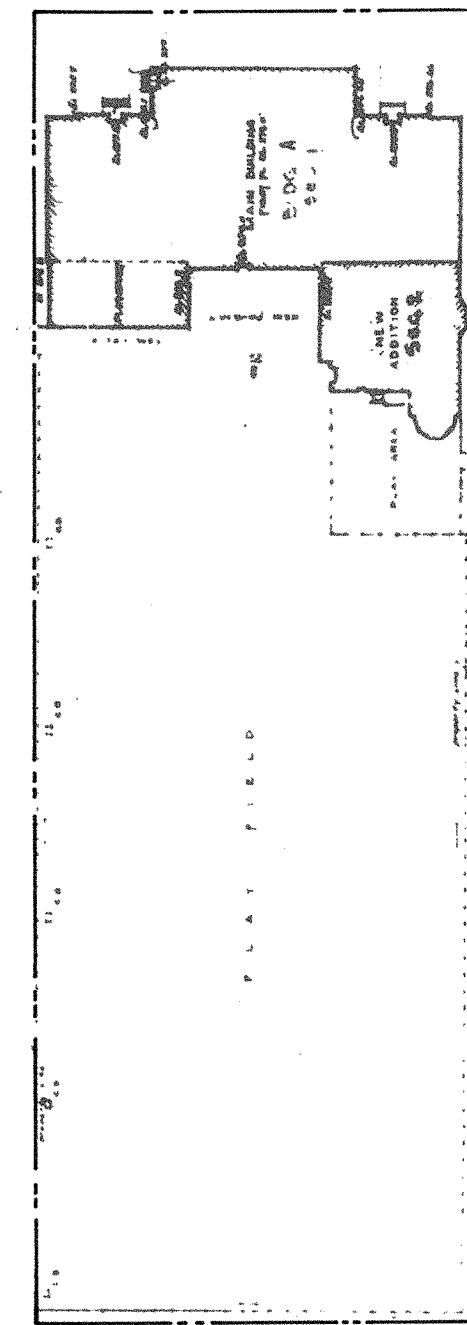


ROOF PLAN

LEGAL DESCRIPTION

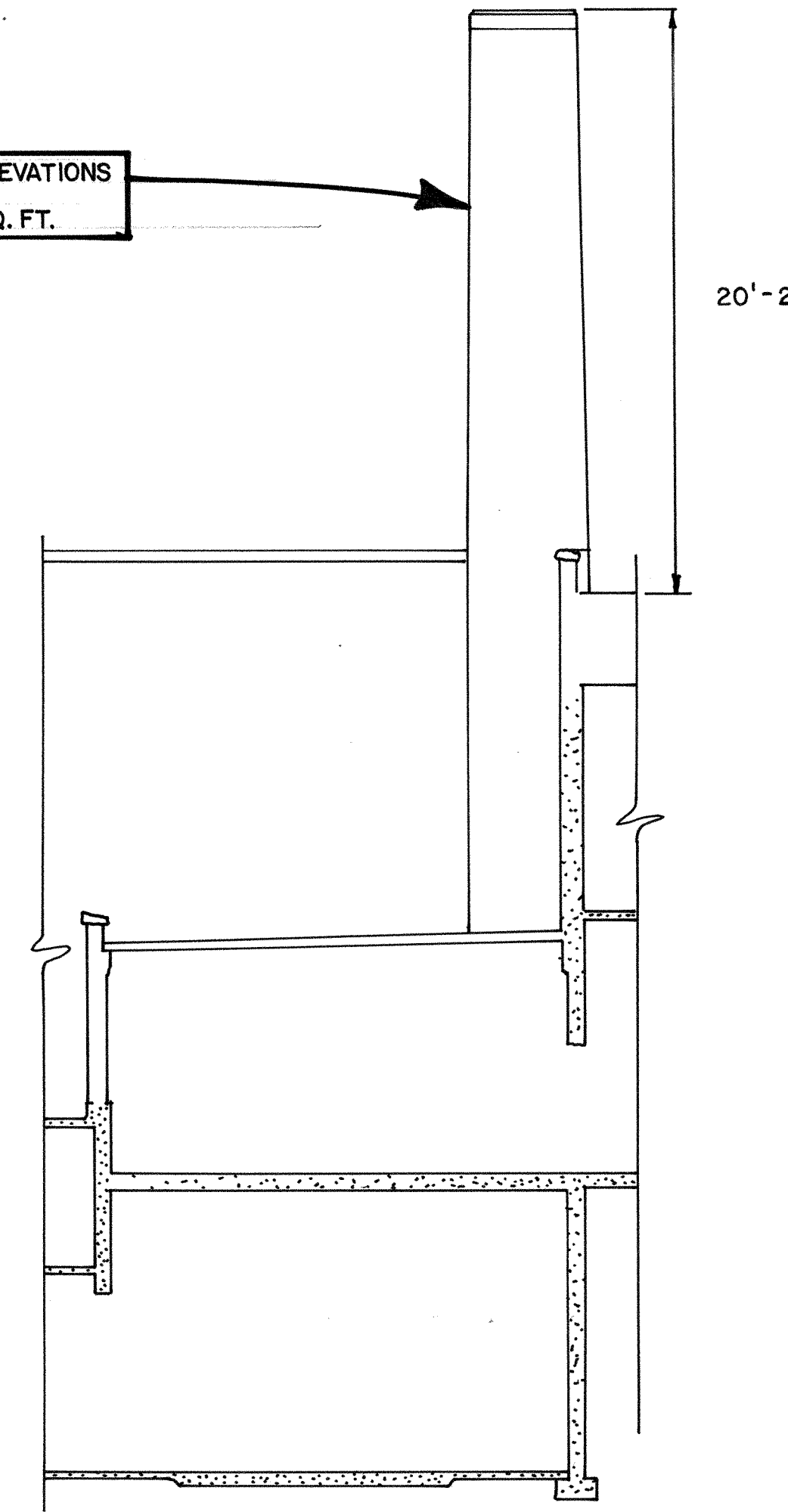
Block 11 Loyal Heights Addition Division No. 6 as recorded in Volume 19 of Plats Page 82. Records of King County, Washington. Together with vacated alley within said Block 11, Vacation Ordinance No. 90486.



LOCATION PLAN



REPOINT ALL ELEVATIONS TO LOW ROOF, APPROX. 500 SQ. FT.



SECTION SHOWING EAST ELEVATION OF CHIMNEY

$\frac{1}{8}'' = 1'-0''$

NOTE:
 THE STRUCTURES COVERED BY THE DRAWINGS MAY NOT CONFORM TO THE PRESENT CITY OF SEATTLE EARTHQUAKE (SEISMIC) CODE REQUIREMENTS. GABLES, PARAPETS, CORNICES, CORBELS AND CHIMNEYS HAVE BEEN ANALYZED AND REINFORCED IN ACCORDANCE WITH INFORMATION BULLETIN NO. 2 ISSUED OCTOBER 20, 1976 BY THE SEATTLE BUILDING DEPARTMENT. THEY ARE WITHIN CURRENT PRACTICE FOR RENOVATION OF EXISTING BUILDINGS.

DATE
 APR 9 1979



MACDONALD - McLAREN - HAMMOND
 CONSULTING ENGINEERS

215 EIGHT AVE. NO. SEATTLE WASHINGTON 98109, 622-4580

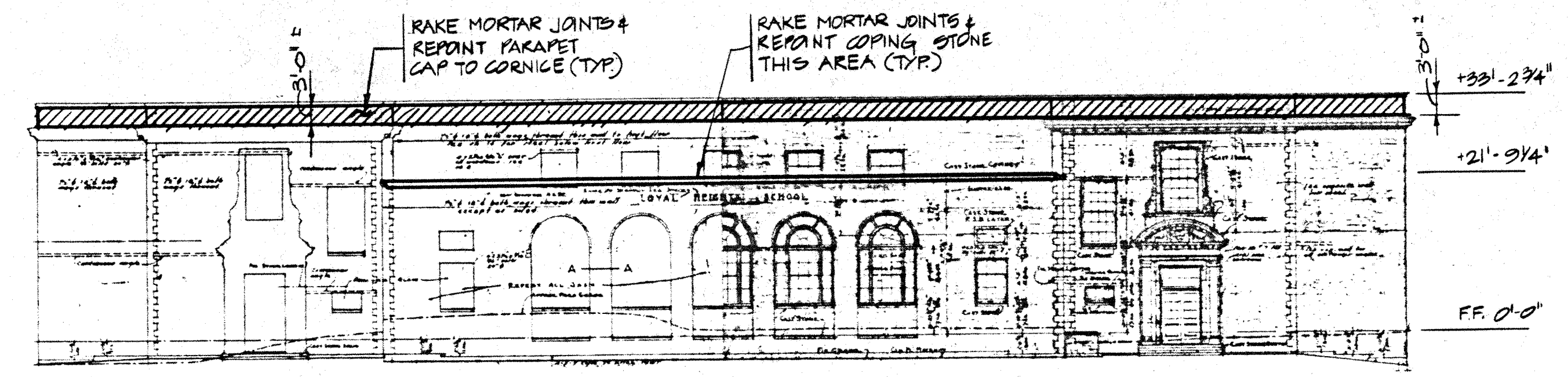
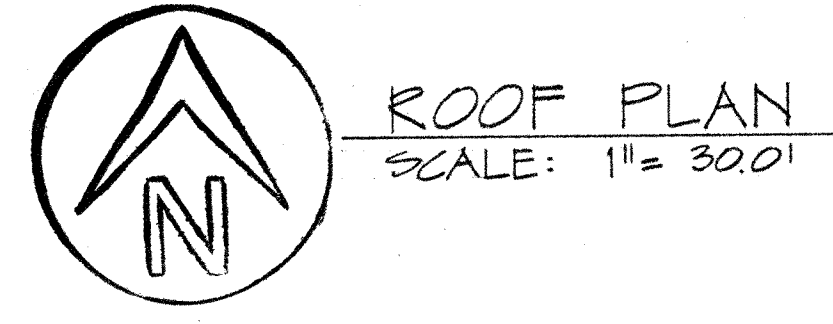
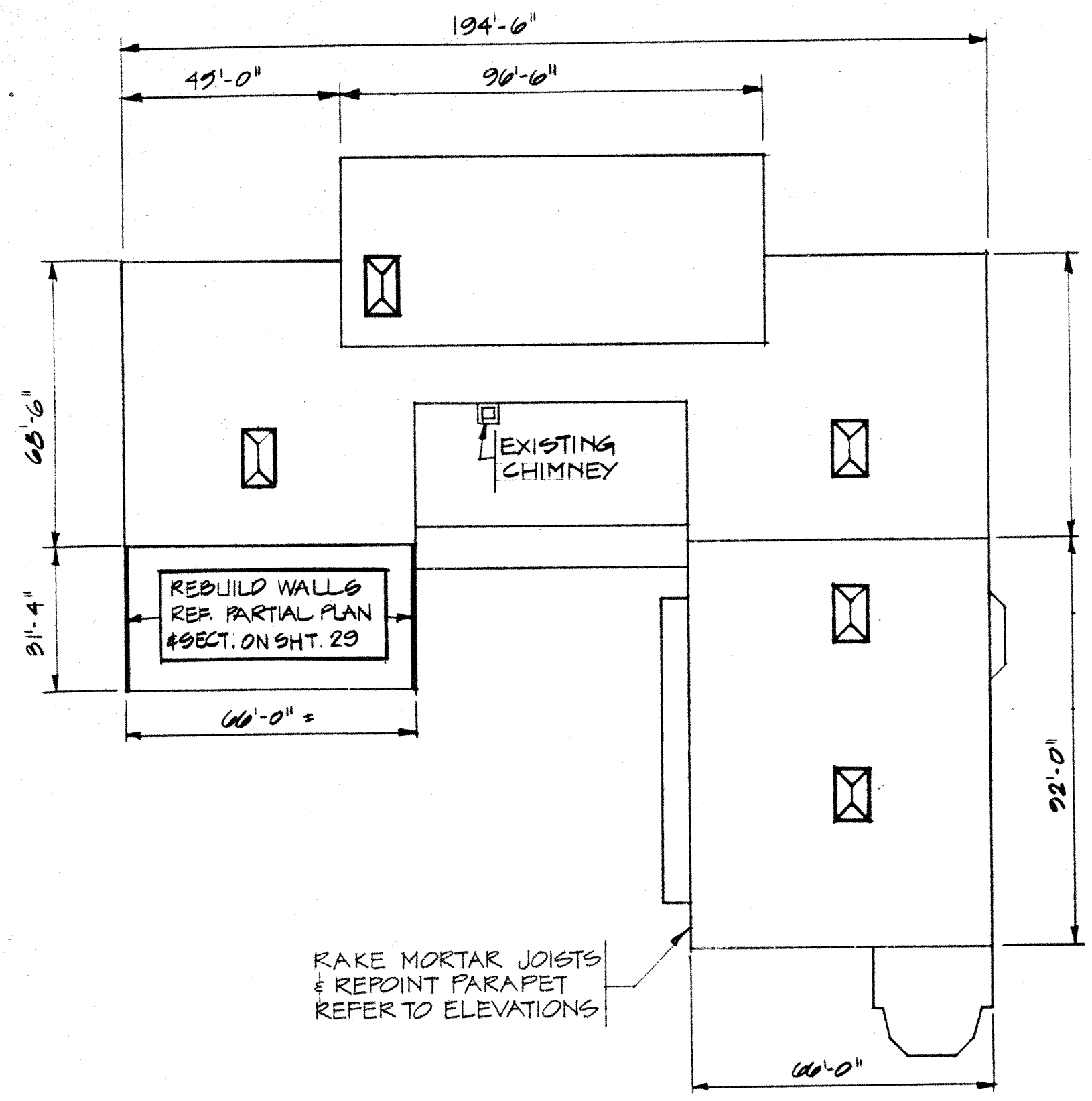
SHEET

