



For and on behalf of
University of Sheffield

Planning Statement

Geography and Planning Building, University of Sheffield, Winter Street, Sheffield, S3 7ND

**Prepared by
DLP Planning Ltd
Sheffield**

March 2022





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Prepared by:	Abigail Baker BA (Hons) MA Planner
Approved by:	Michael Edgar BA Hons Dip TP MRTPI Director
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DLP Planning Ltd
Ground Floor V1 Velocity
Tenter Street
Sheffield
S1 4BY

Tel: 01142 289190

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- Appendix 3: Pre-Application Enquiry Response and Design and Access Statement

1.0 INTRODUCTION

- 1.1 This Planning Statement has been prepared by DLP Planning Ltd on behalf of the University of Sheffield (the 'University') in support of a full planning application for external alterations to the Geography and Planning Building, University of Sheffield, Winter Street, S3 7ND.
- 1.2 The application seeks to make alterations to the window frames and external walls and cladding. These alterations will allow for an extended longevity to the building which will improve the aesthetic appearance of this well-known building and aid future maintenance as well as its thermal and acoustic performance.
- 1.3 This Planning Statement gives a brief site context, explains the proposed development, gives an extensive planning history, and assesses the proposal against the relevant local and national planning policy.

2.0 SITE DESCRIPTION

Site Location

- 2.1 The application site is located within the University of Sheffield Central Campus, on Winter Street, to the northwest of Sheffield City Centre, shown in Figure 1. This building is used by the University for the Department of Geography and the Department of Urban Studies and Planning and comprises a site area of approximately 2,600sqm.

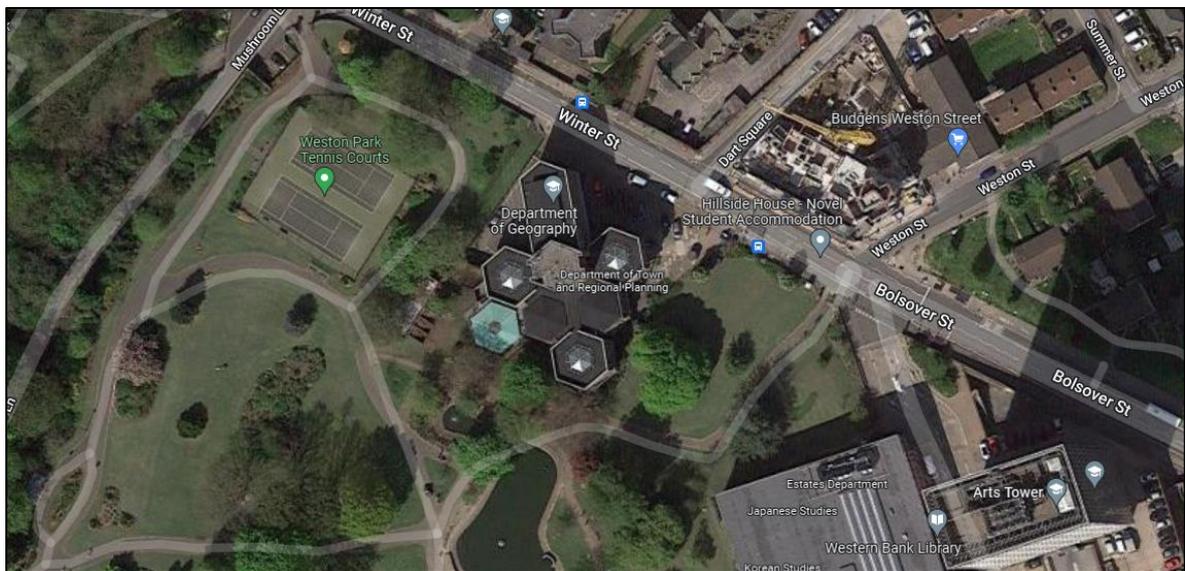


Figure 1: Aerial View of Site. (Source: Google Maps).

Site Context

- 2.2 The site neighbours a multi-use area, with education facilities, residential and green open space.
- 2.3 To the west of the site there is the northern end of Weston Park and the Weston Park Tennis Courts. Beyond this there is Crookes Valley Park and lake, and the Crookesmoor Park Bowling Club, as well as the Goodwin Sports Centre.
- 2.4 To the south of the application site is also Weston Park and the duck pond within this. The main part of the Central Campus sits to the south of the Geography Building with Weston Bank Library, Firth Court, Arts Tower, and the Alfred Denny Building.
- 2.5 East of the site is new student accommodation in the form of Hillside House – Novel Student Accommodation. Beyond this, is traditional housing off Weston Street and convenience supermarket.

2.6 North of the application site is Bartolome House which is currently undergoing significant work to the listed boundary wall of that complex. Ponderosa Park and the Upperthorpe residential area are beyond that.

2.7 The site is not within a conservation area and is not a listed building, though there are listed heritage assets in the surrounding area shown in Figure 2. This includes:

- Grade II Listed Weston Bank Library and Arts Tower
- Grade II Listed Weston Park with its associated listings including:
 - Grade II* Listed Mappin Art Gallery
 - (Grade II) Memorial and enclosure to Godfrey Sykes 80 metres north-east of Mappin Art Gallery.
 - (Grade II) Bandstand 60 metres north-east of Mappin Art Gallery.
 - (Grade II) Statue of Ebenezer Elliot, Weston Park
 - (Grade II) York and Lancaster Regiment Boer War Memorial
 - (Grade II) York and Lancaster Regiment War Memorial
 - (Grade II) Gateway at south-west entrance
- The Grade II listings associated with St Georges Hospital.
 - Telephone Kiosk 75 Metres to right of Lodge at St Georges Hospital
 - South-east ward range at St Georges Hospital
 - Lodge and adjoining boundary walls at St Georges Hospital
 - North-west ward range at St Georges Hospital
 - Central block at St Georges Hospital
- Grade II Listed Edgar Allen Building, Firth Hall, Rotunda, and Quadrangle.



Figure 2: Listed Buildings around Site.

2.8 The site is not at risk of flooding being within Flood Zone 1.

- 2.9 The site is accessible from Winter Street with car parking on the highway frontage. The site is also accessible for pedestrians and cyclists from Winter Street but also from the various paths of Western Park.
- 2.10 The site is well serviced by public transport. There are two bus stops directly outside the Geography Building which is serviced by the number 95 and 95a FirstGroup buses which run from Walkley to Meadowhall, as well as the number 10 Powell's Bus service. This is clearly a sustainable location.



Figure 3: Hexagonal Rotunda.



Figure 4: Existing Windows and Frames.

Site History

- 2.11 The Geography Building opened in 1970 as a purpose-built building for the Department of Geography involving the removal of housing for its construction. As seen the building is integrated into Weston Park.
- 2.12 The design of the building shows hexagonal rotundas which were designed by the buildings architect Sir William Whitfield. The Geography Building represents the brutalist architecture of the time and is seen as a significant built form for both the city and the University 50 years later.



