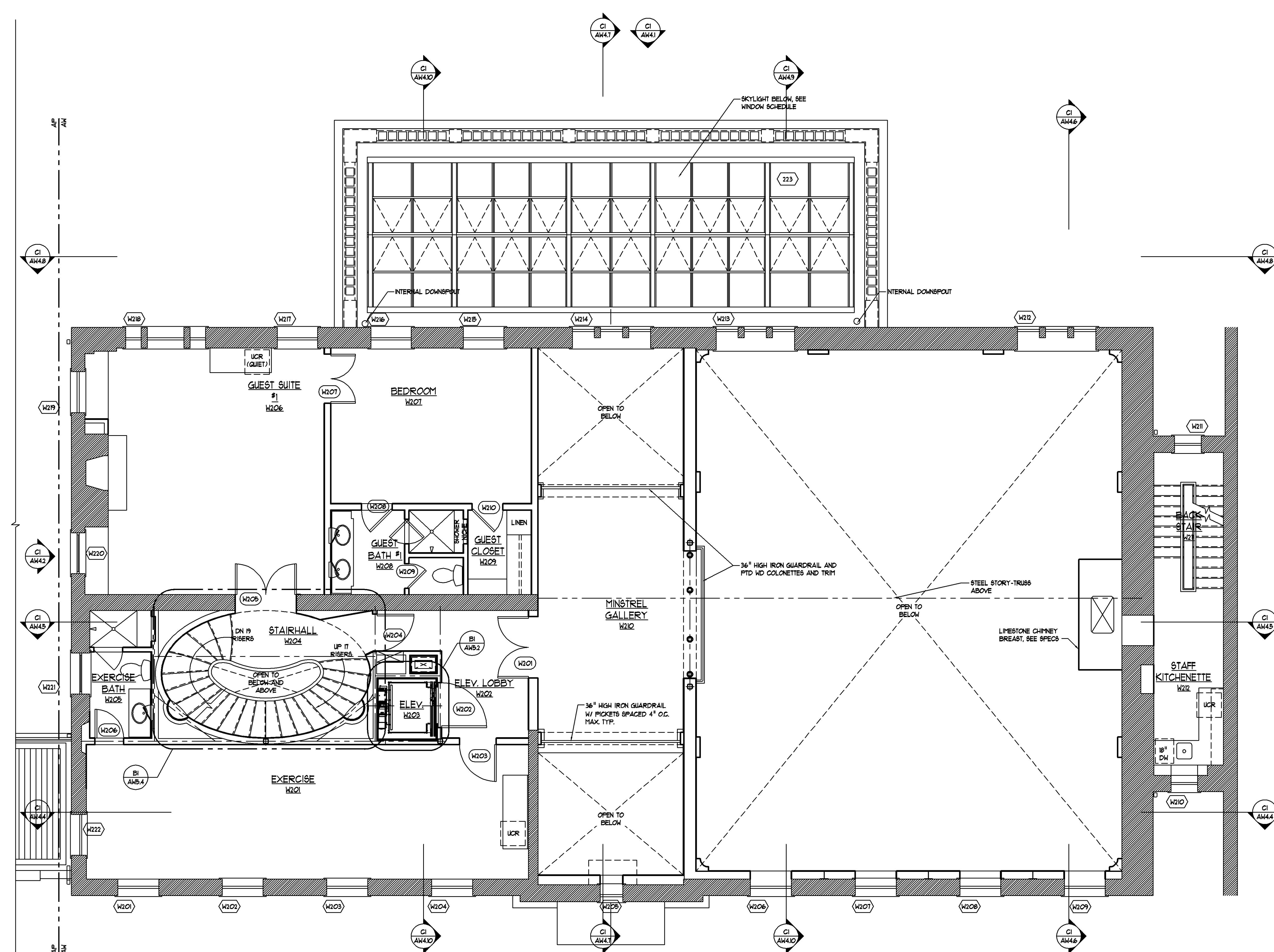
CONSTRUCTION NOTES:

- REMOVE ALL EXISTING WINDOWS, EXTERIOR DOORS, AND FRAMES. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8" SLOPE TO EXTERIOR. LINE OPENINGS WITH VAPOR SEMI-IMPERMEABLE FLUID WATER CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, DOORS, AND FRAMES.
- INSPECT AND RESTORE ALL FIREPLACE CHIMNEYS AND FLUES TO OPERABLE CONDITION.

1666

BARNES VANZE ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007
 TELE: [REDACTED]
 FAX: [REDACTED]

2320 S STREET RESIDENCE
 2320-2330 S ST. NW,
 WASHINGTON, DC 20008



CI AW3.3 SECOND FLOOR PLAN - WOOD HOUSE
 DRAWING SCALE: 1/4" = 1'-0"

PROPOSED WOOD HOUSE SECOND FLOOR

DRAWING: PROPOSED PLAN - SECOND FLOOR WOOD

ISSUED:	07/09/17
PERMIT:	

AW3.2

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
 Permit No. 8 709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

CONSTRUCTION LEGEND:

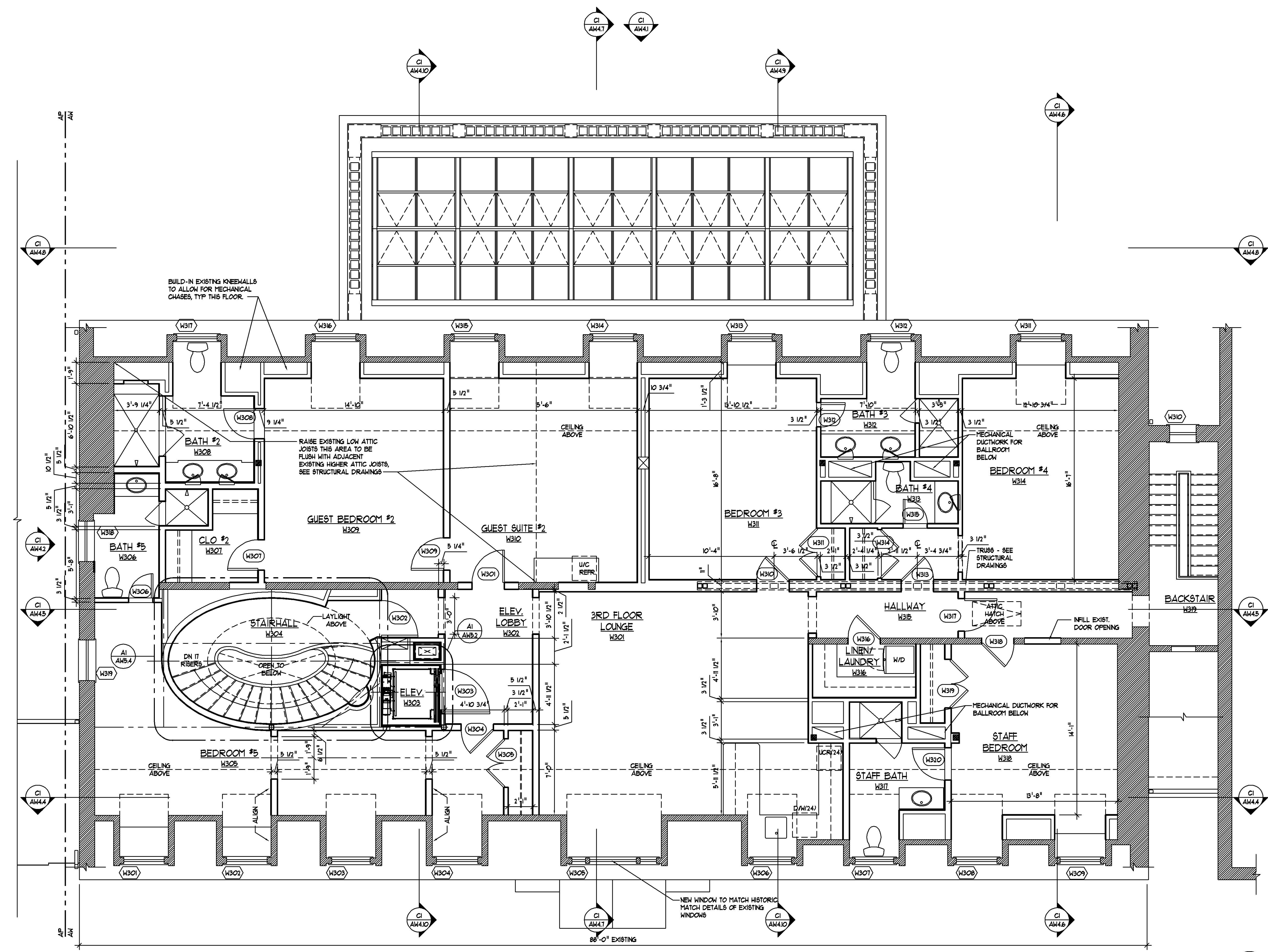
- EXISTING TO REMAIN
- NEW STUD WALLS
- 2x6 @ 16" O.C. INT. WALLS, UNO.
- FOURS CONCRETE
- EXISTING DOOR TO REMAIN
- NEW DOOR
- EXISTING WINDOW TO REMAIN
- NEW WINDOW
- FRAMING DIMENSIONS (TO STUD OR MASONRY BEARING, UNO.)
- FINISH DIMENSION

- CONSTRUCTION NOTES:**
- INSPECT AND RESTORE ALL FIREPLACE CHIMNEYS AND FLUES TO OPERABLE CONDITION.
 - REMOVE ALL EXISTING WINDOWS, EXTERIOR DOORS, AND FRAMES. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE DRAINAGE, INCLUDING RESETTING ALL EXISTING SILLS AS REQUIRED TO PROVIDE 1/8" slope TO EXTERIOR. LINE OPENINGS WITH VAPOR SEMI-IMPERMEABLE FLUID WATER CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS, DOORS, AND FRAMES.

1666

BARNES VANZE ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007
 TELE: [REDACTED]
 FAX: [REDACTED]

2320 S STREET RESIDENCE
 2320-2330 S ST. NW.
 WASHINGTON, DC 20008



CI THIRD FLOOR PLAN - WOOD HOUSE
 AW3.3 DRAWING SCALE: 1/4" = 1'-0"

NORTH

PROPOSED WOOD HOUSE
 THIRD FLOOR

DRAWING: PROPOSED PLAN - THIRD FLOOR WOOD

ISSUED:	07/09/17
PERMIT:	

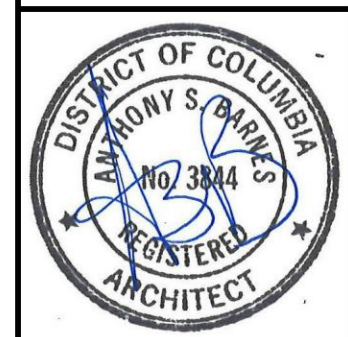
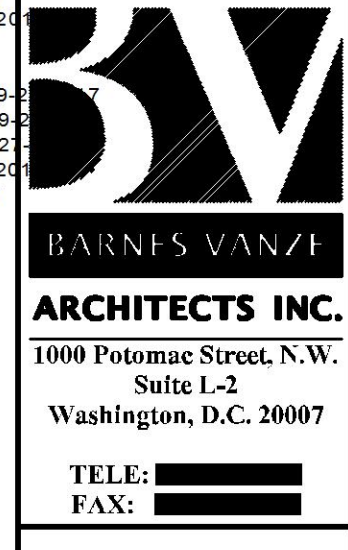
AW3.3

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRB Review - Steve Calceitt - 09-27-2017
 Structural Review - Abdul Muzikr - 09-27-2017
 Elevator Review - Luchi Lu - 09-27-2017
 Fire Review - Luchi Lu - 09-27-2017
 Mechanical Review - Charles Edwards - 09-27-2017
 Electrical Review - Alec Petricola-Proh - 09-27-2017
 New Window - Alex Petricola-Proh - 09-27-2017
 2x6 SIPS, 1/2" GYPSUM BOARD, 1/2" UNF
 2x #6 OC. INT. WALLS, UNF.

1666

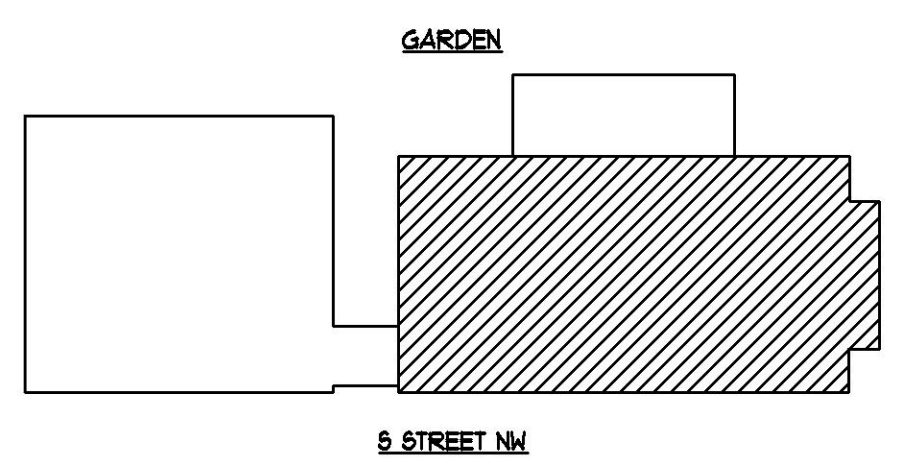
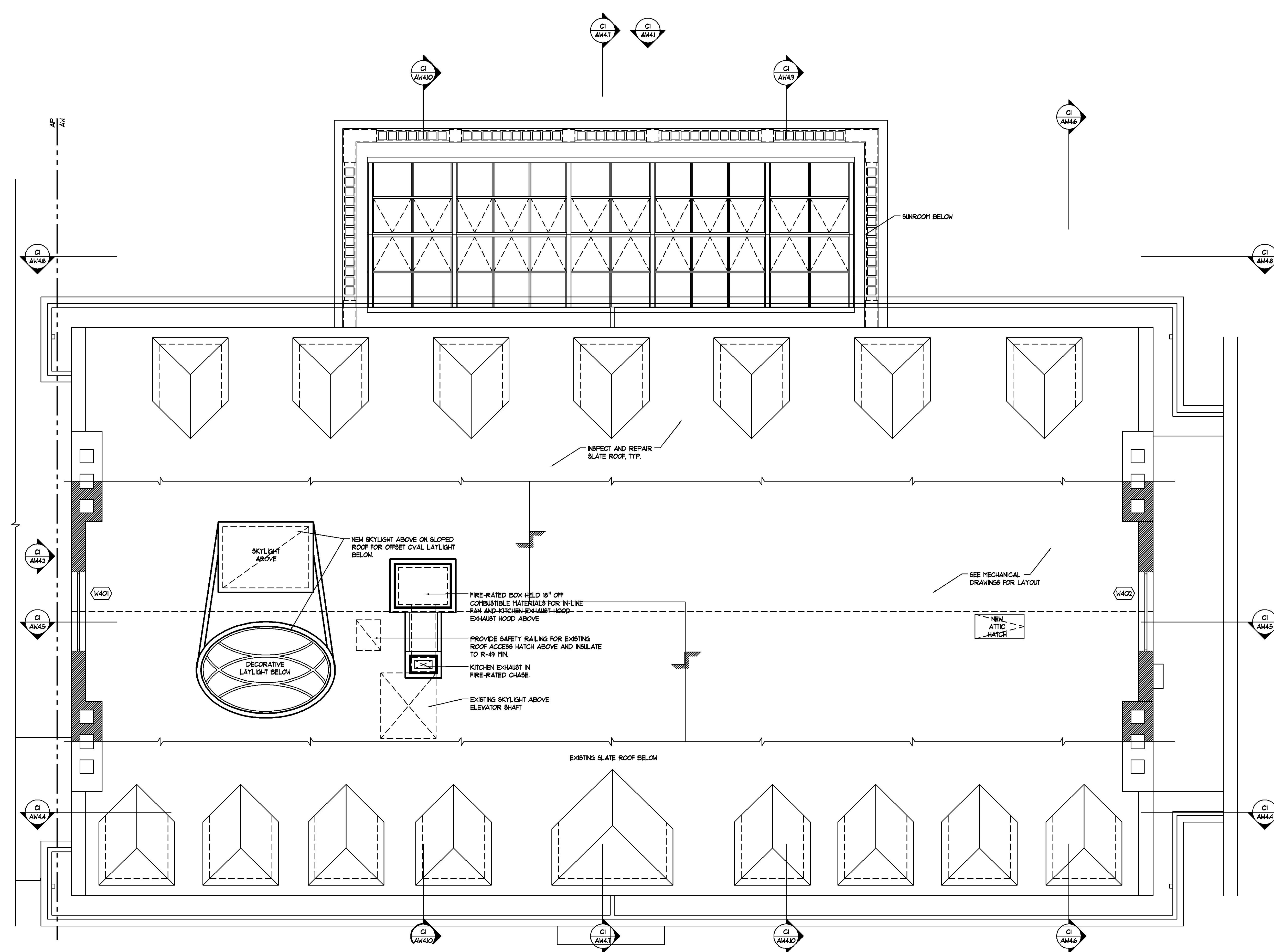


2320 S STREET
 RESIDENCE
 2320-2330 S ST. NW,
 WASHINGTON, DC 20008

CONSTRUCTION LEGEND:

	EXISTING TO REMAIN
	NEW STUD WALLS
	FOURED CONCRETE
	EXISTING DOOR TO REMAIN
	NEW DOOR
	EXISTING WINDOW TO REMAIN
	NEW WINDOW
	FRAMING DIMENSIONS (TO STUD OR MASONRY BEARING, UNO.)
	FINISH DIMENSION

- CONSTRUCTION NOTES:**
- FINISHED GRADES ARE INDICATED TO SHOW DESIGN INTENT. GENERAL CONTRACTOR SHALL DETERMINE CUT/FILL REQUIREMENTS
 - REMOVE ALL WINDOWS AND EXTERIOR DOORS. MODIFY EXISTING OPENINGS TO PROVIDE POSITIVE DRAINAGE AND LINE THE OPENINGS WITH VAPOR SEMI-PERMEABLE FLUID WATER CONTROL MEMBRANES. SEAL ALL COMPONENTS WITH VAPOR OPEN FLUID APPLIED COATINGS. REINSTALL ALL WINDOWS AND DOORS.



CI AW3.4 PROPOSED ATTIC PLAN - WOOD HOUSE
 DRAWING SCALE: 1/4" = 1'-0"

PROPOSED	WOOD HOUSE
	ATTIC

DRAWING: PROPOSED PLAN - ATTIC HOOD
 ISSUED: 07/09/17
 PERMIT

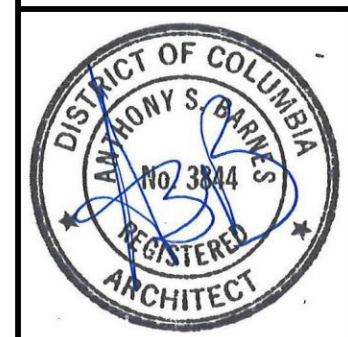
AW3.4

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. B 709931 Date 09/27/17

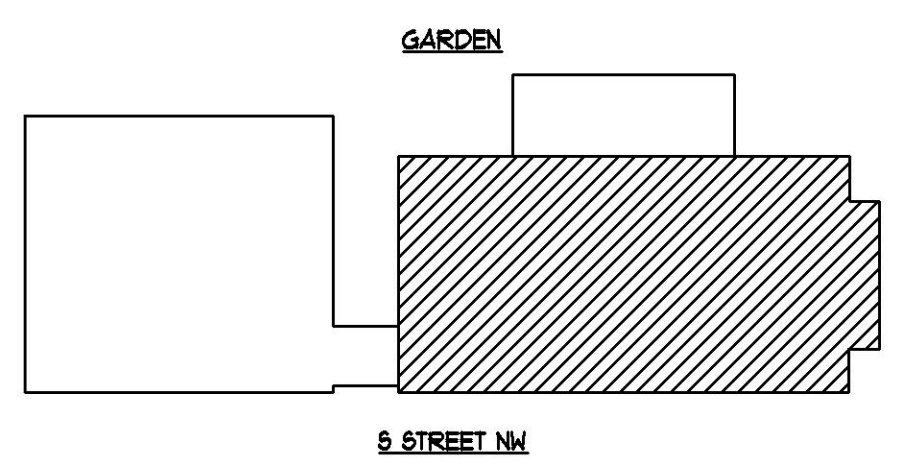
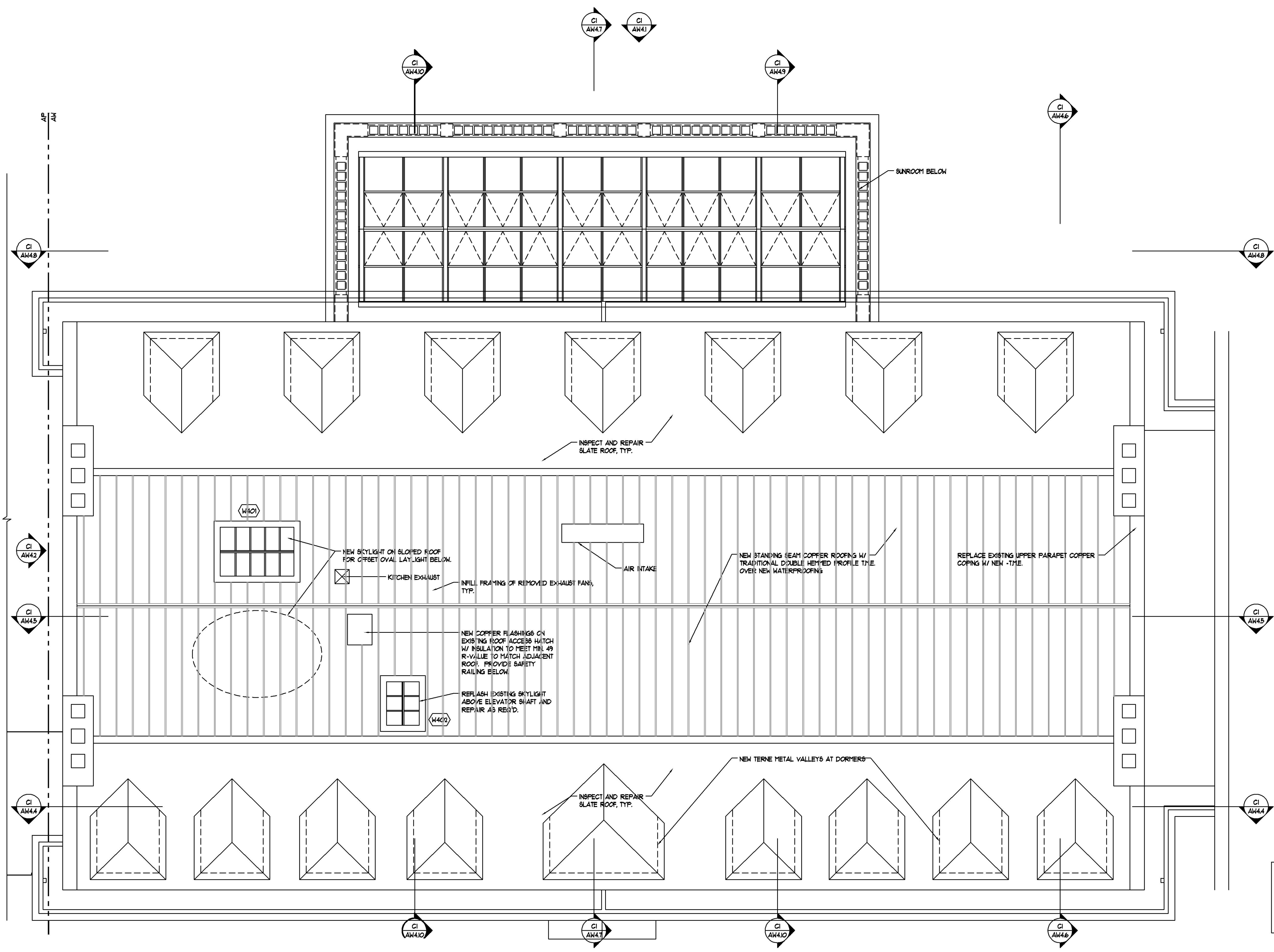
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRB Review - Steve Callcott - 09-27-2017
Structural Review - Abdul Muzikr - 09-27-2017
Elevator Review - Luchi Lu - 09-27-2017
Fire Review - Luchi Lu - 09-27-2017
DOEE SE-SW Review - Charles Edwards - 09-27-2017
Mechanical Review - Alec Petrilko-Groh - 09-27-2017
Plumbing Review - Alec Petrilko-Groh - 09-27-2017
Energy Review - Robert Campbell - 09-27-2017
Electrical Review - Saima Dar - 09-27-2017

1666
BARNES VANZE
ARCHITECTS INC.
1000 Potomac Street, N.W.
Suite L-2
Washington, D.C. 20007
TELE:
FAX:
REGISTERED ARCHITECT



2320 S STREET
RESIDENCE
2320-2330 S ST. NW,
WASHINGTON, DC 20008



CI AW3.5 PROPOSED ROOF PLAN - WOOD HOUSE
DRAWING SCALE: 1/4" = 1'-0"

PROPOSED	WOOD HOUSE
	ROOF

DRAWING: PROPOSED PLAN - ROOF WOOD
ISSUED: 07/09/17
PERMIT

AW3.5

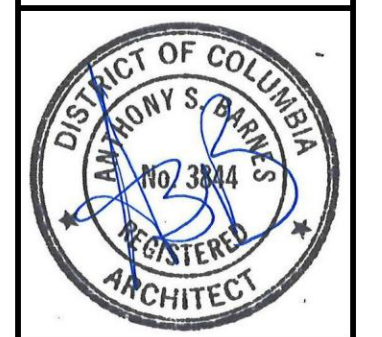
GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

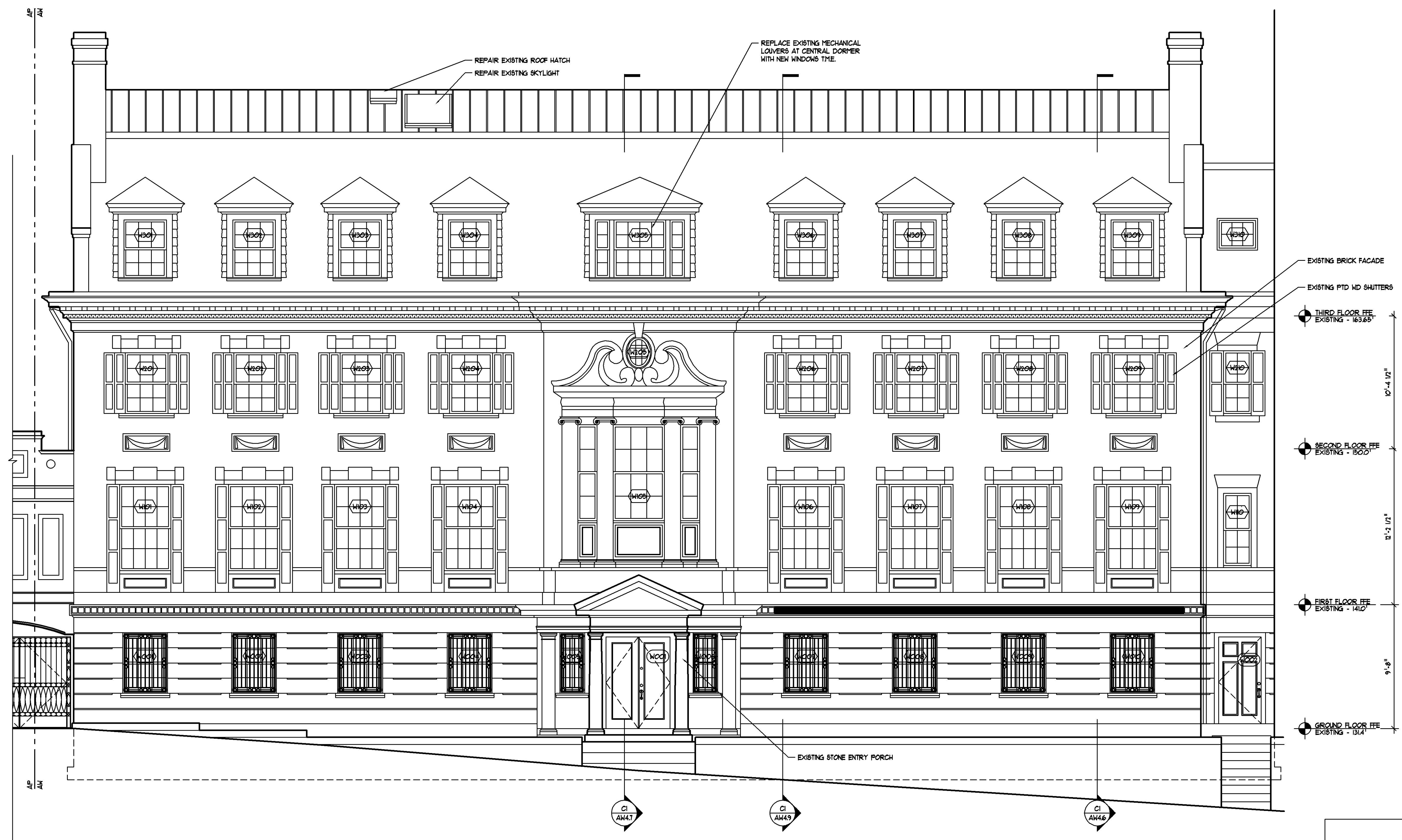
HPRB Review - Steve Callcott - 09-27-2017
 Structural Review - Abdul Muzikr - 09-27-2017
 Elevator Review - Luchi Lu - 09-27-2017
 Fire Review - Luchi Lu - 09-27-2017
 DOE SE-SW Review - Charles Edwards - 09-27-2017
 Mechanical Review - Alec Petrillo-Groh - 09-27-2017
 Plumbing Review - Alec Petrillo-Groh - 09-27-2017
 Energy Review - Robert Campbell - 09-27-2017
 Electrical Review - Saima Dar - 09-27-2017

1666

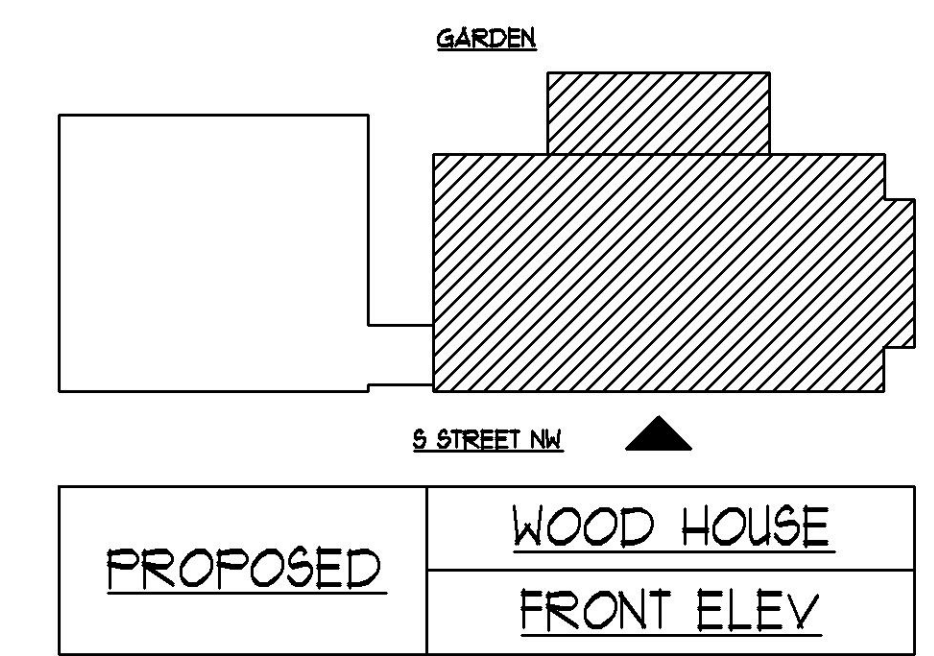
 BARNES VANZE
 ARCHITECTS INC.
 1000 Potomac Street, N.W.,
 Suite L-2
 Washington, D.C. 20007
 TELE: 
 FAX: 



2320 S STREET
 RESIDENCE
 2320-2330 S ST. NW,
 WASHINGTON, DC 20008



CI AW40 S STREET ELEVATION - WOOD HOUSE
 DRAWING SCALE: 1/4" = 1'-0"



DRAWING: EXTERIOR ELEVATION - WOOD FRONT
 ISSUED: 07/09/17
 PERMIT

AW4.0

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8709931 Date 09/27/17

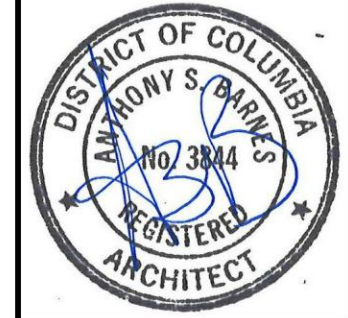
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRB Review - Steve Callcott - 09-27-2017
 Structural Review - Abdul Muzikr - 09-27-2017
 Elevator Review - Luchi Lu - 09-27-2017
 Fire Review - Luchi Lu - 09-27-2017
 DOE SE-SW Review - Charles Edwards - 09-27-2017
 Mechanical Review - Alec Petrillo-Groh - 09-27-2017
 Plumbing Review - Alec Petrillo-Groh - 09-27-2017
 Energy Review - Robert Campbell - 09-27-2017
 Electrical Review - Saima Dar - 09-27-2017