C1

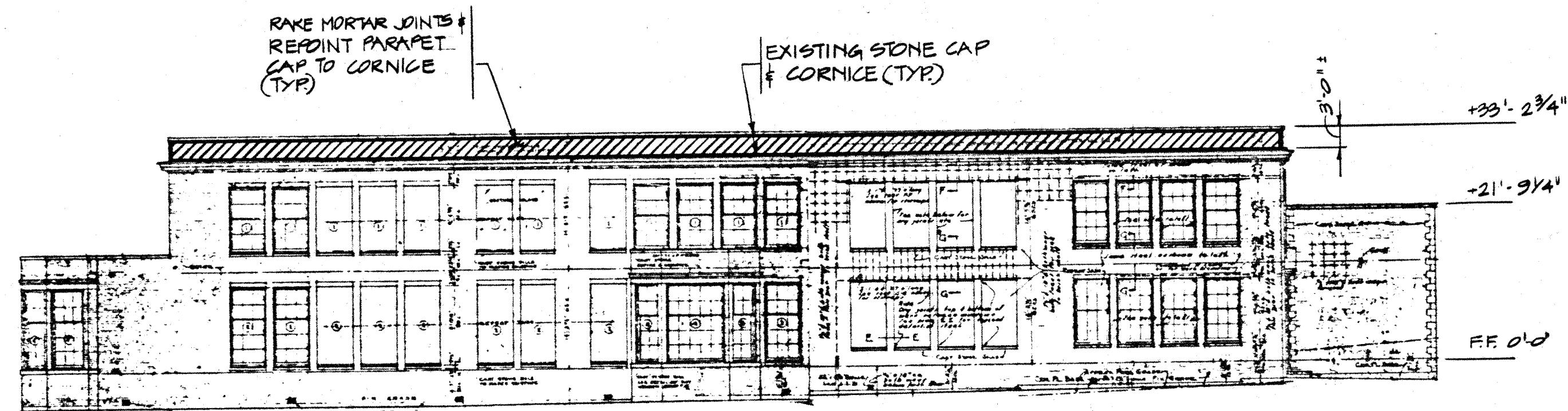
77 OF 102

Legal Description:

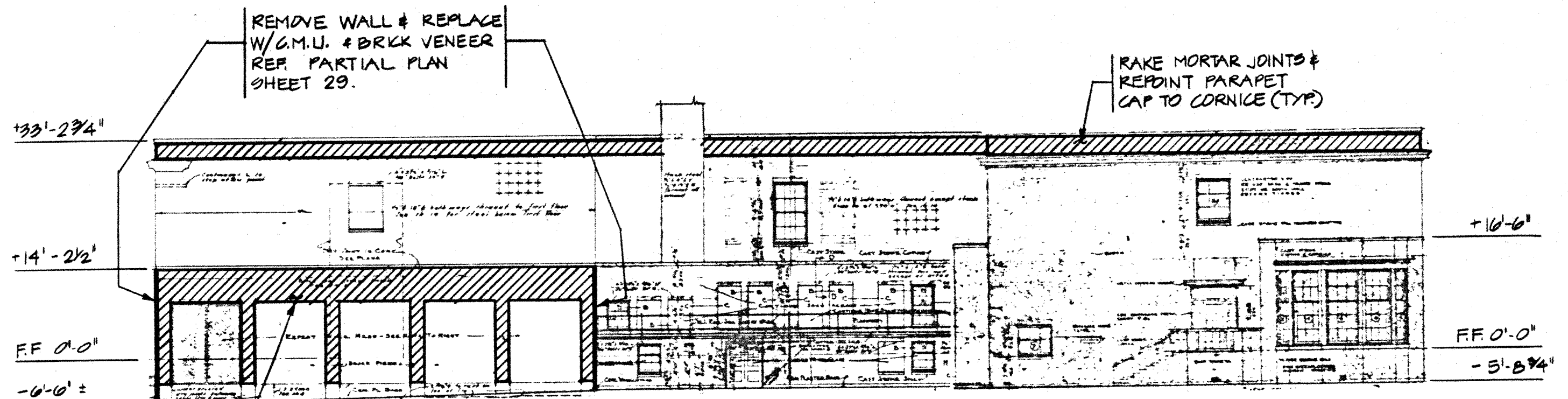
Block 11 Loyal Heights Addition Division No. 6 as recorded in Volume 19 of
Plats Page 82, Records of King County, Washington. Together with vacated
alley within said Block 11, Vacation Ordinance No. 90486.
2.70 Acres Zoning RS 5000
OCCUPANCY E-1.



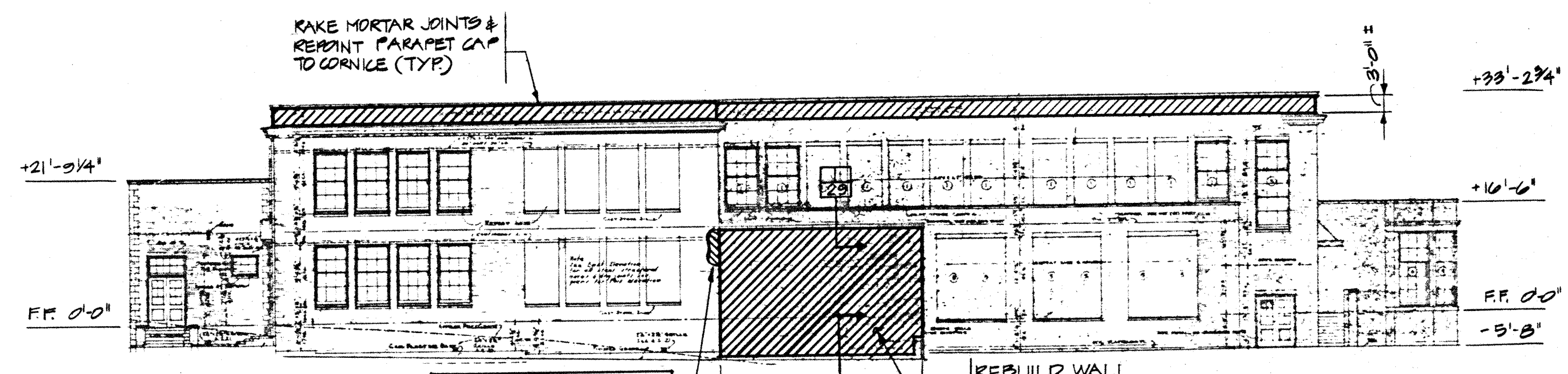
NORTH ELEVATION
SCALE: 1/16" = 1'-0"



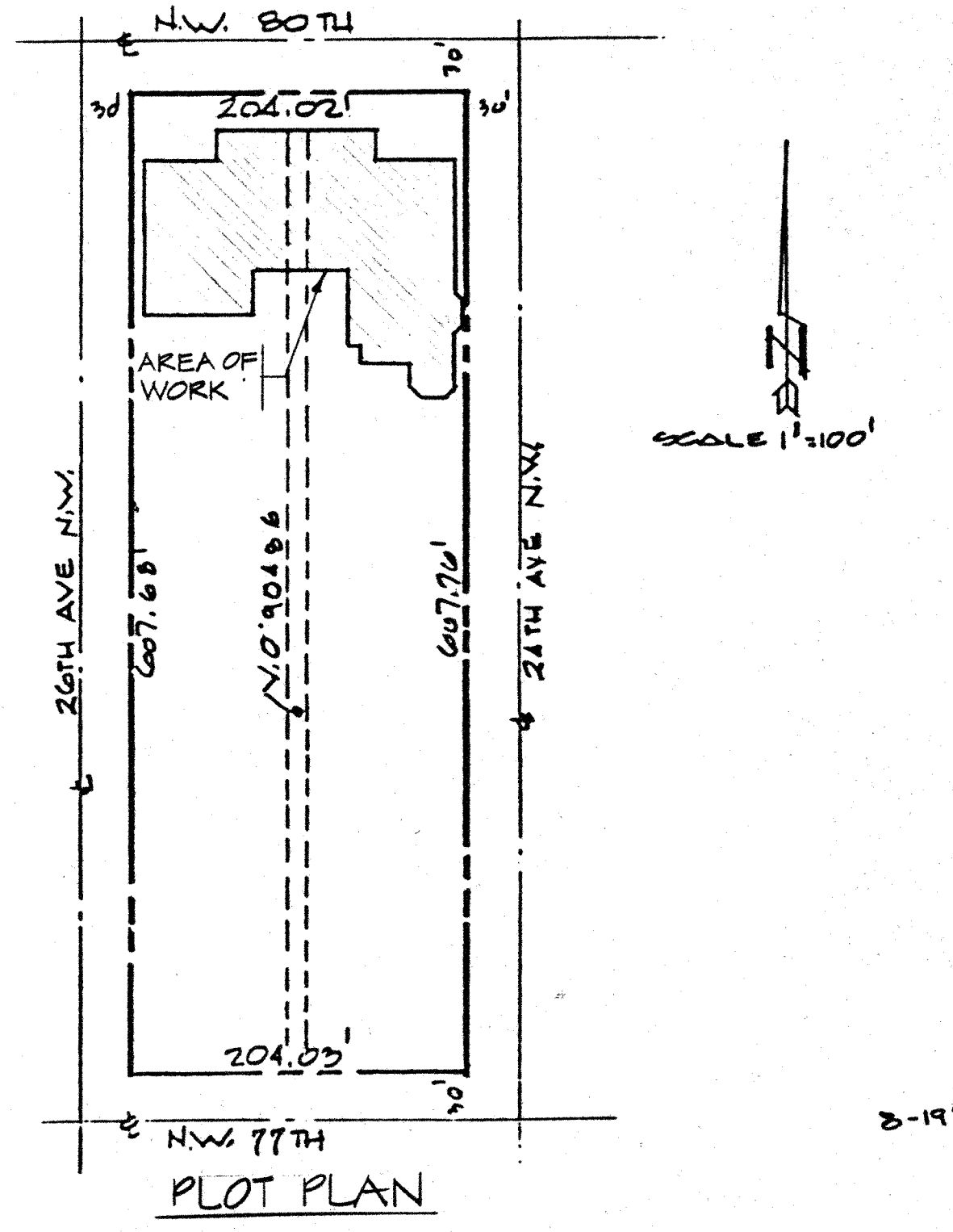
EAST ELEVATION
SCALE: 1/16" = 1'-0"



SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



WEST ELEVATION
SCALE: 1/16" = 1'-0"

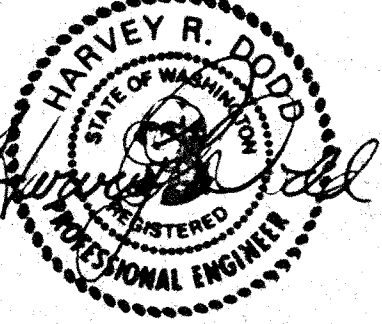


GENERAL NOTES:

- CODE:** THE SEATTLE BUILDING CODE, 1979 EDITION.
- LOADS:** SEISMIC ZONE II ROOF 25 PSF
WIND 20 PSF
- MORTAR:** MORTAR SHALL BE TYPE S & SHALL CONSIST OF THE FOLLOWING PROPORTIONS BY VOLUME: 1 PART PORTLAND CEMENT, 1/4 TO 1/2 PARTS HYDRATED LIME OR LIME PUTTY, DAMP LOOSE AGGREGATE EQUAL TO 2/4 TO 3 TIMES THE SUM OF THE VOLUME OF THE CEMENT & LIME USED. COLOR MORTAR TO MATCH EXIST. MORTAR.
- REINFORCING STEEL:** DEFORMED BILLET STEEL ASTM A-618 GRADE 40 $F_y = 10000$ PSI
- CONCRETE MASONRY:** GRADE N-1 HOLLOW LOAD BEARING CONCRETE MASONRY UNITS CONFORMING TO ASTM C90-70 $f'_m = 1350$ PSI, $f_m = 225$ PSI, Laid UP IN A RUNNING BOND USING TYPE S MORTAR. REINFORCE WALL HORIZONTALLY WITH EXTRA HEAVY K-WEB OR EQUAL @ 16" O.C. LAP K-WEB SPICES 12" MINIMUM. PROVIDE 1" S VERTICAL FULL HEIGHT OF WALL AT JAMB & END OF WALLS.
- BRICK VENEER:** REPLACEMENT BRICK SHALL BE GRADE M.W. CONFORMING TO U.O.C. STANDARD 24-1. BRICK VENEER SHALL BE SECURED TO THE SUPPORTING WALL WITH A MINIMUM OF ONE 22 GAGE X 1" GALVANIZED CORRUGATED METAL TIE OR NO. 9 GAGE WIRE TIE FOR EACH 2 SQ. FT. OF WALL AREA & SPACED NO MORE THAN 24" O.C. HORIZONTALLY.
- LUMBER:** LEDGER SHALL BE DOUGLAS FIR-LARCH #2 OR HEM FIR #1. $F_b = 1400$ PSI.
- MISCELLANEOUS:** CONTRACTOR SHALL VERIFY ALL DIMENSIONS & CONDITIONS IN THE FIELD. REPAIR TO THE ENGINEER'S SATISFACTION ANY PORTION OF THE BUILDING DAMAGED DURING WORK.