Figure 5: Existing Front Elevation.

3.0 PLANNING HISTORY

3.1 Following a review of the Sheffield City Council online records, the following planning history for the Department of Geography and Planning building has been established.

Application Reference	Proposal	Decision
19/03957/FUL	Replacement of the existing windows around the hexagonal sections of the building.	Grant conditionally – 23 rd December 2019.
13/01537/FUL	Refurbishment of first floor teaching and ancillary space, and provision of fire exit doors and ventilation grilles.	Grant Conditionally – 28 th June 2013.
07/02784/FUL	Provision of an access ramp.	Grant Conditionally – 15 th August 2007.
05/00367/FUL	Alterations to loading bay and replacement of existing roof top flue (amended plans received 23-02-2005).	Grant Conditionally – 18 th March 2005.
04/00772/FUL	Erection of escape stairway (amended 30-11-2004).	Grant Conditionally – 9 th February 2005.
02/03856/TEL	1-5 metre T UK flagpole, 2 cabinets and 1 pole mounting supporting 300 transmission dish on roof of building, (application for determination if approval required for siting and appearance).	Grant Conditionally – 8 th January 2003.
99/02671/FUL	Erection of a glass lobby (as amended plan received 18-08-1999).	Grant – 10 th September 1999.
75/03614/FUL	Use of land in front of improvement line as a car park and two means of vehicular access (extension of planning consent).	Grant – 10 th December 1975.

Table 1: Planning History of Site.

- 3.2 The Geography Building was built in 1970 and designed by architect Sir William Whitfield, and as seen above there has been little significant change to the building. The proposed development within this application also proposes minor external alterations. It represents the ongoing use and operation of the building of an evolving, active departmental building within the University estate.
- 3.3 There has previously been an application for the change to the windows of the building's hexagonal sections under reference 19/03957/FUL (Appendix 1). This was approved by the Council. It was concluded within the Officers Report of this application that:
- 'The proposed replacement windows represent an improvement to the fabric of the building, and it is recognised that the thermal performance, internal lighting, and ventilation will be improved as a result of the alterations and although there will be a change of style from the current arrangement, it is not considered to be of detriment to the visual amenities of the locality nor detract considerably from the existing building itself. As such it is recommended that the application be approved.'*
- 3.4 The Officer's Report is included at Appendix 2 for ease of reference.
- 3.5 The development proposals for which planning permission is now sought includes changes to the upper levels and alteration of colours. However, the intention of the existing masonry and concrete pillars will mean the overall character of the building will be retained. Indeed, the refurbishment programme will enhance the appearance.

4.0 PROPOSED DEVELOPMENT

- 4.1 The proposed development to the Geography and Planning building aims to improve and upgrade the appearance of the building while also improving the buildings functionality for the employees and students.
- 4.2 There are two main alterations within this application. The first of which is the alterations to the window frames.
- 4.3 The existing aluminium windows will be replaced and re-coloured with spray paint to match the proposed rotundas to the north-wing administration block.
- 4.4 There will be additional opening windows added to each floor and rotunda which will form part of this improved ventilation strategy. Within this there will be an increase in glazed windows and incorporate high level double glazing louvered vents that can be controlled.
- 4.5 The second alteration will be to external walls for façade treatment which will entail a curtain walling system made of a wall of glass within an aluminium frame.
- 4.6 The proposed development aims to combat the current issues with the existing building. These were listed within the Design and Access Statement submitted with the pre-application enquiry (Appendix 3) application but are summarised as follows:
- Overheating during summer months and poor heat retention during winter, leading to high running costs due to thermal fabric.
 - Lack of natural daylight, ventilation, and opening windows due to rotundas.
 - Poor maintenance due to poor access to windows.
 - Lack of privacy between rotundas and issues with noise/acoustics.
 - General outdated appearance.

5.0 PLANNING POLICY CONTEXT

5.1 It is important to consider the relevant national and local planning policy when approaching development. The following will be considered:

- National Planning Policy Framework 2021 (the 'Framework')
- Sheffield Core Strategy 2009
- Unitary Development Plan 1998 (the 'UDP')

National Planning Policy Framework 2021

5.2 The Framework was updated in July 2021 and provides guidance from the Government with the aims and views for the planning system. Developments should therefore adhere to this guidance by meeting the criteria within proposals.

5.3 Paragraph 8 of the Framework lists the three overarching objectives to achieve sustainable development. This includes:

- a) An economic objective – to help build a strong, responsive, and competitive economy, by ensuring that sufficient land of the right types is available in the right places and at the right time to support growth, innovation, and improved productivity; and by identifying and coordinating the provision of infrastructure.*
- b) A social objective – to support strong, vibrant, and healthy communities...by fostering well-designed, beautiful, and safe places, with accessible services and open spaces that reflect current and future needs and support communities' health, social and cultural well-being.*
- c) An environmental objective – to protect and enhance our natural, built, and historic environment, including making effective use of land, improving biodiversity, using natural resources prudently, minimising waste and pollution, and mitigating and adapting to climate change, including moving to a low carbon economy.*

5.4 Within this the economy would be supported by the proposal as this would support the growth of the University, while improving the existing infrastructure provided. Socially this would create an improved space with the proposed improvements to ventilation, creating a well-designed, safe space for the user, benefiting health and social interaction. With reference to the environment, the proposed development would ensure the longevity of the built form and historic nature of the Geography Building, while adapting and mitigating potential issues of

climate change.

- 5.5 Paragraph 11 of the Framework states that *'plans and decisions should apply a presumption in favour of sustainable development'*. This can be achieved by this proposal as the development aims to improve external aspects of the existing building to increase the life of the building, while adapting an existing built form to provide for changing requirements. This will not impact the green space around the site, and it will make use of an existing space.
- 5.6 Paragraph 38 states that the *'Local Planning Authorities should approach decisions on proposed development in a positive and creative way...decision-makers at every level should seek to approve applications for sustainable development where possible'*.
- 5.7 A pre-application enquiry has also been submitted to the LPA prior to this submission, detailing the proposed development. This received positive feedback from the Planning Officer and meets the guidance of Paragraph 39. The pre-application response is attached as Appendix 3 along with the original Design and Access Statement. The design has moved on from that stage to the provision clear glazing with interlayers no longer being proposed.
- 5.8 Paragraph 81 states that *'planning policies and decisions should help create the conditions in which businesses can invest, expand and adapt'*. This is the aim of the University with this proposed development. By investing in its campus and mitigating future issues to adapt to changing needs, the University can continue to provide high quality building and education to the students using these facilities.
- 5.9 Paragraph 126 of the Framework states that *'the creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.'* This guidance will therefore be achieved by this proposed development of the Geography Building.