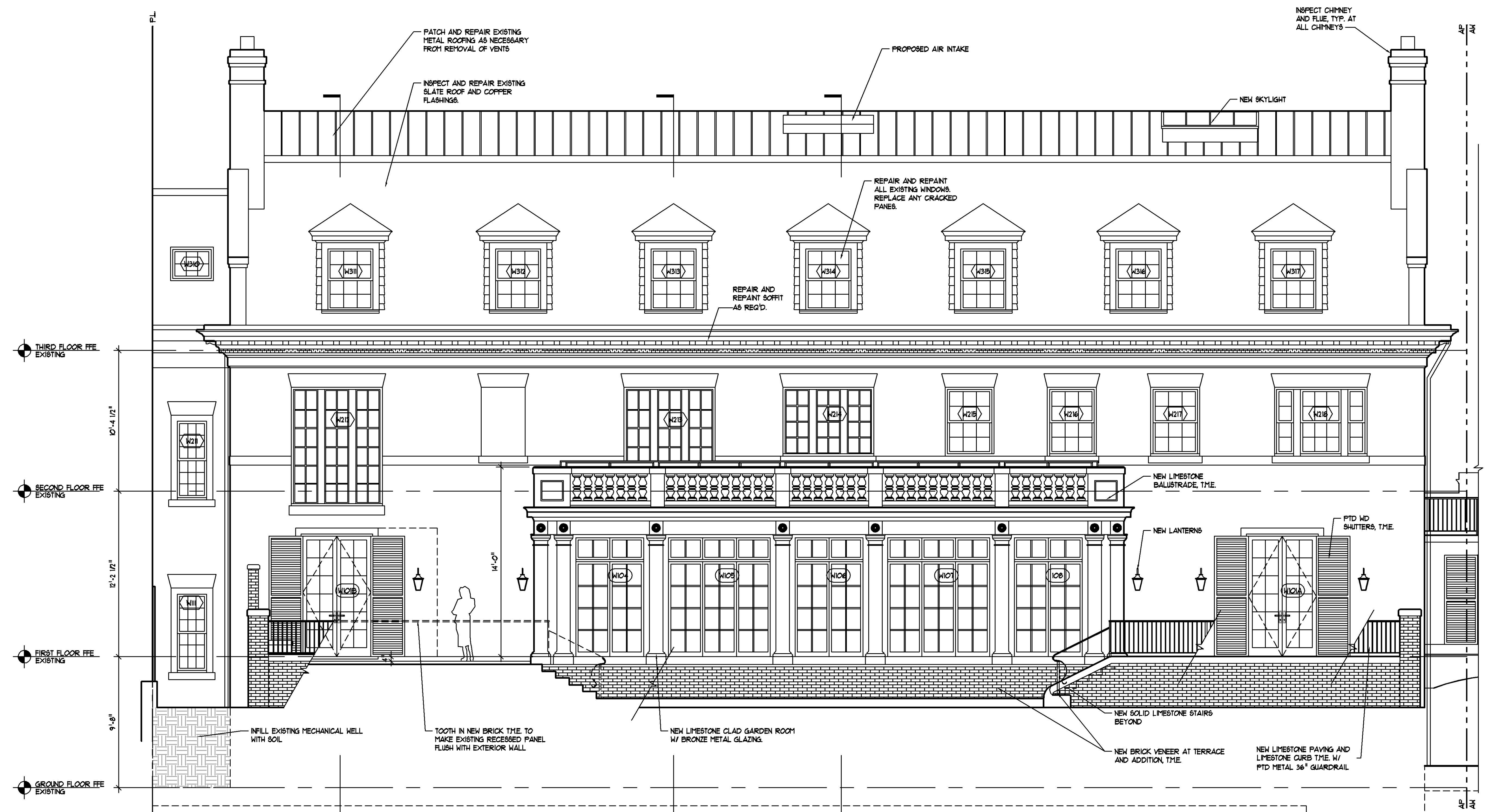
1666



BARNES VANZE
ARCHITECTS INC.
 1000 Potomac Street, N.W.,
 Suite L-2
 Washington, D.C. 20007
 TELE: [REDACTED]
 FAX: [REDACTED]



2320 S STREET
RESIDENCE
 2320-2330 S ST. NW,
 WASHINGTON, DC 20008



THIRD FLOOR FFE EXISTING
 10'-4 1/2"
 SECOND FLOOR FFE EXISTING
 12'-2 1/2"
 FIRST FLOOR FFE EXISTING
 9'-8"
 GROUND FLOOR FFE EXISTING

CI A46

CI A49

CI A47

CI AW4.1 GARDEN ELEVATION - WOOD HOUSE
 DRAWING SCALE: 1/4" = 1'-0"

PROPOSED WOOD HOUSE
 GARDEN ELEV

DRAWING: EXTERIOR ELEVATION - WOOD REAR
 ISSUED: 07/09/17
 PERMIT

AW4.1

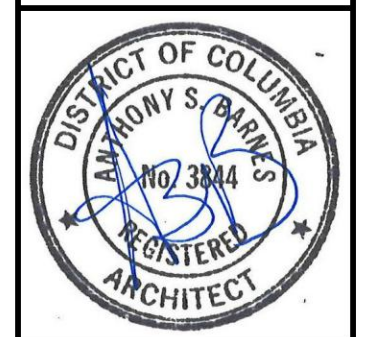
GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

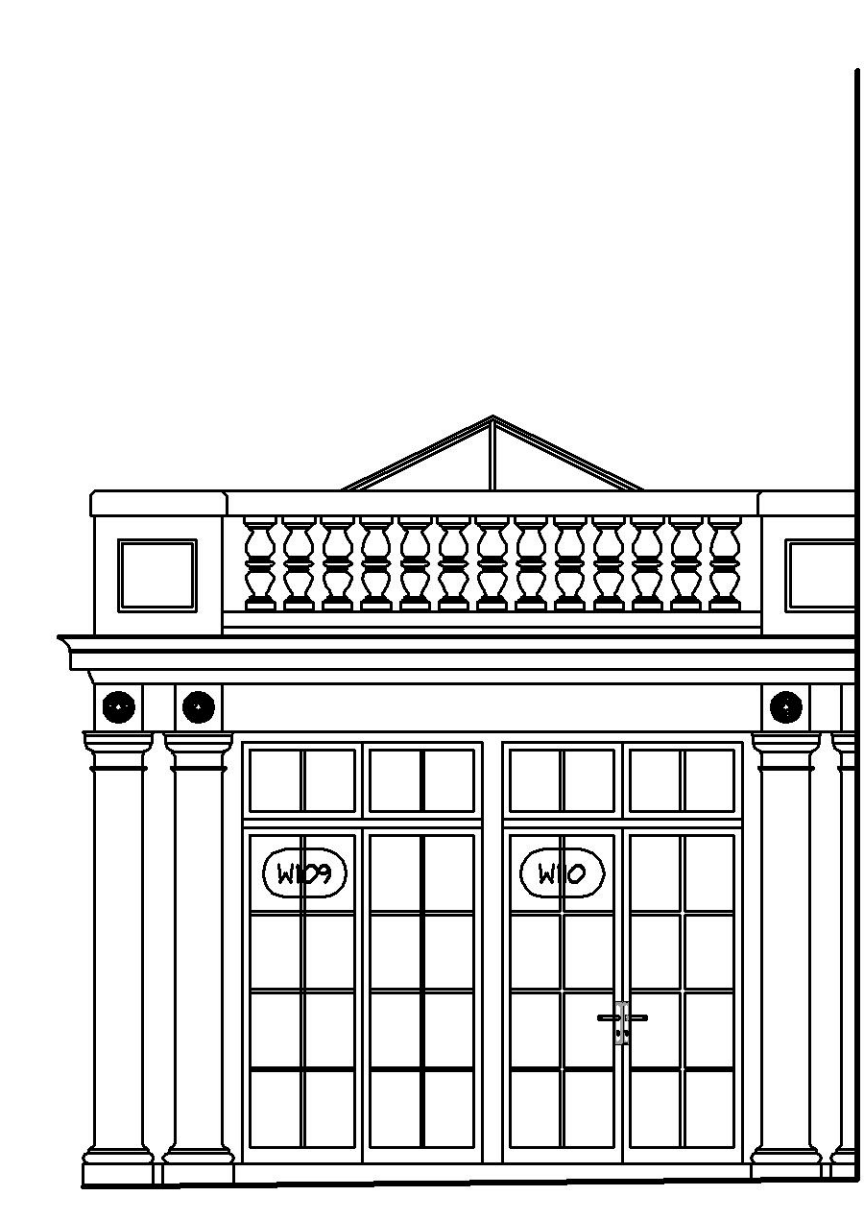
HPRB Review - Steve Callcott - 09-27-2017
 Structural Review - Abdul Muzikr - 09-27-2017
 Elevator Review - Luchi Lu - 09-27-2017
 Fire Review - Luchi Lu - 09-27-2017
 DOEE SE-SW Review - Charles Edwards - 09-27-2017
 Mechanical Review - Alec Petrilto-Groh - 09-27-2017
 Plumbing Review - Alec Petrilto-Groh - 09-27-2017
 Energy Review - Robert Campbell - 09-27-2017
 Electrical Review - Saima Dar - 09-27-2017

1666

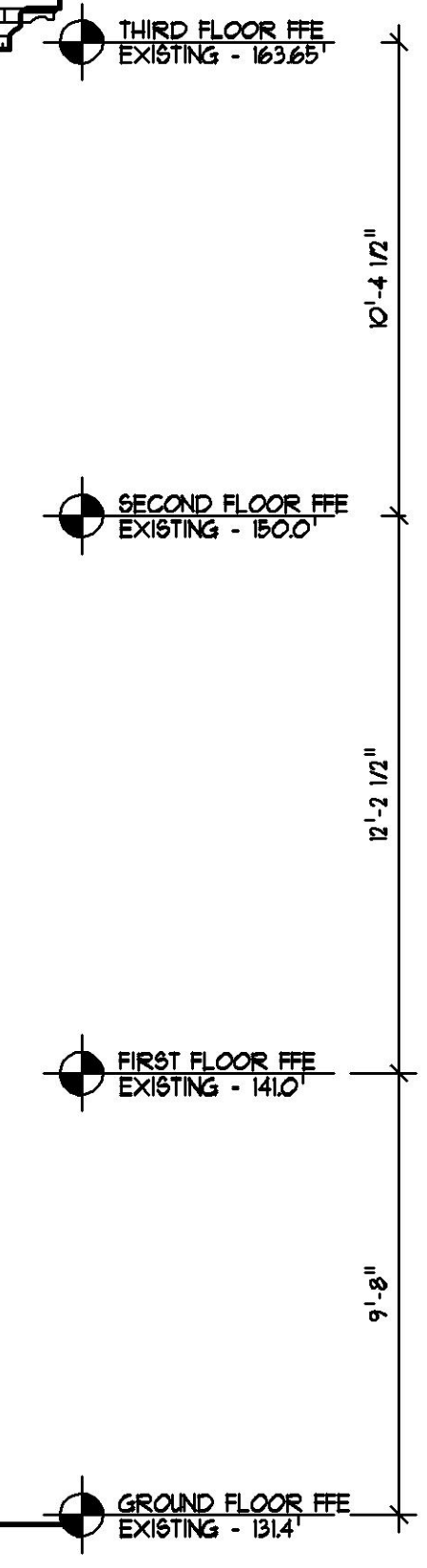
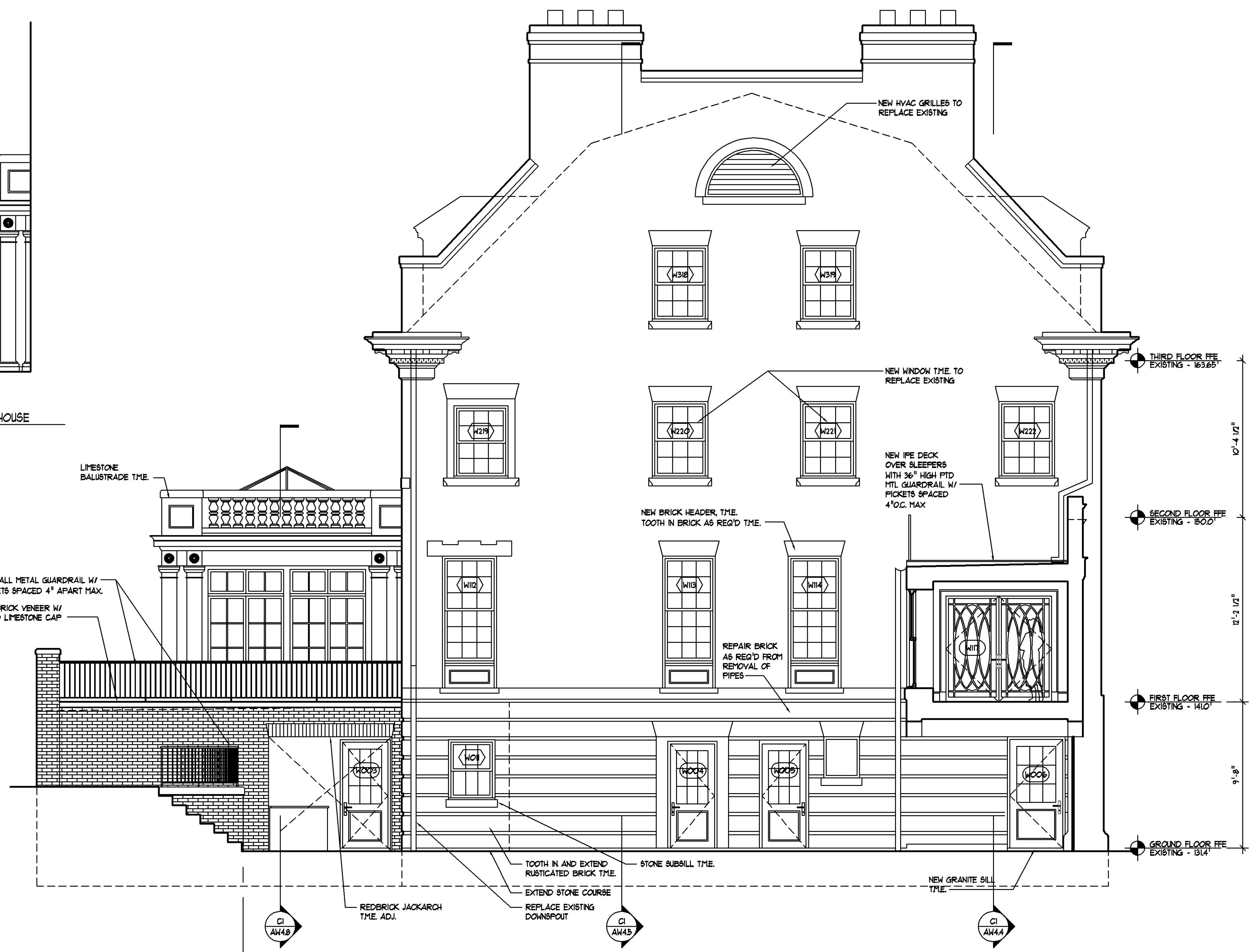
BARNES VANZE
ARCHITECTS INC.
 1000 Potomac Street, N.W.,
 Suite L-2
 Washington, D.C. 20007
 TELE:
 FAX:



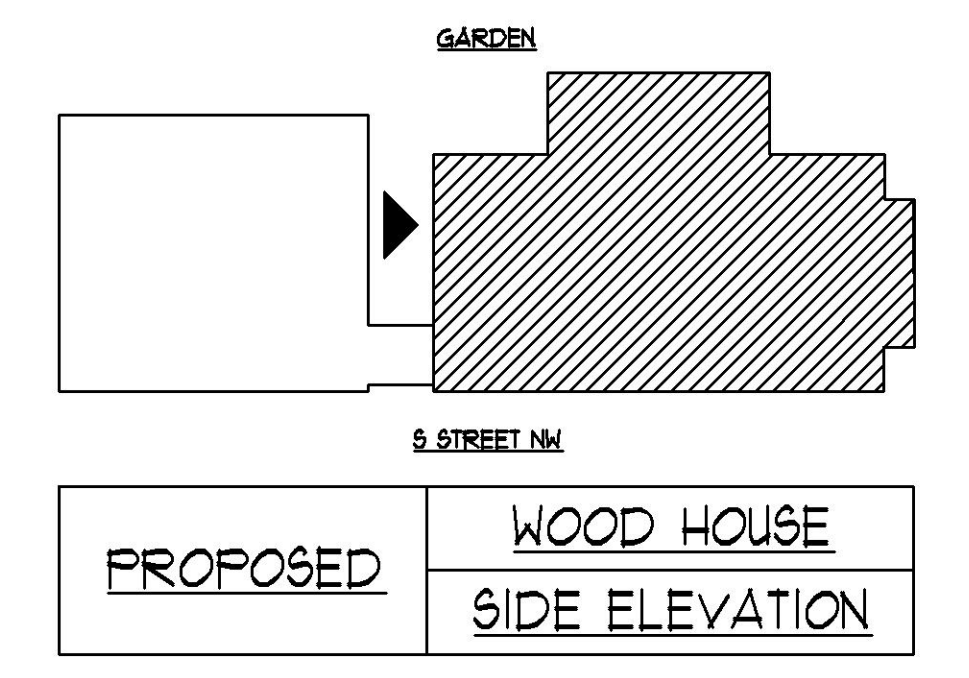
2320 S STREET RESIDENCE
 2320-2330 S ST. NW,
 WASHINGTON, DC 20008



B1 SUNROOM SIDE ELEVATION - WOOD HOUSE
 DRAWING SCALE: 1/4" = 1'-0"



C1 SIDE ELEVATION - WOOD HOUSE
 DRAWING SCALE: 1/4" = 1'-0"



DRAWING: EXTERIOR ELEVATION - WOOD SIDE
 ISSUED: 07/09/17
 PERMIT

AW4.2

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 8 709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

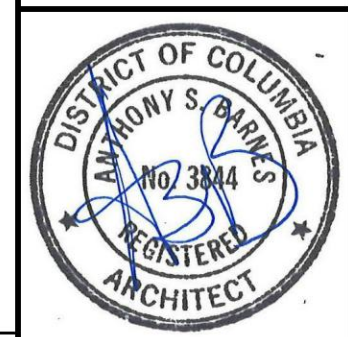
HPRB Review - Steve Callcott - 09-27-2017
Structural Review - Abdul Muzikr - 09-27-2017
Elevator Review - Luchi Lu - 09-27-2017
Fire Review - Luchi Lu - 09-27-2017
DOEE SE-SW Review - Charles Edwards - 09-27-2017
Mechanical Review - Alec Petrillo-Groh - 09-27-2017
Plumbing Review - Alec Petrillo-Groh - 09-27-2017
Energy Review - Robert Campbell - 09-27-2017
Electrical Review - Saima Dar - 09-27-2017

1666



ARCHITECTS INC.
1000 Potomac Street, N.W.
Suite L-2
Washington, D.C. 20007

TELE:
FAX:



**2320 S STREET
RESIDENCE**
2320-2330 S ST. N.W.
WASHINGTON, DC 20008



EXISTING FLOOR JOISTS TO REMAIN
THIRD FLOOR FFE
EXISTING - 163.65'
12'-4 1/2"
SEE BALLROOM INTERIOR
ELEVATIONS FOR TRIM
SECOND FLOOR FFE
EXISTING - 150.0'
WIDE FLANGE STEEL BEAMS
ANCHORED TO WALL
BEYOND, SEE STRUCTURAL
12'-2 1/2"
NEW BEAM AT STONE
FIREPLACE HEARTH,
SEE STRUCTURAL
FIRST FLOOR FFE
EXISTING - 141.0'
REINFORCE EXIST.
BALLROOM FLOOR
JOISTS PER
STRUCTURAL DRAWINGS
9'-5"
GROUND FLOOR FFE
EXISTING - 131.4'
1'-0"
MEDIA LOWER FFE
EXISTING - 129.4'

C1 BUILDING SECTION
AW4.4 DRAWING SCALE: 1/4"=1'-0"




DRAWING: BUILDING SECTION - WOOD HOUSE
ISSUED: 07/09/17
PERMIT

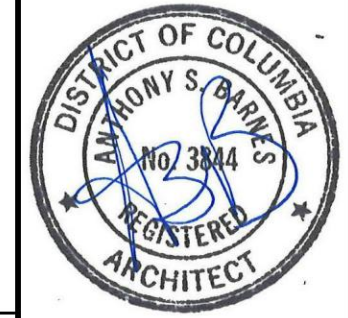
AW4.4

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8709931 Date 09/27/17

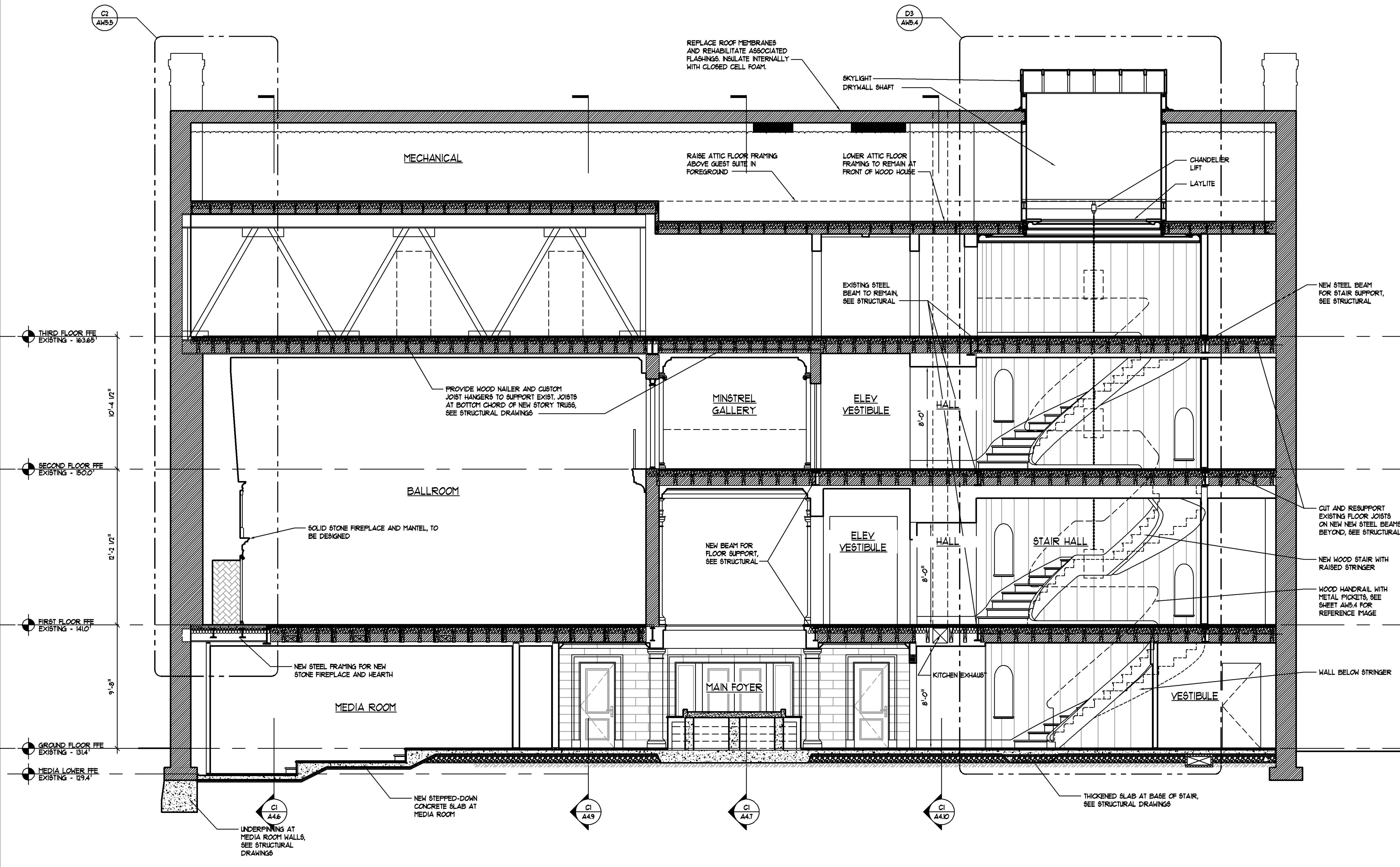
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRB Review - Steve Callcott - 09-27-2017
 Structural Review - Abdul Muzikr - 09-27-2017
 Elevator Review - Luchi Lu - 09-27-2017
 Fire Review - Luchi Lu - 09-27-2017
 DOEE SE-SW Review - Charles Edwards - 09-27-2017
 Mechanical Review - Alec Petrillo-Groh - 09-27-2017
 Plumbing Review - Alec Petrillo-Groh - 09-27-2017
 Energy Review - Robert Campbell - 09-27-2017
 Electrical Review - Saima Dar - 09-27-2017

1666

 BARNES VANZEL
 ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007
 TELE: 
 FAX: 



2320 S STREET
 RESIDENCE
 2320-2330 S ST. NW,
 WASHINGTON, DC 20008



C1 BUILDING SECTION
 AW4.5 DRAWING SCALE: 1/4" = 1'-0"

DRAWING: BUILDING SECTION - WOOD HOUSE
 ISSUED: 07/09/17

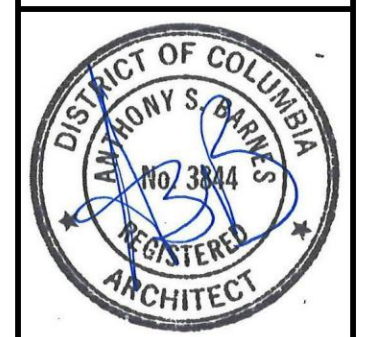
AW4.5

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

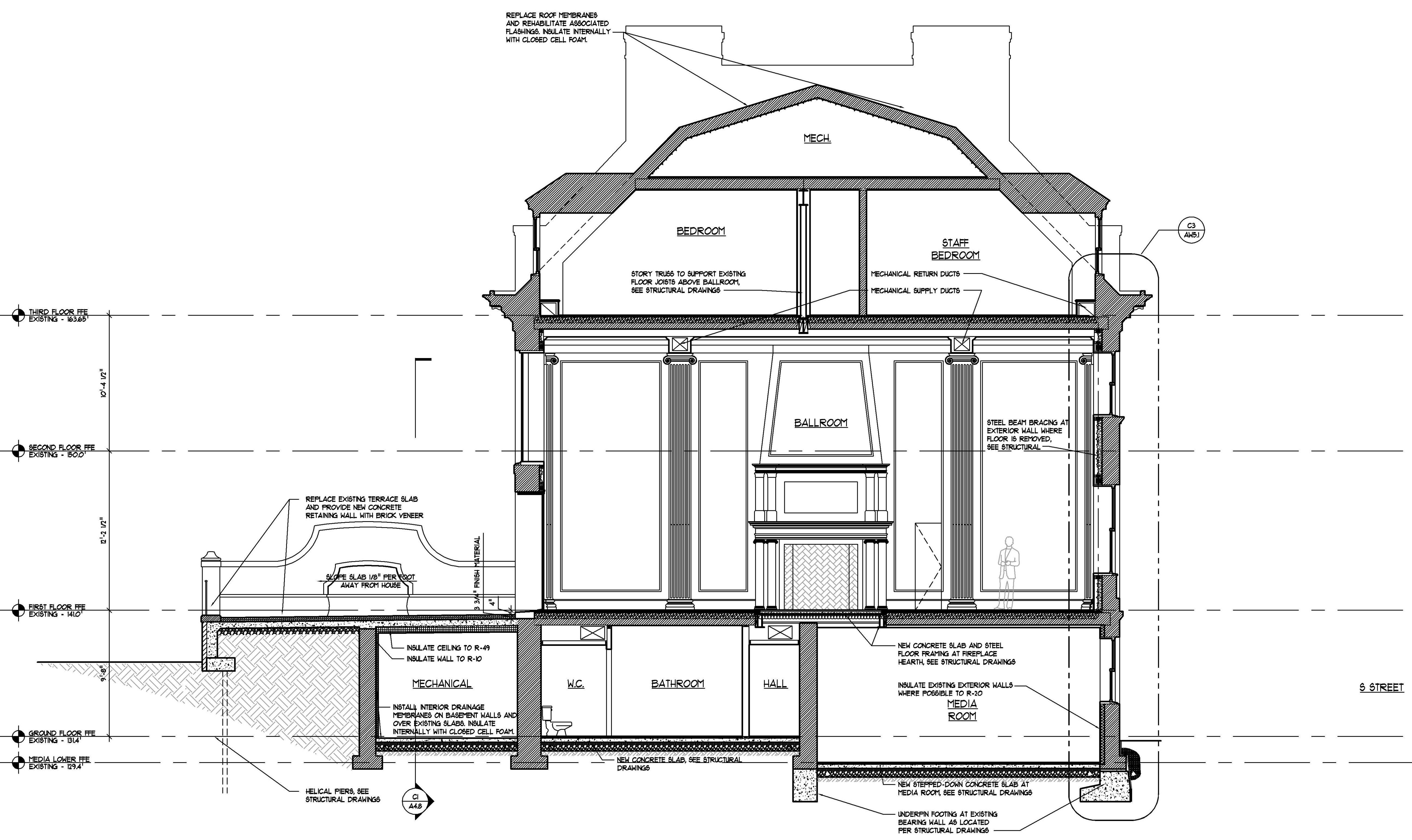
HPRB Review - Steve Callcott - 09-27-2017
Structural Review - Abdul Muzikr - 09-27-2017
Elevator Review - Luchi Lu - 09-27-2017
Fire Review - Luchi Lu - 09-27-2017
DOEE SE-SW Review - Charles Edwards - 09-27-2017
Mechanical Review - Alec Petrillo-Groh - 09-27-2017
Plumbing Review - Alec Petrillo-Groh - 09-27-2017
Energy Review - Robert Campbell - 09-27-2017
Electrical Review - Saima Dar - 09-27-2017

1666
BARNES VANZEL
ARCHITECTS INC.
1000 Potomac Street, N.W.
Suite L-2
Washington, D.C. 20007
TELE:
FAX:
1666



2320 S STREET
RESIDENCE
2320-2330 S ST. NW,
WASHINGTON, DC 20008

DRAWING: BUILDING SECTION - WOOD HOUSE
ISSUED: 07/05/17



C1 BUILDING SECTION
AW4.6 DRAWING SCALE: 1/4" = 1'-0"

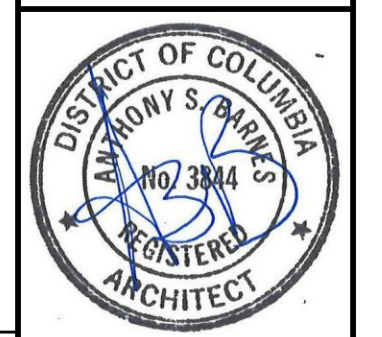
AW4.6

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 8709931 Date 09/27/17

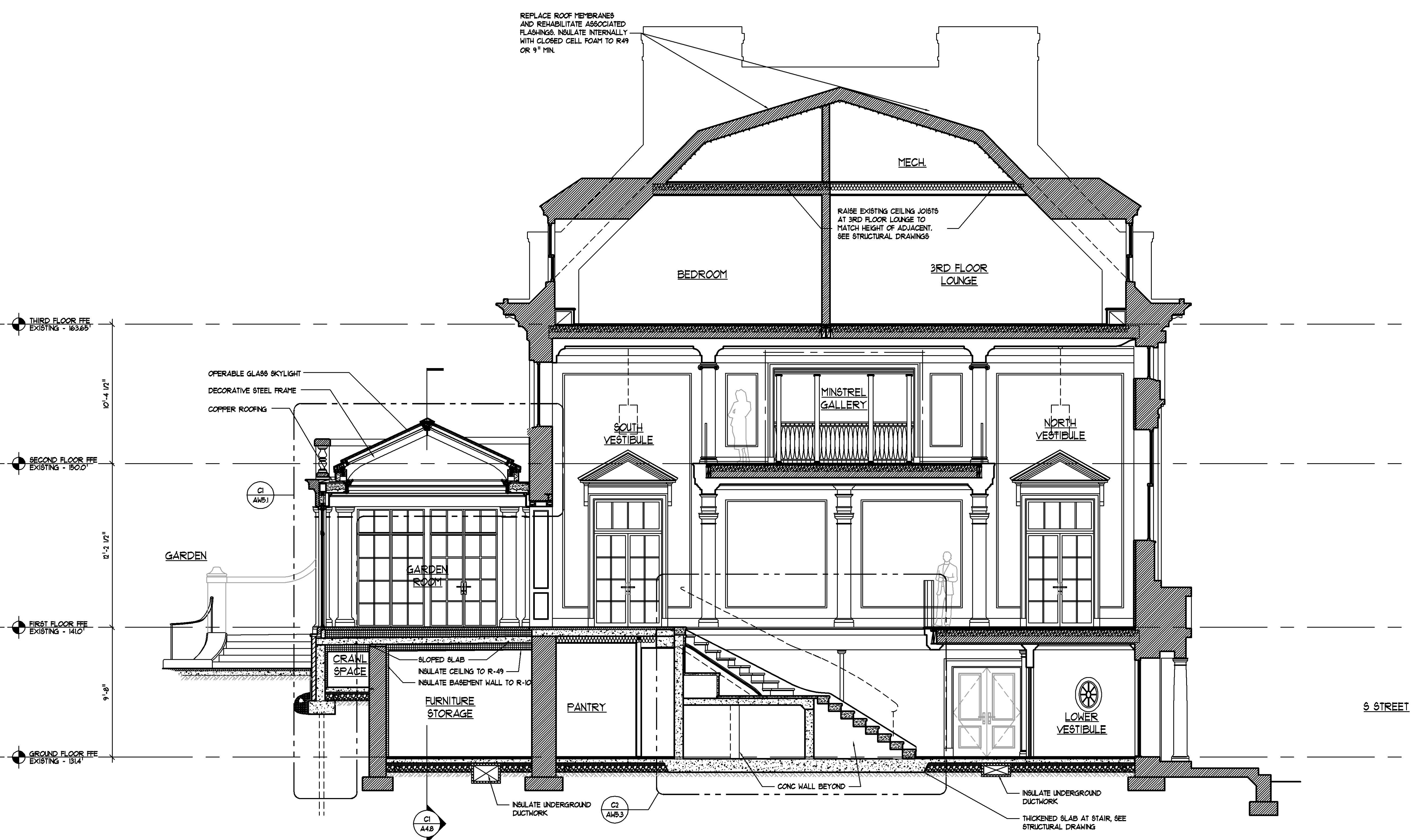
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRB Review - Steve Callcott - 09-27-2017
Structural Review - Abdul Muzikr - 09-27-2017
Elevator Review - Luchi Lu - 09-27-2017
Fire Review - Luchi Lu - 09-27-2017
DOEE SE-SW Review - Charles Edwards - 09-27-2017
Mechanical Review - Alec Petrillo-Groh - 09-27-2017
Plumbing Review - Alec Petrillo-Groh - 09-27-2017
Energy Review - Robert Campbell - 09-27-2017
Electrical Review - Saima Dar - 09-27-2017