NO.	REVISION	DATE	APPROVED	DATE	DESIGNED G. MORRIS
					DRAWN G. ROBINSON
					CHECKED H.R. DODD
					DATE 4-20-82

HARVEY R. DODD & ASSOCIATES, INC.
CONSULTING ENGINEERS
2000 FAIRVIEW AVENUE EAST SEATTLE, WASHINGTON 98102-1038
P.O. BOX 20038 (206) 328-1500



CONTENTS
ROOF PLAN, ELEVATIONS, LEGAL DESCRIPTION, PLOT PLAN AND GENERAL NOTES.

PROJECT
CORRECTION OF IMMINENT RISKS
SEATTLE SCHOOL DISTRICT #1
LOYAL HEIGHTS ELEMENTARY SCHOOL
2511 N.W. 80TH SEATTLE, WA.

SHEET
28 of 31
1 of 2
JOB NO. 81-182-33

246-0



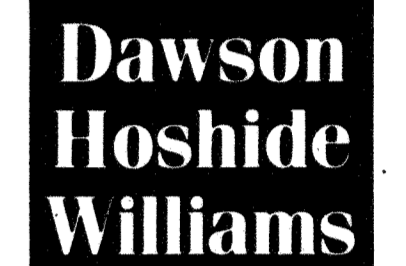
SEATTLE PUBLIC SCHOOLS

Capital Levy Projects 1989/1990

PROJECT B 305

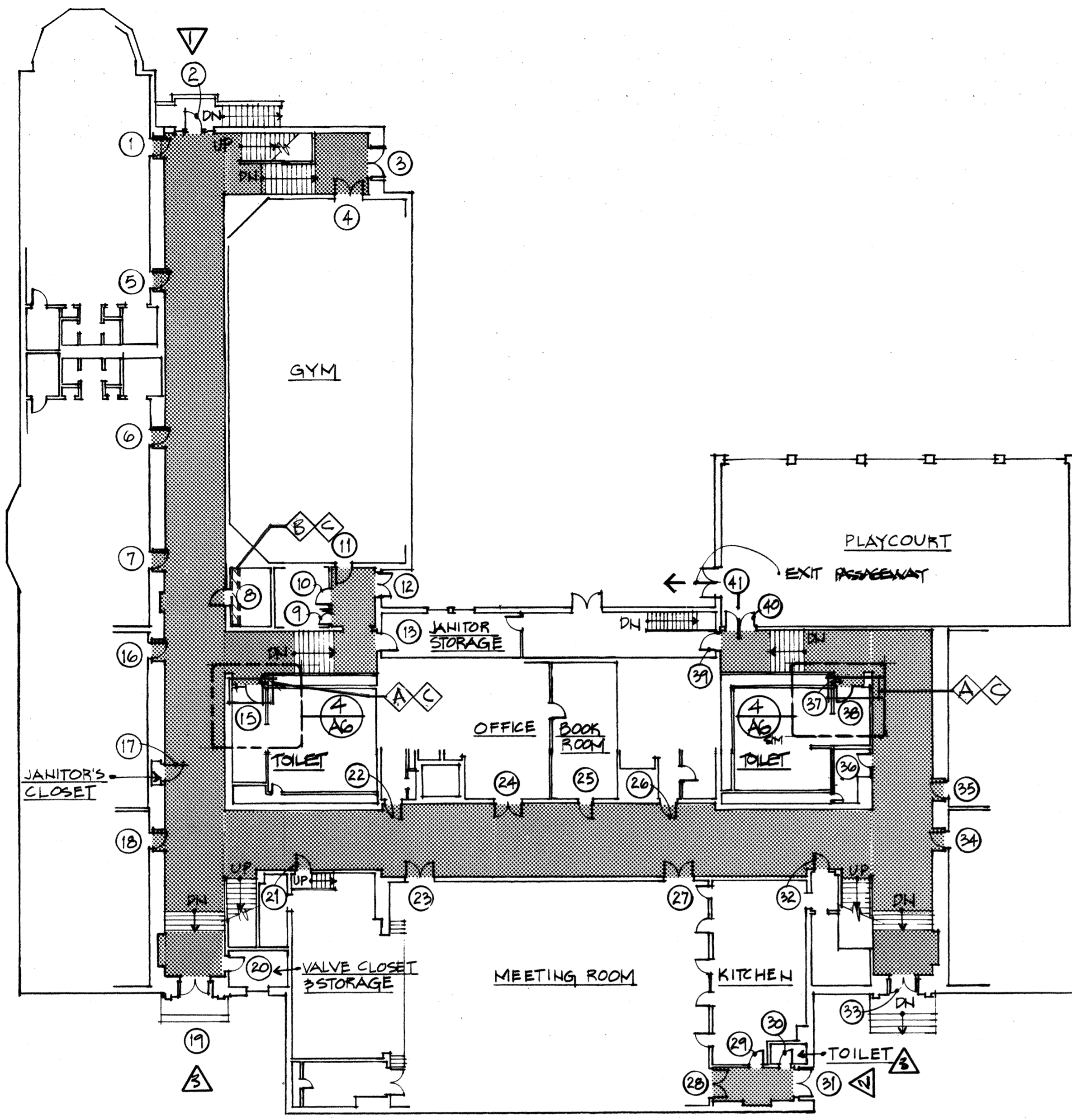
BID NO. B01002

Drawn by: Approved by: Date: 5 FEBRUARY 1990 Revisions: AS MEASURED OCT '90

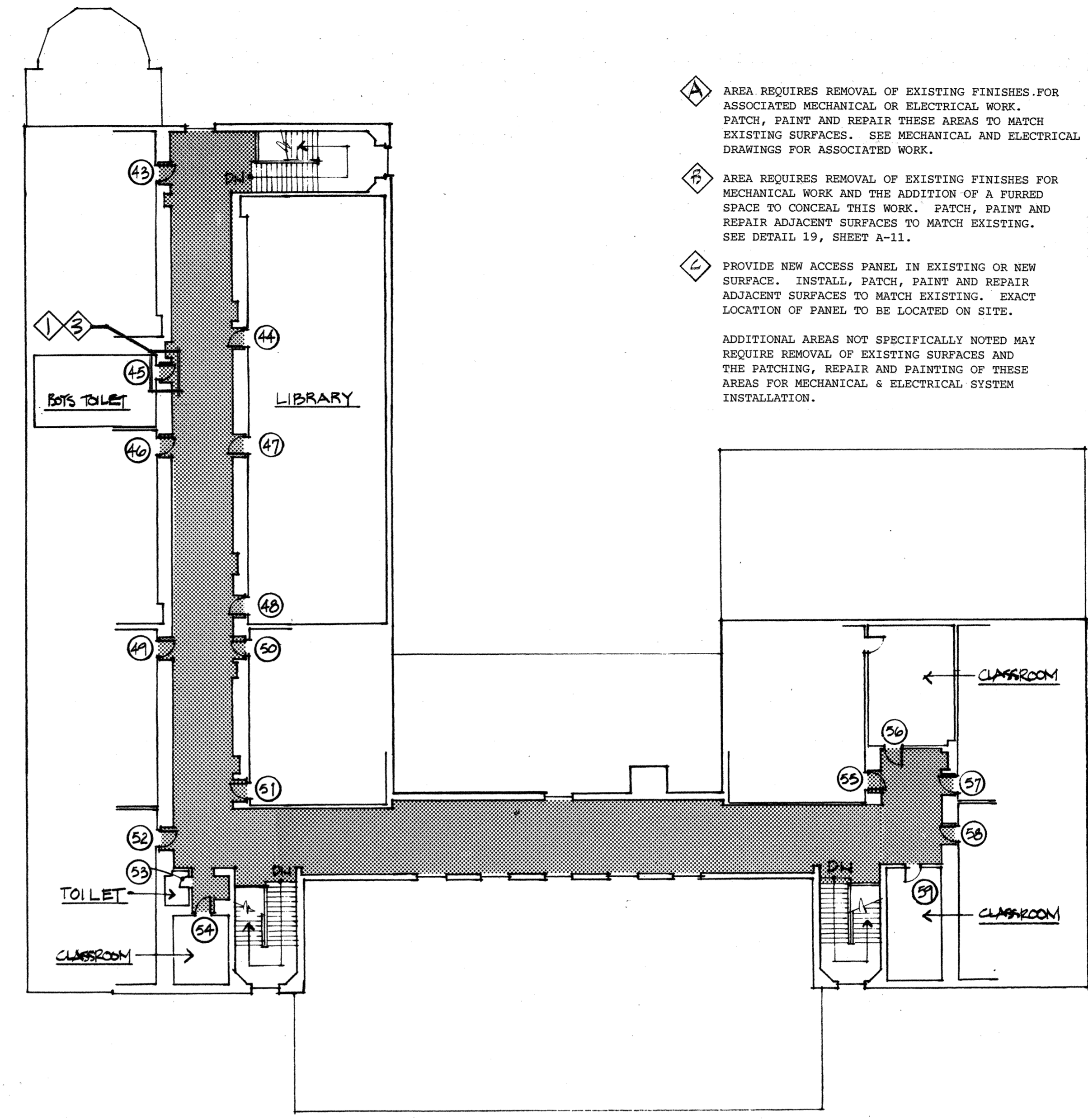


Architects Planners

(206) 325-6441 2021 Minor Ave E Seattle, WA 98102



1 FIRST FLOOR PLAN 1/16" = 1' 0"



2 SECOND FLOOR PLAN 1/16" = 1' 0"



- AREA REQUIRES REMOVAL OF EXISTING FINISHES FOR ASSOCIATED MECHANICAL OR ELECTRICAL WORK. PATCH, PAINT AND REPAIR THESE AREAS TO MATCH EXISTING SURFACES. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ASSOCIATED WORK.
AREA REQUIRES REMOVAL OF EXISTING FINISHES FOR MECHANICAL WORK AND THE ADDITION OF A FURRED SPACE TO CONCEAL THIS WORK. PATCH, PAINT AND REPAIR ADJACENT SURFACES TO MATCH EXISTING. SEE DETAIL 19, SHEET A-11.
PROVIDE NEW ACCESS PANEL IN EXISTING OR NEW SURFACE. INSTALL, PATCH, PAINT AND REPAIR ADJACENT SURFACES TO MATCH EXISTING. EXACT LOCATION OF PANEL TO BE LOCATED ON SITE.
ADDITIONAL AREAS NOT SPECIFICALLY NOTED MAY REQUIRE REMOVAL OF EXISTING SURFACES AND THE PATCHING, REPAIR AND PAINTING OF THESE AREAS FOR MECHANICAL & ELECTRICAL SYSTEM INSTALLATION.

DOOR SCHEDULE LOYAL HEIGHTS ELEMENTARY SCHOOL

Table with columns: OPENING No, Room/Use, Rating, DOOR Size (WxHxT), Type, Mat., Fin., FRAME Type, Mat., Fin., Hdw., Remarks. Lists 36 door entries for the first floor.

DOOR SCHEDULE LOYAL HEIGHTS ELEMENTARY SCHOOL

Table with columns: OPENING No, Room/Use, Rating, DOOR Size (WxHxT), Type, Mat., Fin., FRAME Type, Mat., Fin., Hdw., Remarks. Lists 13 door entries for the second floor.