Sheffield Core Strategy 2009

- 5.10 The Core Strategy forms part of the Sheffield Development Framework adopted in March 2009. This sets out the spatial strategy for Sheffield to be achieved via its listed policies.
- 5.11 Policy CS5 refers to the policy designation, Location for Business Development: Clusters for innovative and new and expanding Businesses, to which this policy states that *'innovative,*

new, and expanding businesses will be promoted in areas close to centres of research, including locations near the universities...’.

5.12 Policy CS20 states that *‘provision will be made for the two universities to consolidate and expand their teaching and research operations within and adjacent to their existing campus area’.*

5.13 Although this development does not seek to expand the building itself, the alterations proposed will allow for the expansion of building use which suits the requirements of internal users. This will therefore meet Policy CS5 and CS20.

5.14 Policy CS63 of the Core Strategy identifies the responses to climate change within development. This details actions to reduce and adapt to expected climate change:

- a) Giving priority to development in the City Centre and other areas that are well served by sustainable forms of transport; and*
- c) Promoting routes that encourage walking, cycling and the use of public transport; and*
- d) Designing development to increase energy efficiency and reduce energy consumption and carbon emissions; and*
- h) Giving preference to development of previously developed land where this is sustainably located.*

5.15 Following the presumption in favour of sustainable development as set out in the Framework, Policy CS63 is met through the proposed development to this site. This is in a sustainable location with forms of public transport (bus and tram) and encourages walking and cycling due to its close location to the City Centre as well as Weston Park. As this development aims to adapt an existing building to meet the required needs, this prevents to need for new development.

5.16 Policy CS74 refers to the design principles for proposed development. This states that ‘high-quality development will be expected, which would respect, take advantage of, and enhance the distinctive features of the city, its districts, and neighbourhoods, including:

- c) The townscape and landscape character of the city’s districts, neighbourhoods, and quarters, with their associated scale, layout and built form, building styles and*

materials'.

5.17 This Policy also states that development should:

- e) *Contribute to place making, be of a high quality, that contributes to a healthy, safe, and sustainable environment, that promotes the city's transformation.*
- f) *Help to transform the character of physical environments that have become run down and are lacking in distinctiveness.*
- h) *Contribute towards creating attractive, sustainable, and successful neighbourhoods.*

5.18 It is recognised within this policy that the development does not aim to alter the character of the building and it shall therefore still represent the scale, layout and built form already present. Instead, the proposal will improve the appearance of the building which is currently becoming run down and help provide a building that provides good ventilation, natural light, and a controlled environment for its users.

Unitary Development Plan

5.19 The UDP published in 1998 details the requirements for developments which allows for decision making and helps to create a better city on the ground.

5.20 Policy BE5 of the UDP refers to the building design of development and lists the following principles to be applied to proposals:

- a) *Original architecture will be encouraged but new buildings should complement the scale, form, and architectural style of surrounding buildings.*
- f) *Designs should take full advantage of the site's natural and built features.*
- g) *The design, orientation and layout of developments should encourage the conservation of energy and other natural resources.*
- h) *The design of the buildings, landscaping and lighting should promote all aspects of personal safety and security, particularly at night-time.*
- i) *Designs should meet the needs of users, particularly people with disabilities, elderly people, people with children and women.*

l) The refurbishment of good existing buildings will normally be encouraged, particularly where their loss would lower the quality of the street scene.

5.21 The above criteria for Policy BE5 will be met by the proposed development which aims to refurbish the external appearance of this building to meet the internal requirements of the users and increase the sustainability of its functions, while retaining the architectural style.

5.22 Policy BE20 states that ‘*the retention of historic buildings which are of local interest but not listed will be encouraged wherever practicable*’. It is noted that the Geography Building is viewed by some as significant, and the development proposed would allow for the longevity of this space while keeping adaptations to a minimum.

5.23 Within the UDP, the site falls within the policy designation for an Institution: Education Area. It is therefore noted that the existing use of this building meets Policy CF7 as an educational use, and alterations to the built form of the Geography Building will ensure the continuation of this use in an adapted, higher quality educational space.

5.24 The site is surrounded by the following policy designations:

- Open Space Area
- Area of Special Character
- Proposed Strategic Cycle/Footpath
- Housing Area

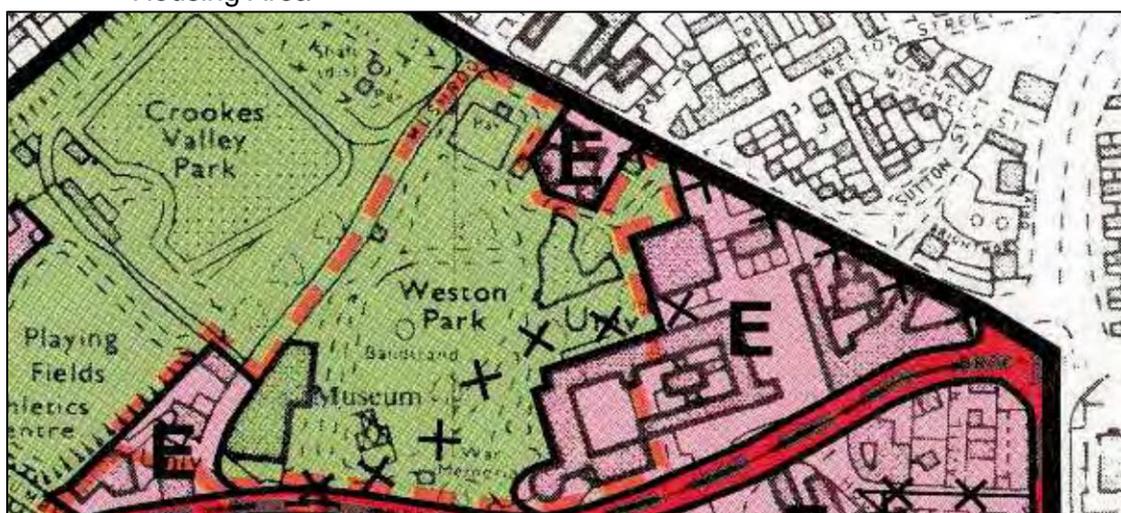


Figure 6: Policy Designations of the UDP.

6.0 PLANNING ASSESSMENT

6.1 Following on from Section 5.0 of this Planning Statement, the relevant policy has been discussed in perspective of the proposed development. This section aims to assess the proposed development.

Principle of Development

6.2 The focus of these proposed alterations is consolidated on the sustainability of the building, comfort to the users, and retention of the building's main architectural features.

6.3 Prior to this submission, a pre-application enquiry was submitted to Sheffield City Council to discuss and provide feedback surrounding the proposed development. This received a positive response from the Planning Officer. This concluded that although planning permission would be required, the development would be acceptable. The pre-application response states the following:

'The scheme as submitted would be likely to be granted permission. The retention of the concrete pillars and existing masonry is welcomed. The change to the dark colour of RAL 7016 on the north-wing admin block is acceptable in this officer's opinion.'