1666
BARNES VANZE
ARCHITECTS INC.
1000 Potomac Street, N.W.
Suite L-2
Washington, D.C. 20007
TELE: [REDACTED]
FAX: [REDACTED]



2320 S STREET
RESIDENCE
2320-2330 S ST. NW,
WASHINGTON, DC 20008



C1 BUILDING SECTION
AW4.7 DRAWING SCALE: 1/4"=1'-0"

DRAWING: BUILDING SECTION - WOOD HOUSE
ISSUED: 07/09/17
PERMIT

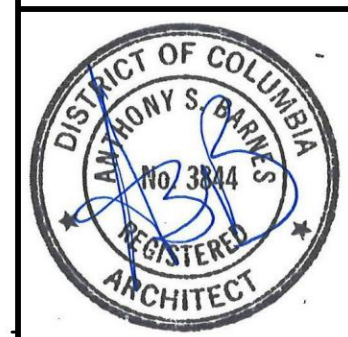
AW4.7

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRB Review - Steve Calco - 09-27-2017
Structural Review - Abdul Muzikr - 09-27-2017
Elevator Review - Luchi Lu - 09-27-2017
Fire Review - Luchi Lu - 09-27-2017
DOEE SE-SW Review - Charles Edwards - 09-27-2017
Mechanical Review - Alec Patrillo-Groh - 09-27-2017
Plumbing Review - Alec Patrillo-Groh - 09-27-2017
Energy Review - Robert Campbell - 09-27-2017
Electrical Review - Saima Dar - 09-27-2017

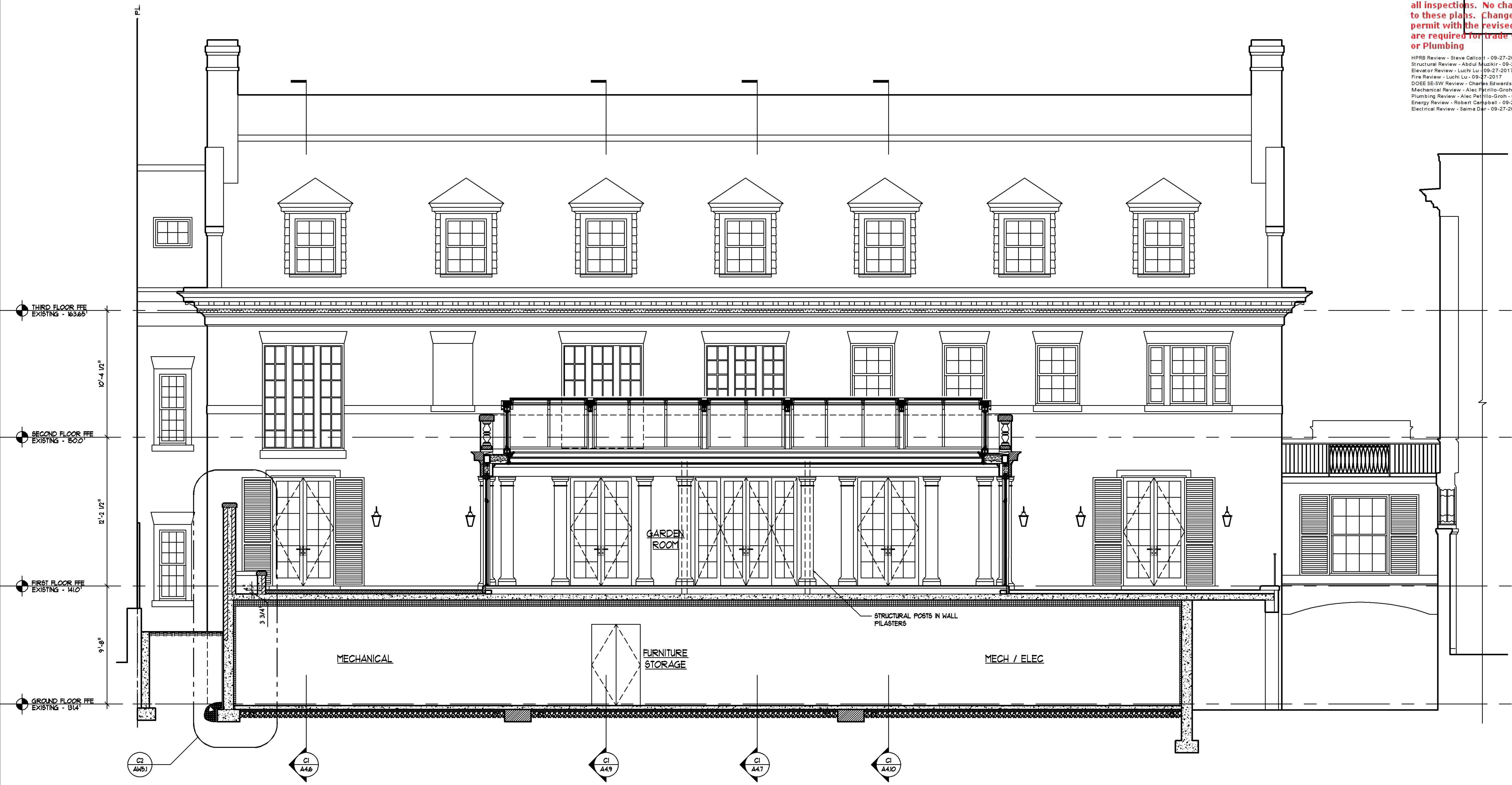
1666
BARNES VANZE
ARCHITECTS INC.
1000 Potomac Street, N.W.
Suite L-2
Washington, D.C. 20007
TELE:
FAX:
1666



2320 S STREET
RESIDENCE
2320-2330 S ST. NW,
WASHINGTON, DC 20008

DRAWING: BUILDING SECTION - WOOD HOUSE
ISSUED: 07/09/17
PERMIT

AW4.8



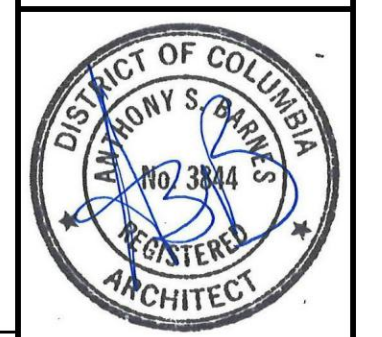
C1 BUILDING SECTION
AW4.8 DRAWING SCALE: 1/4"=1'-0"

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRB Review - Steve Callcott - 09-27-2017
Structural Review - Abdul Muzikr - 09-27-2017
Elevator Review - Luchi Lu - 09-27-2017
Fire Review - Luchi Lu - 09-27-2017
DOEE SE-SW Review - Charles Edwards - 09-27-2017
Mechanical Review - Alec Petrillo-Groh - 09-27-2017
Plumbing Review - Alec Petrillo-Groh - 09-27-2017
Energy Review - Robert Campbell - 09-27-2017
Electrical Review - Saima Dar - 09-27-2017

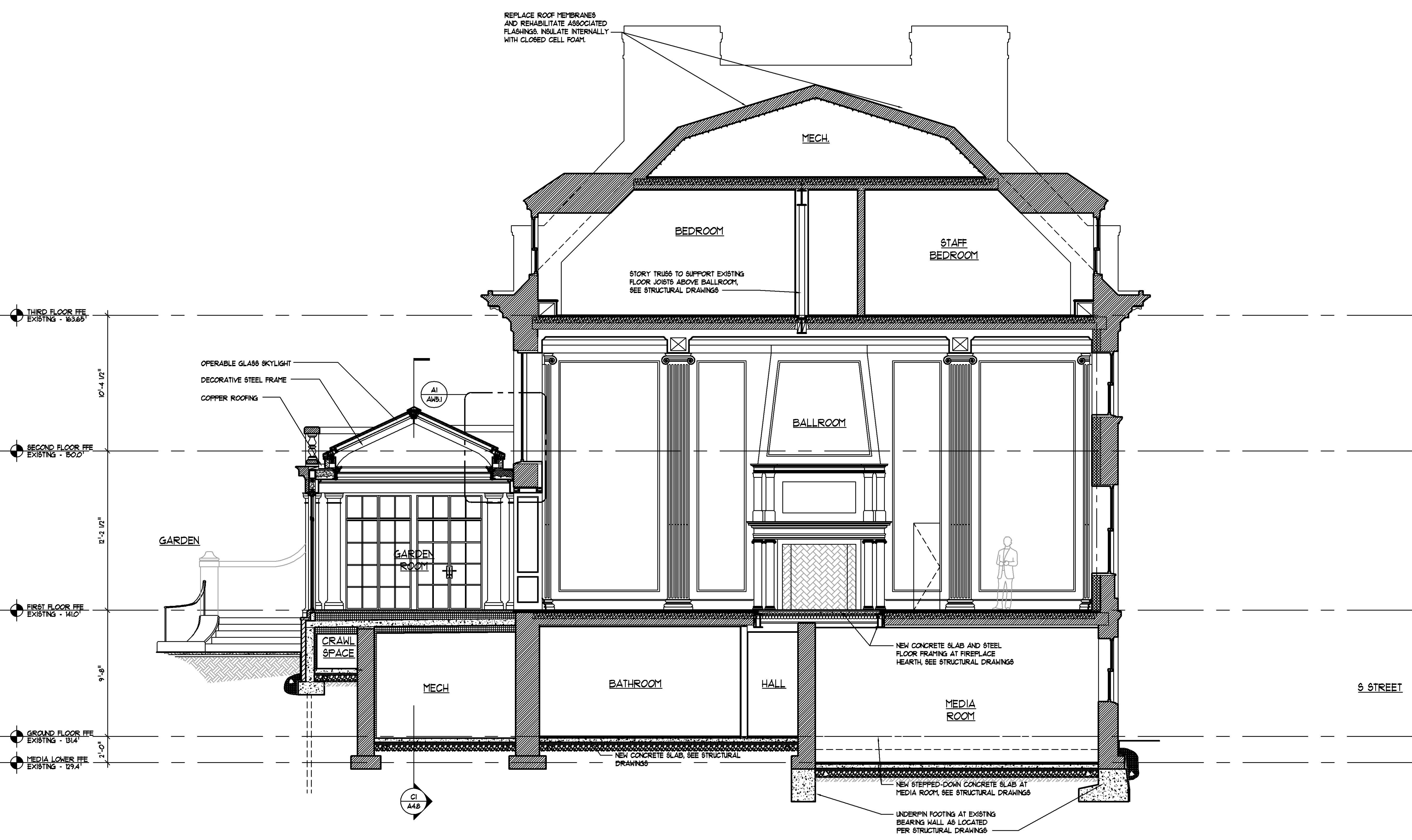
1666
BARNES VANZEL
ARCHITECTS INC.
1000 Potomac Street, N.W.
Suite L-2
Washington, D.C. 20007
TELE:
FAX:
REGISTERED ARCHITECT



2320 S STREET
RESIDENCE
2320-2330 S ST. NW,
WASHINGTON, DC 20008

DRAWING: BUILDING SECTION - WOOD HOUSE
ISSUED: 07/05/17
PERMIT

AW4.9




CI BUILDING SECTION
AW4.9 DRAWING SCALE: 1/4"=1'-0"

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRB Review - Steve Callcott - 09-27-2017
 Structural Review - Abdul Muzikr - 09-27-2017
 Elevator Review - Luchi Lu - 09-27-2017
 Fire Review - Luchi Lu - 09-27-2017
 DOEE SE-SW Review - Charles Edwards - 09-27-2017
 Mechanical Review - Alec Petrillo-Groh - 09-27-2017
 Plumbing Review - Alec Petrillo-Groh - 09-27-2017
 Energy Review - Robert Campbell - 09-27-2017
 Electrical Review - Saima Dar - 09-27-2017

1666



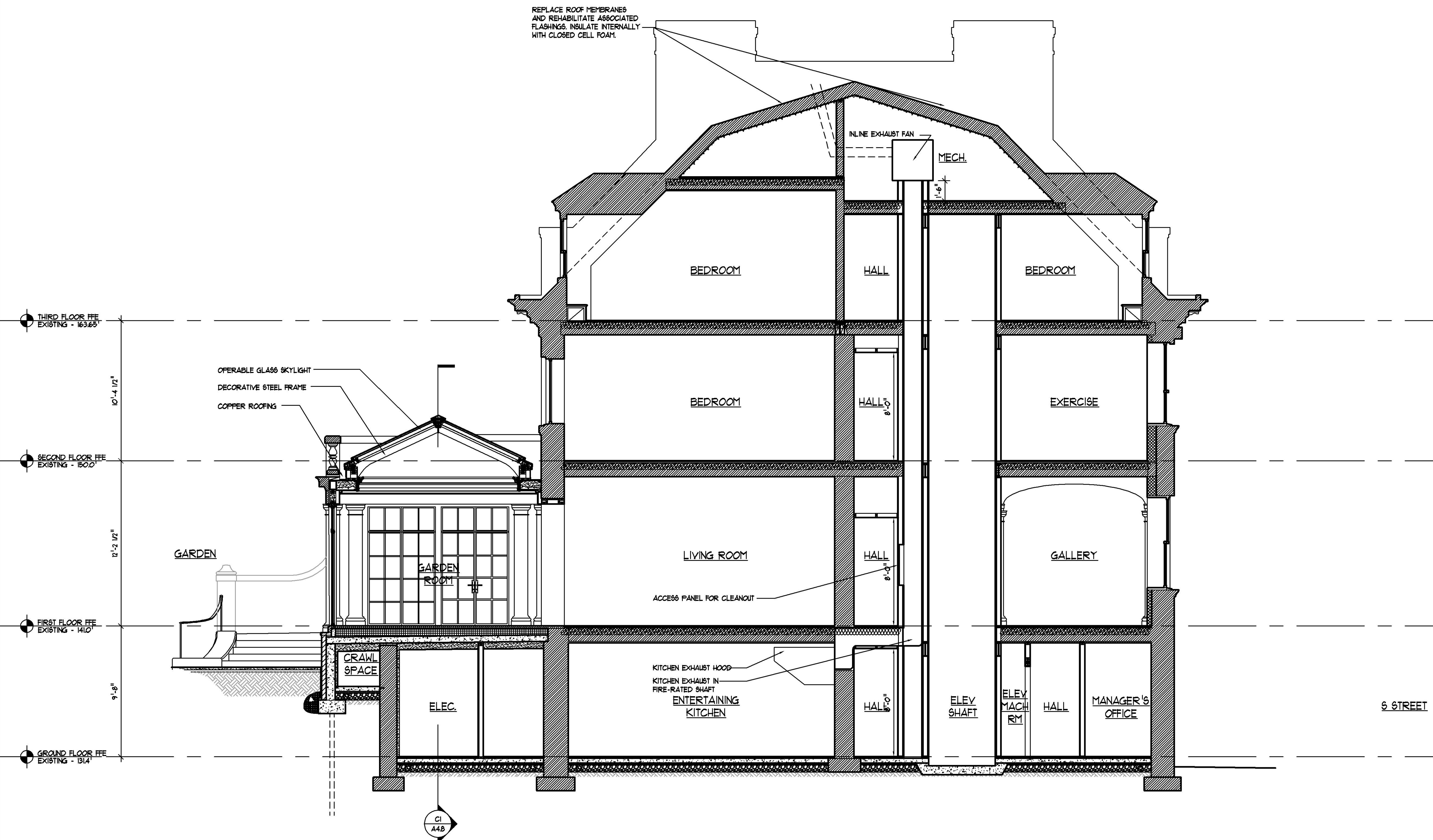
BARNES VANZE
ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007
 TELE: [REDACTED]
 FAX: [REDACTED]



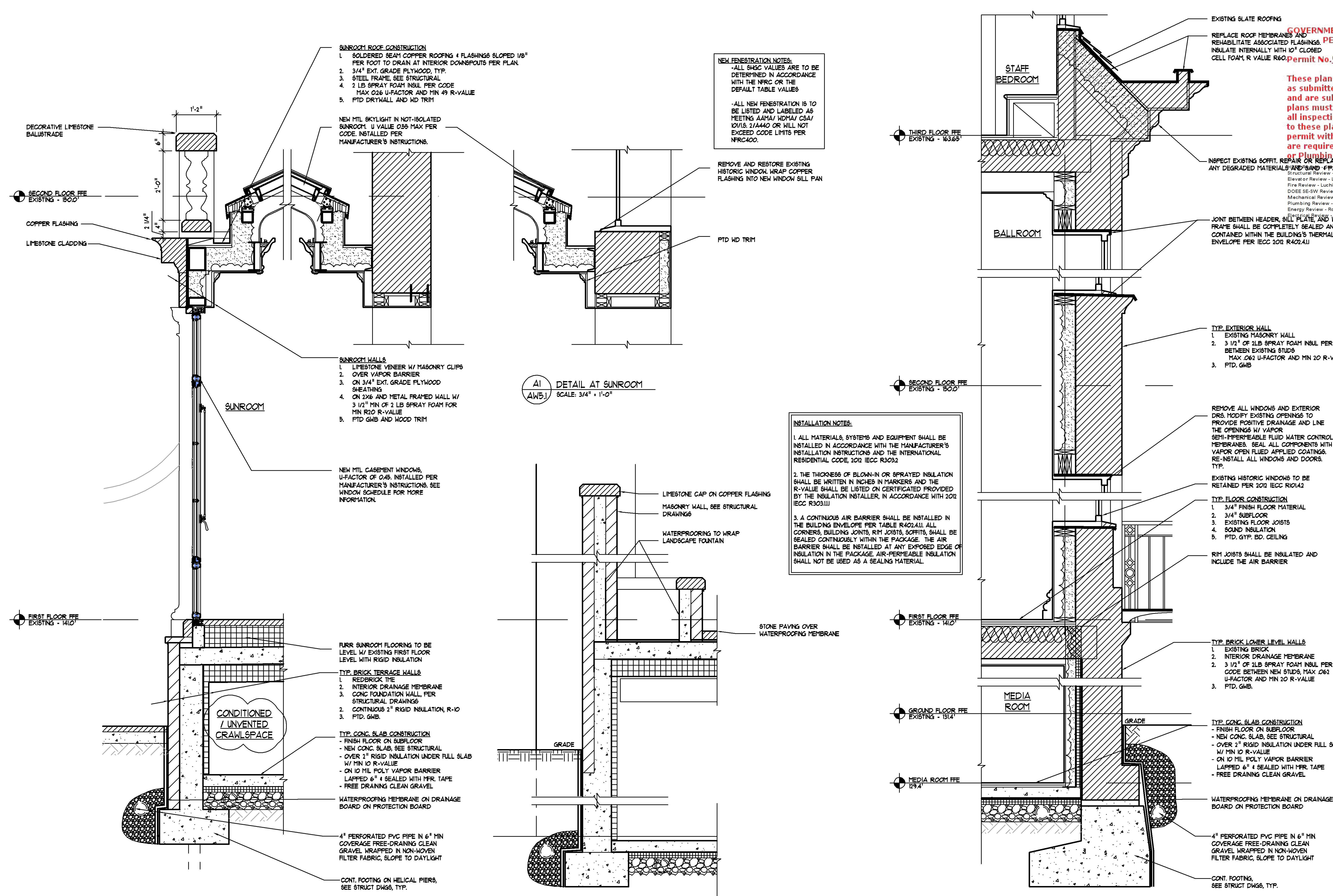
2320 S STREET
RESIDENCE
 2320-2330 S ST. NW,
 WASHINGTON, DC 20008

DRAWING: BUILDING SECTION - HOOD HOUSE
ISSUED: 07/05/17
PERMIT

AW4.10



CL BUILDING SECTION
 AW4.10 DRAWING SCALE: 1/4"=1'-0"



C1 WALL SECTION AT SUNROOM
SCALE: 3/4" = 1'-0"

C2 WALL SECTION AT TERRACE
SCALE: 3/4" = 1'-0"

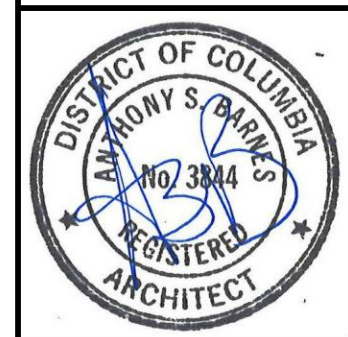
C3 WALL SECTION
SCALE: 3/4" = 1'-0"

NEW FENESTRATION NOTES:
-ALL SHGC VALUES ARE TO BE DETERMINED IN ACCORDANCE WITH THE NFRC OR THE DEFAULT TABLE VALUES
-ALL NEW FENESTRATION IS TO BE LISTED AND LABELED AS MEETING AAMA/ WDMA/ CSA/ IOWIS. 2/1440 OR WILL NOT EXCEED CODE LIMITS PER NFRC400.

INSTALLATION NOTES:
1. ALL MATERIALS, SYSTEMS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND THE INTERNATIONAL RESIDENTIAL CODE, 2012 IECC R303.2
2. THE THICKNESS OF BLOW-IN OR SPRAYED INSULATION SHALL BE WRITTEN IN INCHES IN MARKERS AND THE R-VALUE SHALL BE LISTED ON CERTIFICATED PROVIDED BY THE INSULATION INSTALLER, IN ACCORDANCE WITH 2012 IECC R303.11
3. A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE PER TABLE R402.4.11. ALL CORNERS, BUILDING JOINTS, RIM JOISTS, SOFFITS, SHALL BE SEALED CONTINUOUSLY WITHIN THE PACKAGE. THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION IN THE PACKAGE. AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 8709931 Date 09/27/17
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing.

1666
BARNES VANZE
ARCHITECTS INC.
1000 Potomac Street, N.W.
Suite L-2
Washington, D.C. 20007
TELE: [REDACTED]
FAX: [REDACTED]



2320 S STREET
RESIDENCE
2320-2330 S ST. NW.
WASHINGTON, DC 20008

DRAWING: WALL SECTION	ISSUED:	07/09/17	08/15/17
	PERMIT		
	PERMIT RESPONSE		

AW5.1

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

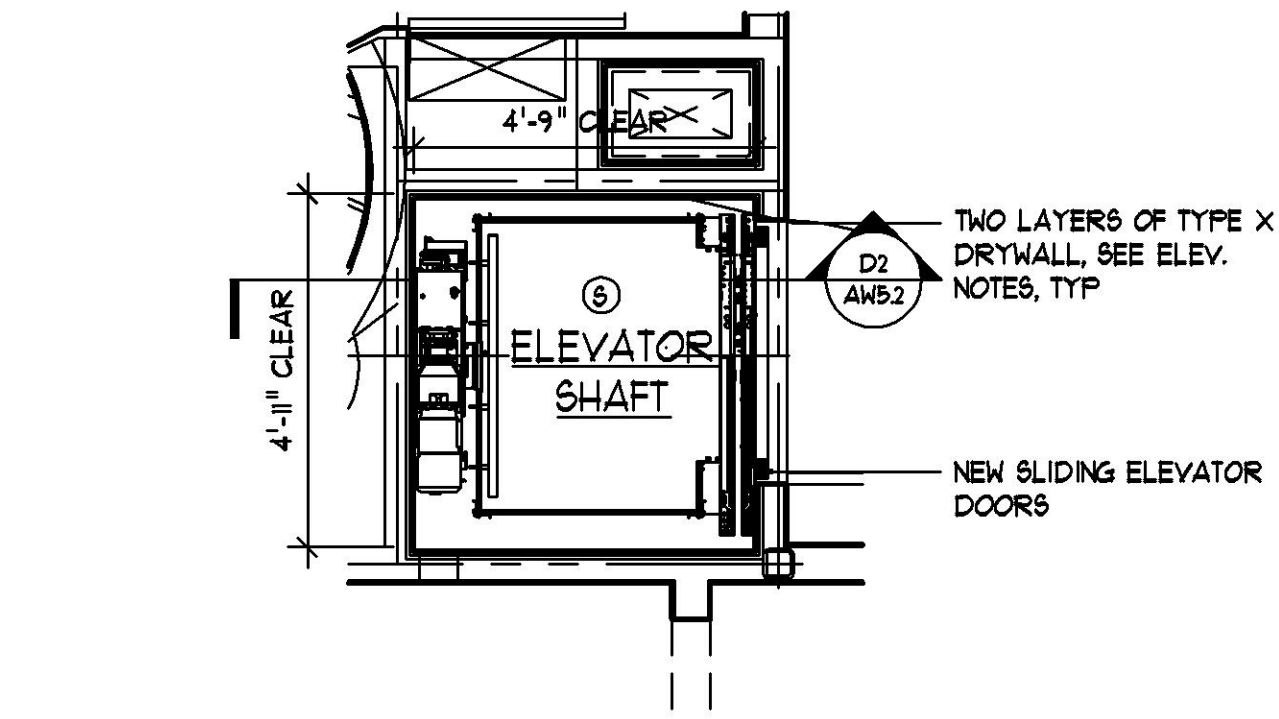
HPRB Review - Steve Callcott - 09-27-2017
 Structural Review - Abdul Muzikr - 09-27-2017
 Elevator Review - Luchi Lu - 09-27-2017
 Fire Review - Luchi Lu - 09-27-2017
 DOEE SE-SW Review - Charles Edwards - 09-27-2017
 Mechanical Review - Alec Petrillo-Groh - 09-27-2017
 Plumbing Review - Alec Petrillo-Groh - 09-27-2017
 Energy Review - Robert Campbell - 09-27-2017
 Electrical Review - Saima Dar - 09-27-2017

1666

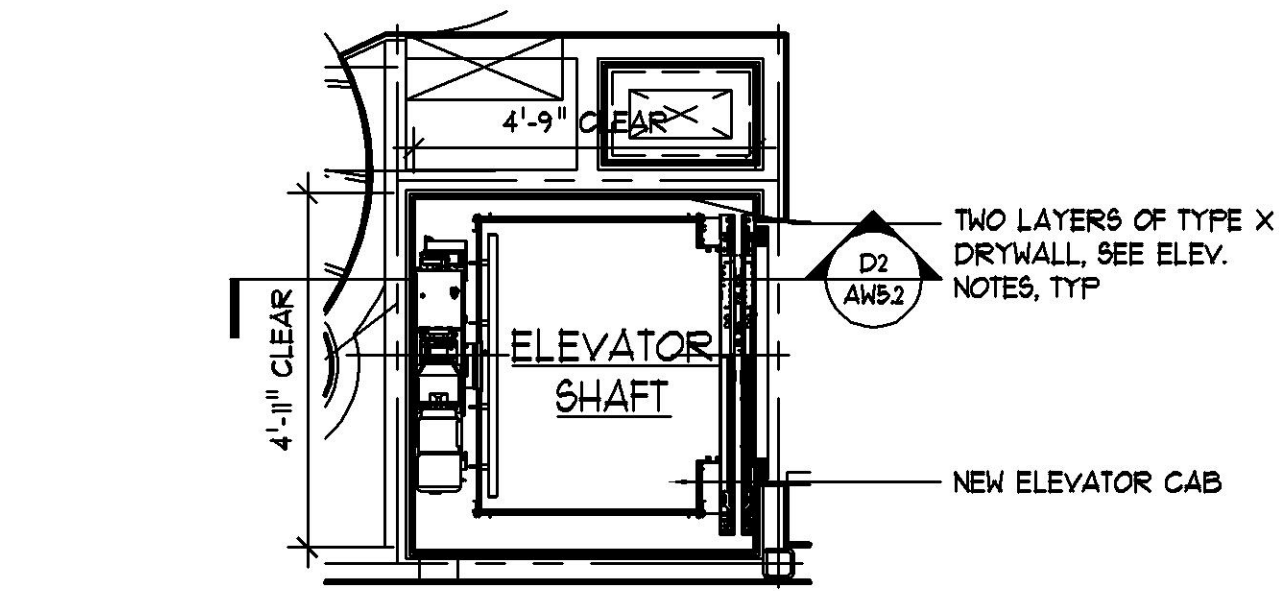
BARNES VANZE
ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007
 TELE:
 FAX:



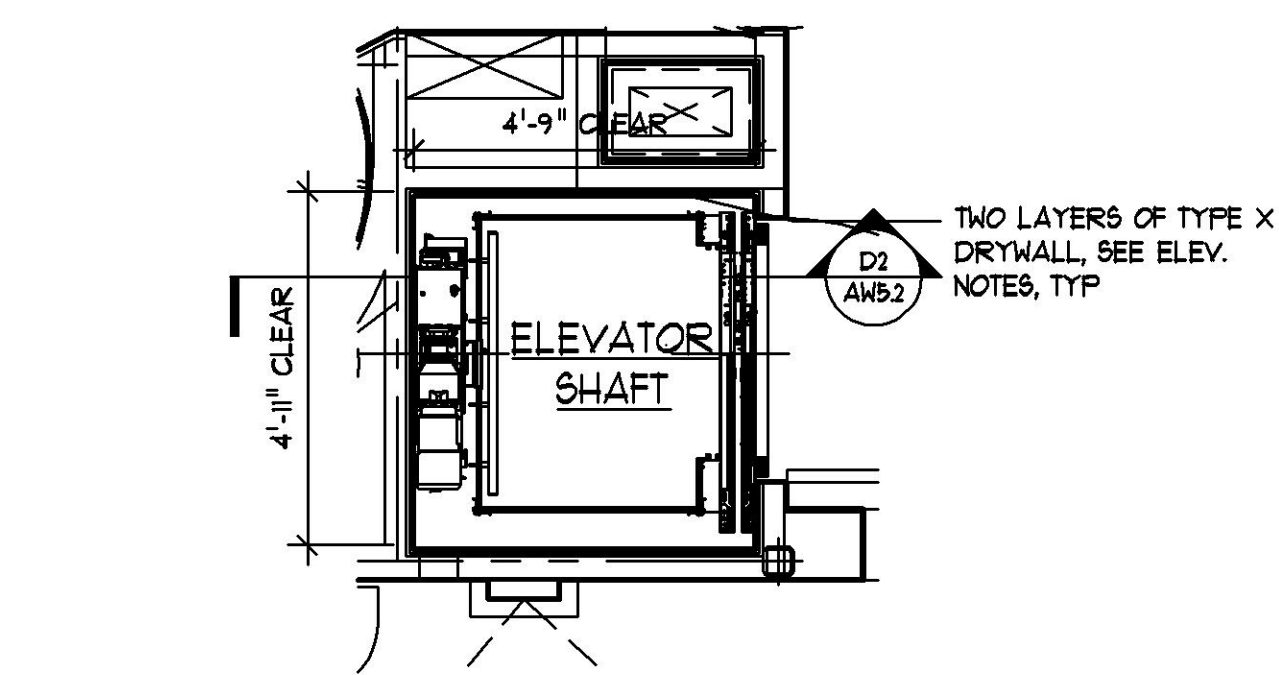
**2320 S STREET
 RESIDENCE**
 2320-2330 S ST. NW,
 WASHINGTON, DC 20008



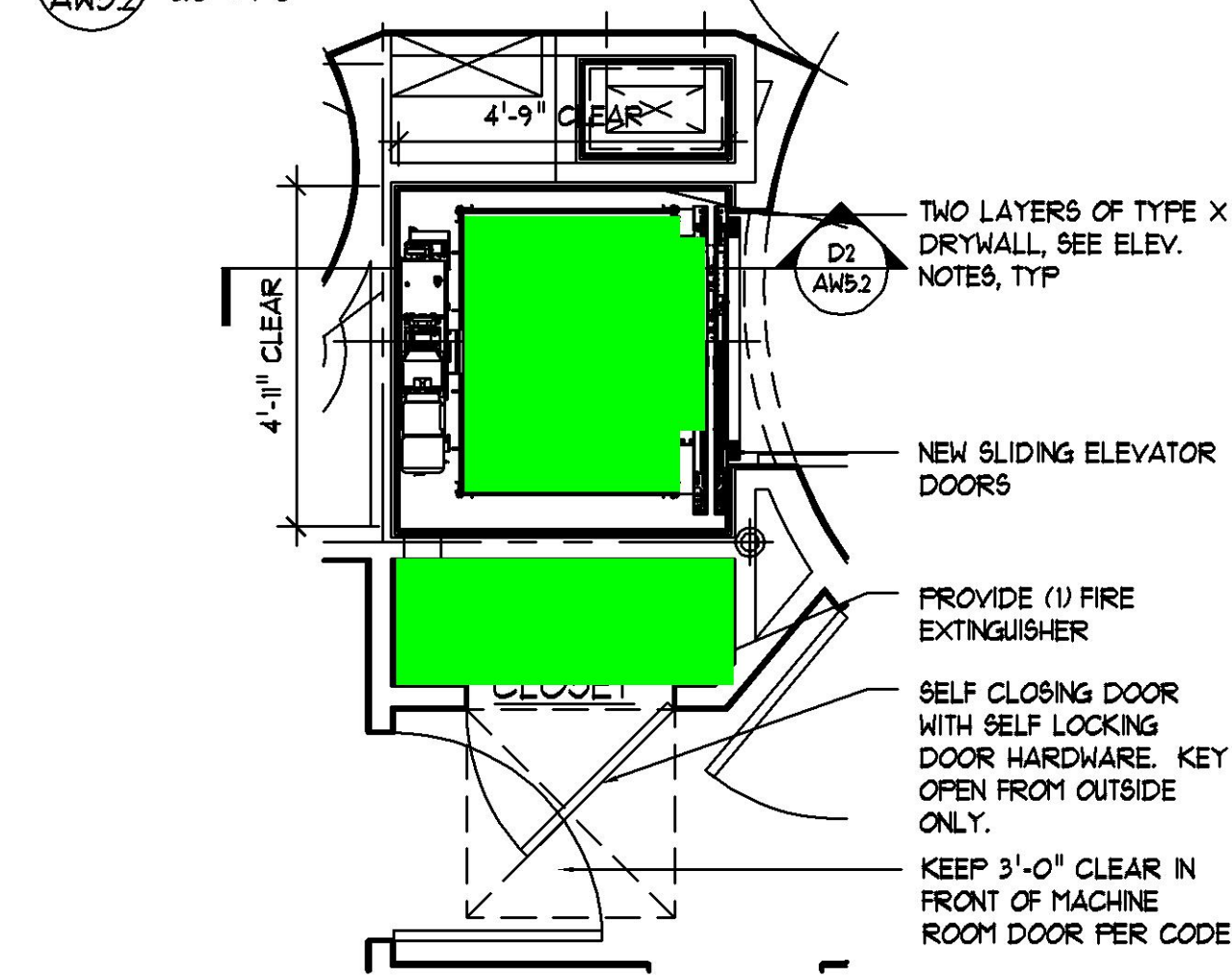
A1 ENLARGED PLAN - THIRD FLOOR
 AW5.2
 3/8" = 1'-0"