SYMBOLS, ABBREVIATIONS AND NOTES Mat. = Material Fin. = Finish Hdw. = Hardware W = Wood S = Stained M = Metal P = Paint * = No Action Required Door Type Letters refer to Door Type Designations, not the abbreviations above See Detail 8, Sheet All for typical smoke seal installation

RECORD DRAWING

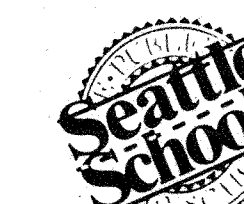
THIS DRAWING REPRESENTS EXISTING CONDITIONS DERIVED FROM CONTRACTOR'S RECORDS AND SHALL BE USED ONLY IN CONJUNCTION WITH FIELD VERIFICATION.

Sheet Title: LOYAL HEIGHTS ELEMENTARY SCHOOL

Sheet No.

A5

246-0093



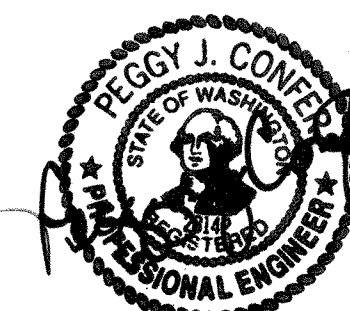
SEATTLE PUBLIC SCHOOLS

Capital Levy Projects 1990/1991

PROJECT 336B

BID NO. B01103

Drawn by: LMS
Approved by: PC
Date: FEB. 22, 1991
Revisions:

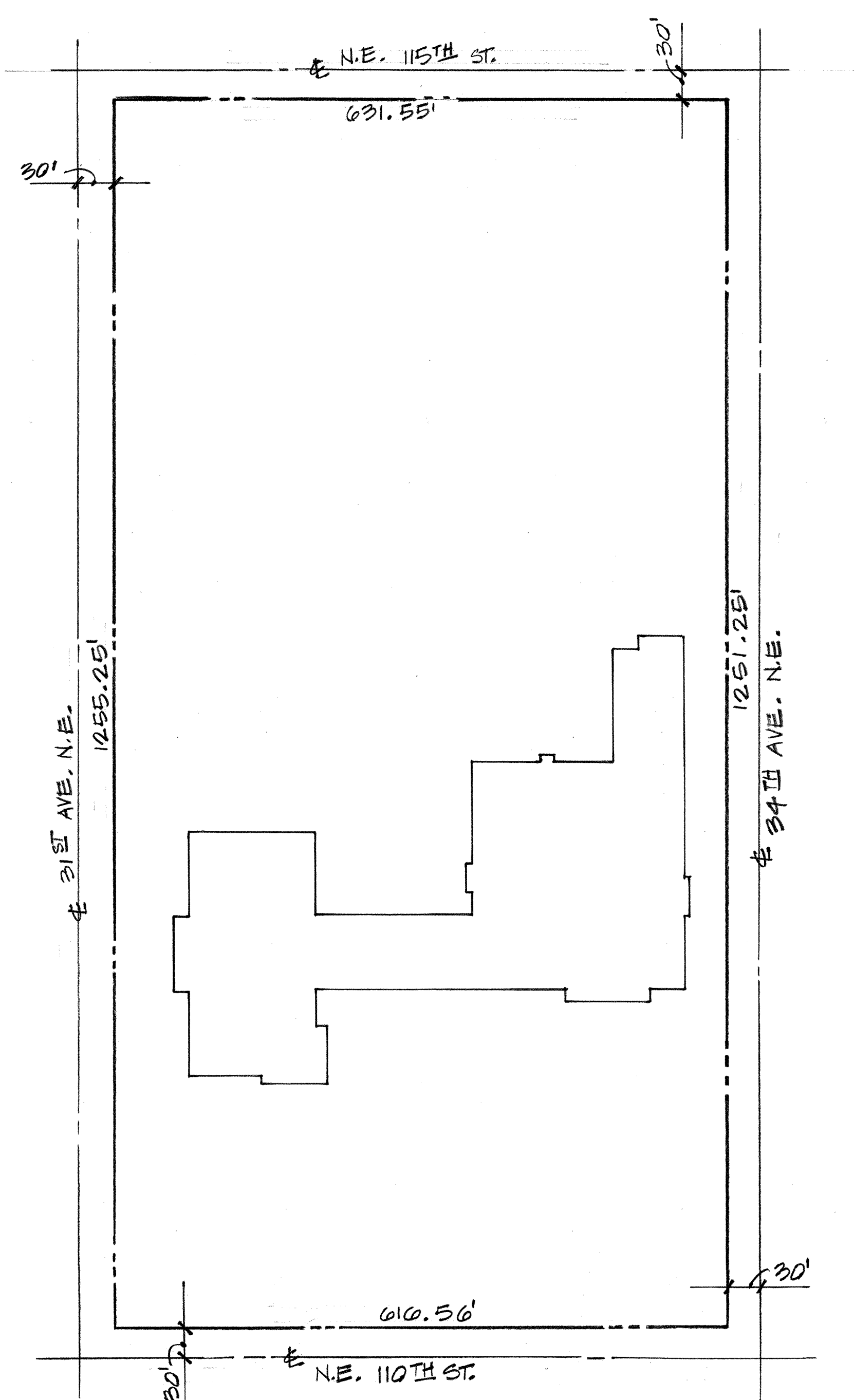


ANNE SYMONDS & ASSOCIATES

CONSULTING ENGINEERS

BROADACRES BUILDING, SUITE 700
1601 SECOND AVENUE
SEATTLE, WASHINGTON 98101

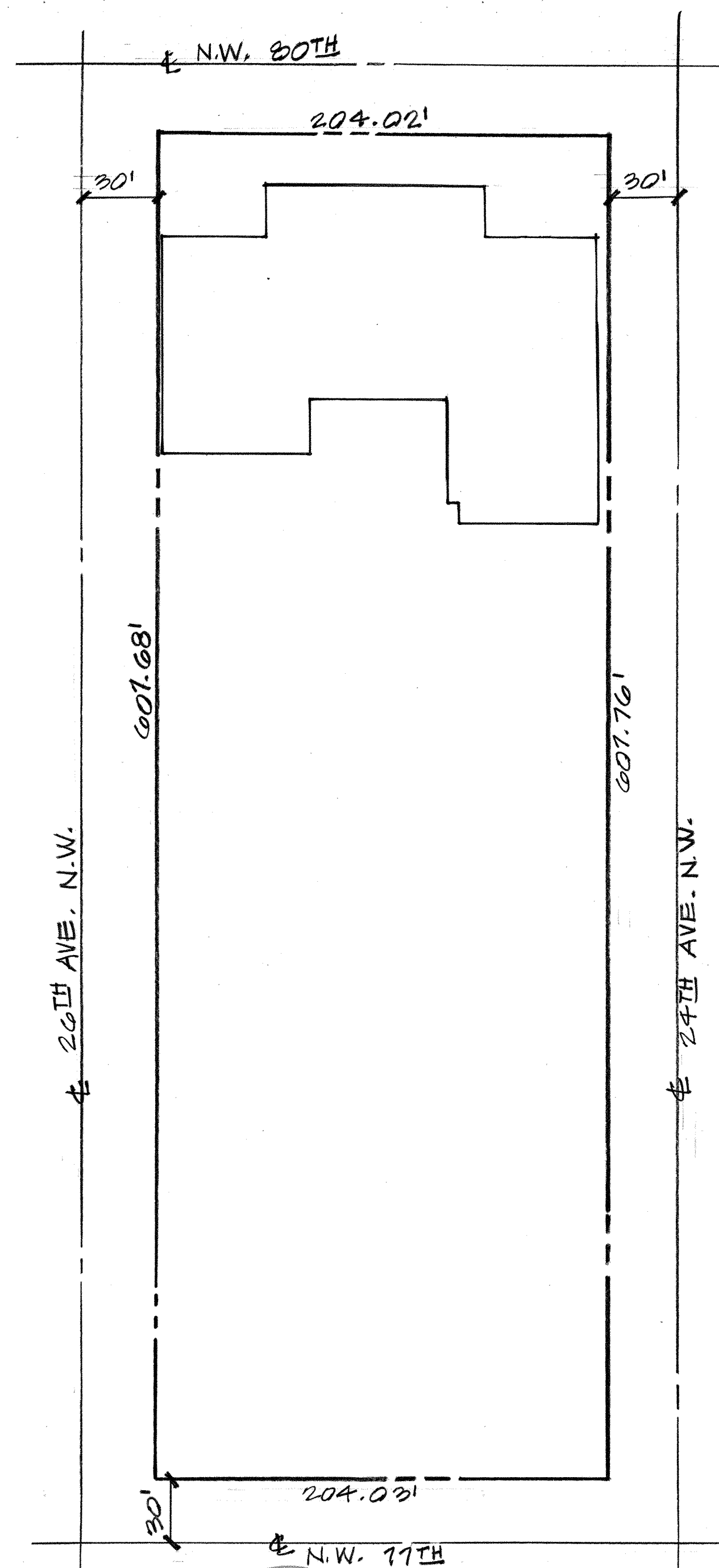
(206) 441-1855 FAX (206) 448-7187



ADDAMS JUNIOR HIGH SCHOOL Kroll 227E
11051 - 34th Ave Northeast

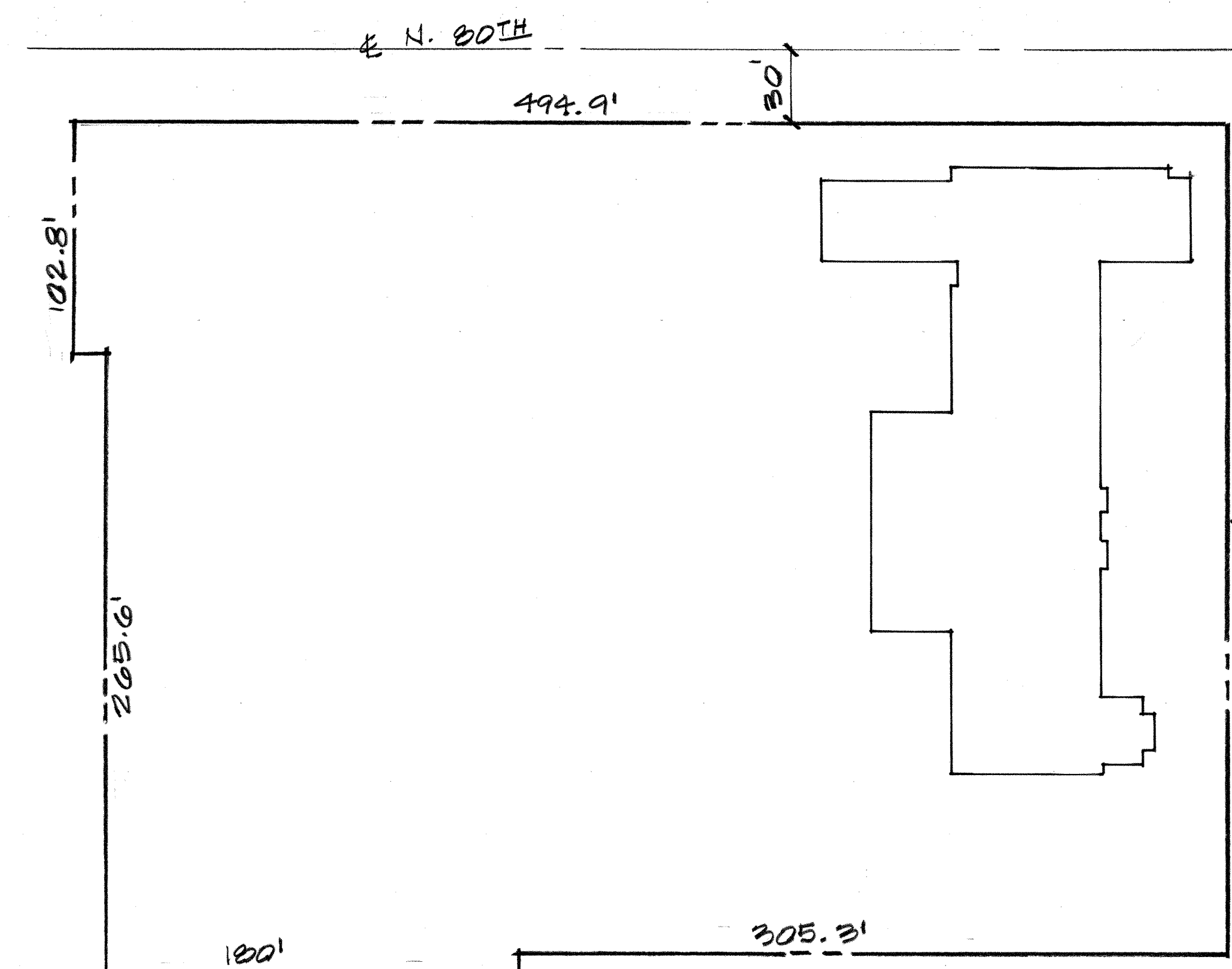
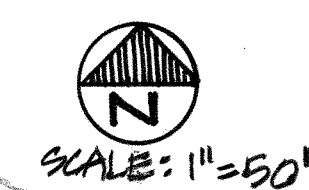
Legal Description:
Blocks 2, 3, 4, Bentons second addition to Chelsea, as recorded in Volume 31 of Plats at Page 37 records of King County, Washington.
Block 2, Yates addition, as recorded in Volume 30 of Plats at Page 3, records of King County, Washington.
Together with vacated portion of N.E. 113th Street, Vac. 3/11/46 by King County, portion of 32nd Avenue N.E. Vac. 3/11/46 by King County, and alleys within Blocks 2, 3, and 4 of Bentons second addition to Chelsea, Vac. 3/11/46 by King County, Washington.