6.4 This has encouraged a full planning application for this proposal due to the positive response of the Council.

Design

6.5 The proposed development aims to amend the windows and the external walls. This aims to alter the building to the modern requirements of the building which will improve the internal environment and longevity of the existing building. The building currently does not meet the internal environmental comfort required by its users and therefore requires amendments.

6.6 The design has been accessed above to meet the requirements of the Framework (Paragraph 126), Core Strategy (CS74) and UDP (BE5) through its high-quality design which will retain the character of the building while improving the environmental standard of the building.

6.7 Within these policies, it is reiterated that a healthy, safe, and sustainable building is required through development. This is the main aim of this development as alterations will control the thermal fabric of the building, reduce costs, improve accessibility for maintenance and

improve the general privacy of the building for its users.

Sustainability

- 6.8 By making amendments to the existing buildings external facades, the sustainability of the building is improved. The amendments allow for better ventilation with the addition of more opening windows, as well as greater control over the temperature of the building. With triple glazing windows and more windows generally summer and winter temperatures will be more comfortable for the users with this improvement to the thermal fabric.
- 6.9 It is important to note that as the Geography Building was originally built in the 1970s, there have been minor amendments to the building which ultimately means that the building is not running to the needs and standards of today. The building needs to be usable, functional and pleasant for use.
- 6.10 The proposed development therefore meets the requirements of the Framework and the Core Strategy by meeting and adapting an existing building to the modern standards, allowing the University to save money, energy, and future degradation.

History and Development of the Building

- 6.11 As the architect of the building was Sir William Whitfield, some consider this to be of importance. However, the building is not listed, nor is it a non-designated heritage asset. Having said this, the proposed development aims to be sensitive to the existing building to ensure that its significance remains, however, as this was originally built in the 1970s, adaption to the building is to be expected to meet today's standards and to ensure that the building remains active and functional.
- 6.12 Through the assessment of policy, Policy BE20 of the UDP identifies those historic buildings with local interest should aim to be retained, even without a listing. Through the proposed alterations to the external facades of the Geography Building, it will be ensured that the building is retained.
- 6.13 As the University continues to grow, both through built form and through the enrolled students, it is essential that buildings also adapt to accommodate, but also that these building continue to operate at a high standard, to deliver a high-quality education for its students and keep its reputation. As seen within Policy CS5 and CS20 of the Core Strategy, it is identified that the continued expansion and development for universities is to be encouraged through planning.

7.0 CONCLUSIONS

7.1 This Planning Statement has been submitted to Sheffield City Council alongside an application for the proposed development to make external alterations to the existing Geography Building of the University of Sheffield. It has detailed the existing site and the proposed development and assessed this against the relevant planning policy.

7.2 This submission follows a positive pre-application response from the Council.

7.3 The proposed external alterations would benefit the existing building in the following ways:

- Increase the longevity of the existing building.
- Improve the sustainability of the building, reducing costs for the University, preserving energy and electricity, and socially benefiting its occupants.
- Improve the ventilation of the existing building for its changed requirements.
- Provide a higher quality education space.
- Update the external appearance of the building.
- Improve the efficiency of the building.
- Improve the privacy between the rotundas.

7.4 In making these changes, the internal environment of the teaching space provided by the University for the Departments of Geography and Planning will be improved for its staff and students, allowing the University to continue providing high-quality educational experiences.

7.5 This Planning Statement has therefore shown that the proposed development of the Geography Building would be acceptable and should therefore be granted planning permission.



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- Appendix 1** Decision Notice for Application Ref: 19/03957/FUL
- Appendix 2** Officer's Report for Application Ref: 19/03957/FUL
- Appendix 3** Pre-application Enquiry Response.



APPENDIX 1

Place Directorate
City Growth Department
Planning Services
Howden House · 1 Union Street · Sheffield · S1 2SH
sally.heaviside@sheffield.gov.uk



Officer: Sally Heaviside
Ref: 19/03957/FUL (Formerly PP-08183780)

Tel: (0114) 27 34182(Tues & Wed)
23 December 2019

RLB
6th Floor Orchard Lane Wing
Fountain Precinct
Balm Green
Sheffield
S1 2JA

TOWN AND COUNTRY PLANNING ACT 1990
PLANNING PERMISSION

- Proposal:** Replacement of the existing windows around the hexagonal sections of the building
- Location:** University Of Sheffield, Department Of Geography, Winter Street, Sheffield , S3 7ND,
- Applicant:** Mr Chris Sellars

Planning permission is hereby **GRANTED** for the above-mentioned development in accordance with the application deposited with the Council on 29 October 2019 together with the relevant plans, including any amendments now agreed, subject to the following condition(s), in each case followed by the relevant reason:-

Time limit for Commencement of Development

1. The development shall be begun not later than the expiration of three years from the date of this decision.

Reason: In order to comply with the requirements of the Town and Country Planning Act.

Approved Plan(s)

2. The development must be carried out in complete accordance with the following approved documents:

Existing external elevations(1 to 5) - 0011094075-PL-201
Existing external elevations (13-18) - 0011094075-PL-203
Existing external elevations (19-24) - 0011094075-PL-204
Existing external elevations (25-30) - 011094075-PL-205

Large print versions of this letter are available by telephoning (0114) 273 4791

Existing external elevations (33-40) - 0011094075-PL-206
Existing external elevations (41-42) - 0011094075-PL-207
Existing external elevations (6-12) - 0011094075 PL-202
Proposed elevations (25-30) - 0011094075-PL-213
Proposed elevations (33-40) - 0011094075- PL-214
Proposed elevations (41-42) - 0011094075-PL-215
Proposed elevations (43-44) - 0011094075-PL-216
Proposed elevations (1-5) - 0011094075-PL-209
Proposed elevations (13-18) - 0011094075-PL-211
Proposed elevations (19-24) - 0011094075-PL-212
Proposed elevations (6-12) - 0011094075-PL-210
Elevations and sections - 0011094075-PL-217
Location plan

Reason: In order to define the permission.

Pre Commencement Condition(s) – ('true conditions precedent' – see notes for definition)

Other Pre-Commencement, Pre-Occupancy and other Stage of Development Condition(s)

Other Compliance Conditions

Please Note: There may not be conditions under each heading.

Date of Decision made by the Council's Authorised Officer

23 December 2019

Planning Service
Sheffield City Council

Attention is drawn to the following directive(s):

1. Where conditions require details to be submitted, an Application for Approval of Details Reserved by Condition is required (unless the condition gives the option of implementing the details already submitted). The Local Planning Authority is expected to determine these applications within 8 weeks of being validated, so it is essential to include all the information required. Apply online at www.planningportal.gov.uk. There are fees, which are also set by the Government.
2. The Local Planning Authority has dealt with the planning application in a positive and proactive manner in accordance with the requirements of the National Planning Policy Framework. The Local Planning Authority considered that it wasn't necessary to have detailed discussions in this case.