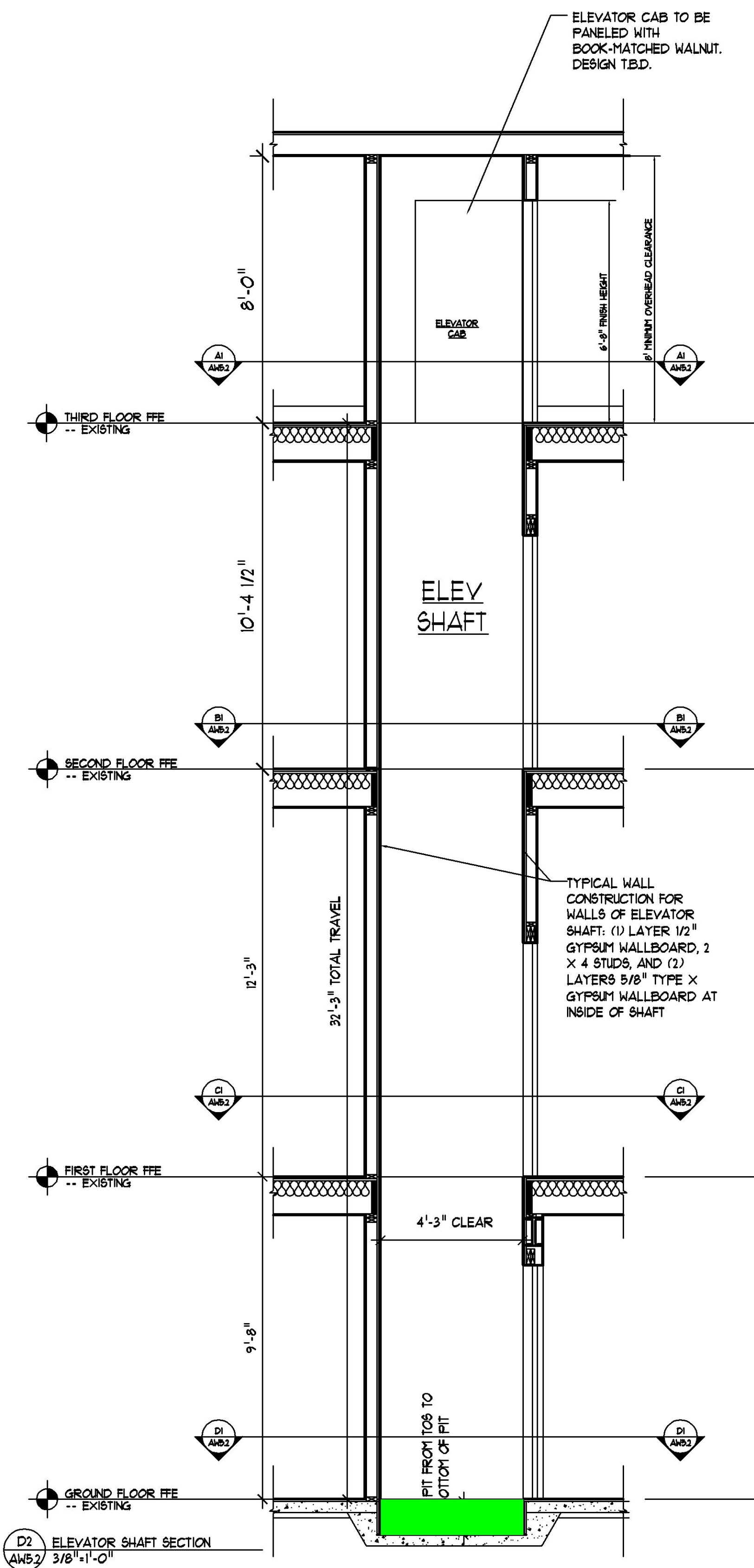
B1 ENLARGED PLAN - SECOND FLOOR
 AW5.2
 3/8" = 1'-0"



C1 ENLARGED PLAN - MAIN LEVEL
 AW5.2
 3/8" = 1'-0"



D1 ENLARGED PLAN - LOWER LEVEL
 AW5.2
 3/8" = 1'-0"



D2 ELEVATOR SHAFT SECTION
 AW5.2
 3/8" = 1'-0"

- ELEVATOR NOTES:**
- ELEVATOR SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ASME A17.1, SAFETY CODE FOR ELEVATORS AND ESCALATORS
 - RESIDENTIAL "ECLIPSE" WINDING DRUM ELECTRIC ELEVATOR BY SAYARIA, INSTALLED PER MANUF. REC. VERIFY ALL CLEARANCE REQUIREMENTS PRIOR TO CONSTRUCTING SHAFT.
 - CONTRACTOR TO COORDINATE ELEVATOR WITH MANUFACTURER'S SHOP DRAWINGS
 - HARD-WIRED SMOKE DETECTOR SHALL BE INSTALLED IN THE ELEVATOR MACHINE ROOM
 - IF HOISTWAY IS NOT FULLY ENCLOSED, THE PIT SHALL BE GUARDED BY A SOLID ENCLOSURE AT LEAST 84" HIGH
 - PROVIDE 2 LAYERS 5/8" TYPE 'X' GWB ON INTERIOR SURFACES OF SHAFT WALLS AND CEILING, TYPICAL
 - THE MIN. ILLUMINATION AT CAR THRESHOLD, WITH DOOR CLOSED, SHALL NOT BE LESS THAN 50 LX
 - ELEVATOR TO COMPLY WITH IRC 2012
 - ELEVATOR CAB TO HAVE WOOD FLOORING, TO MATCH ADJACENT, PAINTED WOOD WALLS, AND LIGHT.
 - PROVIDE SMOKE DETECTOR ON EACH FLOOR LEVEL ADJACENT TO THE ELEVATOR DOOR OPENING FOR ELEVATOR RECALL OPERATION PER CODE.
 - SEE PLUMBING RISER DIAGRAM FOR ELEVATOR PIT DRAINAGE PROVISION.
 - HALL BUTTON NEEDED AT ALL STOPS.

DRAWING: ENLARGED PLAN - ELEVATOR
 ISSUED: 07/09/17
 PERMIT

AW5.2

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

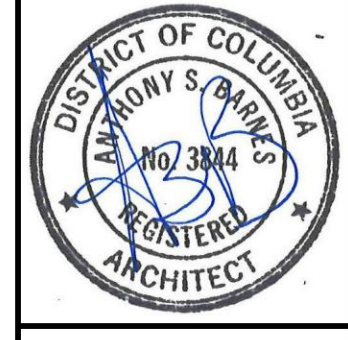
HPRB Review - Steve Callcott - 09-27-2017
 Structural Review - Abdul Muzikr - 09-27-2017
 Elevator Review - Luchi Lu - 09-27-2017
 Fire Review - Luchi Lu - 09-27-2017
 DOEE SE-SW Review - Charles Edwards - 09-27-2017
 Mechanical Review - Alec Petrilto-Groh - 09-27-2017
 Plumbing Review - Alec Petrilto-Groh - 09-27-2017
 Energy Review - Robert Campbell - 09-27-2017
 Electrical Review - Saima Dar - 09-27-2017

1666

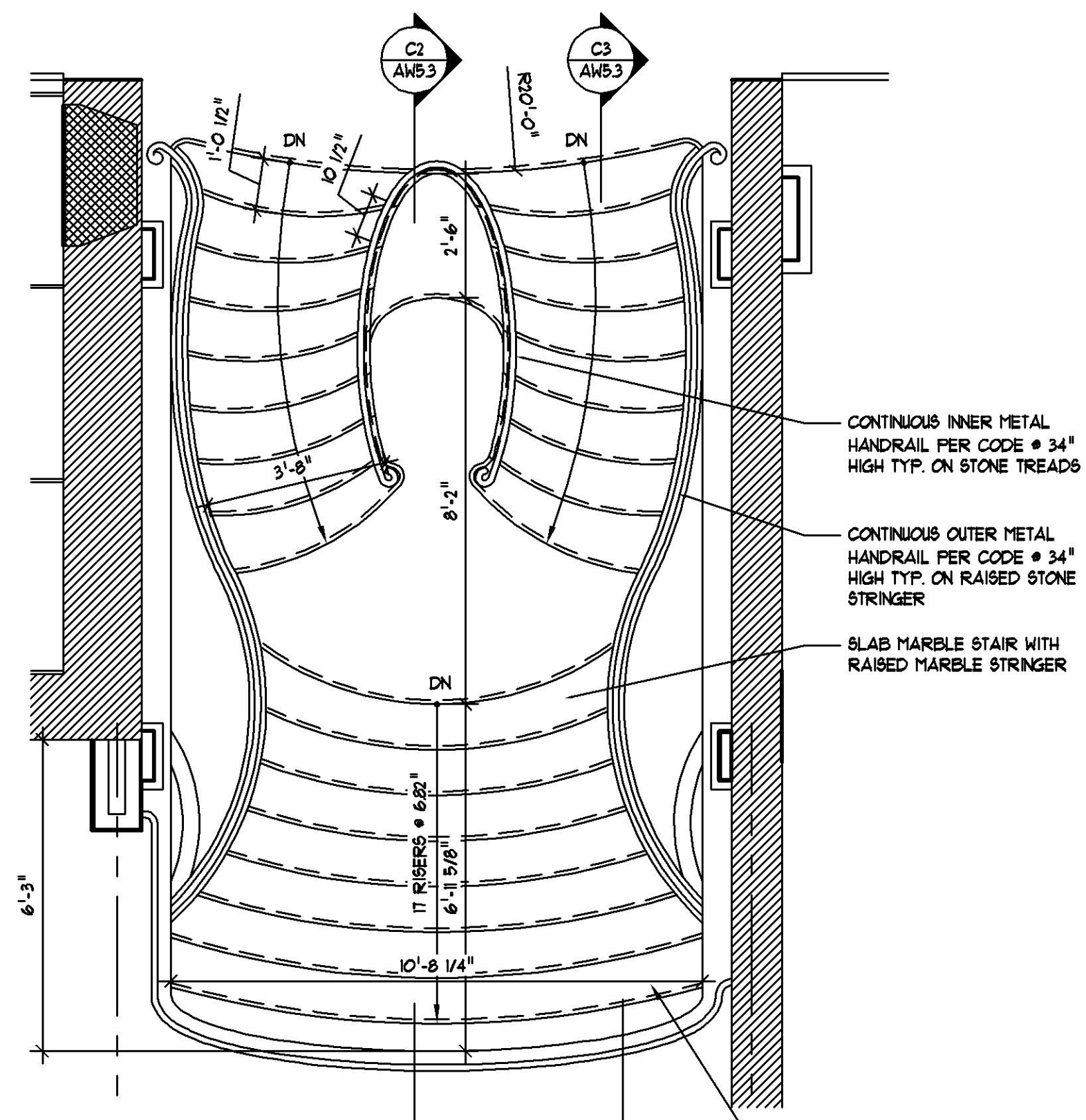


BARNES VANZE
ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007

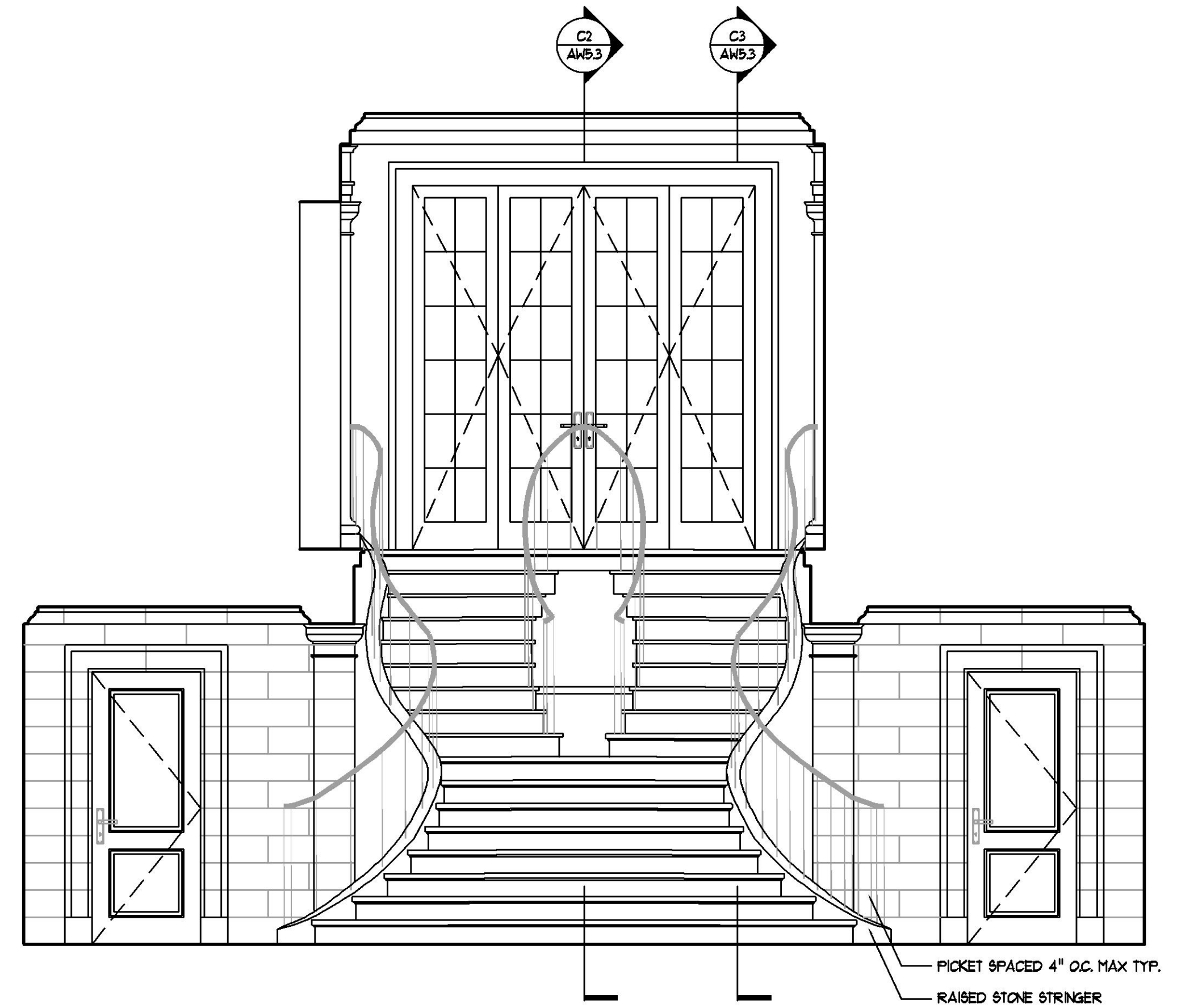
TELE: [REDACTED]
 FAX: [REDACTED]



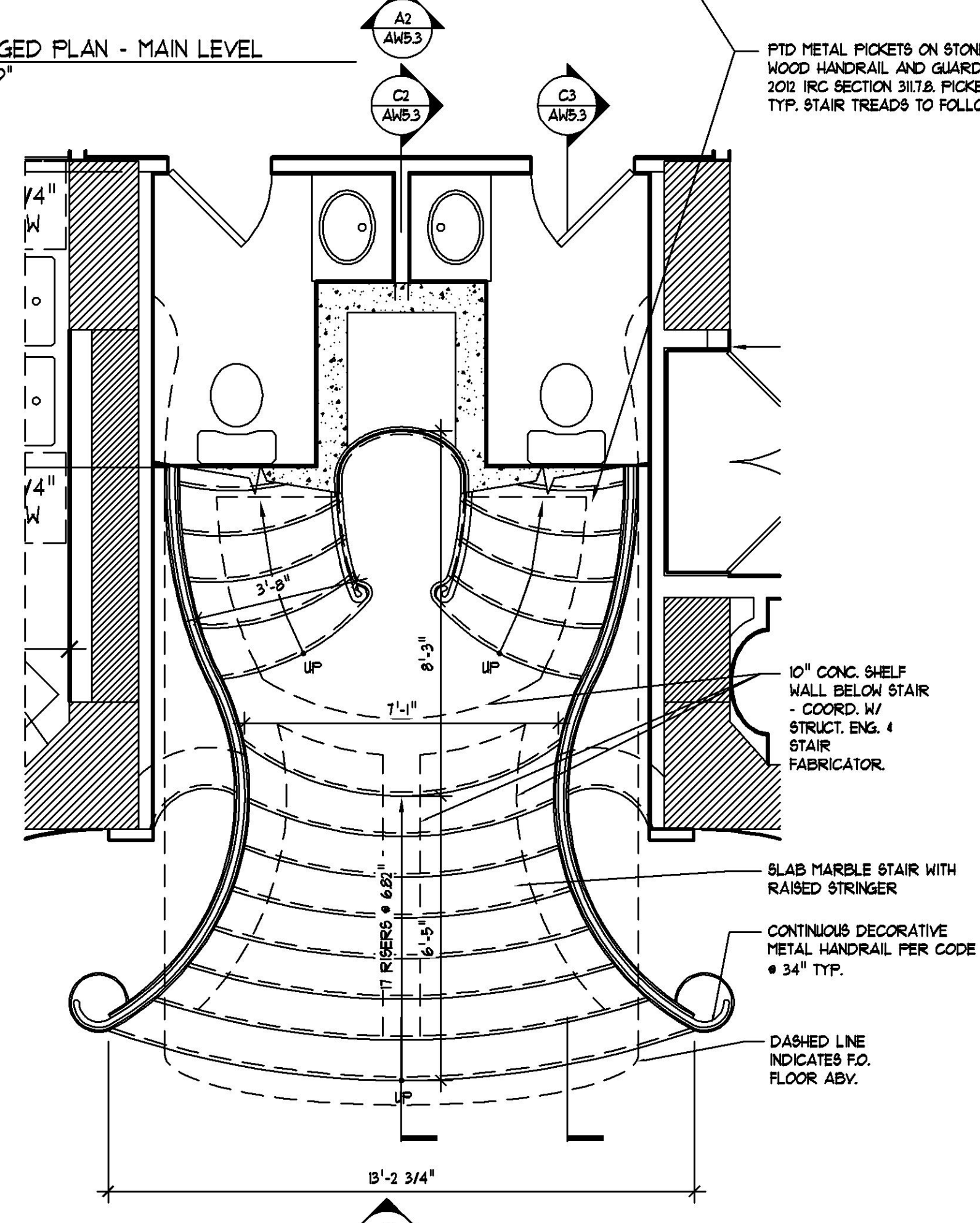
2320 S STREET
RESIDENCE
 2320-2330 S ST. NW.
 WASHINGTON, DC 20008



A1 ENLARGED PLAN - MAIN LEVEL
 AW5.3 3/8" = 1'-0"

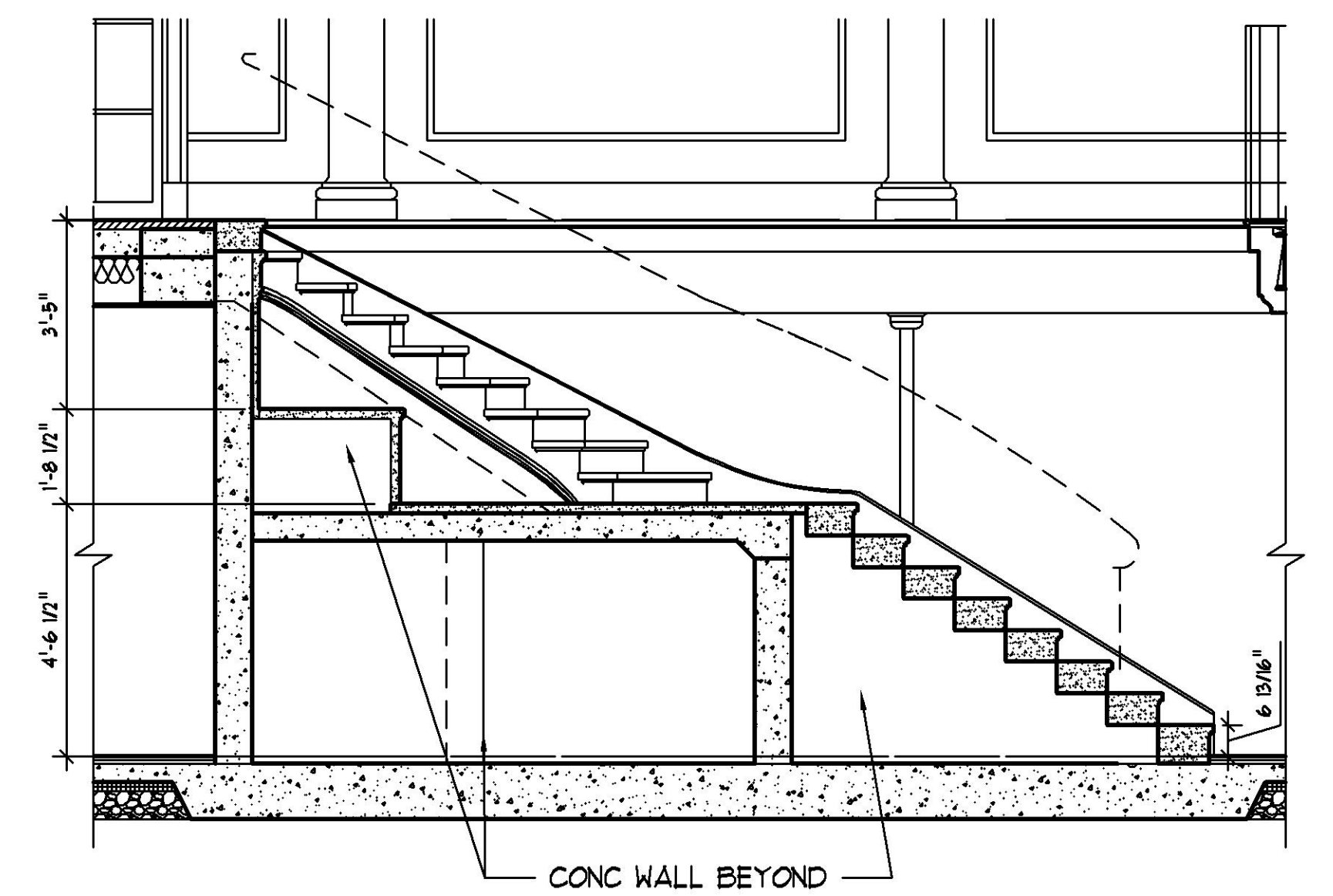


A2 ELEVATION
 AW5.3 3/8" = 1'-0"

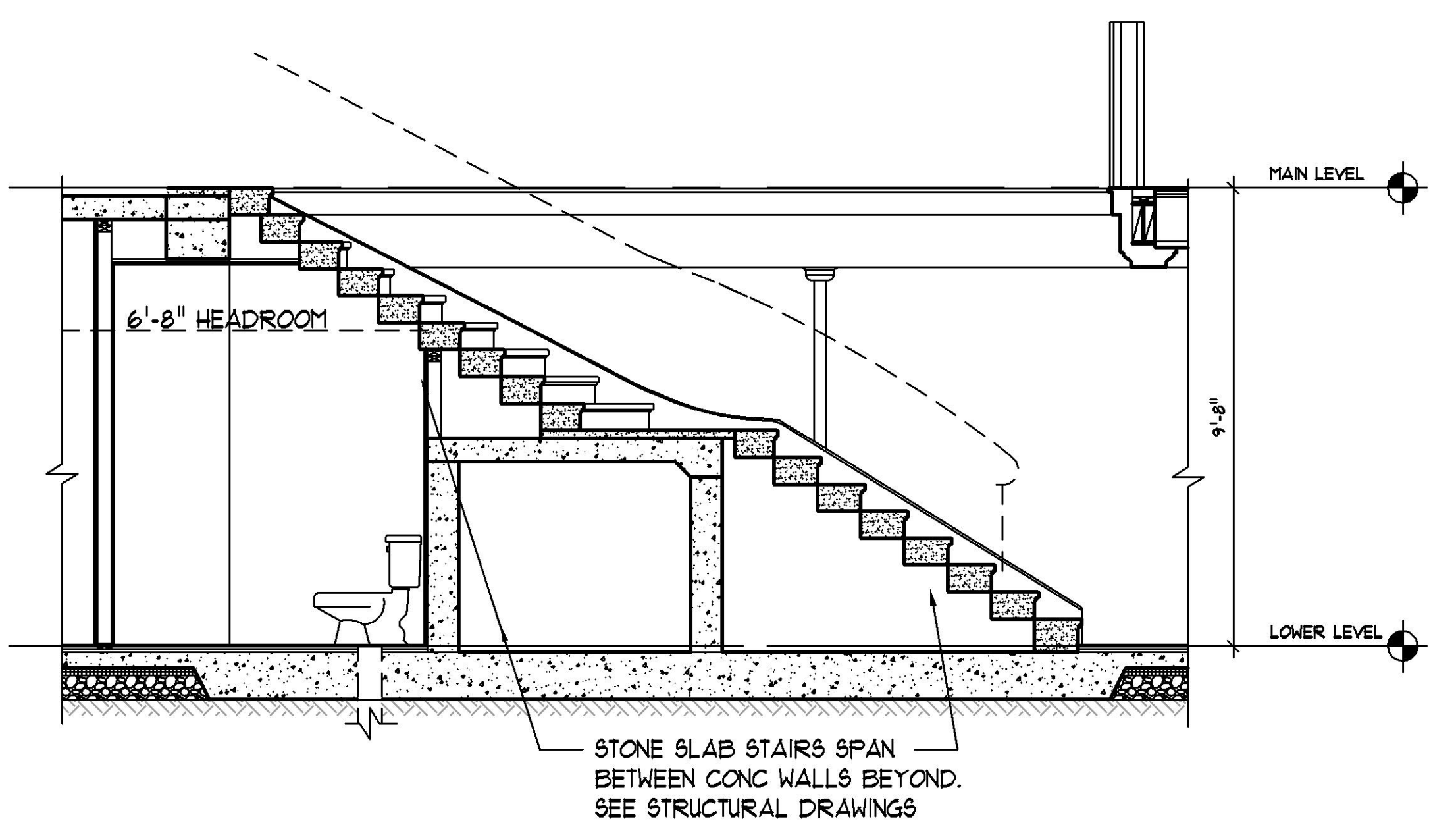


C1 ENLARGED PLAN - LOWER LEVEL
 AW5.3 3/8" = 1'-0"

PTD METAL PICKETS ON STONE CURB, SPACED 4" MAX W/ WOOD HANDRAIL AND GUARDRAIL TO BE IN ACCORDANCE W/ 2012 IRC SECTION 311.8. PICKETS TO FOLLOW 2012 IRC SECTION 312.1 TYP. STAIR TREADS TO FOLLOW 2012 IRC R311.7.5.



C2 SECTION THROUGH STAIR
 AW5.3 3/8" = 1'-0"



C3 SECTION THROUGH STAIR
 AW5.3 3/8" = 1'-0"

DRAWING: ENLARGED PLAN - STAIR
 ISSUED: 07/09/17
 PERMIT

AW5.3

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8709931 Date 09/27/17

These plans are conditionally approved and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

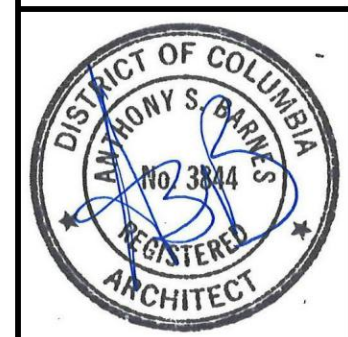
HPRB Review - Steve Callcott - 09-27-2017
 Structural Review - Abdul Muzikr - 09-27-2017
 Elevator Review - Luchi Lu - 09-27-2017
 Fire Review - Luchi Lu - 09-27-2017
 DOEE SE-SW Review - Charles Edwards - 09-27-2017
 Mechanical Review - Alec Petrillo-Groh - 09-27-2017
 Plumbing Review - Alec Petrillo-Groh - 09-27-2017
 Energy Review - Robert Campbell - 09-27-2017
 Electrical Review - Saima Dar - 09-27-2017

1666

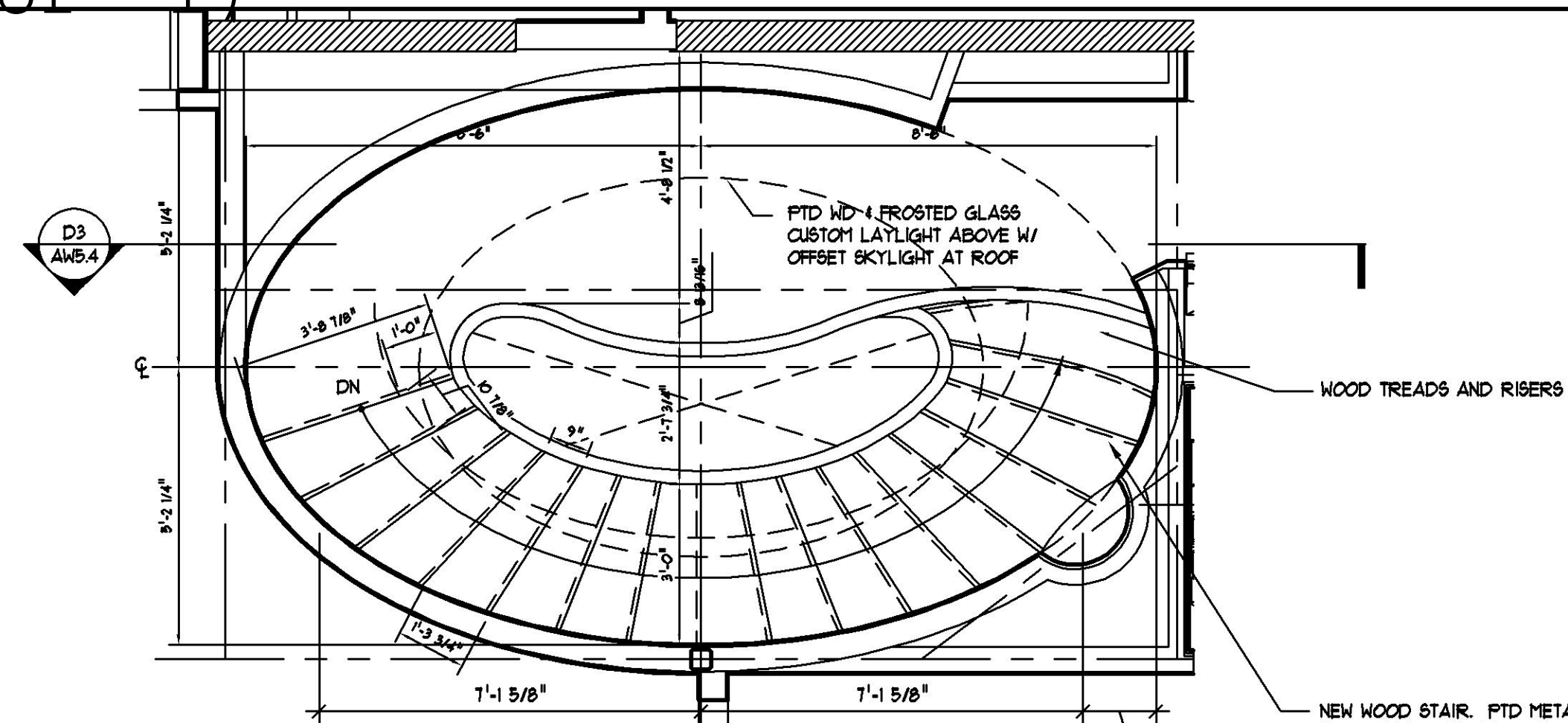


ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007

TELE:
 FAX:

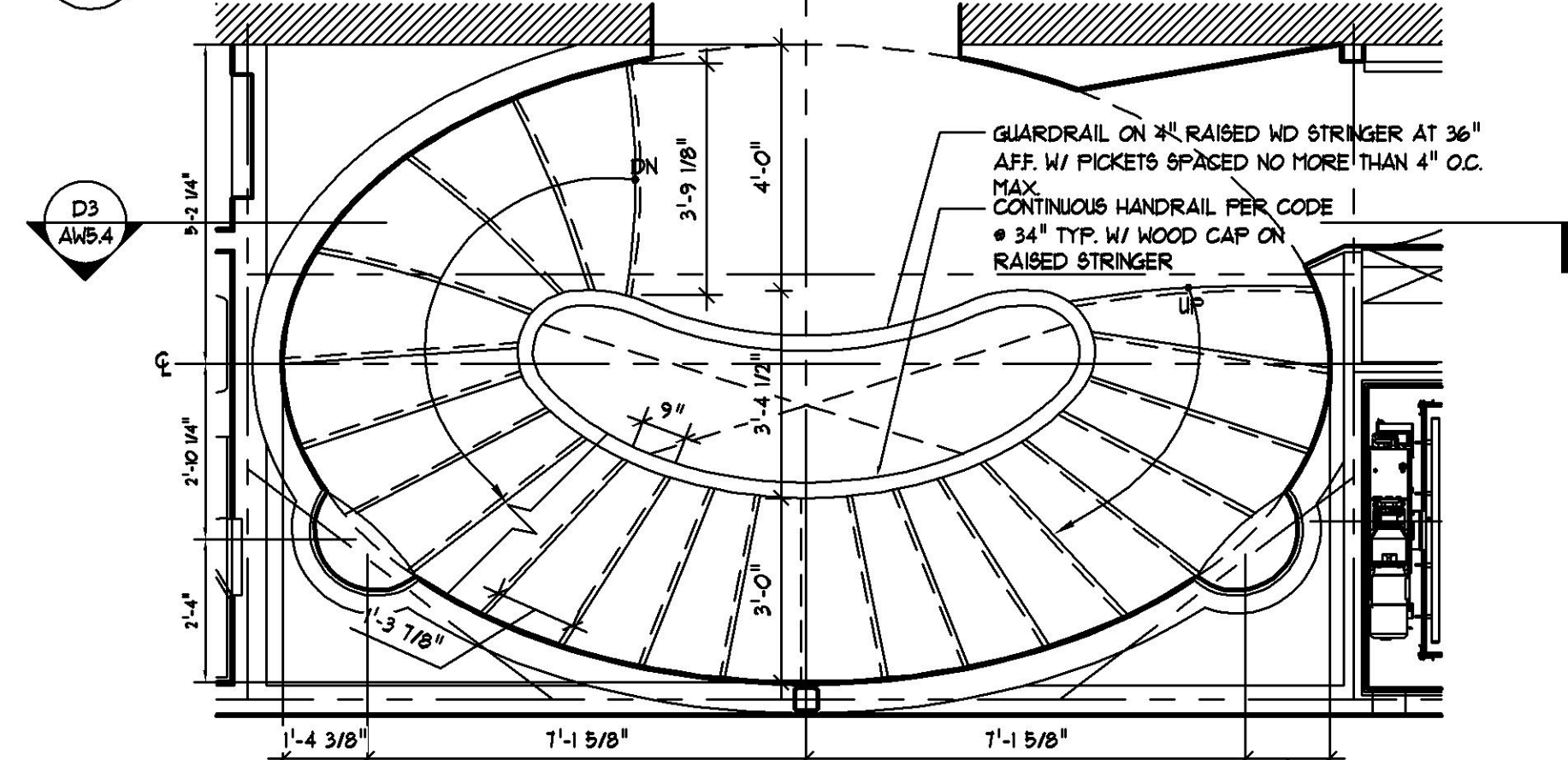


**2320 S STREET
 RESIDENCE**
 2320-2330 S ST. NW,
 WASHINGTON, DC 20008

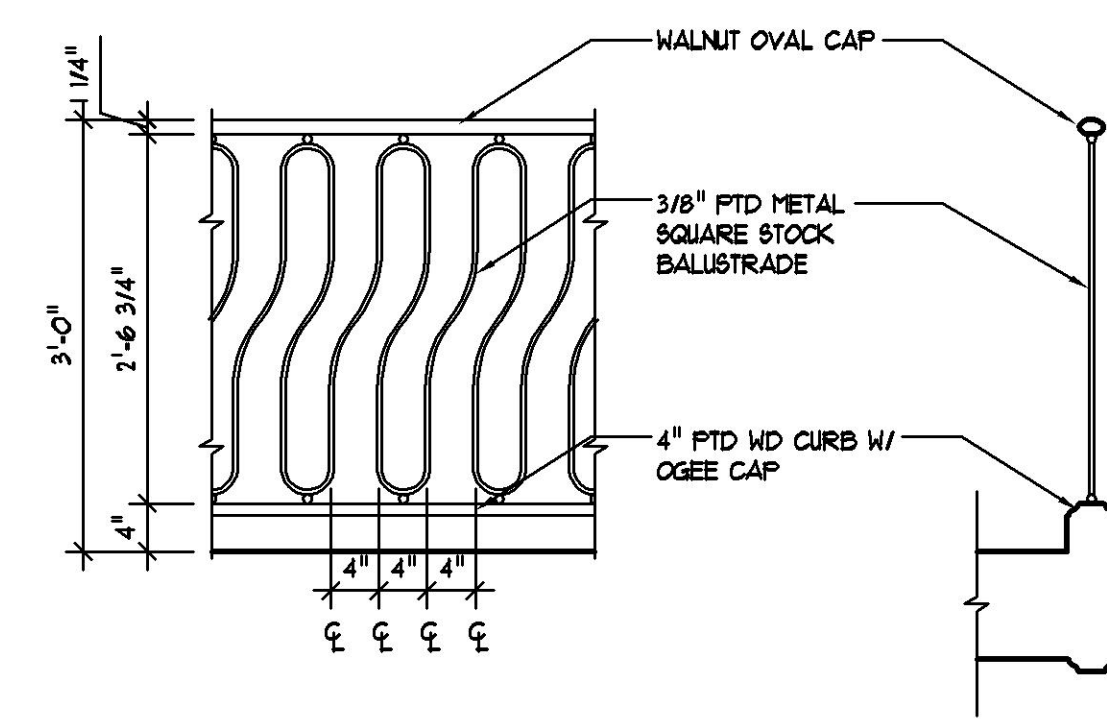


A1 ENLARGED PLAN - THIRD FLOOR
 3/8" = 1'-0"

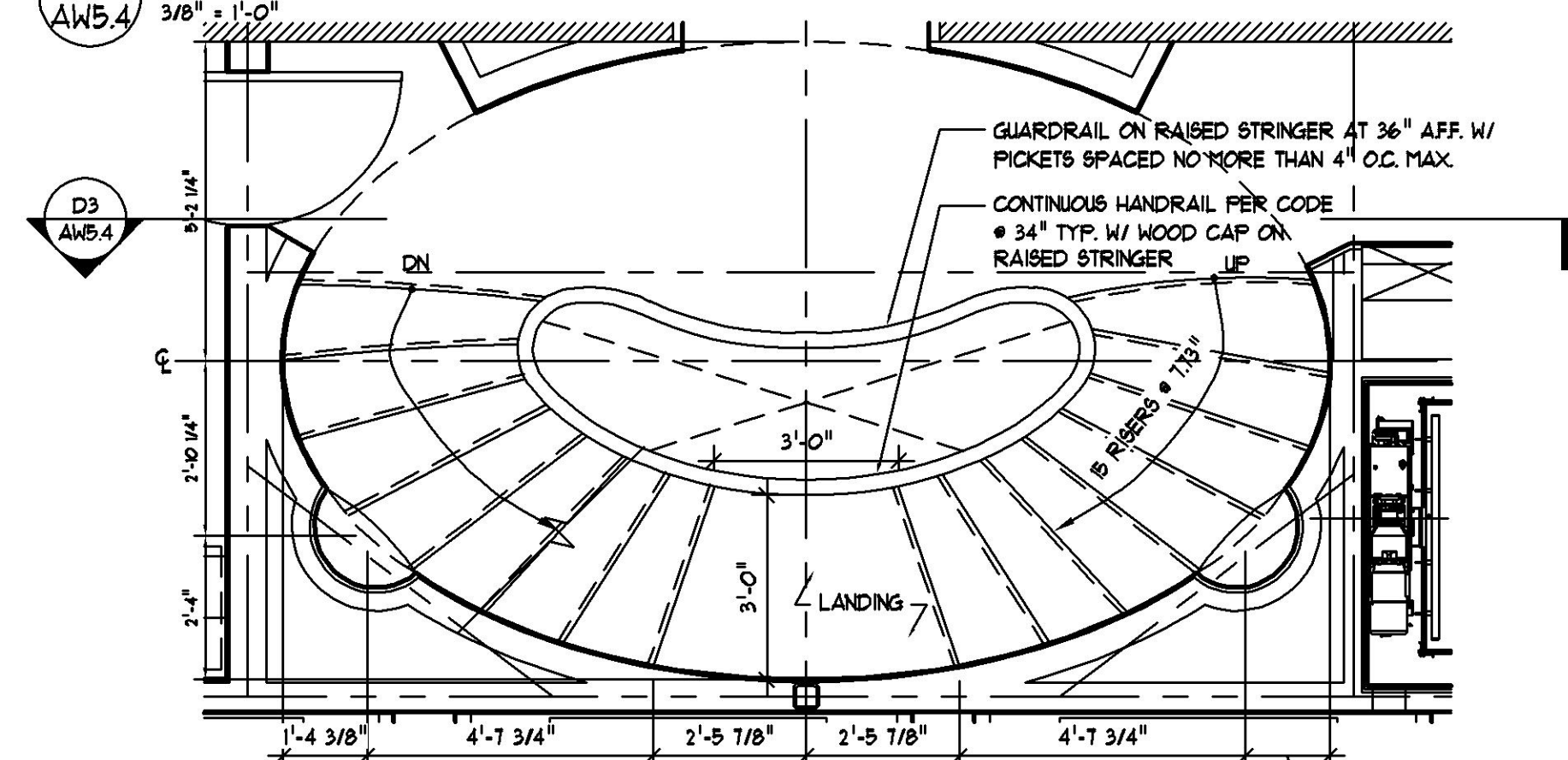
NEW WOOD STAIR. PTD METAL PICKETS ON STONE CURB, SPACED 4" MAX W/ WOOD HANDRAIL AND GUARDRAIL TO BE IN ACCORDANCE W/ 2012 IRC SECTION 311.8. PICKETS TO FOLLOW 2012 IRC SECTION 312.1 TYP. STAIR TREADS TO FOLLOW 2012 IRC R311.7. TYP.



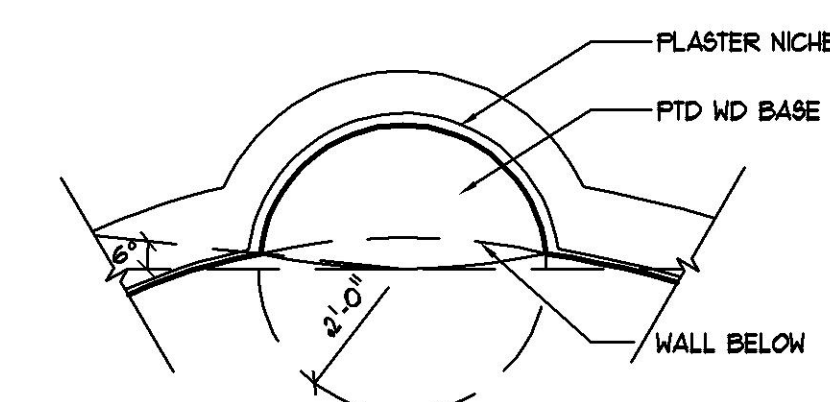
B1 ENLARGED PLAN - SECOND FLOOR
 3/8" = 1'-0"



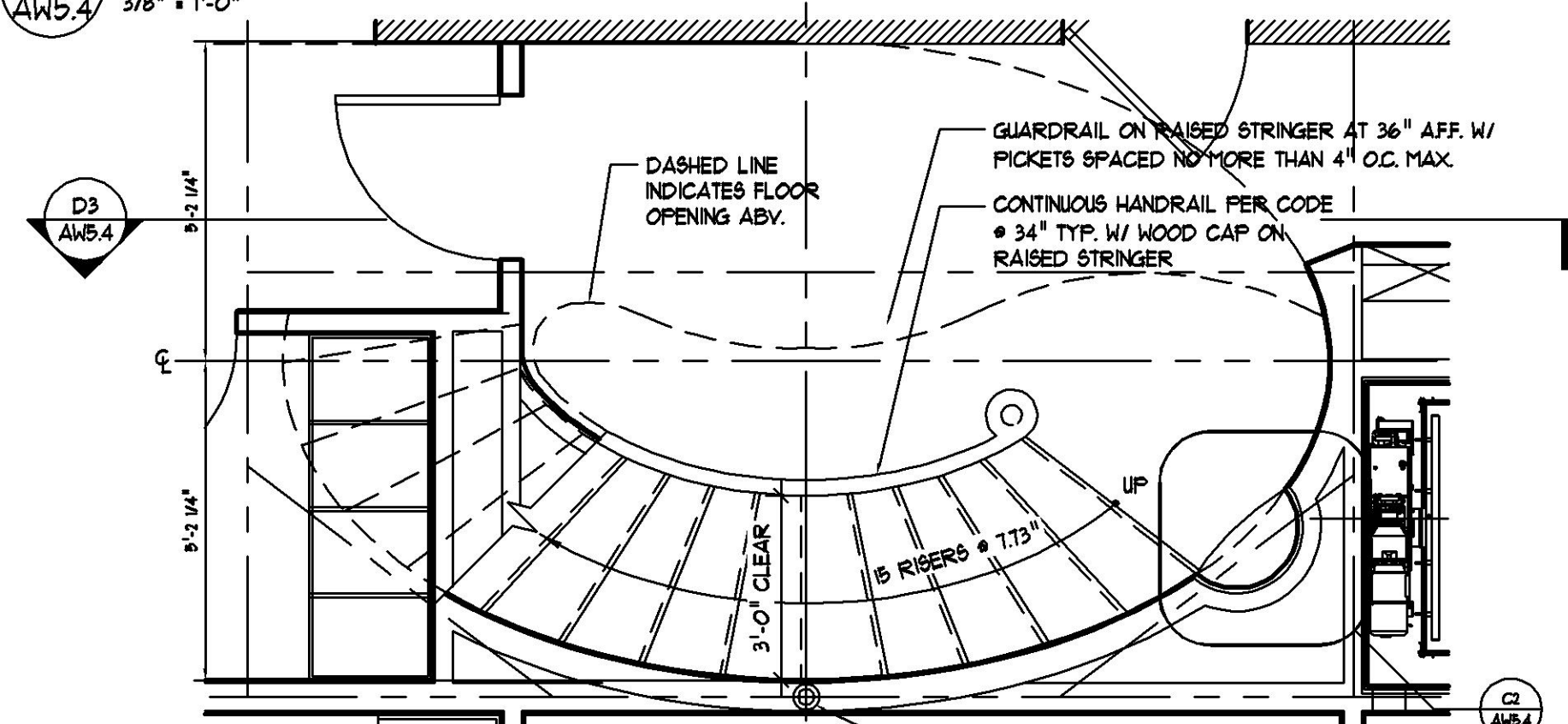
B2 GUARDRAIL DETAIL
 SCALE: 3/4" = 1'-0"



C1 ENLARGED PLAN - MAIN LEVEL
 3/8" = 1'-0"

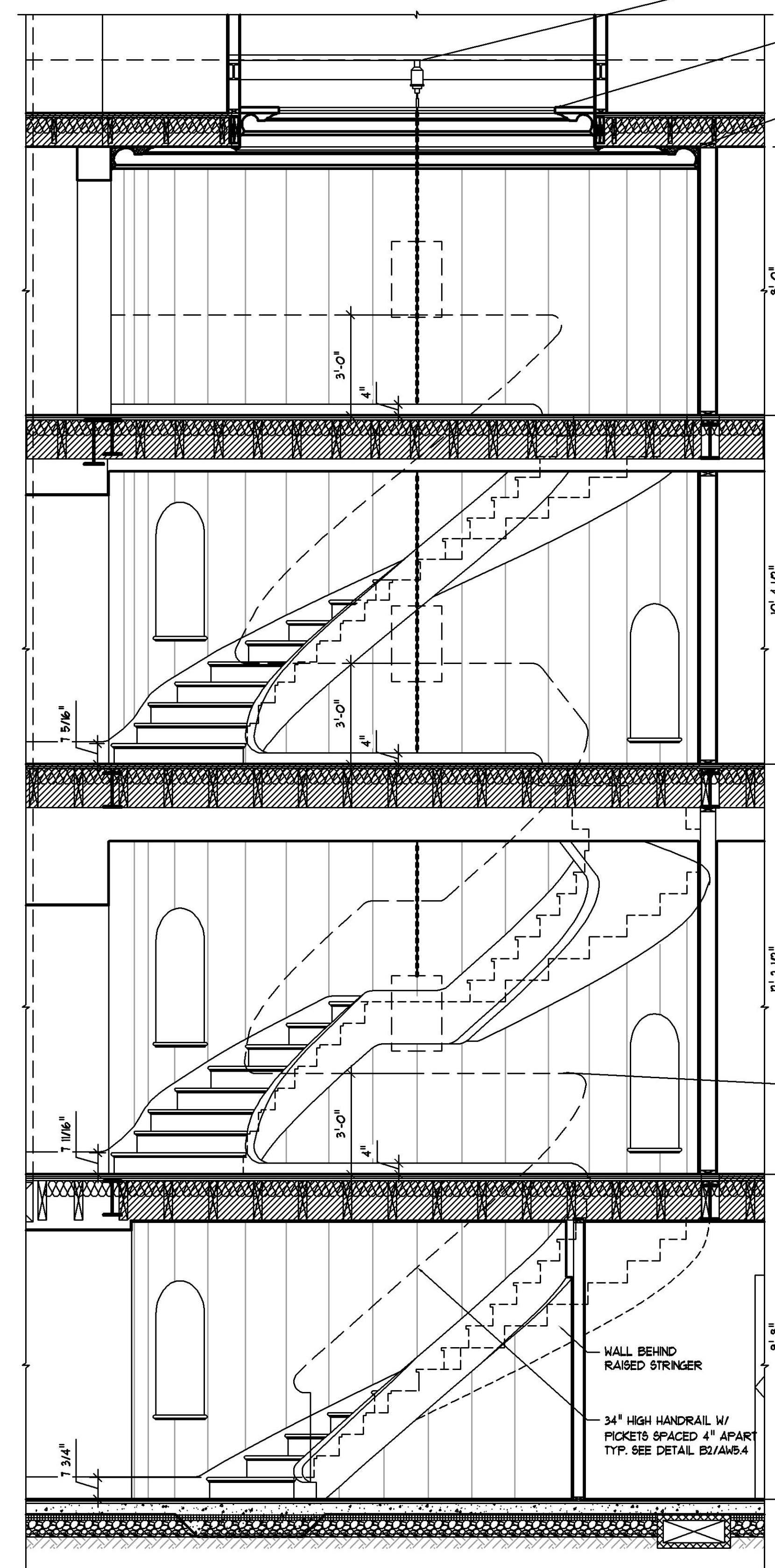


C2 WALL NICHE - TYPICAL
 SCALE: 3/4" = 1'-0"



D1 ENLARGED PLAN - LOWER LEVEL
 3/8" = 1'-0"

NEW STEEL POST WITH FOOTING PER STRUCTURAL DRAWINGS



D3 SECTION
 3/8" = 1'-0"


DRAWING: ENLARGED PLAN - STAIRHALL
 ISSUED: 07/09/17
 PERMIT

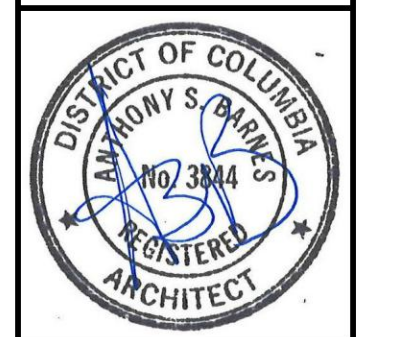
AW5.4

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRB Review - Steve Callcott - 09-27-2017
 Structural Review - Abdul Muzikr - 09-27-2017
 Elevator Review - Luchi Lu - 09-27-2017
 Fire Review - Luchi Lu - 09-27-2017
 DOE SE-SW Review - Charles Edwards - 09-27-2017
 Mechanical Review - Alec Petrilto-Groh - 09-27-2017
 Plumbing Review - Alec Petrilto-Groh - 09-27-2017
 Energy Review - Robert Campbell - 09-27-2017
 Electrical Review - Saima Dar - 09-27-2017

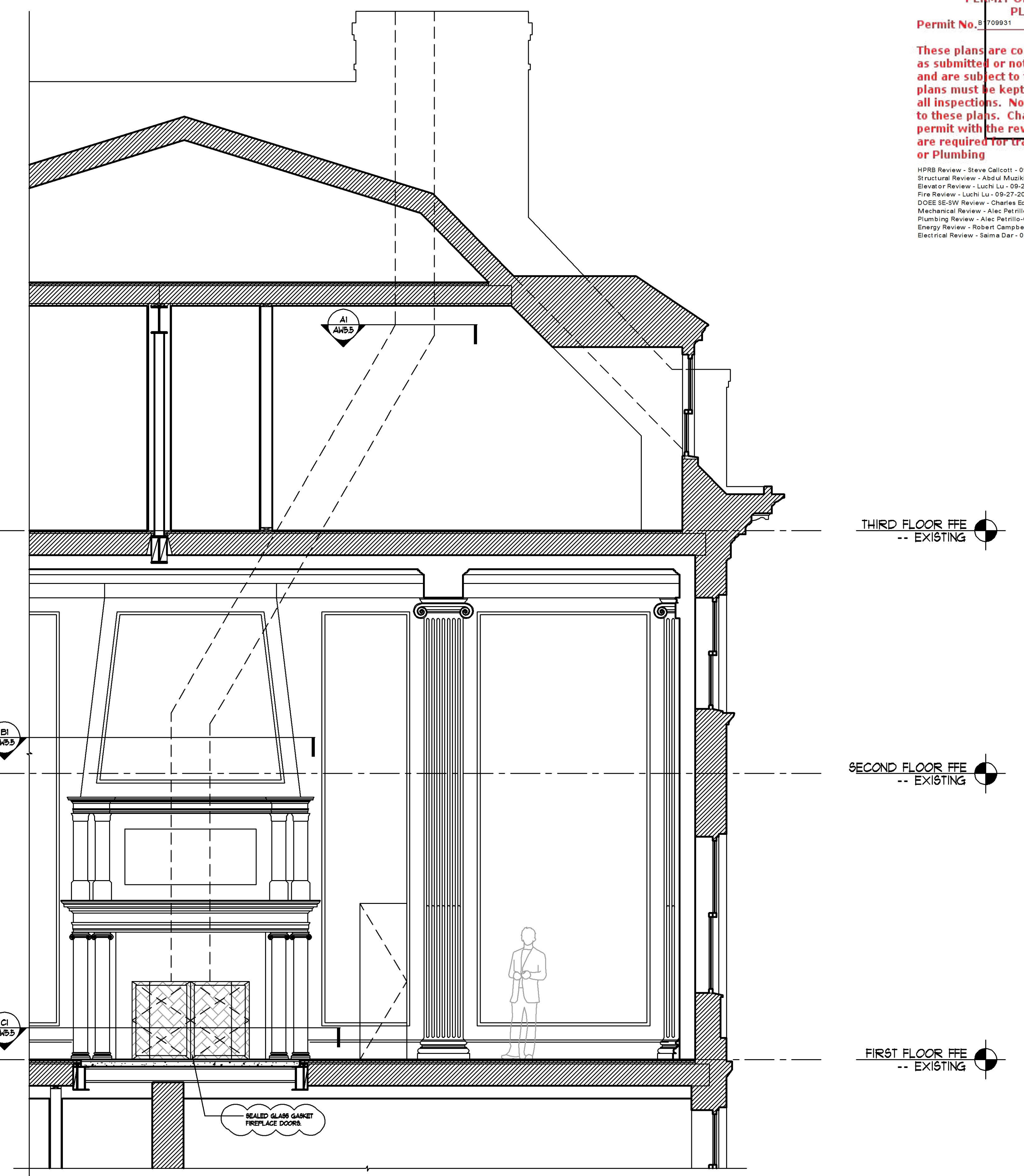
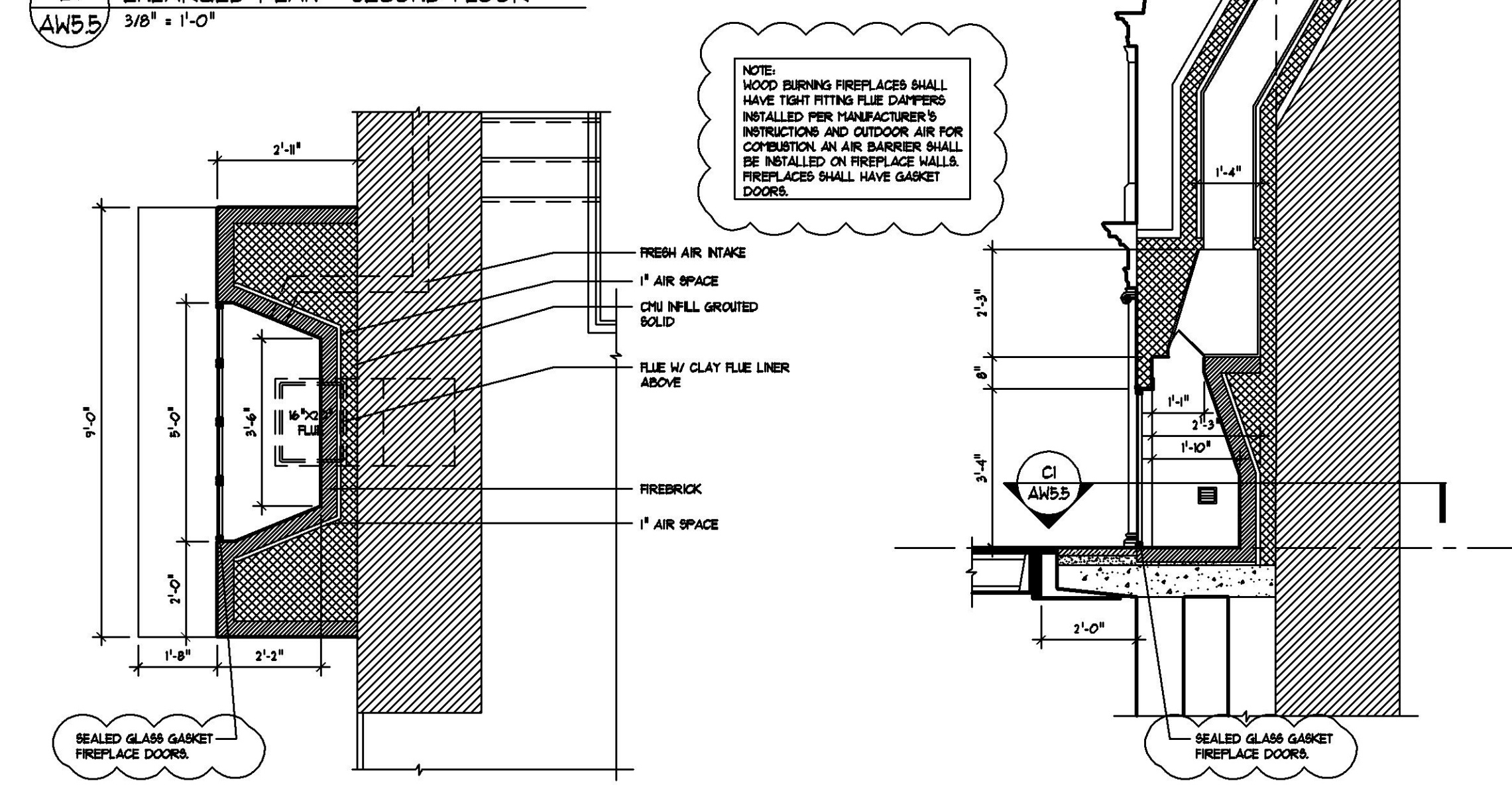
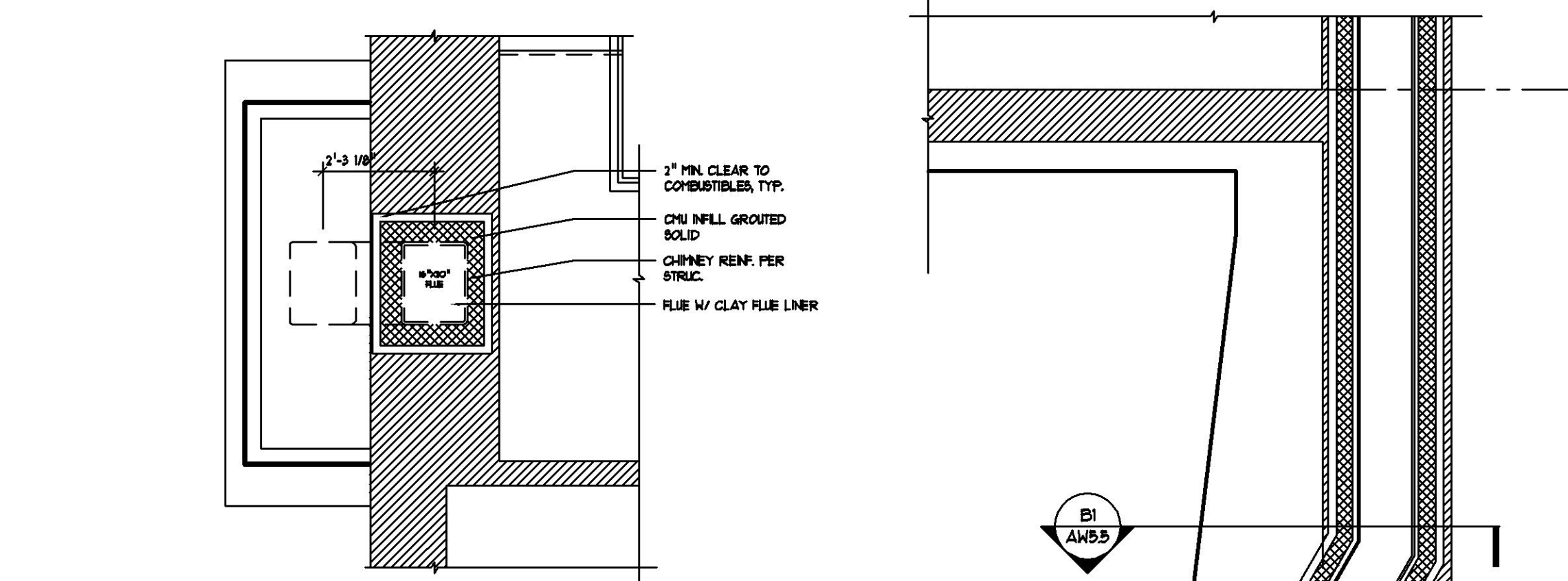
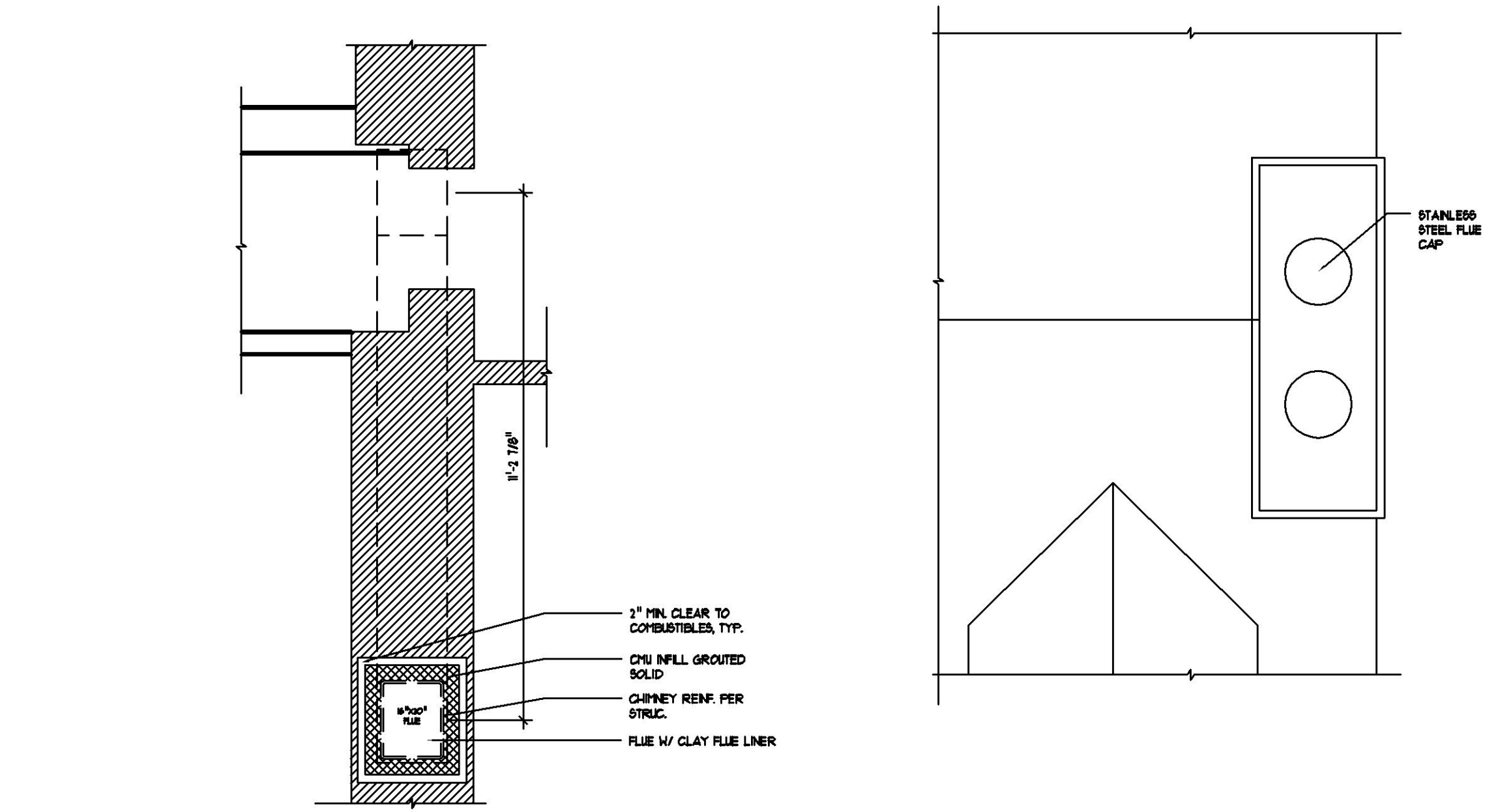
1666

 BARNES VANZE
 ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007
 TELE: [REDACTED]
 FAX: [REDACTED]



2320 S STREET
 RESIDENCE
 2320-2330 S ST. N.W.
 WASHINGTON, DC 20008

DRAWING: FIREPLACE DETAIL PLANS AND SECTIONS	
ISSUED:	PERMIT RESPONSE
07/09/17	09/15/17

AW5.5



C1 ENLARGED PLAN - MAIN LEVEL 3/8" = 1'-0"
C2 ENLARGED PLAN - CHIMNEY DETAIL 3/8" = 1'-0"
C3 SECTION 3/8" = 1'-0"

DOOR SCHEDULE - GARAGE

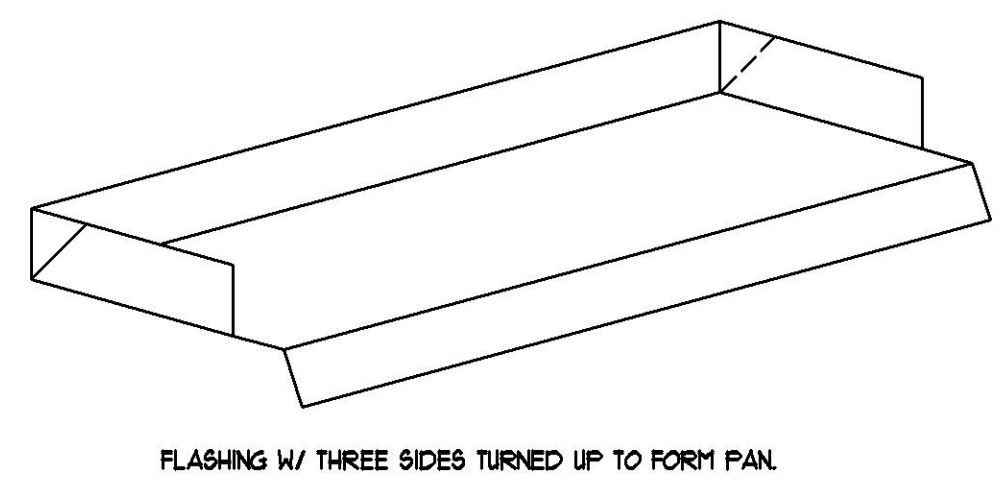
Table with columns: DOOR, DOOR SIZE, TYPE, MATERIAL, SILL, INTERIOR FINISH, EXTERIOR FINISH, HARDWARE FUNCTION, NOTES. Includes sections for LOWER LEVEL, MAIN LEVEL, TERRACE LEVEL, DOOR TYPE LEGEND, GENERAL NOTES, INTERIOR DOOR DESCRIPTION, EXTERIOR DOOR DESCRIPTION, and HARDWARE NOTES.