20.62 Acres Zoning RS 7200



LOYAL HEIGHTS ELEMENTARY SCHOOL Kroll 2W
2511 N.W. 80th

Legal Description:
Block 11 Loyal Heights Addition Division No. 6 as recorded in Volume 19 of Plats Page 82, Records of King County, Washington.
Together with vacated alley within said Block 11, Vacation Ordinance No. 90486.
2.70 Acres Zoning RS 5000

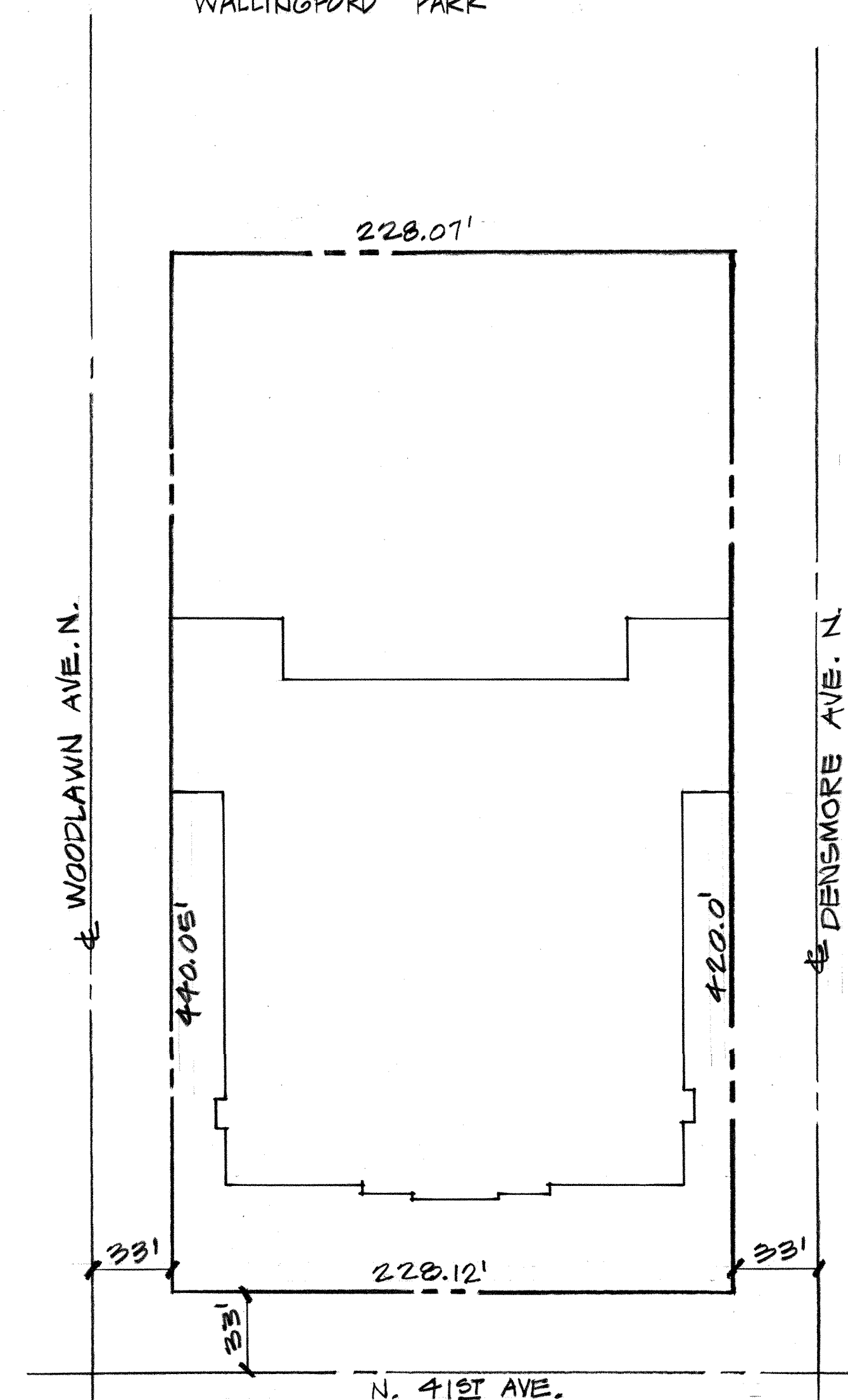


BAGLEY ELEMENTARY SCHOOL Kroll 4E
7821 Stone Ave. N.

Description:
Portion NW 1/4, SW 1/4, NE 1/4 Section 6 TP. 25 N., R. 4 E.W.M. (also known as Government Lot 2)
Described as follows:
The South 396 ft. of the North 396 ft., except the East 30 ft., except the North 133 ft. of the West 140 ft., also except the West 150 ft. of the South 264 ft. of the North 396 ft.
177,392 sq. ft. (4.07 acres)
Zoning RS 5000



WALLINGFORD PARK



HAMILTON MIDDLE SCHOOL Kroll 22E
1610 N. 41st Street

Legal Description:
Block 17, Lake Union addition to Seattle as recorded in Volume 1 of Plats, at Page 238 records of King County, Washington.

The South 27 feet of the North 33 feet of North 42nd Street as vacated by Ordinance No. 98969 and per joint use agreement established by Ordinance No. 100262.

2.2 Acres Zoning RS 5000



Sheet Title:

PLOT PLANS

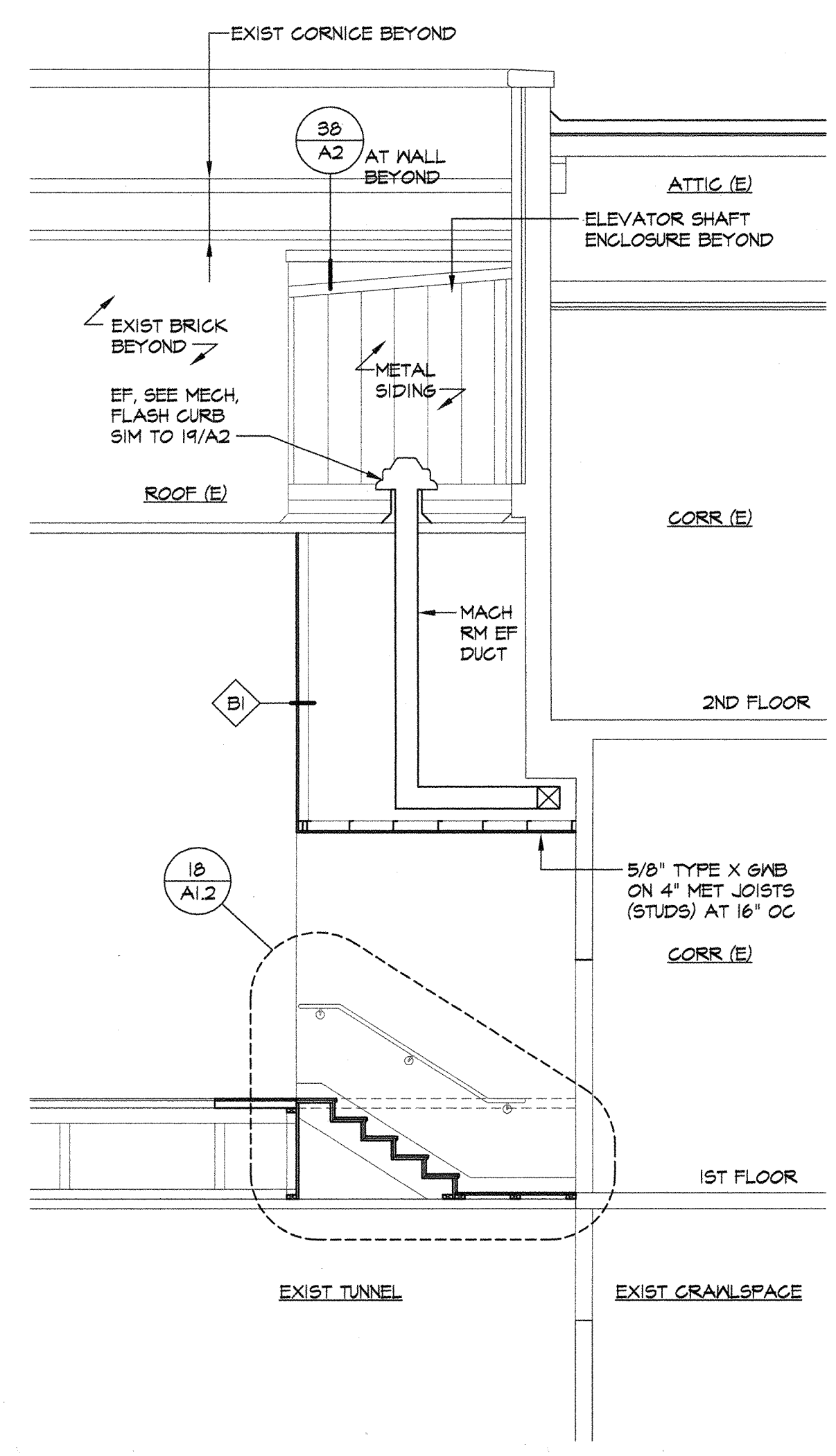
LOYAL HTS.
Sheet No.