Attention is drawn to the following informative :

Sheffield City Council is a Community Infrastructure Levy (CIL) Charging Authority. Therefore, your development may be CIL liable if it falls within the categories on our CIL Charging Schedule which can be found at <http://www.sheffield.gov.uk/cil>. (Householder extensions under 100 square metres are not CIL liable). If your development is CIL liable a liability notice will be sent to you shortly informing you of the CIL charge payable and the next steps in the process.

Please note: You must not start work until you have submitted and had acknowledged a CIL Form 6: Commencement Notice. Failure to do this will result in surcharges and penalties.

NOTES

The term 'true conditions precedent' is used to mean a condition that expressly requires that development shall not commence until the condition has been complied with, and is central to the consent. Development commencing without complying with these conditions would be unlawful.

Appeals to the Secretary of State

If you are aggrieved by the decision of your Local Planning Authority to refuse permission for the proposed development or to grant it subject to conditions, then you can appeal to the Secretary of State for the Environment under Section 78 of the Town and Country Planning Act, 1990.

Enforcement - If this is a decision on a planning application relating to the same or substantially the same land and development as is already the subject of an enforcement notice. If you want to appeal against your Local Planning Authority's decision on our application, then you must do so within 28 days of the date of this notice.

If an enforcement notice is served relating to the same or substantially the same land and development as in your application and if you want to appeal against your Local Planning Authority's decision on your application, then you must do so within: 28 days of the date of service of the enforcement notice, or within 6 months (12 weeks in the case of a householder appeal) of the date of this notice, whichever period expires earlier.

Householder - If this is a decision to refuse planning permission for a householder application, if you want to appeal against your Local Planning Authority's decision then you must do so within 12 weeks of the date of this notice.

Minor Commercial - If this is a decision to refuse planning permission for a minor commercial application, if you want to appeal against your Local Planning Authority's decision then you must do so within 12 weeks of the date of this notice.

All Other Applications - If you want to appeal against your Local Planning Authority's decision then you must do so within 6 months of the date of this notice.

Appeals can be made online at: <https://www.gov.uk/planning-inspectorate>. If you are unable to access the online appeal form, please contact the Planning Inspectorate to obtain a paper copy of the appeal form on tel: 0303 444 5000.

The Secretary of State can allow a longer period for giving notice of an appeal, but will not normally be prepared to use this power unless there are special circumstances which excuse the delay in giving notice of appeal.

The Secretary of State need not consider an appeal if it seems to the Secretary of State that the Local Planning Authority could not have granted planning permission for the proposed development or could not have granted it without the conditions it imposed, having regard to the statutory requirements, to the provisions of the development order and to any directions given under a development order.

Purchase Notices

If either the Local Planning Authority or the Secretary of State refuses permission to develop land or grants it subject to conditions, the owner may claim that he can neither put the land to a reasonably beneficial use in its existing state nor render the land capable of a reasonably beneficial use by the carrying out of any development which has been or would be permitted.

In these circumstances, the owner may serve a purchase notice on the Council. This notice will require the Council to purchase the owner's interest in the land in accordance with the provisions of Chapter 1 of Part VI of the Town and Country Planning Act 1990.

Notes Regarding Access for Fire Service

Notwithstanding this planning permission, attention is drawn to Section 55 of the South Yorkshire act 1980 which requires that any application made under the Building Regulations shall be rejected unless, after consultation with the Fire Authority, they are satisfied that the plans show:-

- (a) that there will be adequate means of access for the fire brigade to the building or, as the case may be, to the building as extended; and
- (b) that the building or, as the case may be, the extension of the building will not render inadequate existing means of access for the fire brigade to a neighbouring building.

Any queries in this respect should be directed to:-

South Yorkshire Fire and Rescue, 197 Eyre Street, Sheffield, S1 3FG. Telephone: 0114 2727202

Demolition

Section 80 (2) of the Building Act 1984 requires that any person carrying out demolition work shall notify the local authority of their intention to do so. This applies if any building or structure is to be demolished in part or whole. (There are some exceptions to this including an internal part of an occupied building, a building with a cubic content of not more than 1750 cubic feet or where a greenhouse, conservatory, shed or pre-fabricated garage forms part of a larger building). Where demolition is proposed in City Centre and /or sensitive areas close to busy pedestrian routes, particular attention is drawn to the need to consult with Environmental Protection Services to agree suitable noise (including appropriate working hours) and dust suppression measures.

Form Dem 1 (Notice of Intention to Demolish) is available from Building Standards, Howden House, 1 Union Street, Sheffield, S1 2SH. Tel (0114) 273 4170 email buildingcontrol@sheffield.gov.uk

Environmental Protection Services can be contacted at DEL, Howden House, 1 Union Street, Sheffield, S1 2SH. Tel (0114) 2734651



APPENDIX 2

LOCATION AND PROPOSAL

Located on the southern side of Winter Street adjacent to Weston Park, the application site comprises of a 1960's hexagonal concrete faced building reaching up to five storeys in height. Occupied by the University of Sheffield's Geography and Planning Departments, it lies within a designated Education Area as defined in the Unitary Development Plan (UDP). Weston Park is on the National Register of Parks and Gardens of Special Historic Interest.

The application is seeking permission to replace the existing windows within the hexagonal sections of the building, the original curtain walling/rotunda to all middle and lower levels, in addition to the existing tower curtain and the installation of a new aluminium curtain walling system.

The existing windows are of an aluminium and reglit glazing structure which involves longitudinal wiring within the structure of the glass which creates a vertical, sectional appearance. There are currently maintenance issues with the existing concrete frame section between the existing columns and the external blinds have rusted resulting in an adverse appearance. In addition to these issues, the ventilation and thermal performance within the building does not meet current requirements.

The scheme involves replacing the existing rotunda windows around the hexagonal sections of the building to match windows which have previously been replaced to the office wing (there are no planning records of this).

RELEVANT PLANNING HISTORY

07/02784/FUL – Provision of an access ramp – GC – 15.08.07

SUMMARY OF REPRESENTATIONS

A site notice was displayed on 28.11.19 for the purposes of wider community involvement. No representations have been received in respect of this application.

PLANNING ASSESSMENT

The National Planning Policy Framework (NPPF) provides the framework for the planning policy and development within England. The overarching principle is to ensure the delivery of sustainable development. The local policies cited in this report are all considered to be in accordance with the relevant paragraphs of the NPPF.

Policy

The site is within an Institution Education Area as designated in the adopted Sheffield Unitary Development Plan. The proposal does not involve a change of use or the creation of any additional floor space and so there are no land use implications. UDP Policy CF8 – Conditions on Development in Institution Areas requires new development to be well designed and of a scale and nature appropriate to the site.