C1 DOOR SCHEDULE - GARAGE NTS.

WINDOW SCHEDULE - GARAGE

Table with columns: WINDOW, WINDOW SIZE, TYPE, MATERIAL, INTERIOR FINISH, EXTERIOR FINISH, SILL, CODE NOTES, HARDWARE, HEAD/JAMB/ SILL DETAILS, NOTES. Includes sections for LOWER LEVEL, FIRST FLOOR, TERRACE LEVEL, GENERAL NOTES, WINDOW DESCRIPTION, and HARDWARE NOTES.

C2 WINDOW SCHEDULE - GARAGE NTS.



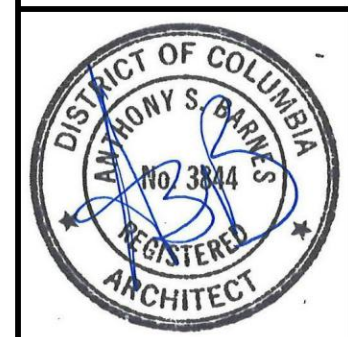
C3 DETAIL OF SILL FLASHING NOT TO SCALE

GOVERNMENT OF THE DISTRICT OF COLUMBIA PERMIT OPERATIONS DIVISION PLANS APPROVED Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

HPRE Review - Steve Callcott - 09-27-2017 Structural Review - Abdul Muzikr - 09-27-2017 Elevator Review - Luchi Lu - 09-27-2017 Fire Review - Luchi Lu - 09-27-2017 DOE/SES/MSW Review - Charles Edwards - 09-27-2017 Mechanical Review - Alec Petritto-Groh - 09-27-2017 Plumbing Review - Alec Petritto-Groh - 09-27-2017 Energy Review - Robert Campbell - 09-27-2017 Electrical Review - Saima Dar - 09-27-2017

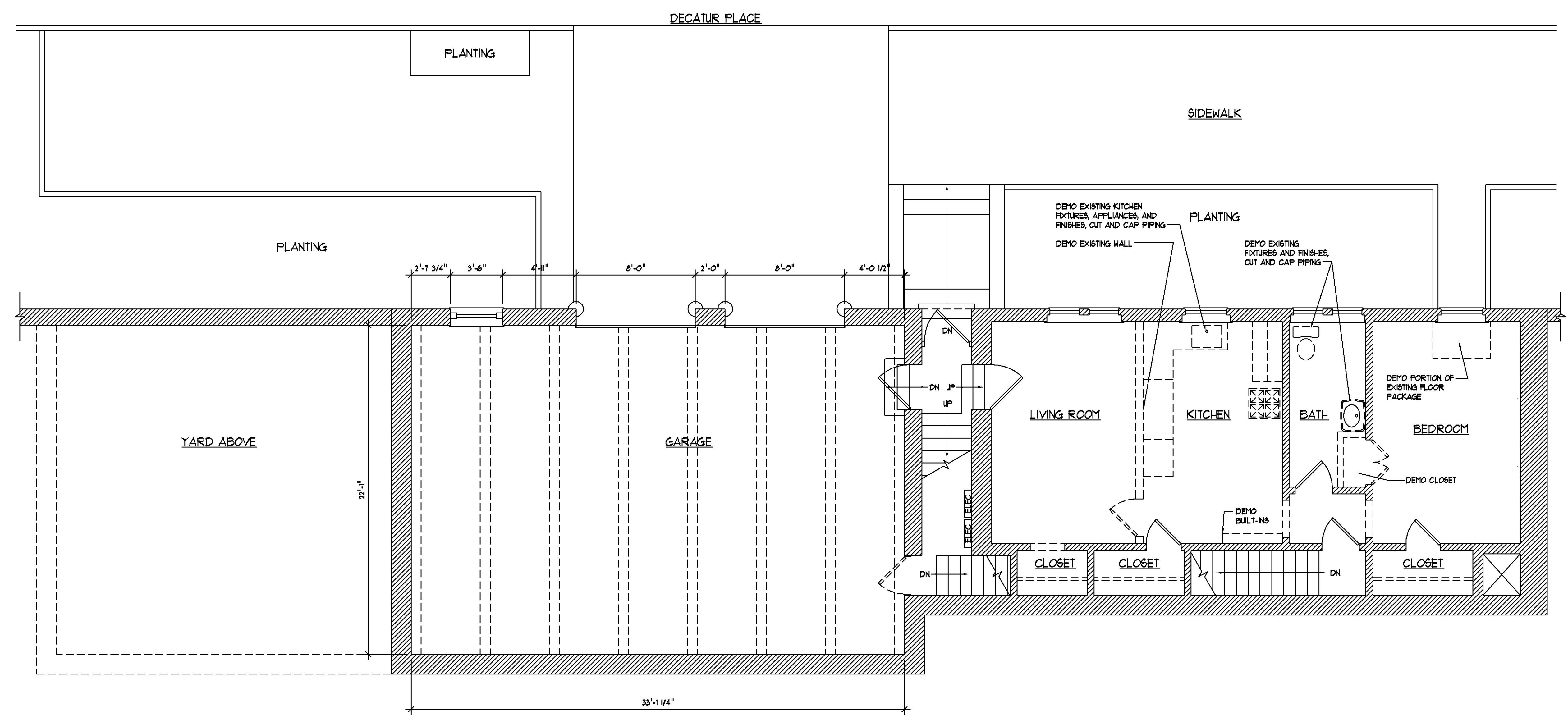
1666 ARCHITECTS INC. 1000 Potomac Street, N.W. Suite L-2 Washington, D.C. 20007 TELE: FAX:



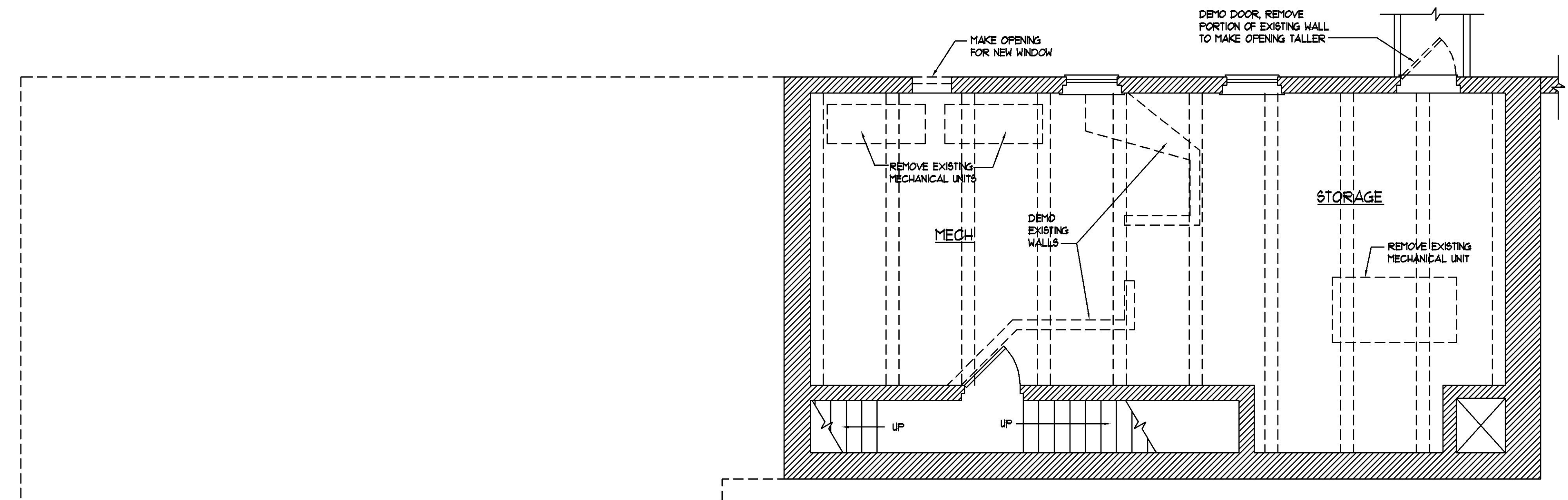
2320 S STREET RESIDENCE 2320-2330 S ST. NW, WASHINGTON, DC 20008

Table with columns: DRAWING: DOOR WINDOW SCHEDULES, ISSUED: 07/09/17, PERMIT.

AG1.2



A1 GARAGE DEMOLITION PLAN - MAIN FLOOR
 AG2.1 DRAWING SCALE: 1/4"=1'-0"



C1 GARAGE DEMOLITION PLAN - LOWER LEVEL
 AG2.1 DRAWING SCALE: 1/4"=1'-0"

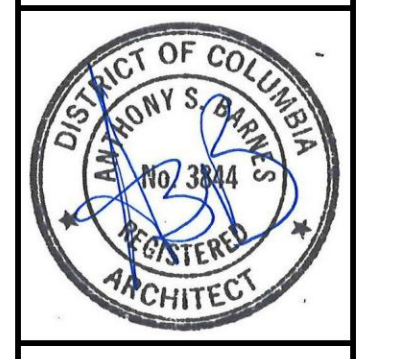
GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRB Review - Steve Callcott - 09-27-2017
 Structural Review - Abdul Muzikr - 09-27-2017
 Elevator Review - Luchi Lu - 09-27-2017
 Fire Review - Luchi Lu - 09-27-2017
 DOEE SE-SW Review - Charles Edwards - 09-27-2017
 Mechanical Review - Alec Petrilto-Groh - 09-27-2017
 Plumbing Review - Alec Petrilto-Groh - 09-27-2017
 Energy Review - Robert Campbell - 09-27-2017
 Electrical Review - Saima Dar - 09-27-2017

1666

 BARNES VANZE
 ARCHITECTS INC.
 1000 Potomac Street, N.W.,
 Suite L-2
 Washington, D.C. 20007
 TELE: [REDACTED]
 FAX: [REDACTED]



2320 S STREET
 RESIDENCE
 2320-2330 S ST. NW,
 WASHINGTON, DC 20008

DRAWING:	DEMOLITION PLAN - MAIN AND LOWER LEVELS
ISSUED:	07/09/17
PERMIT:	

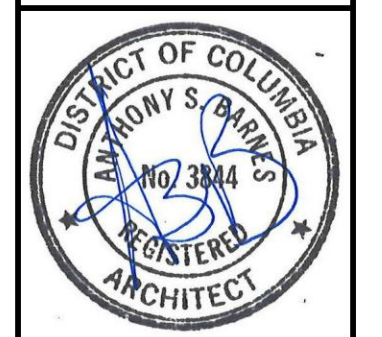
AG2.1

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 8709931 Date 09/27/17

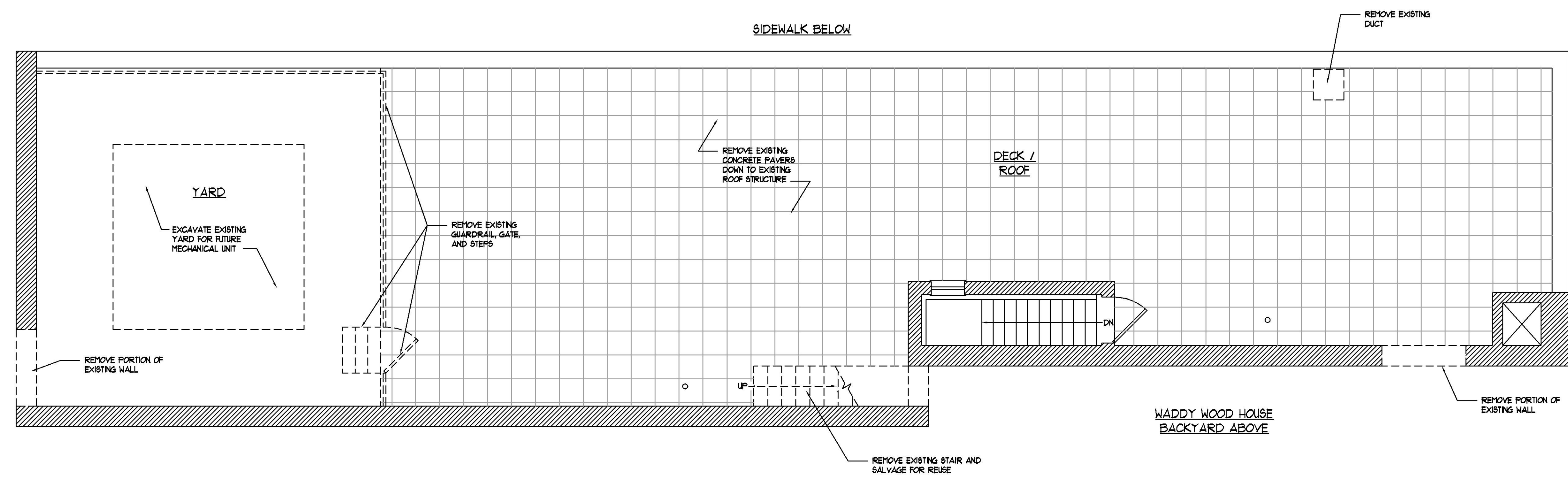
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRB Review - Steve Callcott - 09-27-2017
Structural Review - Abdul Muzikr - 09-27-2017
Elevator Review - Luchi Lu - 09-27-2017
Fire Review - Luchi Lu - 09-27-2017
DOEE SE-SW Review - Charles Edwards - 09-27-2017
Mechanical Review - Alec Petrillo-Groh - 09-27-2017
Plumbing Review - Alec Petrillo-Groh - 09-27-2017
Energy Review - Robert Campbell - 09-27-2017
Electrical Review - Saima Dar - 09-27-2017

1666
BV
BARNES VANZE
ARCHITECTS INC.
1000 Potomac Street, N.W.
Suite L-2
Washington, D.C. 20007
TELE:
FAX:



2320 S STREET
RESIDENCE
2320-2330 S ST. NW,
WASHINGTON, DC 20008



DRAWING:	DEMOLITION PLAN - TERRACE LEVEL
ISSUED:	PERMIT
07/09/17	

AG22

DECATUR PLACE NW

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRB Review - Steve Callcott - 09-27-2017
Structural Review - Abdul Muzikr - 09-27-2017
Elevator Review - Luchi Lu - 09-27-2017
Fire Review - Luchi Lu - 09-27-2017
DOEE SE-SW Review - Charles Edwards - 09-27-2017
Mechanical Review - Alec Petrillo-Groh - 09-27-2017
Plumbing Review - Alec Petrillo-Groh - 09-27-2017
Energy Review - Robert Campbell - 09-27-2017
Electrical Review - Saima Dar - 09-27-2017

1666

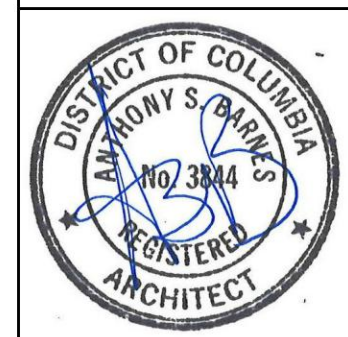


BARNES VANZE

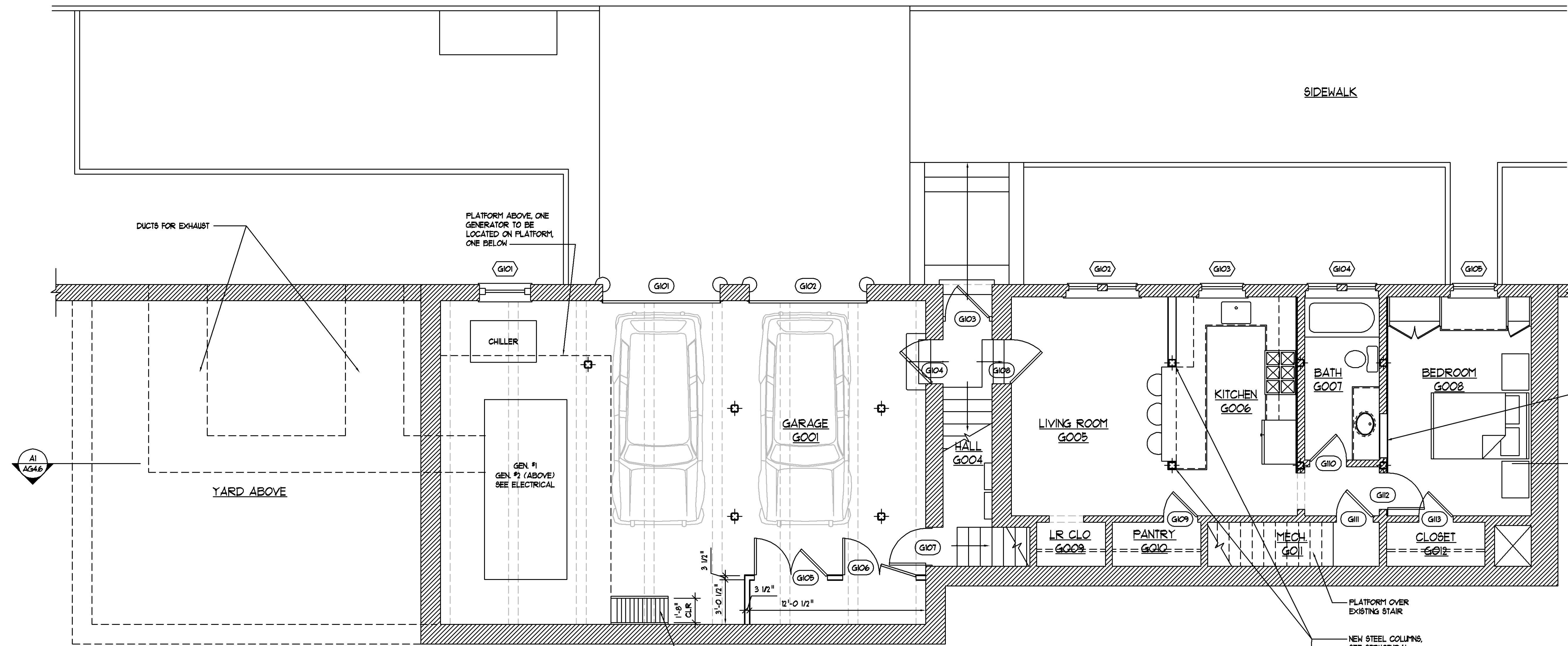
ARCHITECTS INC.

1000 Potomac Street, N.W.,
Suite L-2
Washington, D.C. 20007

TELE:
FAX:
1666

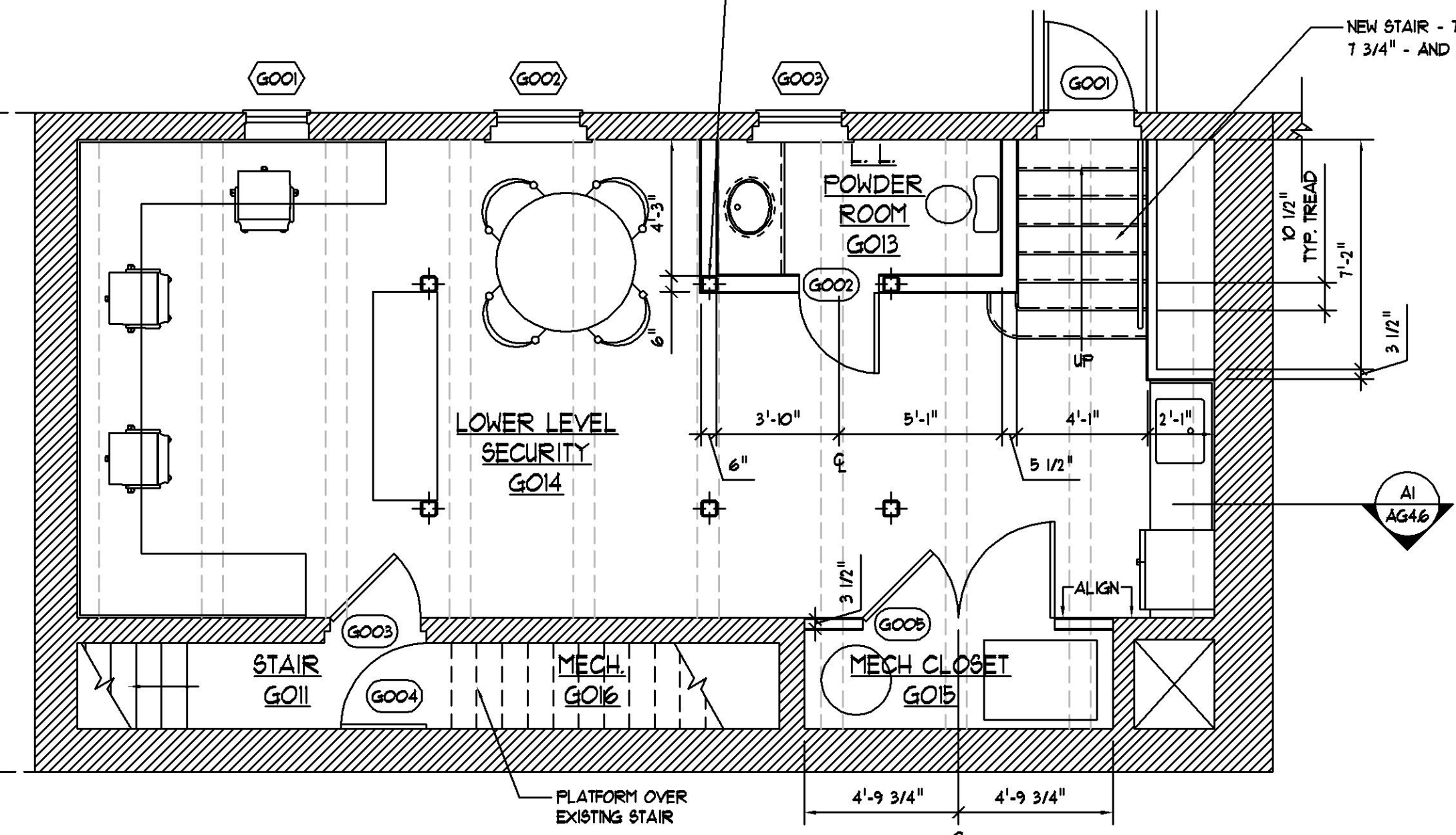


2320 S STREET
RESIDENCE
2320-2330 S ST. NW,
WASHINGTON, DC 20008



B1 PROPOSED CARRIAGE HOUSE PLAN - MAIN LEVEL
AG-31 DRAWING SCALE: 1/4" = 1'-0"

SHIP'S LADDER TO BE INSTALLED TO PROVIDE ACCESS TO GENERATOR PLATFORM PER IRC 2015 R317.1.2



C1 PROPOSED CARRIAGE HOUSE PLAN - LOWER LEVEL
AG-31 DRAWING SCALE: 1/4" = 1'-0"

DRAWING: PROPOSED PLAN - MAIN AND LOWER LEVELS
ISSUED: 07/09/17
PERMIT


AG3.1

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. B 709931 Date 09/27/17

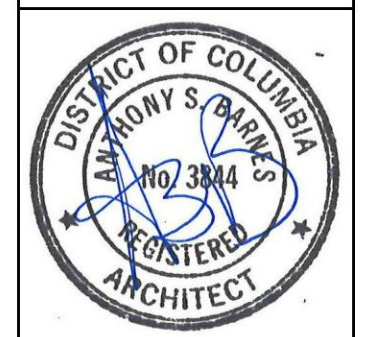
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRB Review - Steve Callcott - 09-27-2017
 Structural Review - Abdul Muzikr - 09-27-2017
 Elevator Review - Luchi Lu - 09-27-2017
 Fire Review - Luchi Lu - 09-27-2017
 DOEE SE-SW Review - Charles Edwards - 09-27-2017
 Mechanical Review - Alec Petrillo-Groh - 09-27-2017
 Plumbing Review - Alec Petrillo-Groh - 09-27-2017
 Energy Review - Robert Campbell - 09-27-2017
 Electrical Review - Saima Dar - 09-27-2017

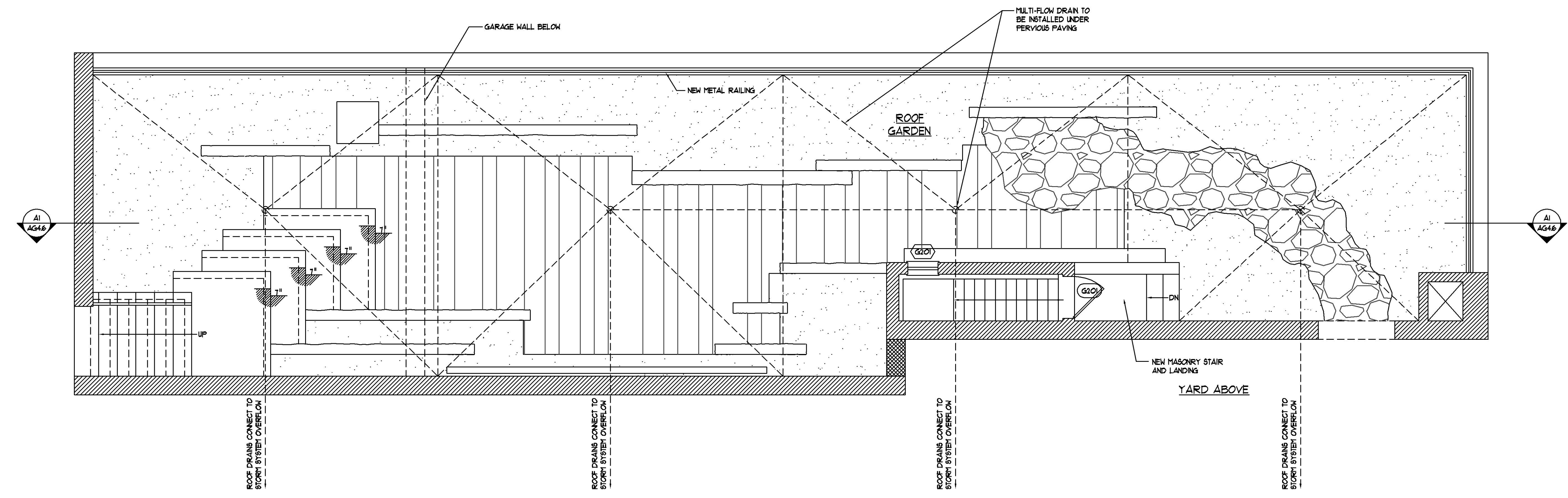
1666



BARNES VANZE
 ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007
 TELE: [REDACTED]
 FAX: [REDACTED]



2320 S STREET
 RESIDENCE
 2320-2330 S ST. NW.
 WASHINGTON, DC 20008



DRAWING:	PROPOSED PLAN - TERRACE LEVEL
ISSUED:	PERMIT
07/09/17	

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. B 709931 Date 09/27/17

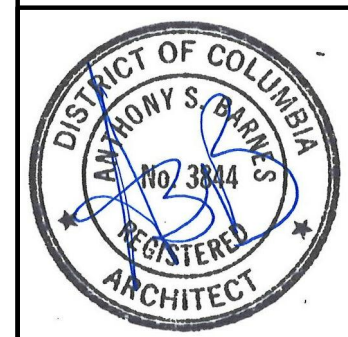
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRB Review - Steve Callcott - 09-27-2017
 Structural Review - Abdul Muzikr - 09-27-2017
 Elevator Review - Luchi Lu - 09-27-2017
 Fire Review - Luchi Lu - 09-27-2017
 DOEE SE-SW Review - Charles Edwards - 09-27-2017
 Mechanical Review - Alec Petrillo-Groh - 09-27-2017
 Plumbing Review - Alec Petrillo-Groh - 09-27-2017
 Energy Review - Robert Campbell - 09-27-2017
 Electrical Review - Saima Dar - 09-27-2017

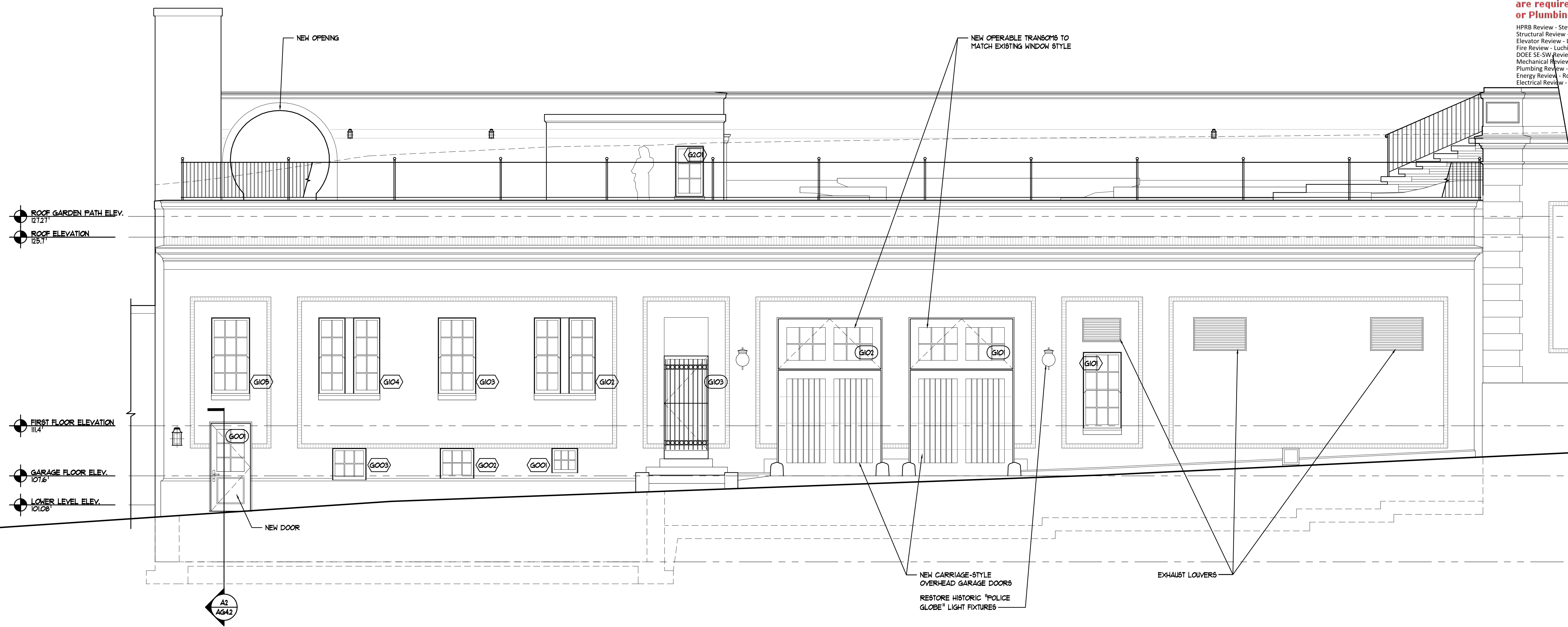
1666



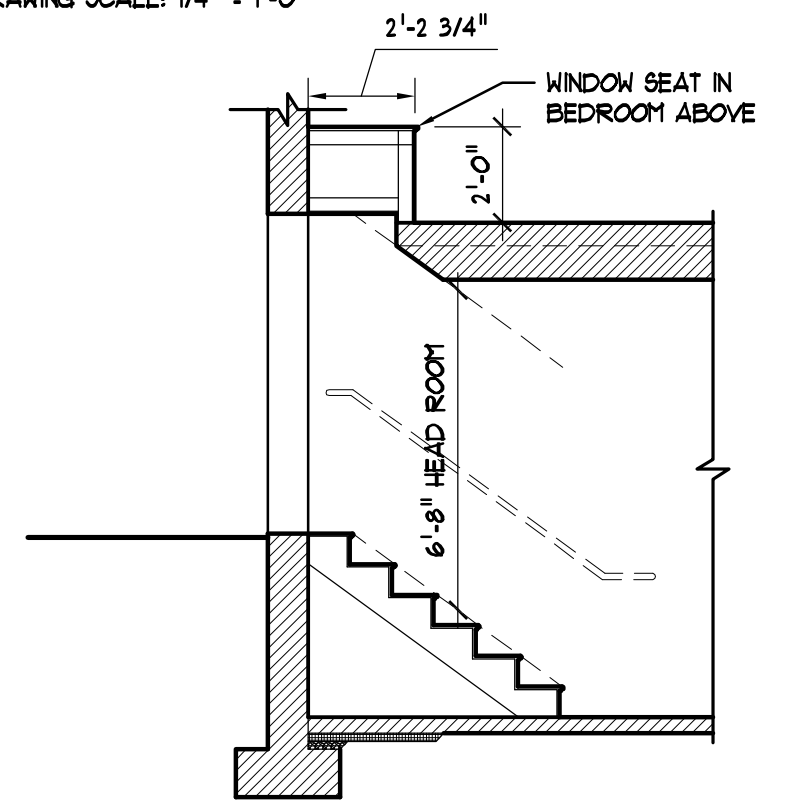
BARNES-VANZE
ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007
 TELE: 202.337.7255
 FAX: 202.337.0609