T2

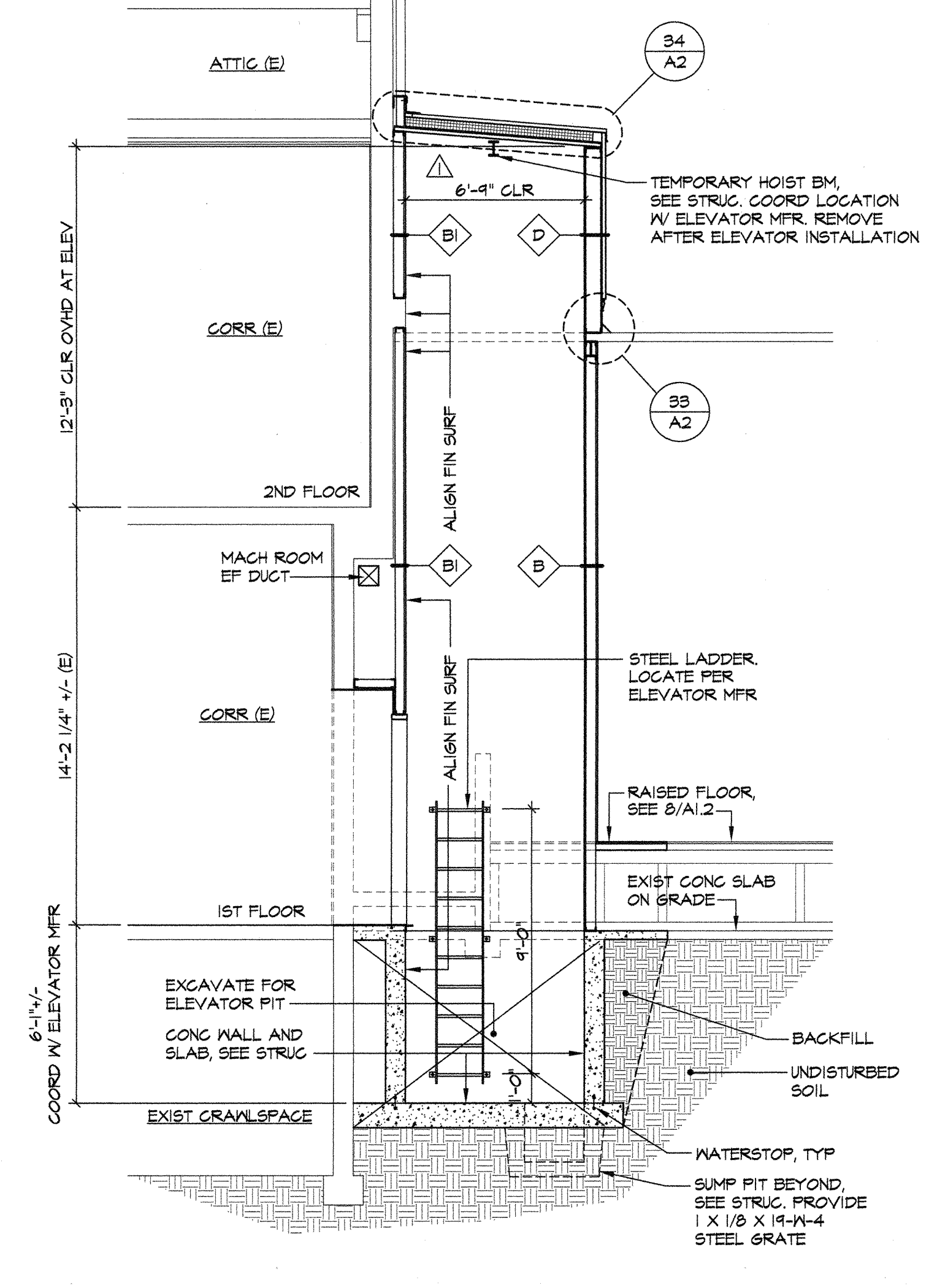
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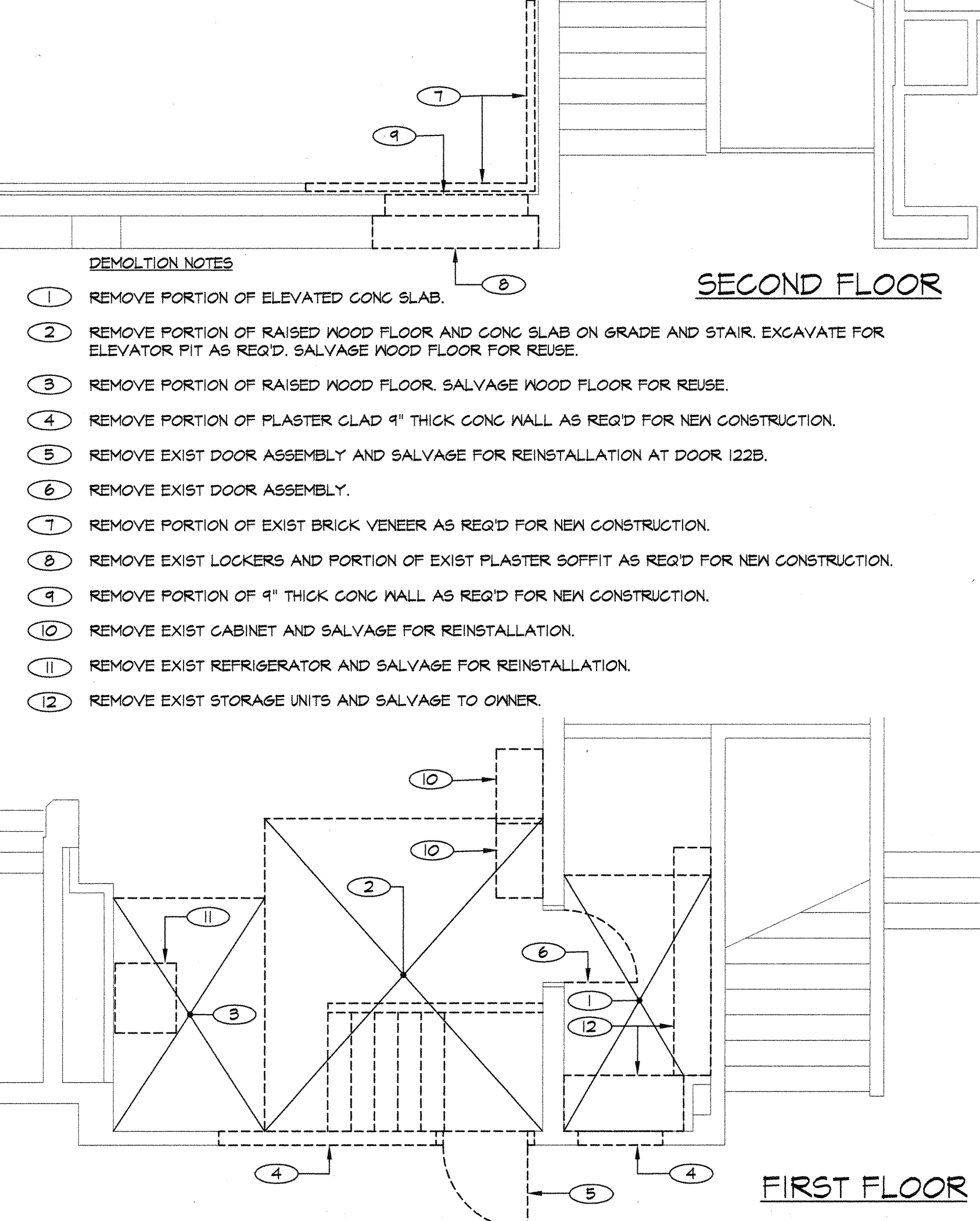
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Drawn by:	GT
Proj Arch:	GT
Scale:	AS SHOWN
Date:	1/17/03
Revisions:	
▲ SUBMITTAL 001	4/2/03
▲ CO #1	
▲ CO #2	
▲ AS BUILT	4/12/03



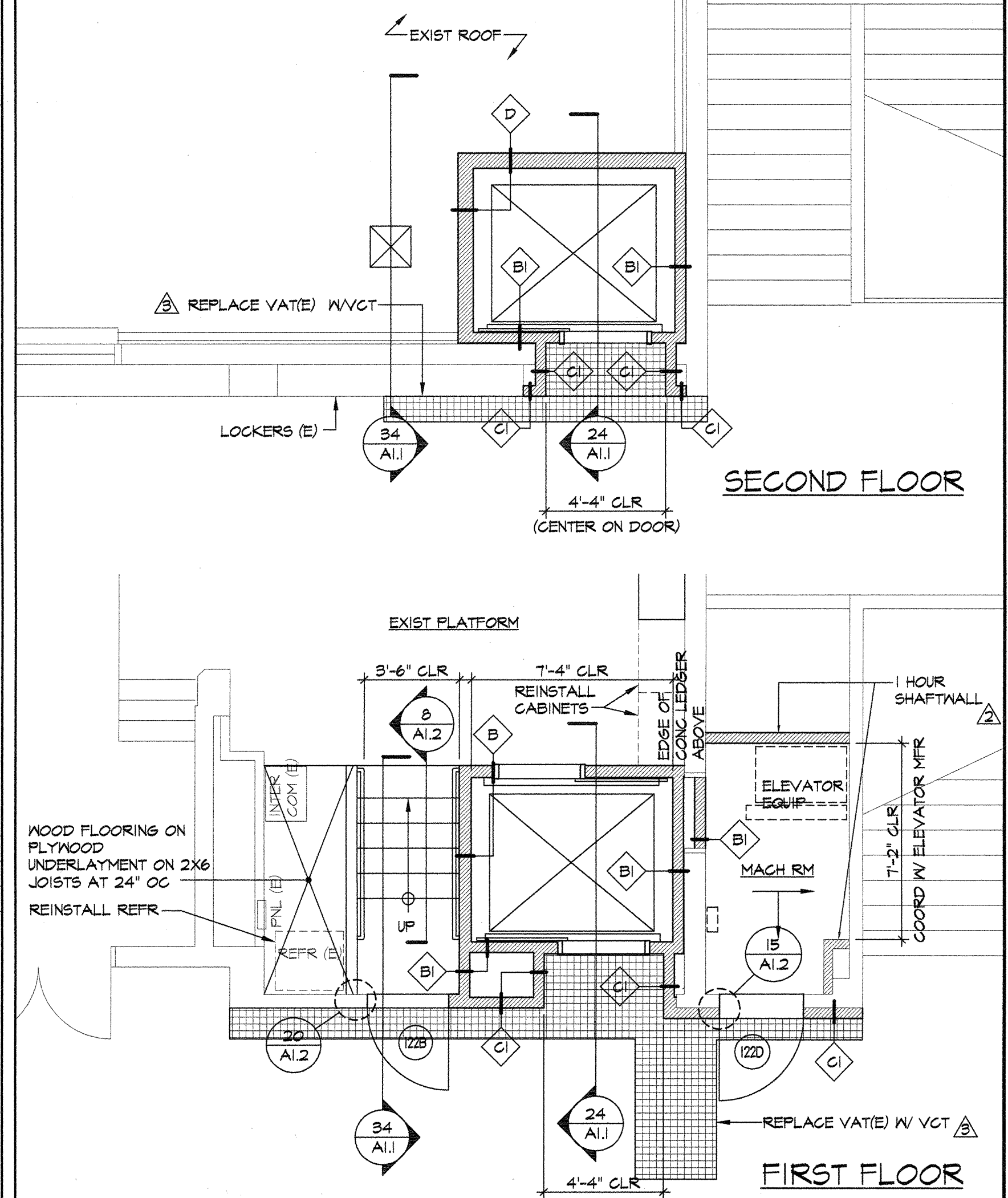
SECTION LOOKING EAST 34
1/4"=1'-0"



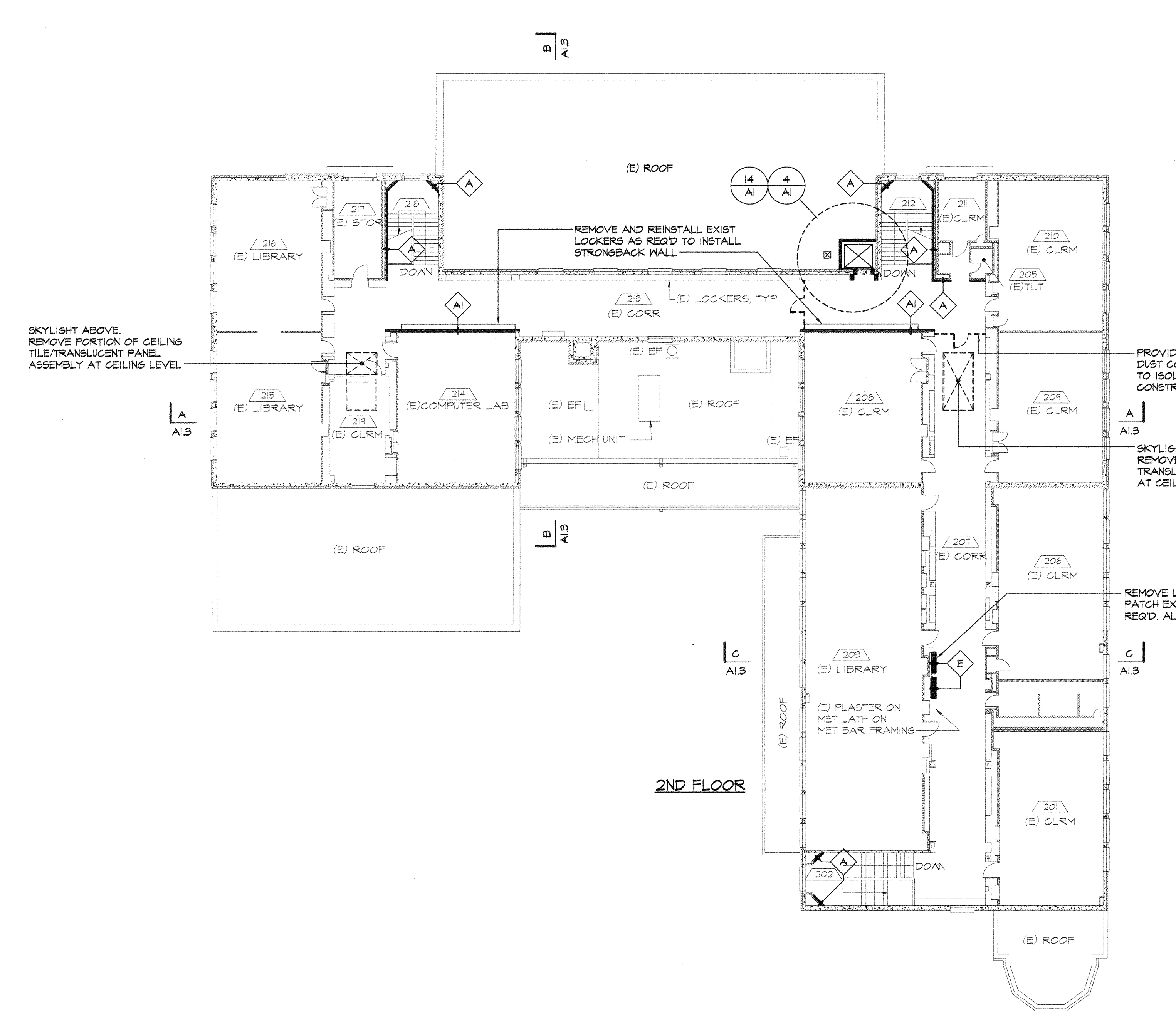
SECTION LOOKING WEST 24
1/4"=1'-0"



ELEVATOR DEMO PLANS 14
1/4"=1'-0"