Paragraph 124 of the NPPF highlights the importance of good design as a key aspect of sustainable development and creating better places to live and work. Paragraph 127 sets out a series of requirements including that development should add to the quality of the area; have good architecture, layout and landscaping; be sympathetic to local character and history; establish a strong sense of place and create welcoming and distinctive environments.

UDP Policy BE5 'Building Design and Siting' and Core Strategy Policy CS74 'Design Principles' set out local design principles. Policy BE5 requires developments to incorporate good design, the use of high quality materials and encourages original architecture.

Core Strategy Policy CS74 states that high quality development will be expected which respects, takes advantage of and enhances the distinctive features of the city, its districts and neighbourhoods. It also states that development should contribute to place making and contribute to a healthy, safe and sustainable environment which promotes the city's transformation and helps to transform the character of physical environments that have become run down and are lacking in distinctiveness.

Design

The proposed windows will be constructed in aluminium casement style and will match those windows already replaced in the office wing section. Although the overall aesthetics of the building will alter slightly, the alterations proposed have been designed to have the least possible effect on the building. The proposed windows will be brought forward to eliminate the gap between the windows and the external columns which was previously undertaken to the office wing of the building. However, the windows will still be set back slightly and as such it is considered that the visual appearance of the building as existing will not alter drastically. The windows which will match the previous window replacement to the office wing will ensure consistency throughout the fenestration style of the building.

Amenity

The proposals are unlikely to create any amenity issues.

SUMMARY AND RECOMMENDATION

The proposed replacement windows represent an improvement to the fabric of the building and it is recognised that the thermal performance, internal lighting and ventilation will be improved as a result of the alterations and although there will be a change of style from the current arrangement, it is not considered to be of detriment to the visual amenities of the locality nor detract considerably from the existing building itself. As such it is recommended that the application be approved.



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APPENDIX 3

Good Afternoon Jonathan,

Thank you for your pre-application enquiry in relation to Department of Geography Winter Street Ref No. 21/04799/PREAPP. The enquiry for the proposed replacement of windows to rotundas and change of colour to windows on the north-wing admin block. I have assessed the enquiry and can provide the following advice.

After assessing your pre-application enquiry and the permission that was granted in 2019 for similar works, I have concluded you will require planning permission for the proposed scheme. We had briefly discussed the difference between the applications but upon further considerations there is more than non-material alterations.

The existing plans provided were compared with the proposed plans and the plans that were given permission under application 19/03957/FUL.

The change of windows on level D from 1 to 2 and the layout on level C is deemed a significant change and therefore will require full planning permission.

The scheme as submitted would be likely to be granted permission. The retention of the concrete pillars and existing masonry is welcomed. The change to the dark colour of RAL 7016 on the north-wing admin block is acceptable in this officer's opinion.

I hope this provides you with the information you need. If I can help further or you have any questions, please don't hesitate to contact me.

Kind Regards,
Abigail

Abigail Honor
Assistant Planning Officer
City Growth Development
Sheffield City Council
Email: Abigail.Honor@sheffield.gov.uk
Tel: 07733301914

Apply for planning permission online at: www.planningportal.gov.uk/apply
Apply for building regulation permission online to: buildingcontrol@sheffield.gov.uk

Design & Access Statement

The University of Sheffield
Geography Building Façade Refurbishment

0.1 Report Details

Client Name:

The University of Sheffield

Project Name:

Geography Building Façade Refurbishment

Document Type:

Design & Access Statement

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Document Status:

S4 For Approval

Castle Owen Job No:

20048

Document Revision:

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Unit 1, Hussar Court, Hillsborough Barracks, S6 2GZ

0114 233 1126

www.castleowen.com

contact@castleowen.com

0.2 Authorisation

This document has been prepared by:

Jon Hayward BA(Hons) Dip Arch, RIBA
Senior Architect

and authorised for issue by:

Richard Owen MRICS IMA PS MAPM
Director

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1.0 Introduction

1.1 Background

The following statement has been prepared as a Planning, Design & Access statement by Castle Owen Property & Development Ltd. (Castle Owen) on behalf of the University of Sheffield. This statement has been produced alongside and in relation to, drawings and other documents which constitute evidence to support the pre-planning application.

The statement details the rationale for the window replacement scheme and the appropriate planning policy assessment to support the proposed refurbishment of the existing building.

The information submitted within this application are in accordance with the local and national list of requirements to validate the application as outlined in SCC's 'Validation of Planning Applications Policy' (2008).

1.2 Proposal

It is proposed that the external envelope of the Geography building is upgraded by the replacement of primary glazed elements to the rotunda sections of the building. It is also the University's intention to replace or re-colour (spray-paint) the existing aluminium windows to match the proposed rotundas to the north-wing administration block.

The University would like to improve the aesthetic appearance of the building and to improve the internal environment for the benefit of the users.

The basic design concept for the window replacement scheme is to improve the internal environment for the users, update/modernise and improve the overall perception of the building and to respect the existing architecture.

The design proposal for the façade treatment is based on a thermally broken high performance curtain walling system and a U-shaped profiled Pilkington Profilit glazed walling system (formally Reglit). The curtain walling system consists of a 'wall' of glass supported by a purpose designed structural frame made of aluminium. The glass curtain walling system would span between the existing concrete floor slabs of the building giving the external appearance that the building is made entirely from glass.

With the architectural narrative of transparency, verticality and materiality described from the original façade treatment the proposed design adopts these principles by undertaking the following:

- The use of a modern thermally & acoustically improved Reglit system, now called Pilkington Profilit channel glass. The Profilit will be installed vertically on all mid-level rotundas forming a tight linear line as the animate and follow the hexagonal form of the building.
- The lighting strategy where Profilit channel glass is used will create a dramatic 'lantern' effect that will contribute to the expressive character of the internal spaces after dark. The diffused translucent glazing will add dynamism to the building by highlighting the silhouette of students and staff working inside.
- Structurally glazed curtain walling will form a high percentage of the newly glazed façade. Following the principles of verticality the design intent is to arrange the mullions in a regimental close centre arrangement keeping any horizontal transoms to a minimum.
- With the adoption of modern vertical curtain walling and profilit channels helping to relate and provide a sympathetic uplift to what is a tired building, without adversely affecting the structurally expressive form.
- The inherent properties of both glazed curtain walling and Profilit in a combination of opaque, transparent and diffused glazing will provide a coherent backdrop to what is a unique building on a prominent campus site.

Natural ventilation controlled by the occupiers in the form of additional opening windows to each floor is fundamental to the ventilation strategy of the façade. Opening windows will be dramatically increased and proportioned to the floor area and occupancy within each rotunda.

Increasing opening windows to the glazed façade is the first strategy encouraged to provide a naturally ventilated envelope. The second strategy is the incorporation of high level double glazed louvered vents that can be controlled by the BMS or user-controlled actuators.