**2320 S STREET
 RESIDENCE**
 2320-2330 S ST. NW,
 WASHINGTON, DC 20008



A2 CARRIAGE HOUSE PROPOSED ELEVATION
 AG4.2 DRAWING SCALE: 1/4" = 1'-0"



A2 CARRIAGE HOUSE SECTION AT DOOR
 AG4.2 DRAWING SCALE: 1/4" = 1'-0"

DRAWING: EXTERIOR ELEVATION - PROPOSED
ISSUED: 07/09/17
PERMIT

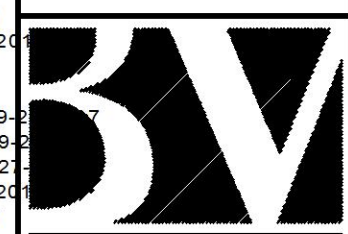
AG4.2

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. B 709931 Date 09/27/17

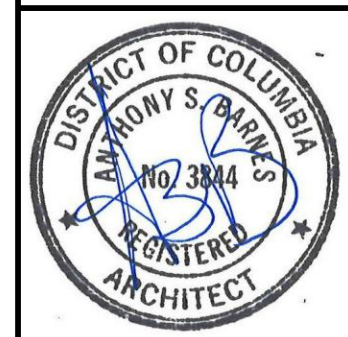
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

HPRB Review - Steve Callcott - 09-27-2017
Structural Review - Abdul Muzikr - 09-27-2017
Elevator Review - Luchi Lu - 09-27-2017
Fire Review - Luchi Lu - 09-27-2017
DOEE SE-SW Review - Charles Edwards - 09-27-2017
Mechanical Review - Alec Petrillo-Groh - 09-27-2017
Plumbing Review - Alec Petrillo-Groh - 09-27-2017
Energy Review - Robert Campbell - 09-27-2017
Electrical Review - Saima Dar - 09-27-2017

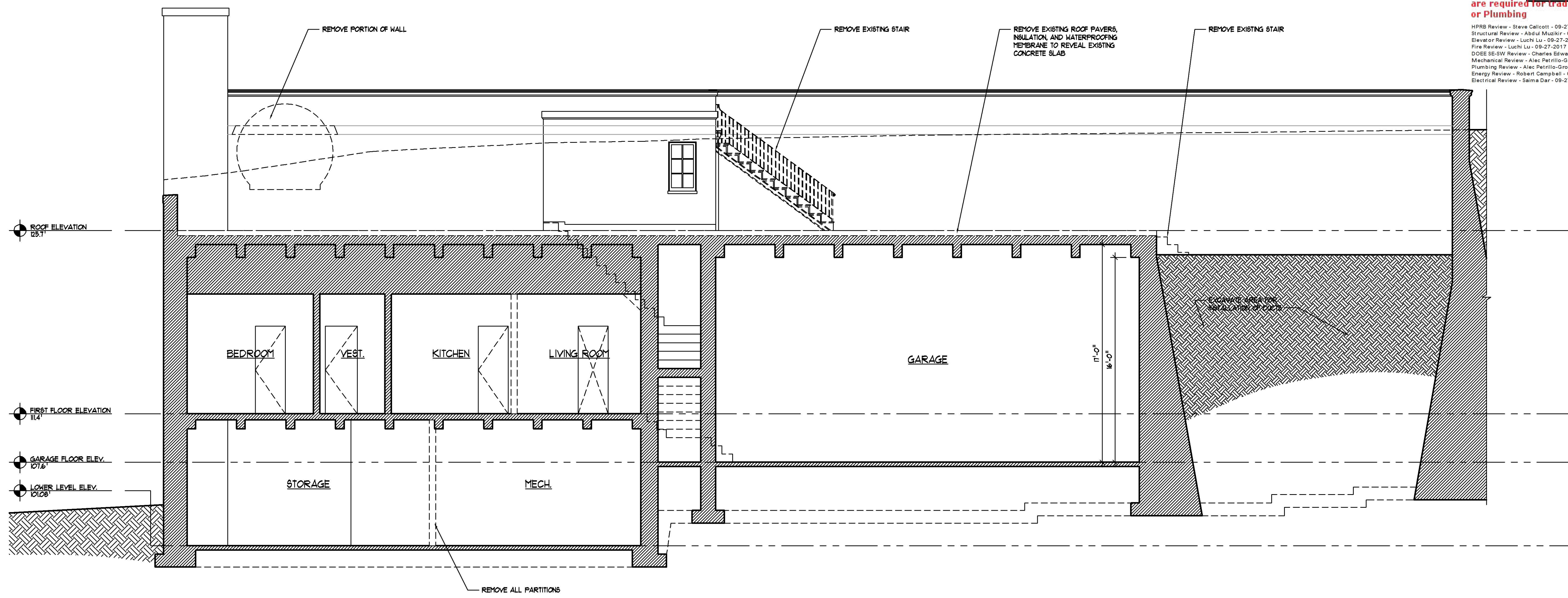
1666



BARNES VANZE
ARCHITECTS INC.
1000 Potomac Street, N.W.
Suite L-2
Washington, D.C. 20007
TELE: [REDACTED]
FAX: [REDACTED]



2320 S STREET
RESIDENCE
2320-2330 S ST. NW.
WASHINGTON, DC 20008



A1 GARAGE DEMOLITION BUILDING SECTION
AG4.5 DRAWING SCALE: 1/4" = 1'-0"

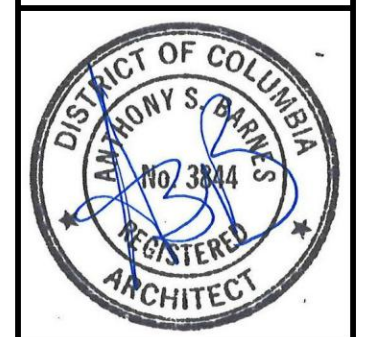
DRAWING: BUILDING SECTION - DEMOLITION
ISSUED: 07/09/17
PERMIT

AG4.5

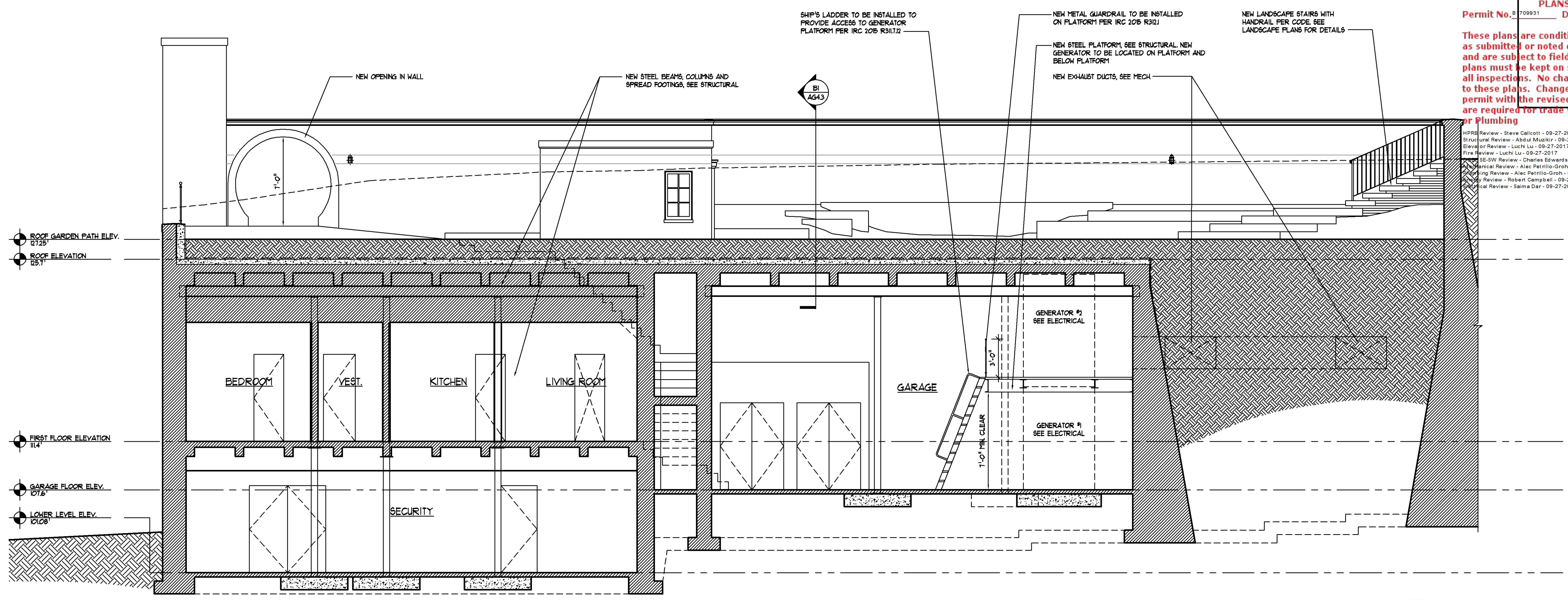
GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8709931 Date 09/27/17
 These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

1666

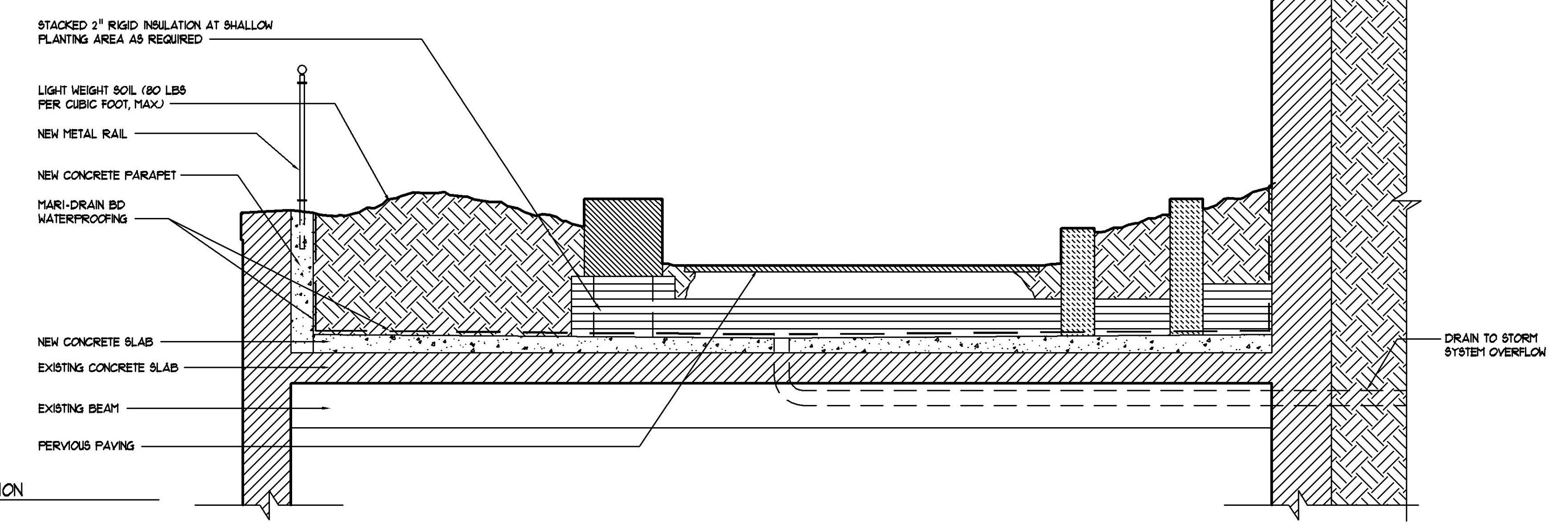
 BARNES VANZE
 ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007
 TELE: 
 FAX: 



2320 S STREET
 RESIDENCE
 2320-2330 S ST. NW.
 WASHINGTON, DC 20008



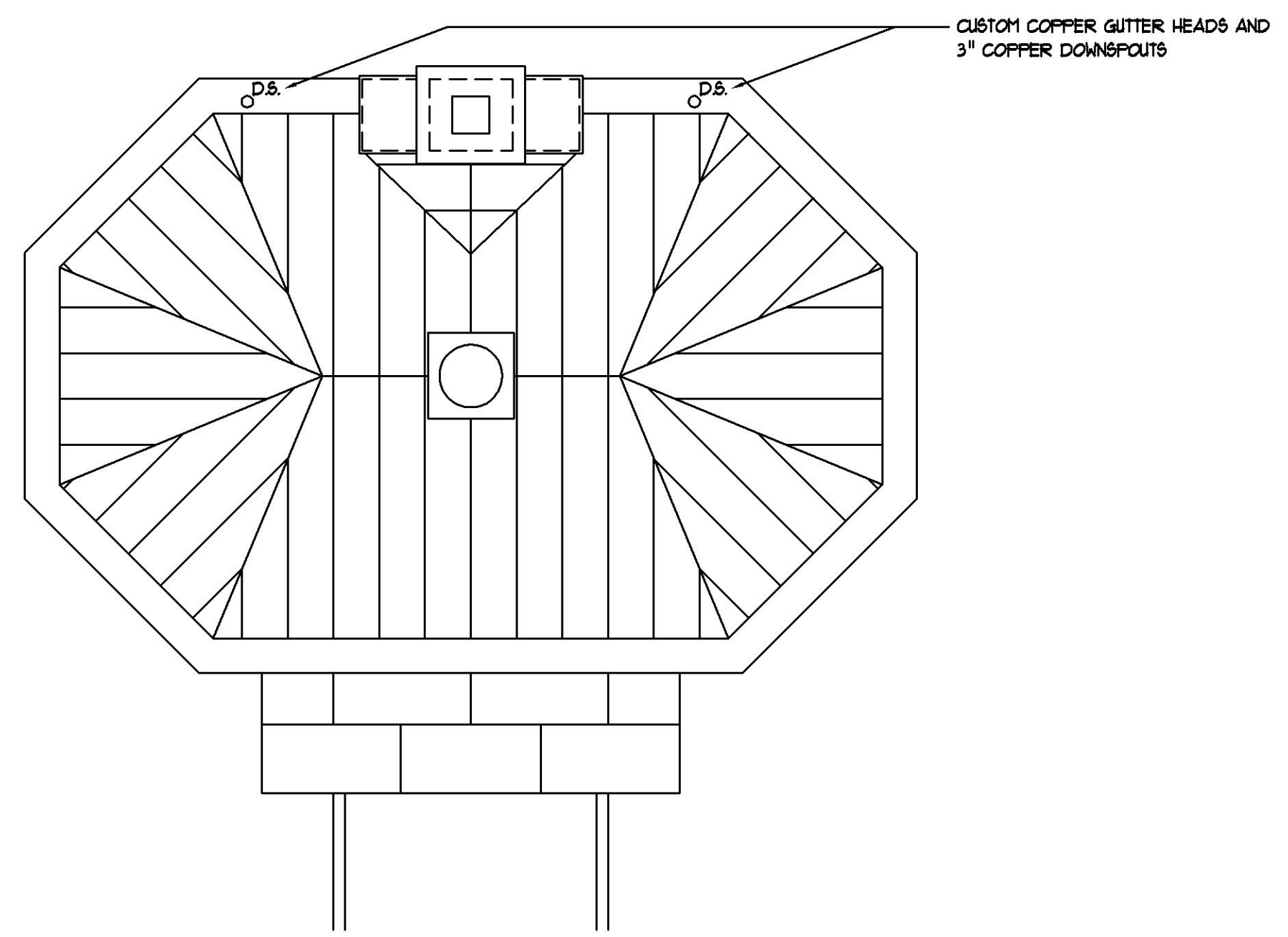
A1 GARAGE PROPOSED BUILDING SECTION
 AG4.3 DRAWING SCALE: 1/4" = 1'-0"



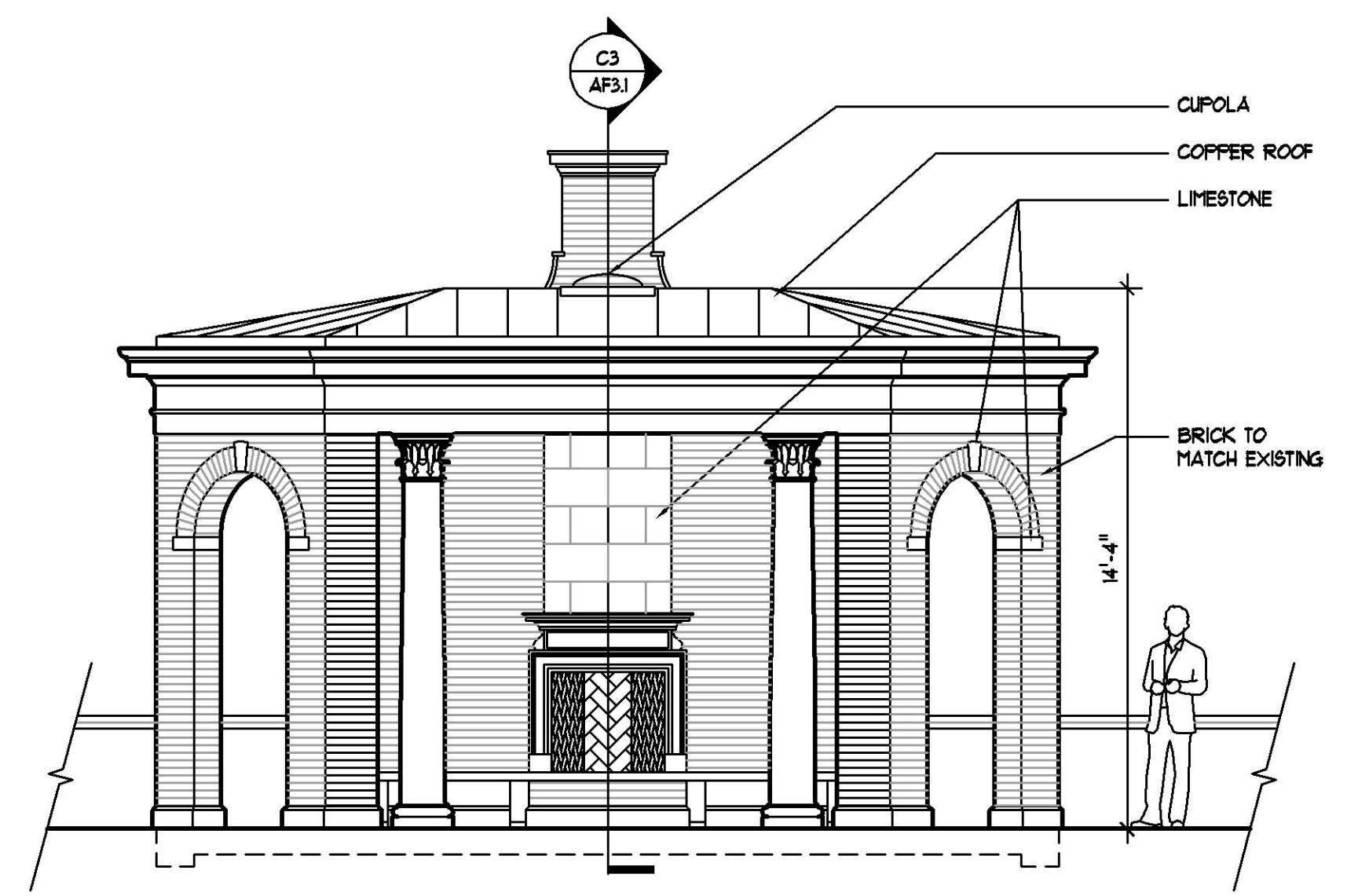
B2 ROOF GARDEN DETAIL SECTION
 AG4.3 DRAWING SCALE: 1/2" = 1'-0"

DRAWING: BUILDING SECTION - PROPOSED	
ISSUED: 07/09/17	

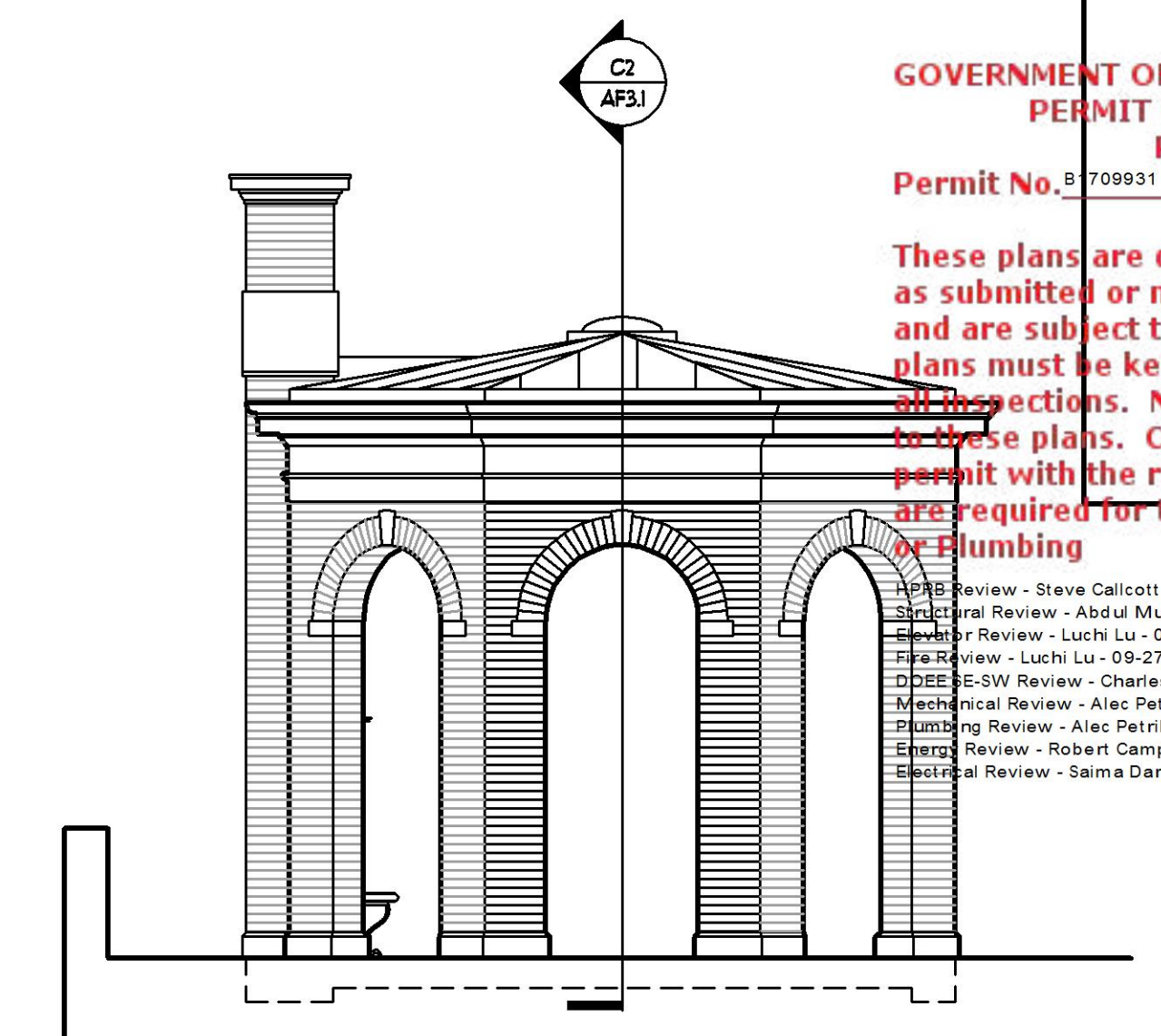
AG4.6



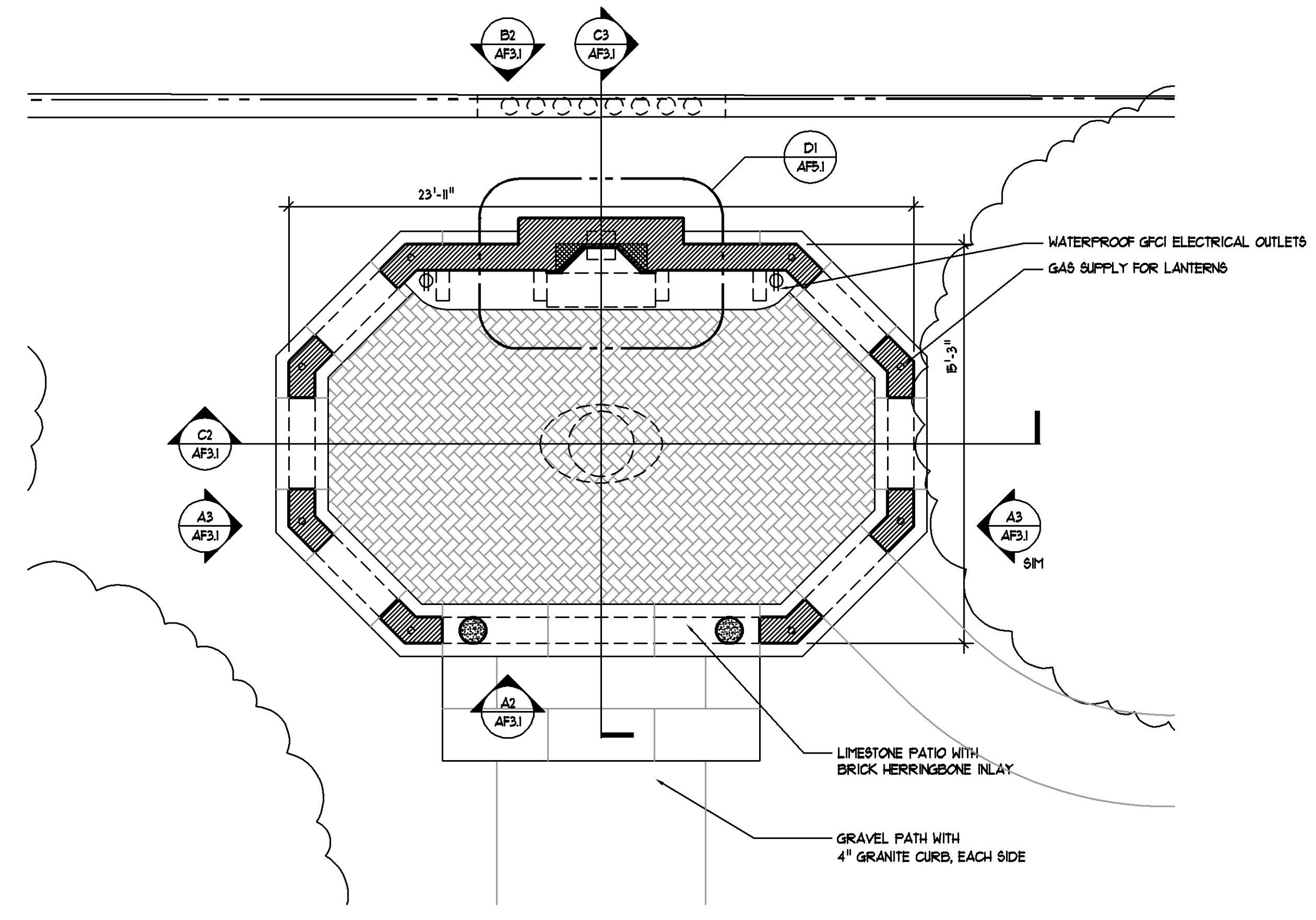
A1 PROPOSED ROOF PLAN - PAVILLION
AF3.1 DRAWING SCALE: 1/4" = 1'-0"



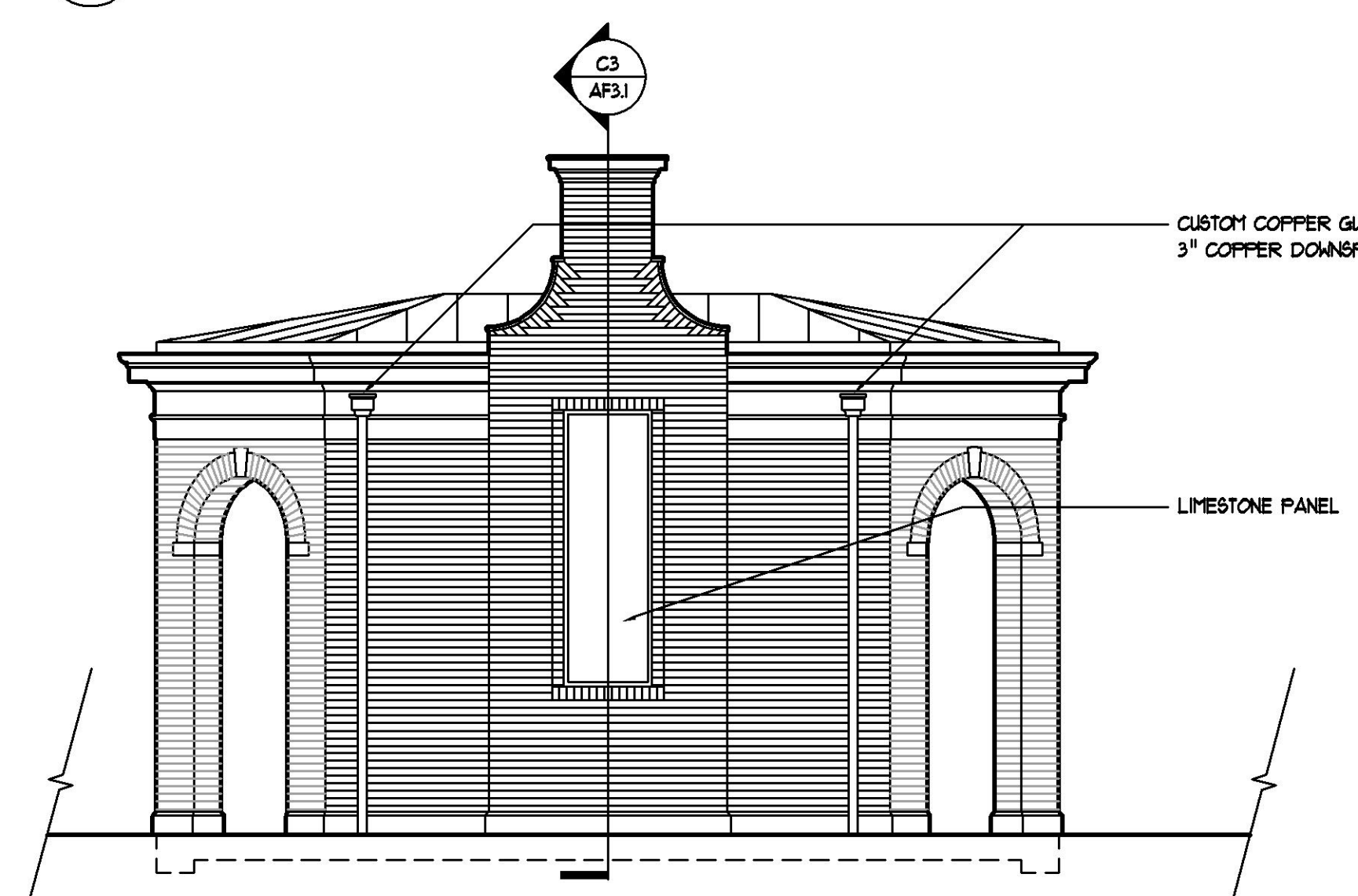
A2 PROPOSED FRONT ELEVATION - PAVILLION
AF3.1 DRAWING SCALE: 1/4" = 1'-0"