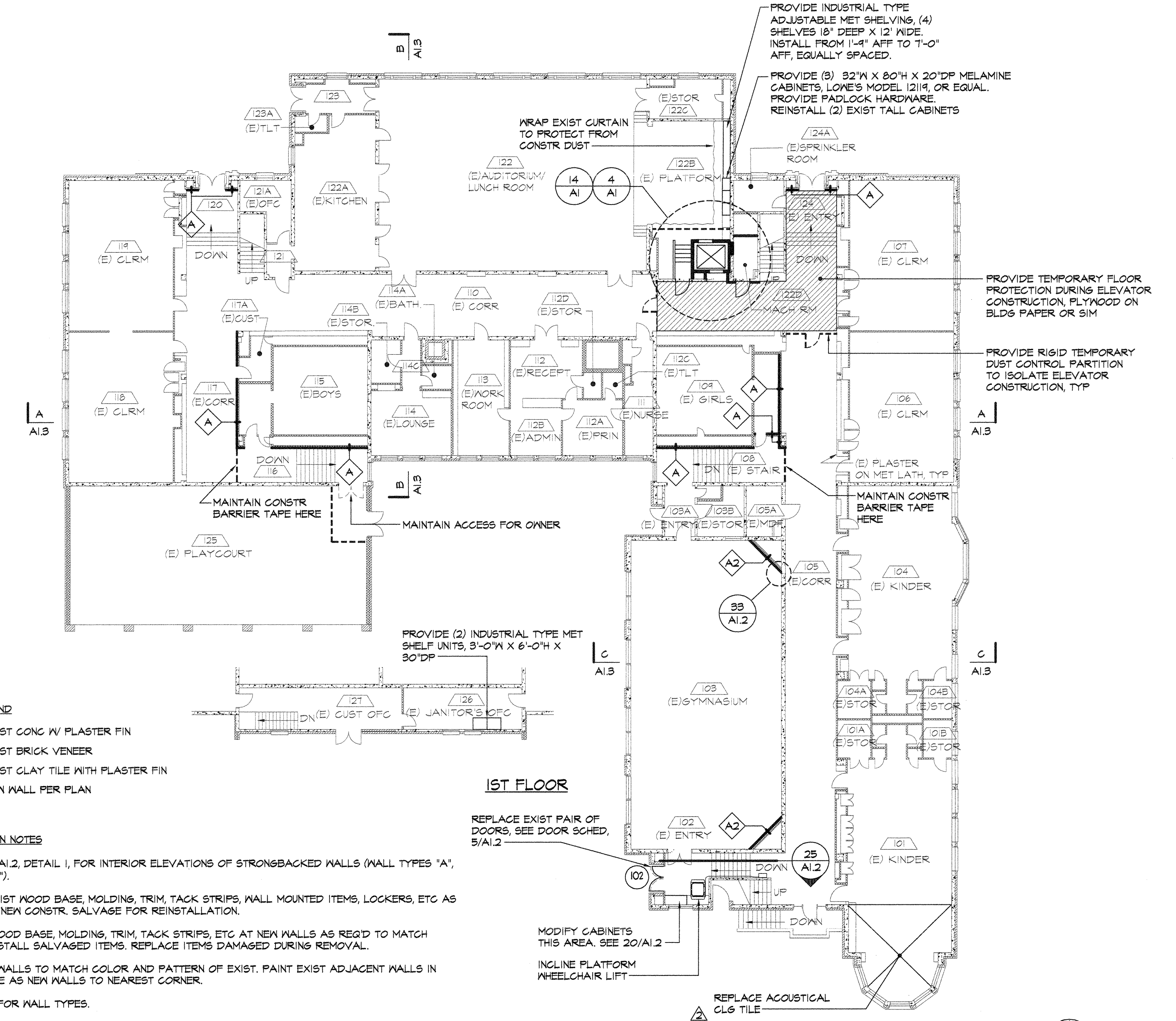


ELEVATOR DETAIL FLOOR PLANS 4
1/4"=1'-0"



- WALL LEGEND**
- EXIST CONC W/ PLASTER FIN
 - EXIST BRICK VENEER
 - EXIST CLAY TILE WITH PLASTER FIN
 - NEW WALL PER PLAN

- FLOOR PLAN NOTES**
1. SEE SHEET A1.2, DETAIL I, FOR INTERIOR ELEVATIONS OF STRONGBACKED WALLS (WALL TYPES "A", "A1" OR "A2").
 2. REMOVE EXIST WOOD BASE, MOLDINGS, TRIM, TACK STRIPS, WALL MOUNTED ITEMS, LOCKERS, ETC AS REQ'D FOR NEW CONSTR. SALVAGE FOR REINSTALLATION.
 3. PROVIDE WOOD BASE, MOLDINGS, TRIM, TACK STRIPS, ETC AT NEW WALLS AS REQ'D TO MATCH EXIST. REINSTALL SALVAGED ITEMS, REPLACE ITEMS DAMAGED DURING REMOVAL.
 4. PAINT NEW WALLS TO MATCH COLOR AND PATTERN OF EXIST. PAINT EXIST ADJACENT WALLS IN SAME PLANE AS NEW WALLS TO NEAREST CORNER.
 5. SEE 4/A1.2 FOR WALL TYPES.
 6. SEE 5/A1.2 FOR DOOR SCHEDULE.
 7. ORIGINAL BLDG SECTIONS ARE PROVIDED ON SHEET A1.3 FOR INFORMATIONAL PURPOSES ONLY. ACCURACY OF THESE SECTIONS IS NOT GUARANTEED. FIELD VERIFY EXISTING CONDITIONS.



FLOOR PLANS 1
1/16"=1'-0"





SEATTLE
PUBLIC
SCHOOLS

RENOVATIONS
AT
LOYAL HEIGHTS
AND
SALMON BAY @
MONROE
ELEMENTARY
SCHOOLS

LOYAL HEIGHTS:
REROOFING, WINDOW
REPLACEMENT AND
MECHANICAL UPGRADES

SALMON BAY @
MONROE: WINDOW
REPLACEMENT

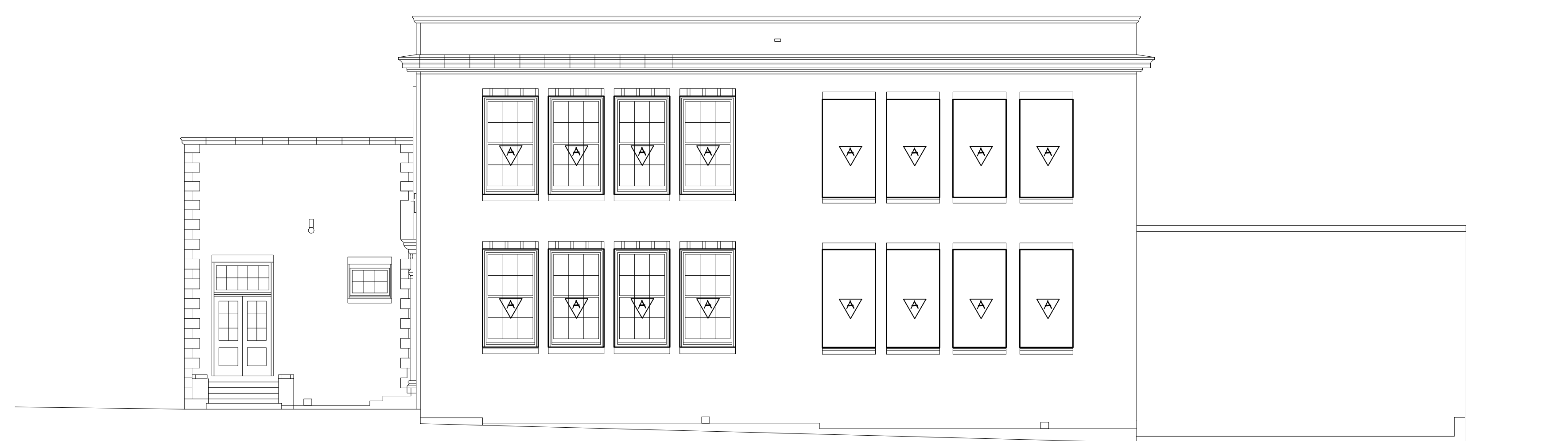
RECORD DRAWING
THIS DRAWING REPRESENTS
CONDITIONS DERIVED FROM
INFORMATION FURNISHED BY
THE CONTRACTOR.
DRAWING SHALL BE USED ONLY
IN CONJUNCTION WITH
FIELD VERIFICATION.

Job Number: 0526.00
Drawn by: GT
Proj Arch: CT
Scale: 1/8"=1'-0"
Date: 9/18/06

Revisions:		
CCD 1		2/12/07

BUILDING
ELEVATIONS

LH-A2.1

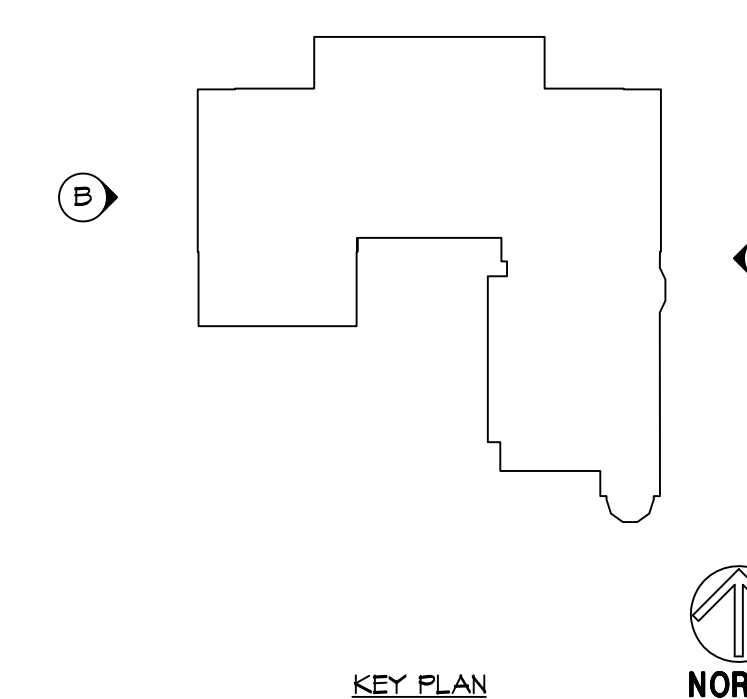


(B) WEST ELEVATION (ALT BID)