With a combination of increased opening windows, high level opening louvered glazing and a relatively shallow floor plan, cross ventilation will aid each particular space to be naturally cooled.



Introduction (cont'd)



2.0 Client Brief

The client brief was outlined as follows:

- Architectural input to provide an external glazing solution for the Geography Planning Building – rotunda elevations and north-wing Administration block. The design must provide:
- Something that visually complements the Building, but provides a degree of flair and innovation.
- Allow more light into the building.
- Be environmentally considerate.

3.0 Project Team

The project team encompasses parties from within the University, aided by external consultants responsible for Project Management and Design.

- | | |
|----------------------|--|
| ▪ Client | The University of Sheffield |
| ▪ Project Manager | David Holland –The University of Sheffield |
| ▪ Project Director | Richard Owen – Castle Owen Ltd |
| ▪ Project Manager | Neil Clarke – Castle Owen Ltd |
| ▪ Project Architect | Jon Hayward – Castle Owen Ltd |
| ▪ Mechanical Design | A&P Dynamic Design Ltd. |
| ▪ Electrical Design | A&P Dynamic Design Ltd. |
| ▪ Principal Designer | Bob Baverstock – Castle Owen Ltd |

4.0 Site Conditions

The University of Sheffield Geography Planning Building is a 7-storey purpose made teaching facility opened in 1970. The building is situated along Winter Street and located within the University of Sheffield's main city campus.

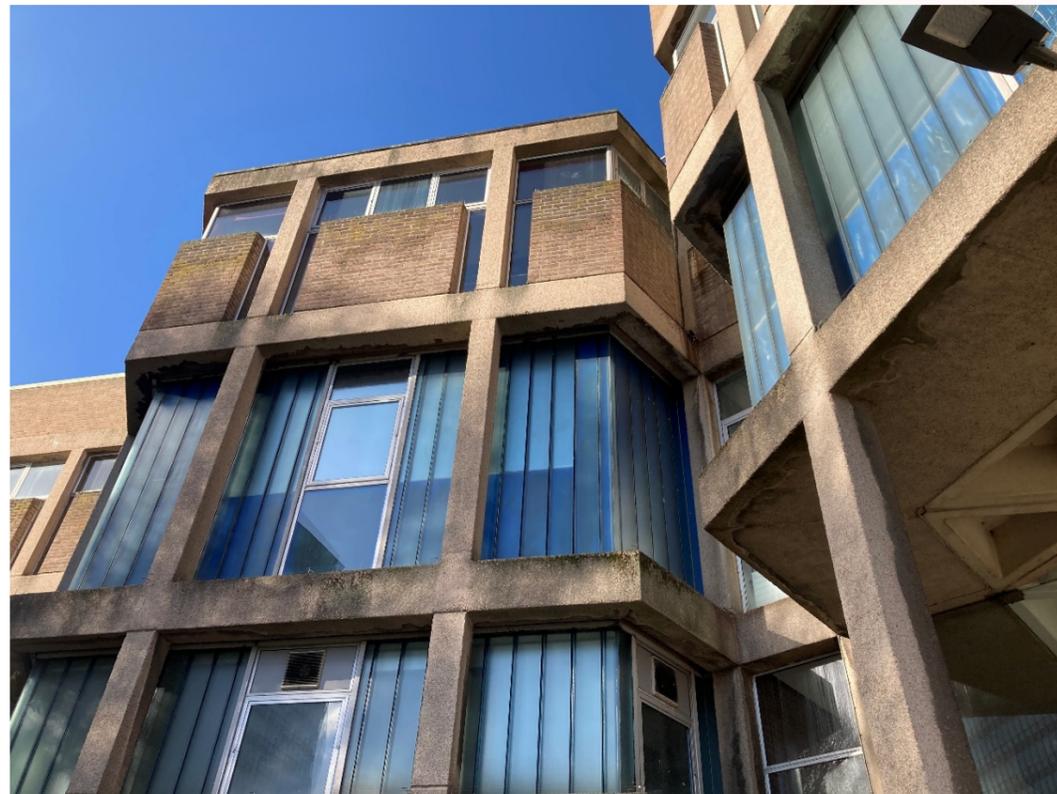
The building is surrounded on three sides by the open parkland of Western Park. To the north east of the building is a small vehicular parking area accessed from Winter Street which runs adjacent to the site in a north westerly direction. The University of Sheffield Law School located to the north of the site on the opposite side of the highway,

The building is of brutalist architectural form and is constructed with a series of interlinked rotunda structures with hexagonal form of varying height and a further 6 storey linear shaped wing projecting in a northerly direction.

The building is of concrete framed construction with predominantly flat and shallow pitched roof structures with bituminous felt roof coverings with hexagonal shaped roof lights. The concrete frame to the rotunda sections is generally expressed with brick infill panels constructed between columns on the upper storeys. Windows are generally of aluminium double glazed casement and pivot hinged arrangement built off the brickwork external wall infill. Storey height Reglit type channel glazing is present to the mid-level storeys built off the concrete ring beams and passing behind the expressed concrete columns. The Reglit glazing is split by narrow sections of aluminium curtain walling with pivot hinged windows providing natural ventilation.

Windows to the northerly project wing of the building have been replaced with modern double glazed aluminium units and are to be re-sprayed to match the proposed windows.

To the principal entrance area off Winter Street storey height structural glazing is present which will be retained and does not form part of the project scope.



5.0 Architectural Approach

5.1 Concept Design: Strategic Drivers

We approached the challenges posed by the existing glazed façade in the following two ways: One, examining the current problems of the existing façade system, and the other exploring the inter-relationship between the users of the building and how it is perceived on the city campus.