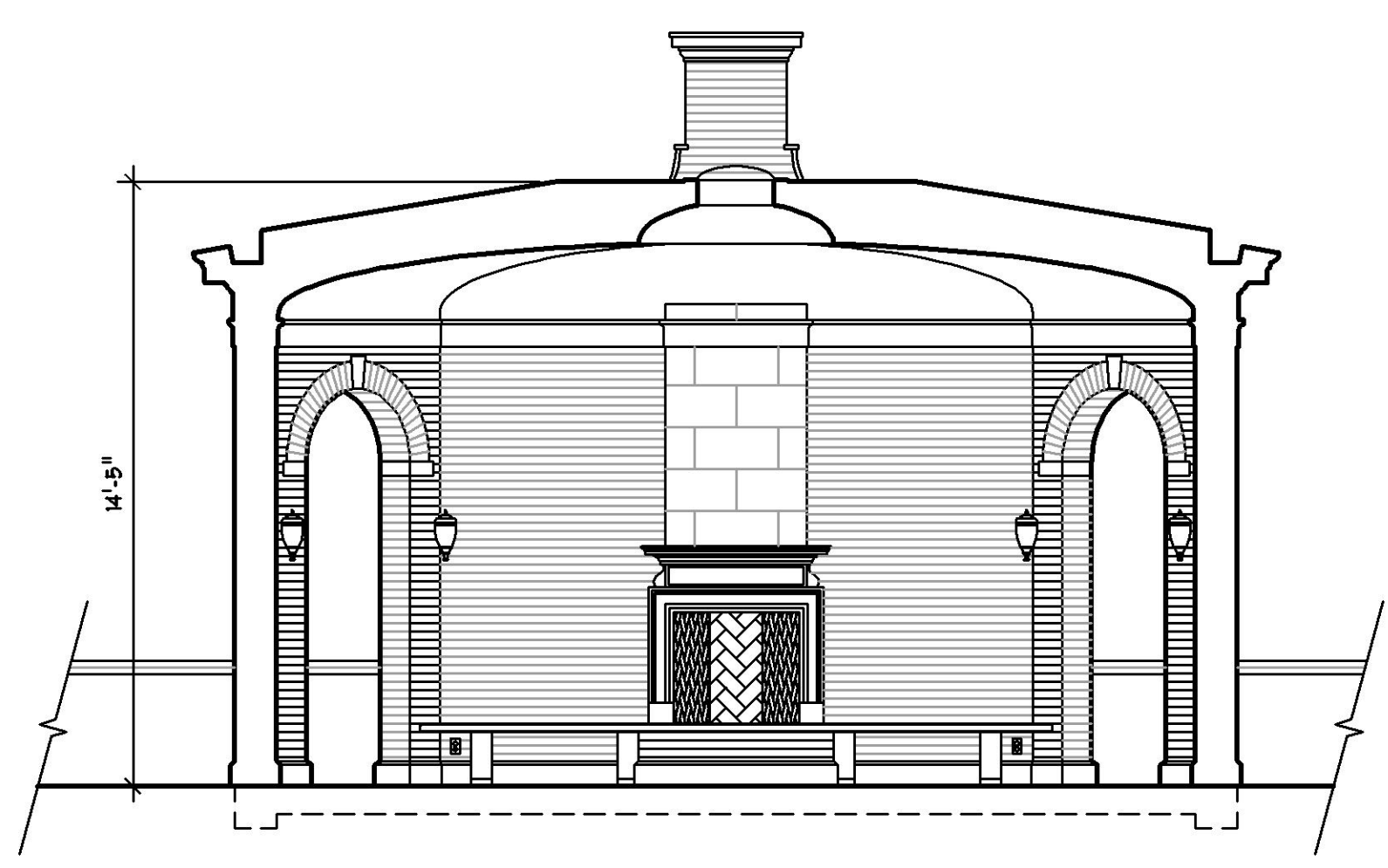
A3 PROPOSED FRONT ELEVATION - PAVILLION
AF3.1 DRAWING SCALE: 1/4" = 1'-0"



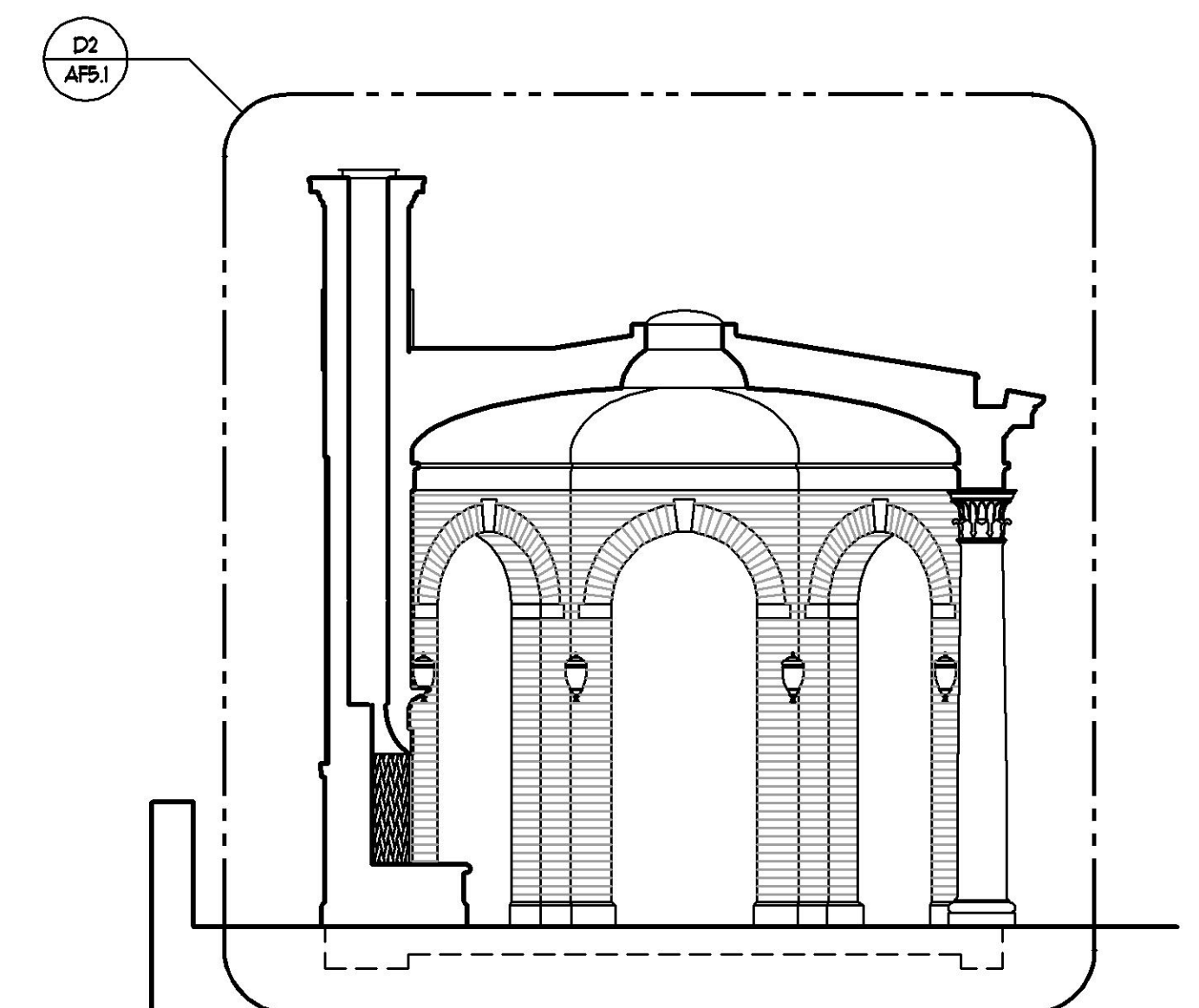
C1 PROPOSED PLAN - PAVILLION
AF3.1 DRAWING SCALE: 1/4" = 1'-0"



B2 PROPOSED REAR ELEVATION - PAVILLION
AF3.1 DRAWING SCALE: 1/4" = 1'-0"



C2 PROPOSED SECTION - PAVILLION
AF3.1 DRAWING SCALE: 1/4" = 1'-0"



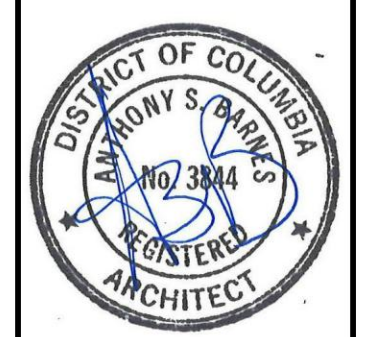
C3 PROPOSED SECTION - PAVILLION
AF3.1 DRAWING SCALE: 1/4" = 1'-0"

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

1666

BARNES VANZE ARCHITECTS INC.
1000 Potomac Street, N.W.
Suite L-2
Washington, D.C. 20007
TELE: [REDACTED]
FAX: [REDACTED]



2320 S STREET
RESIDENCE
2320-2330 S ST. NW,
WASHINGTON, DC 20008

DRAWING: GARIBEN PAVILLION
ISSUED: 07/09/17
PERMIT

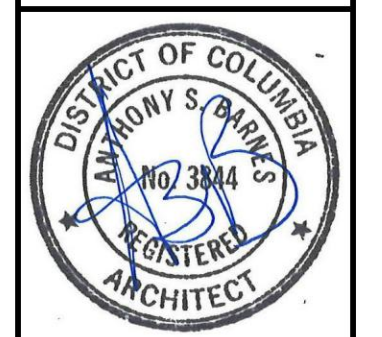
AF3.1

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 PLANS APPROVED
 Permit No. 8709931 Date 09/27/17

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

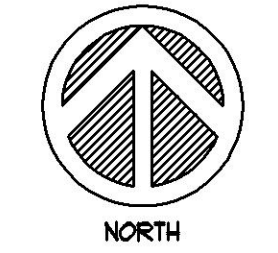
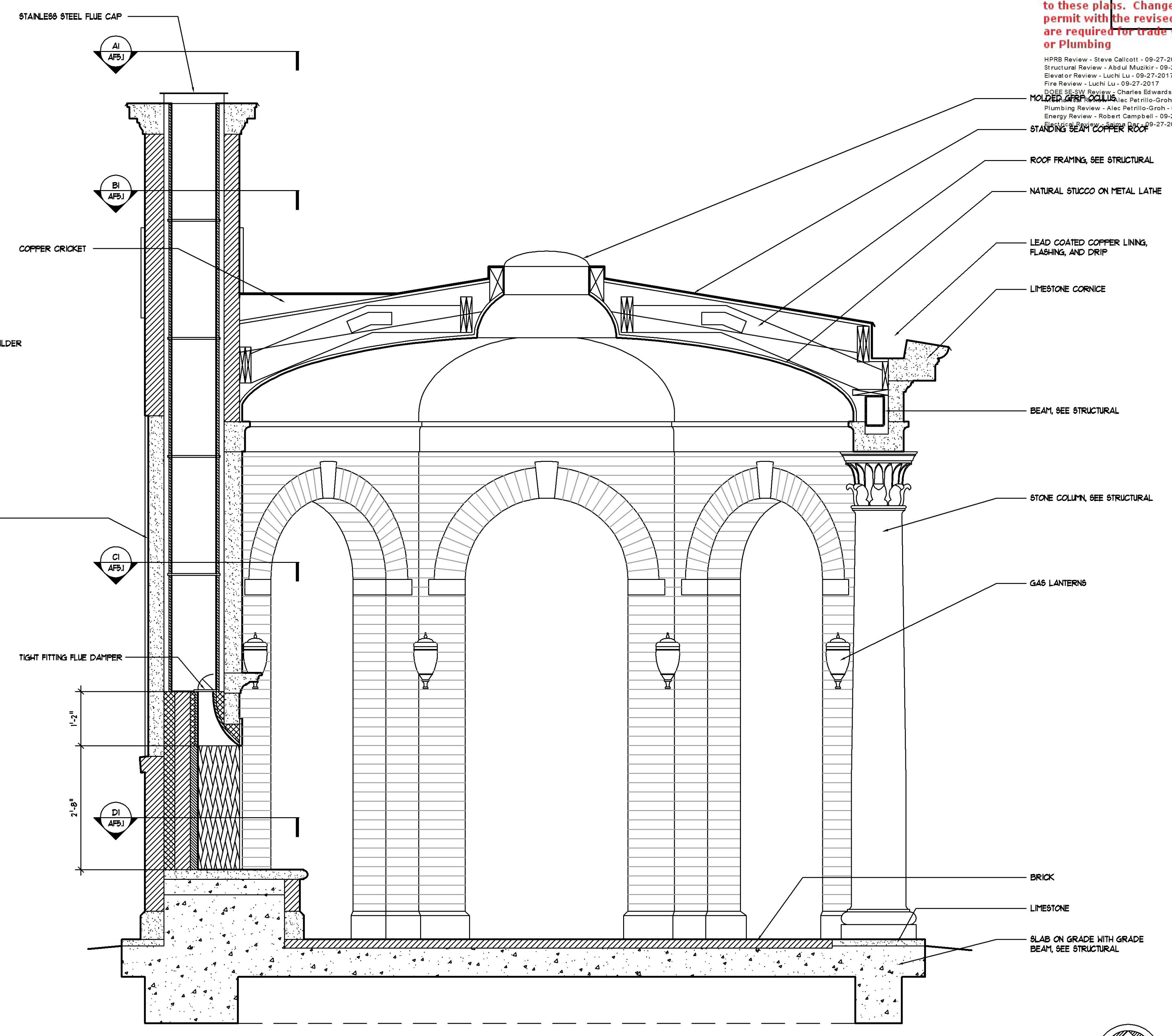
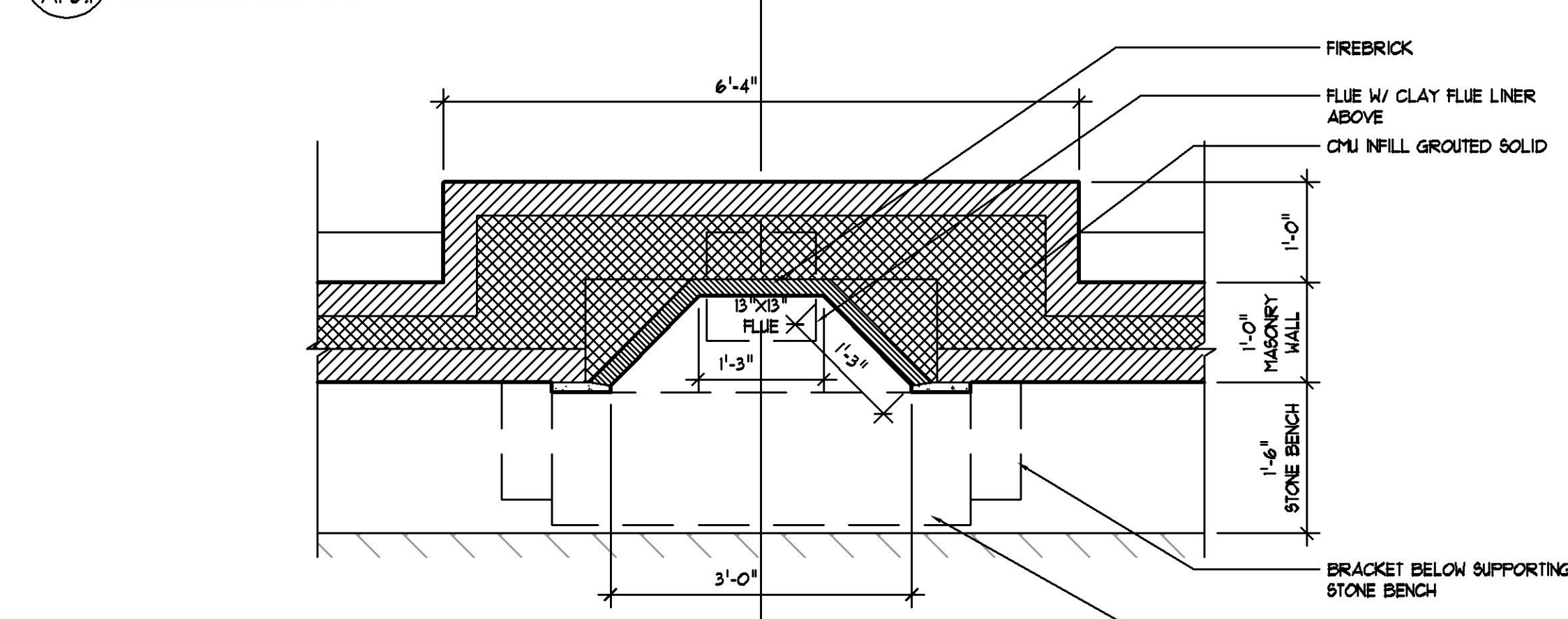
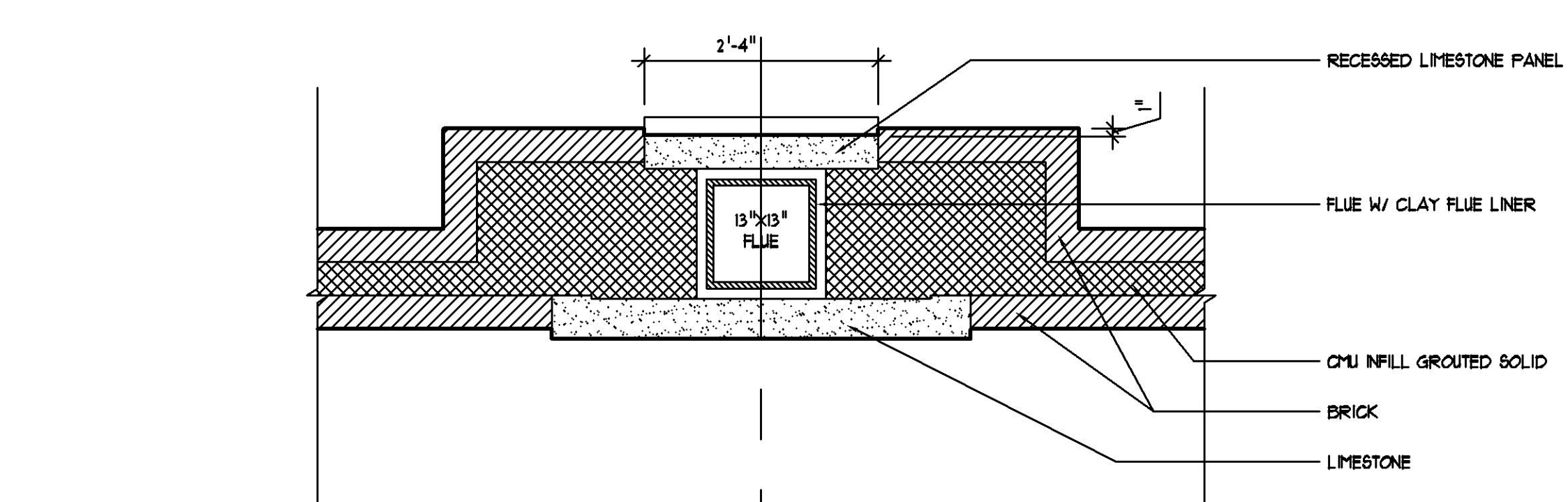
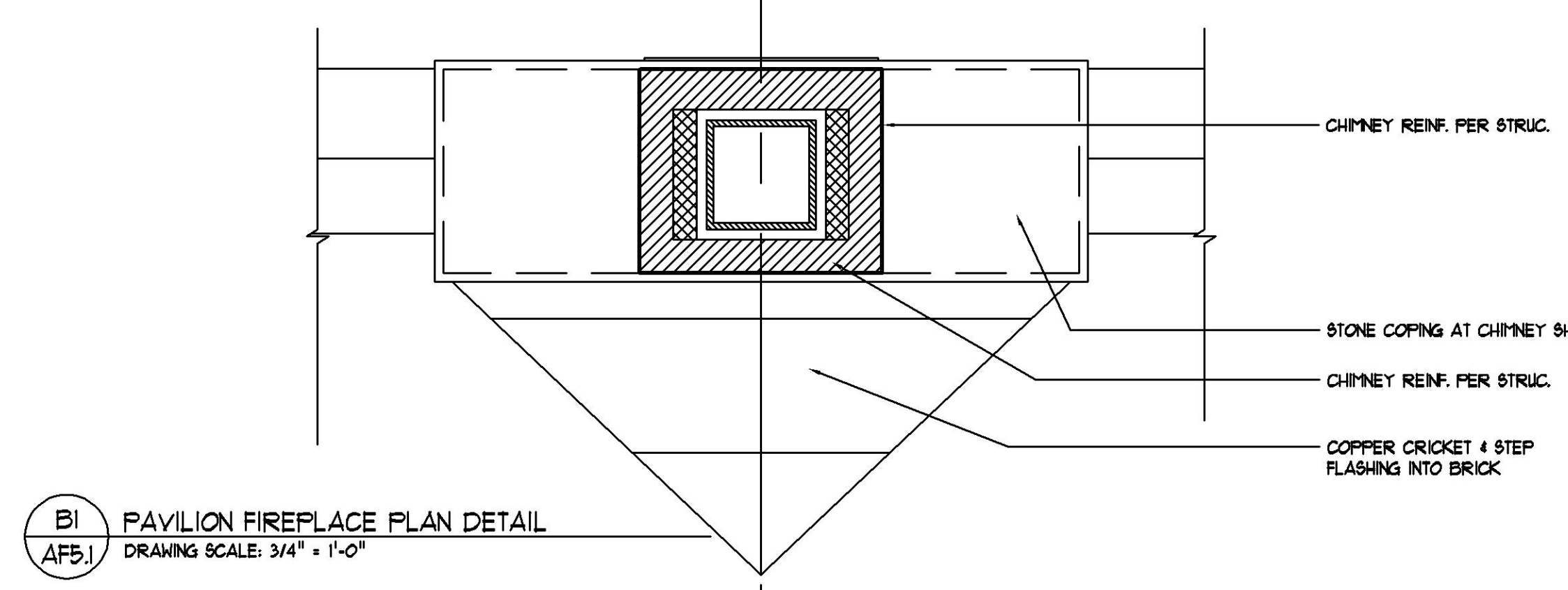
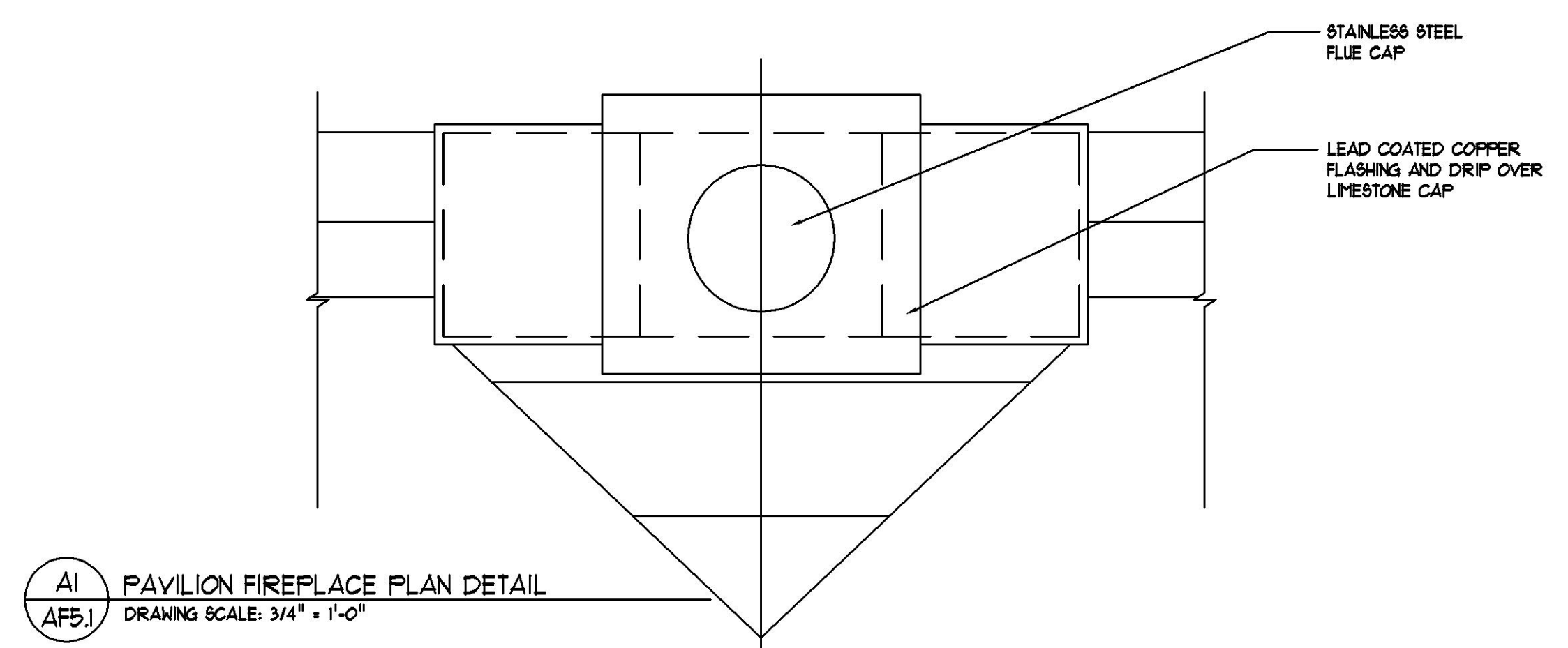
1666

BARNES VANZE
ARCHITECTS INC.
 1000 Potomac Street, N.W.
 Suite L-2
 Washington, D.C. 20007
 TELE:
 FAX:



**2320 S STREET
 RESIDENCE**
 2320-2330 S ST. NW,
 WASHINGTON, DC 20008

DRAWING: GARIBEN PAVILION DETAILS
 ISSUED: 07/09/17
 PERMIT



AF5.1

GENERAL NOTES
REFER TO SHEET CIV100 FOR GENERAL NOTES.

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Date: 08/27/17

These plans are conditionally approved as shown or noted during plan review and are subject to field inspection. Approvals must be kept on site and are needed for any changes or modifications. Changes require a revision permit with the revised plans. Trade permits are required for any electrical work.

VICINITY MAP
ADC MAP 5528, GRID SCALE 1" = 200'

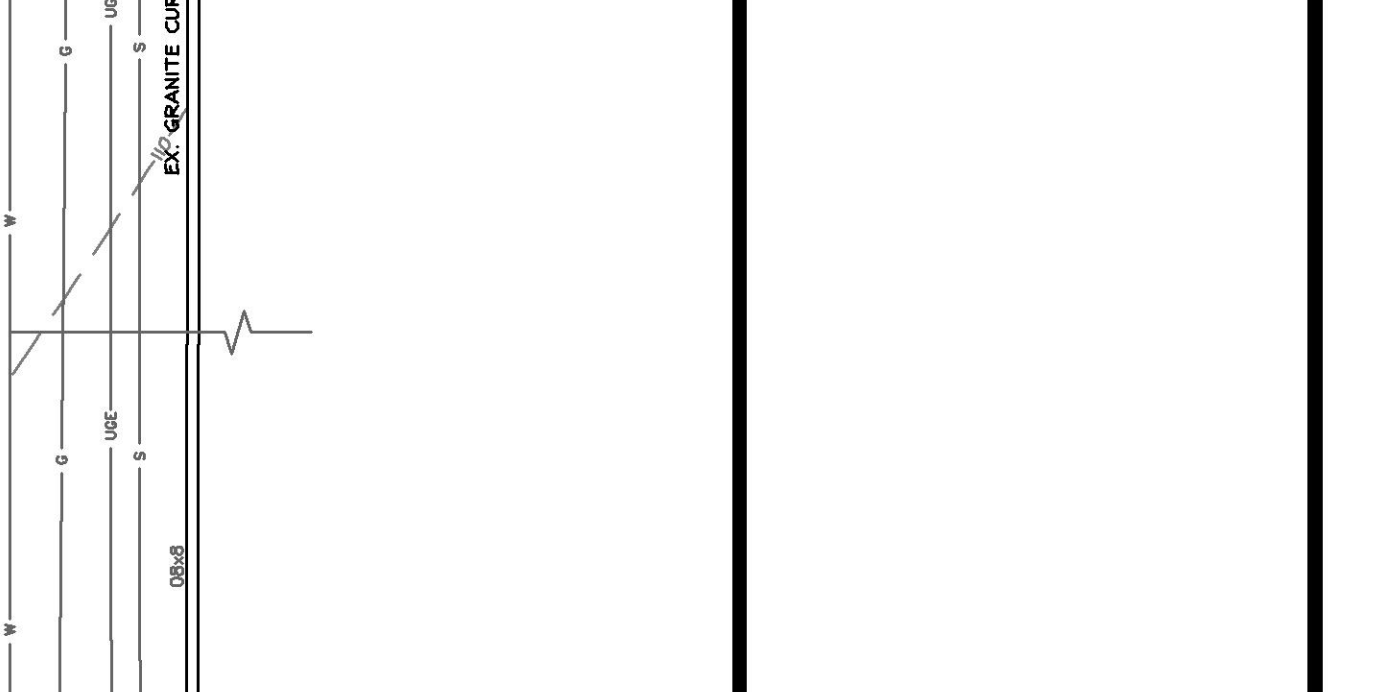
CAS ENGINEERING
Civil • Surveying • Land Planning

Washington, DC
www.cas-ec.com
Phone: (202) 462-1100
Fax: (202) 462-1101

CLIENT
THE CHERRY REDEVELOPMENT TRUST
ATTN: DAVID A. DROZDEK
830 WISCONSIN AVENUE, NW, SUITE 710
WASHINGTON, DC 20007
PHONE: (202) 462-1100
FAX: (202) 462-1101

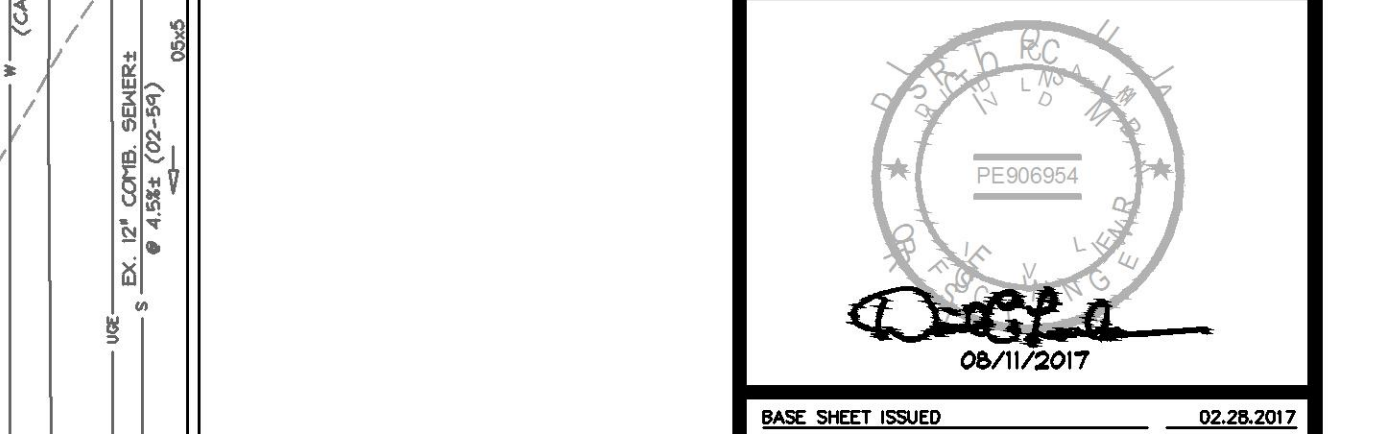
ARCHITECT
SARLES WATTS ARCHITECTS, INC.
ATTN: WYNNE ADAMS
830 WISCONSIN AVENUE, NW, SUITE L2
WASHINGTON, DC 20007
PHONE: (202) 462-1100
FAX: (202) 462-1101

LOT 46, SQUARE 2517
3,412 SF



2320-2330 S STREET, NW

N.W. WASHINGTON, DISTRICT OF COLUMBIA



REVISION	DATE
BASE SHEET ISSUED	02.28.2017
PROGRESS SET TO TEAM	06.02.2017
TRAFFIC CONTROL PLAN ISSUED	06.14.2017
PROGRESS SITE PLAN	06.30.2017
PERMIT SET	06.30.2017
FOR PRICING	07.12.2017
REVISED FOR PER FOOT COMMENTS	07.13.2017
REVISED FOR PER FOOT COMMENTS	07.21.2017
TO DOE FOR APPROVAL	08.02.2017
REVISED FOR PER FOOT COMMENTS	08.09.2017
PROGRESS CHECKSET	08.10.2017
TO DOE FOR APPROVAL	08.11.2017

LEGEND

EXISTING FEATURES	
---	PROPERTY LINE
---	EX. SANITARY SEWER LINE
---	EX. COMB. SEWER MANHOLE AND INVERT
---	EX. WATER LINE WITH VALVE
---	EX. GAS LINE WITH VALVE
---	EX. UNDERGROUND UTILITY LINE
---	EX. TWO- AND TEN-FOOT CONTOURS
---	EX. SPOT ELEVATION
---	EX. WOOD FENCE
---	EX. CHAIN LINK FENCE
---	EX. IRON FENCE
---	EX. UNKNOWN MANHOLE
---	EX. FIRE DEPARTMENT CONNECTION
---	EX. LIGHT POLE
---	EX. GROUND LIGHT
---	EX. SIGN
---	EX. PIPED DOWNSPOUT
---	EX. SPILLED DOWNSPOUT
---	EX. TREE
---	EX. WALL

UTILITY INFORMATION

EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED. UTILITY LOCATIONS ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY.

MISS. UTILITY

FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-451-7234 OR LOG ON TO WWW.MISSUTILITY.COM 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL JURISDICTIONAL REQUIREMENTS.

2ND SUBMISSION (ALL SHEETS)
MAXIMO 17-573718

EXISTING CONDITIONS PLAN
CIV100

DATE PLOTTED: 08/27/17 10:58 AM
 PLOT NO: 17-573718-01
 PLOT SHEET: 1 OF 1
 PLOT SCALE: 1" = 10'
 PLOT ORIGIN: 17-573718-01-01
 PLOT SIZE: 11.00" x 17.00"