(A) EAST ELEVATION

ADD 5 WINDOWS AT
KINDERGARTEN SIM
TO TYPE B



KEY PLAN



NORTH

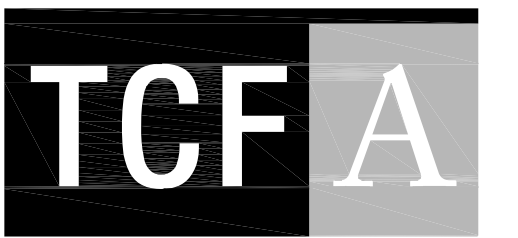
SEATTLE SCHOOL DISTRICT #1 BTA 2009

LOYAL HEIGHTS ELEMENTARY IMPROVEMENTS

SEATTLE, WASHINGTON

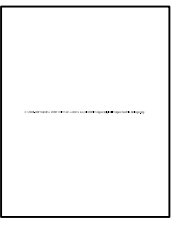
BID #B01906

PROJECT #09-68

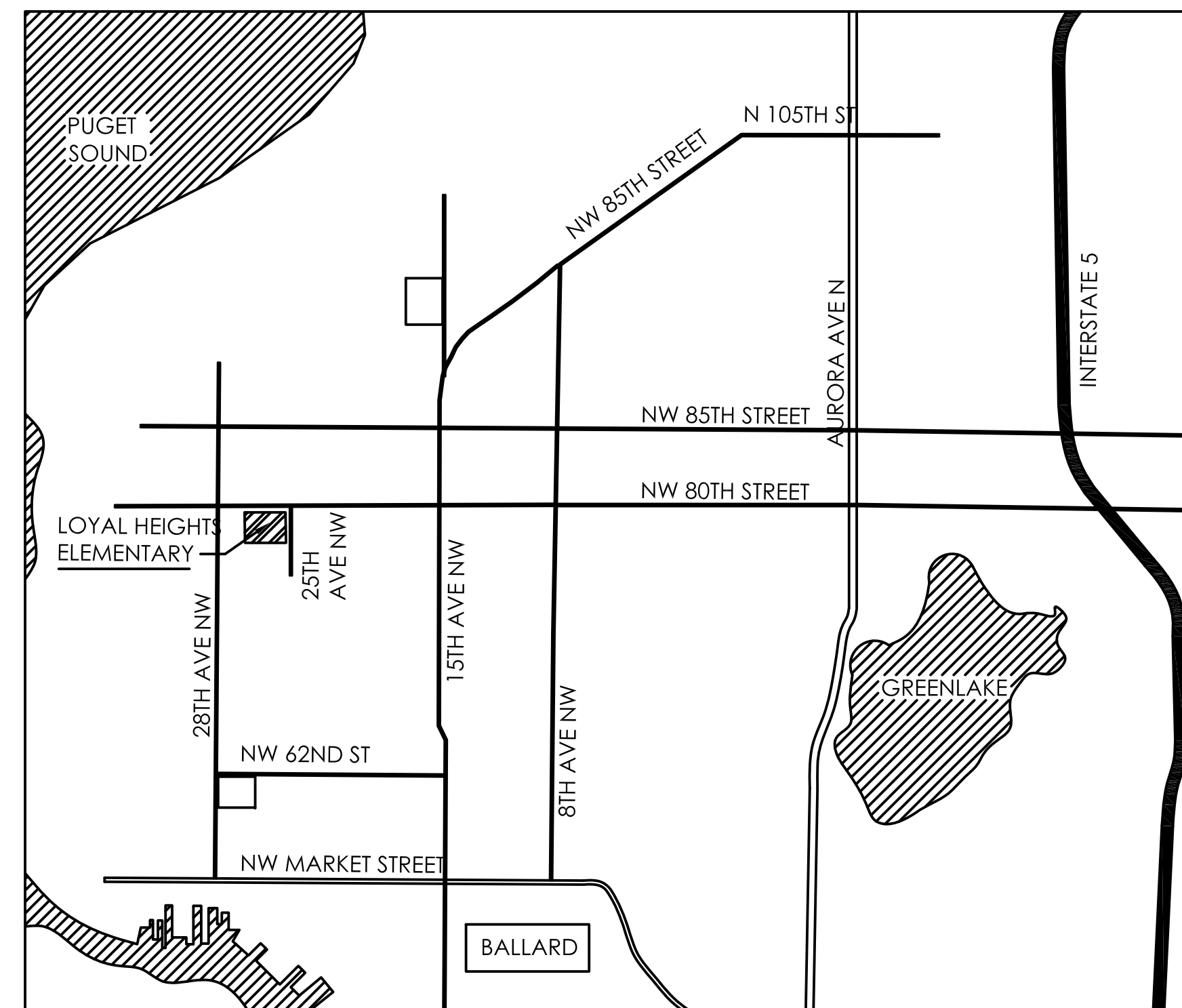


P. 253.572.3993
F. 253.572.1445
902 North Second Street
Tacoma, Washington 98403
www.tcfarchitecture.com

TCF Architecture, P.L.L.C.



VICINITY MAP



SITE ADDRESS:
LOYAL HEIGHTS ELEMENTARY
2511 NW 80TH ST
SEATTLE, WA 98117
PHONE: (206) 252-1500

KING COUNTY APN#:
444380-1580

LEGAL DESCRIPTION:
BLOCK 11, LOYAL HEIGHTS ADDN DIV #6, TGW
VAC ALLEY WITHIN SD BLK PER VO# 90486

CODE INFORMATION:

OCCUPANCY CLASSIFICATION:

GROUP 'E' OCCUPANCY WITH GROUP 'A' AND GROUP 'B' ACCESSORY SPACES.

BUILDING AREA:

EXISTING BUILDING AREA: 35,997 SF
NEW BUILDING AREA: 0 SF
TOTAL BUILDING AREA: 35,997 SF

PORTABLE AREA: 3,683 SF

LIFE SAFETY AND BUILDING EGRESS:

THERE ARE NO REVISIONS BEING MADE TO THE BUILDING THAT IMPACTS LIFE SAFETY OR CHANGES THE BUILDING EGRESS.

ACCESSIBILITY:

NEW CASEWORK, TOILET ACCESSORIES, ETC ARE DESIGNED TO MEET THE REQUIREMENTS OF ANSI 117.1-2003.

PARKING:

THERE IS NO CHANGE TO THE OCCUPANT LOAD OF THE BUILDING THEREFORE THE EXISTING PARKING STALL COUNT IS REMAINING UNCHANGED.

PROJECT DIRECTORY

OWNER:

SEATTLE SCHOOL DISTRICT
2445 THIRD AVENUE SOUTH
SEATTLE, WA 98134

MAIL STOP 22-331
P.O. BOX 34165
SEATTLE, WA 98124-1165
PHONE: (206) 252-0638
FAX: (206) 252-0573
CONTACT: SUE CROMARTY
EMAIL: SCROMARTY@seattleschools.org

ARCHITECT:

TCF ARCHITECTURE PLLC
902 NORTH 2ND STREET
TACOMA, WA 98403
PHONE: (253) 572-3993
FAX: (253) 572-1445
PIC / PROJECT MANAGER:
BRIAN FITZGERALD, AIA, REFP
EMAIL: brian@tcfarchitecture.com
PROJECT ARCHITECT:
GERRY PLESS, AIA, LEED AP
EMAIL: gerry@tcfarchitecture.com

ELECTRICAL ENGINEER:

HARGIS ENGINEERS, INC. 600
STEWART ST., STE. 1000
SEATTLE, WA 98101
PHONE: (206) 448-3376
FAX: (206) 448-4450
PIC: KEN LARSEN, PE
EMAIL: KenL@hargis.biz
PROJECT ENGINEER:
MARK HUMISTON
EMAIL: MarkH@hargis.biz

MECHANICAL ENGINEER:

HARGIS ENGINEERS, INC. 600
STEWART ST., STE. 1000
SEATTLE, WA 98101
PHONE: (206) 448-3376
FAX: (206) 448-4450
PIC: Brian Houck
EMAIL: BrianH@hargis.biz
PROJECT ENGINEER:
TERRY POTVIN
EMAIL: TerryP@hargis.biz

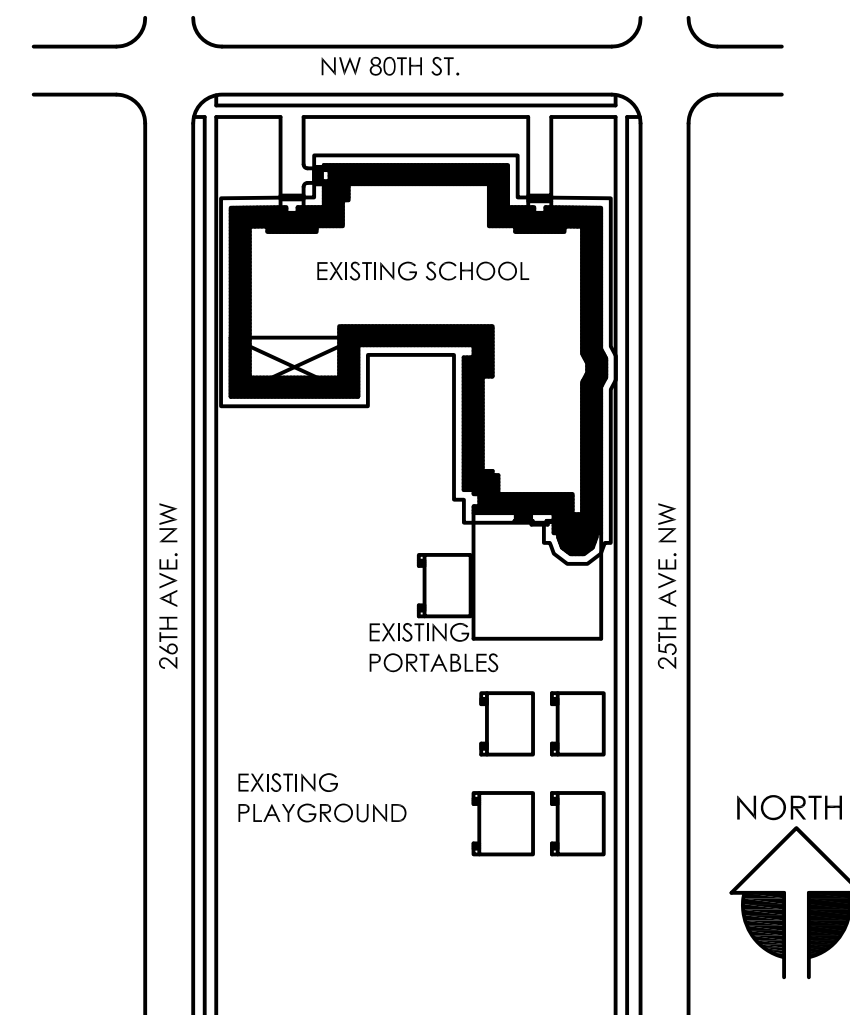
HAZARDOUS MATERIALS- (OWNERS CONSULTANT):

EHS INTERNATIONAL
13228 NE 20TH
SUITE 100
BELLEVUE, WA 98005
PHONE: (425) 455-2959
FAX: (425) 626-7247
CONTACT: JIM O'MALLEY

COST CONTROL CONSULTANT:

NSP CONSULTING
9280 100TH STREET SE
ALTO, MI 49302-9630
CONTACT: NORM PETERSON
PHONE: (206) 236-7327
EMAIL: nspconsulting@charter.net

SITE PLAN



SCOPE:

BASE BID: THE FOLLOWING IS A GENERAL SUMMARY OF THE OVERALL SCOPE OF WORK FOR THE CONTRACTOR'S CONVENIENCE. IT IS NOT INTENDED TO FULLY DESCRIBE THE PROJECT SCOPE. IT IS THE BIDDER'S RESPONSIBILITY TO FULLY REVIEW ALL DRAWINGS, SPECIFICATIONS, AND EXISTING BUILDING AND SITE CONDITIONS TO DEVELOP A FULL AND COMPREHENSIVE BID. LACK OF INCLUSION OF ANY ITEMS OF WORK HERE DOES NOT RELEASE THE CONTRACTOR OF THEIR RESPONSIBILITY TO PROVIDE FOR ALL ASPECTS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS.

- REPLACE EXISTING FLOORING WITH VCT OR CARPETING IN THE MAIN OFFICE, SELECT OFFICES, LIBRARY AND SELECT CLASSROOMS ON BOTH FLOORS. REMOVE AND REINSTALL CASEWORK, TRIM, MECHANICAL EQUIPMENT, ELECTRICAL DEVICES, ETC AS SHOWN ON THE DRAWINGS. TO ALLOW FOR REPLACEMENT OF THE FLOORING.

- REPLACE EXISTING OIL HEATERS WITH ELECTRICAL AIR HANDLING UNITS IN (3) PORTABLES.

- REPLACE THE EXISTING CAFETERIA AND LIBRARY CEILING TILE WITH NEW ACOUSTIC CEILING TILE. REPLACE EXISTING LIGHTING WITH NEW LIGHT FIXTURES. REMOVE AND REINSTALL EXISTING ELECTRICAL DEVICES, TRIM, ETC. AS SHOWN ON THE DRAWINGS, TO ALLOW FOR REPLACEMENT OF THE CEILING.

- PROVIDE MOVING SERVICES TO MOVE ALL EQUIPMENT, FURNITURE, ETC, IN ALL SPACES RECEIVING WORK.

ALTERNATE BID: SEE THE DRAWINGS AND SPEC SECTION 01230 FOR FULL DESCRIPTION OF ALTERNATE BID ITEMS

2nd FLOOR CORRIDOR

-ALT. BID AA-2a:
-REPLACE EXISTING CEILING TILE WITH 12"x12" ACOUSTIC CEILING TILE
-REMOVE AND REINSTALL EXISTING CROWN MOULDING, CONDUIT, AND ELECTRICAL DEVICES TO FACILITATE TILE REPLACEMENT.
-EXISTING SURFACE MOUNT LIGHTING TO REMAIN IN PLACE, EXISTING TILE TO BE CUT TO EDGE OF FIXTURES.

-ALT. BID AA-2b:
-REMOVE EXISTING SURFACE MOUNT LIGHT FIXTURES.
-REMOVE EXISTING CEILING TILE UNDER LIGHT FIXTURES.
-INSTALL NEW LIGHT FIXTURES

1st FLOOR CORRIDOR

-ALT. BID AA-3a:
-REPLACE EXISTING CEILING TILE WITH 12"x12" ACOUSTIC CEILING TILE
-REMOVE AND REINSTALL EXISTING CROWN MOULDING, CONDUIT, ELECTRICAL DEVICES AND LIGHTING TO FACILITATE TILE REPLACEMENT.

-ALT. BID AA-3b:
-INSTALL NEW LIGHT FIXTURES IN LIEU OF REINSTALLING EXISTING LIGHT FIXTURES.

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Project Numbers
2008-009

Drawn By
M/JN

Checked By
BDF

Issue & Revision Dates
DEC 1, 2008 DESIGN DEVELOPMENT
JAN 20, 2009 50% CD COST ESTIMATE
JAN 21, 2009 PRELIM. DPD SUBMITTAL
JAN 26, 2009 50% CD REVIEW SET
FEB 2, 2009 95% CD REVIEW SET
FEB 24, 2009 BID SET

Project Title

ADAMS, LOYAL HEIGHTS & WHITMAN IMPROVEMENTS

Sheet Title
LOYAL HEIGHTS ELEMENTARY COVER SHEET

Sheet Number

G1.00LH

Sheet Number
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