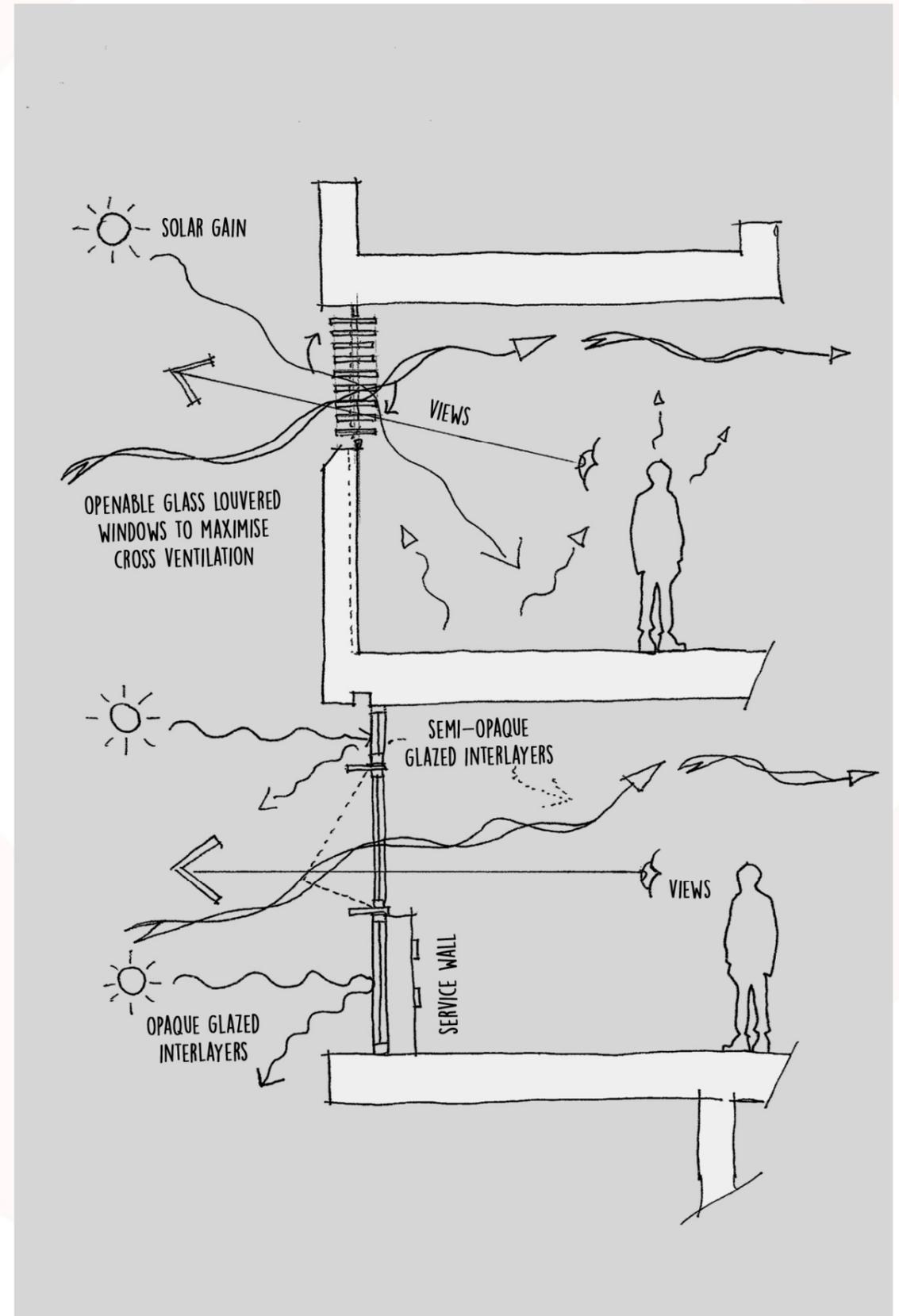
We considered that the expressive, unusual form of the Geography building, encompassing large volumes of clear open space were symbolic of its brutalist architecture. It is suited to a modern architectural envelope and external expression that is attractive, economical and reflects the heritage of its past.

Initial design team meetings between the University and Castle Owen identified a selection of key drivers that were important to the client body from a strategic level. User participation was greatly encouraged, and this was undertaken through a series of questionnaire input. These have informed the early design decisions to provide a sound basis for developing the design reached to date into a successful end product that will meet the University's objectives.

The user participation input to date has clearly demonstrated a common fundamental problem with the existing facade system; that it does not meet their environmental comfort considerations. It is clear that the knowledge within the Client team; in particular the users of the building, have an in depth understanding of the current use, limitations and operations. This, when coupled with the investigation on behalf of the design team and their expertise in designing façade treatment, has helped shape a solution that is designed around the user and will work extremely efficiently from a functional aspect. This will be supported by a coherent external, aesthetic and robust material palette to ensure longevity of operation and maintenance.

An initial review of the existing problems demonstrated with the façade and the internal environmental issues are as follows:

1. Overheating due to solar gain in the summer months.
2. Poor heat retention of the thermal fabric within the winter period.
3. Lack of natural ventilation and opening windows.
4. Lack of natural daylight to the north and east elevation rotundas.
5. Poor maintenance strategy to clean and access the existing glazed façade.
6. Privacy issues between each glazed rotunda.
7. Noise and acoustic issues.
8. Lack of user control.
9. High running costs due to poor thermal fabric.
10. Dated aesthetics in need of modernisation.



Architectural Approach (cont'd)

5.2 Concept Design: Design Development

A comprehensive overhaul of the building's envelope was developed to dramatically improve the thermal, acoustic, and ventilation/cooling performance of the facades. In conjunction with improving the user experience and thermal efficiency of the building's envelope another positive contribution for a full façade refurbishment is the holistic improvement to the building's visual appearance.

It is evident due to the interesting hexagonal form and scale of the building that it commands a high visual status within the city and the whole Sheffield University campus. By replacing the dated windows and the glass channel Reglit system would allow the building to have a full visual uplift helping to create a modern, dynamic, high-quality piece of architecture to an existing prominent campus building.

The basic design concept for the window replacement scheme is to improve the internal environment for the users, update/modernise and improve the overall perception of the building and to respect the existing architecture.

The design proposal for the façade treatment is based on a thermally broken high performance curtain walling system and a U-shaped profiled Pilkington Profilit glazed walling system (formally Reglit). The curtain walling system consists of a 'wall' of glass supported by a purpose designed structural frame made of aluminium. The glass curtain walling system would span between the existing concrete floor slabs of the building giving the external appearance that the building is made entirely from glass.

This method of glazing allows the glass to be used in large uninterrupted areas helping to create a lightweight and transparent, attractive facade. The feel created by the lightness and transparency of the curtain walling system allows the original and unique form of the structural frame of the building to be clearly expressed and celebrated. Our design intent is to not compete with the original architecture but to create a solution that compliments and allows the façade to showcase the qualities of the original building.

Taking cues from the original architectural language of the building was developed to provide a 'nod' to its heritage and to provide a visual connection to the past. As previously discussed, transparency and its submissive connection to the existing expressive structure are key drivers. Two further design generators have been utilised to aid this connection, one being the pattern of verticality and the other being materiality. Both components work hand in hand when looking at the existing building. This is undertaken with a combination of Reglit U-profiled glass channels and aluminium curtain walling. Both materials were originally designed to complement the natural verticality of the structure and slender forms of the rotundas. This was undertaken with the Reglit panels laid in a vertical array spanning from either floor or cill level to the underside of the concrete structure. This combined with vertical curtain walling mullions and slender opening casement windows reinforces the alignment with the building.

With the architectural narrative of transparency, verticality and materiality described from the original façade treatment, it was always our considered approach to continue with these three design generators. With this in mind, we propose to adopt the principles by undertaking the following:

- The use of a modern thermally & acoustically improved Reglit system, now called Pilkington Profilit channel glass. The Profilit will be installed vertically on all mid-level rotundas forming a tight linear line as the animate and follow the hexagonal form of the building.
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